



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: March 19, 2014 REPORT NO. HO 14-019

ATTENTION: Hearing Officer

SUBJECT: Sprint – South Bay Expressway
PTS PROJECT NUMBER: 296409

LOCATION: 1127 La Media Road

APPLICANT: Sprint (Permittee)/
San Diego Association of Governments [SANDAG] (Owner)

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit (SDP) for a Wireless Communication Facility (WCF) in the Otay Mesa community plan area?

Staff Recommendation: APPROVE Site Development Permit No. 1260817.

Community Planning Group Recommendation: The Otay Mesa Planning Group voted 12-0-0 to approve this project at their April 17, 2013 meeting. (Attachment 8)

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 11, 2014, and the opportunity to appeal that determination ended March 4, 2014. (Attachment 7)

BACKGROUND & DISCUSSION

Sprint – South Bay Expressway is an application for a Site Development Permit (SDP) for a Wireless Communication Facility (WCF). The project is located in the Otay Mesa community plan area in the Otay Mesa Development District – Industrial Subdistrict zone. The project is located at 1127 La Media Road. (Attachments 1, 2, and 3)

WCFs are permitted in industrial zones with a limited use approval. In this case, the Otay Mesa Development District – Industrial Subdistrict requires that, “Any building using other than concrete tilt-up, precast concrete, concrete block, wood or similar materials as the basic type of

construction for 75% of the exterior walls shall require an Otay Mesa Development District Permit.” [LDC §1517.0306(a)(1)] In addition, the monoecalyptus and equipment enclosure are located within the setback. An Otay Mesa Development District Permit, processed as an SDP, is required to allow the monoecalyptus and the setback deviation. [LDC §1517.0202(b)(3)]

The WCF Design Requirements, LDC section 141.0420, identify that the applicant “shall use all reasonable means to conceal or minimize the visual impacts of WCFs through integration.” The WCF regulations allow faux landscaping where natural vegetation similar in size and species exist, or where landscaping similar in size and species is proposed as part of the development. With this project, Sprint proposes to construct a 55’ tall faux eucalyptus tree (“monoecalyptus”), supporting 9 panel antennas. Equipment would be located in an enclosure also surrounding the monoecalyptus. Since an adequate amount of natural vegetation does not exist to effectively integrate the faux tree, 5 live eucalyptus trees are proposed in order to comply with the regulations.

The City’s General Plan addresses Wireless Facilities in UD-A.15. The visual impact of WCF should be minimized by concealing WCF in existing structures, or utilizing camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures. This project complies with the General Plan recommendations by locating the antennas on a faux eucalyptus tree, which, with the addition of live trees, will work to camouflage the antennas with the surroundings. Equipment associated with the antennas will be located at the base of the monoecalyptus in an unobtrusive enclosure. Therefore, the project will not adversely affect the City’s General Plan.

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420). The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the SDP. Therefore, Staff recommends approval of SDP No. 1260817.

ALTERNATIVES

1. Approve Site Development Permit No. 1260817, with modifications.
2. Deny Site Development Permit No. 1260817, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Alex Hempton, AICP
Development Project Manager

Attachments:

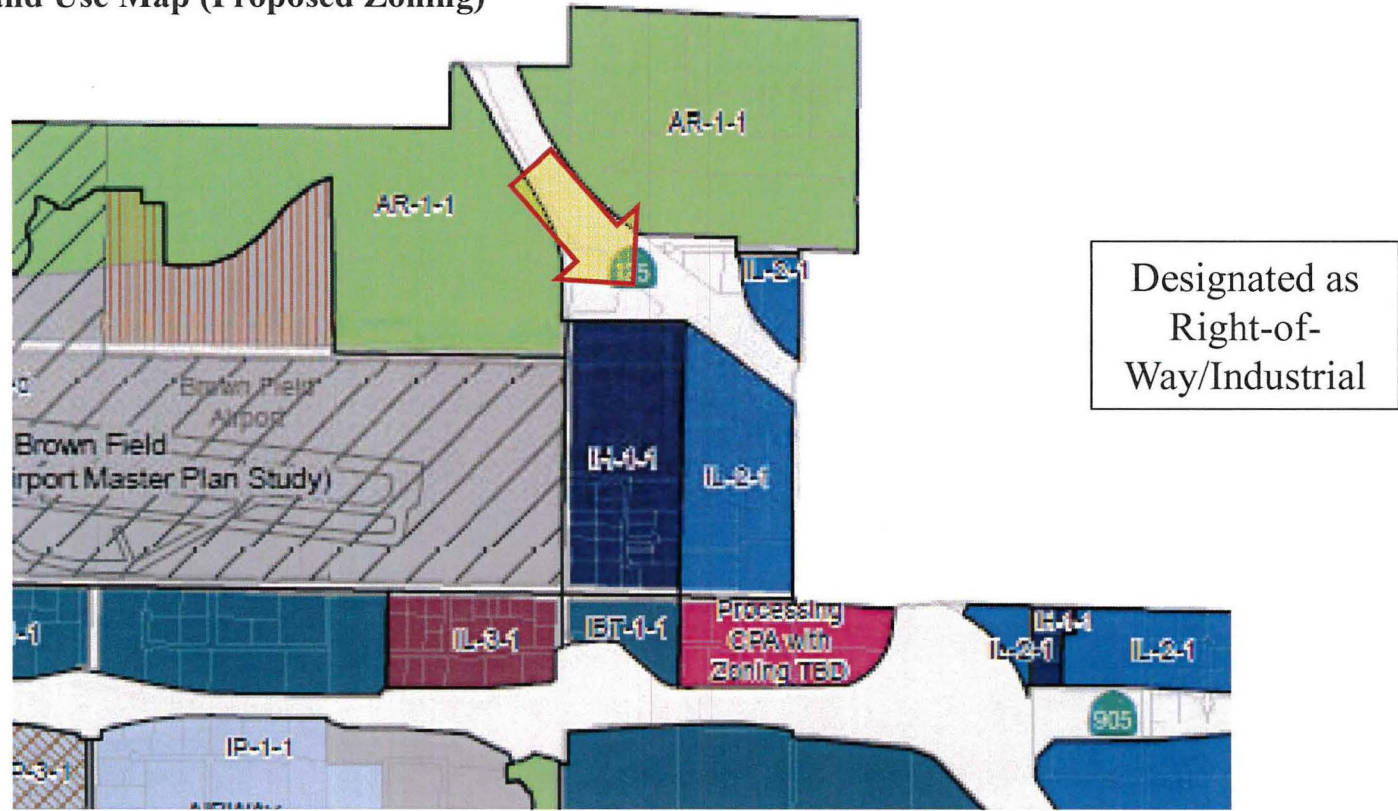
1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement (ODS)
10. Photo Simulation
11. Photo Survey
12. Site Justification/Coverage Maps
13. Hearing Officer Hearing Public Notice
14. Project Plans

Aerial Photo



Sprint – South Bay Expressway, Project No. 296409
1127 La Media Road

Community Plan Land Use Map (Proposed Zoning)



Designated as
Right-of-
Way/Industrial

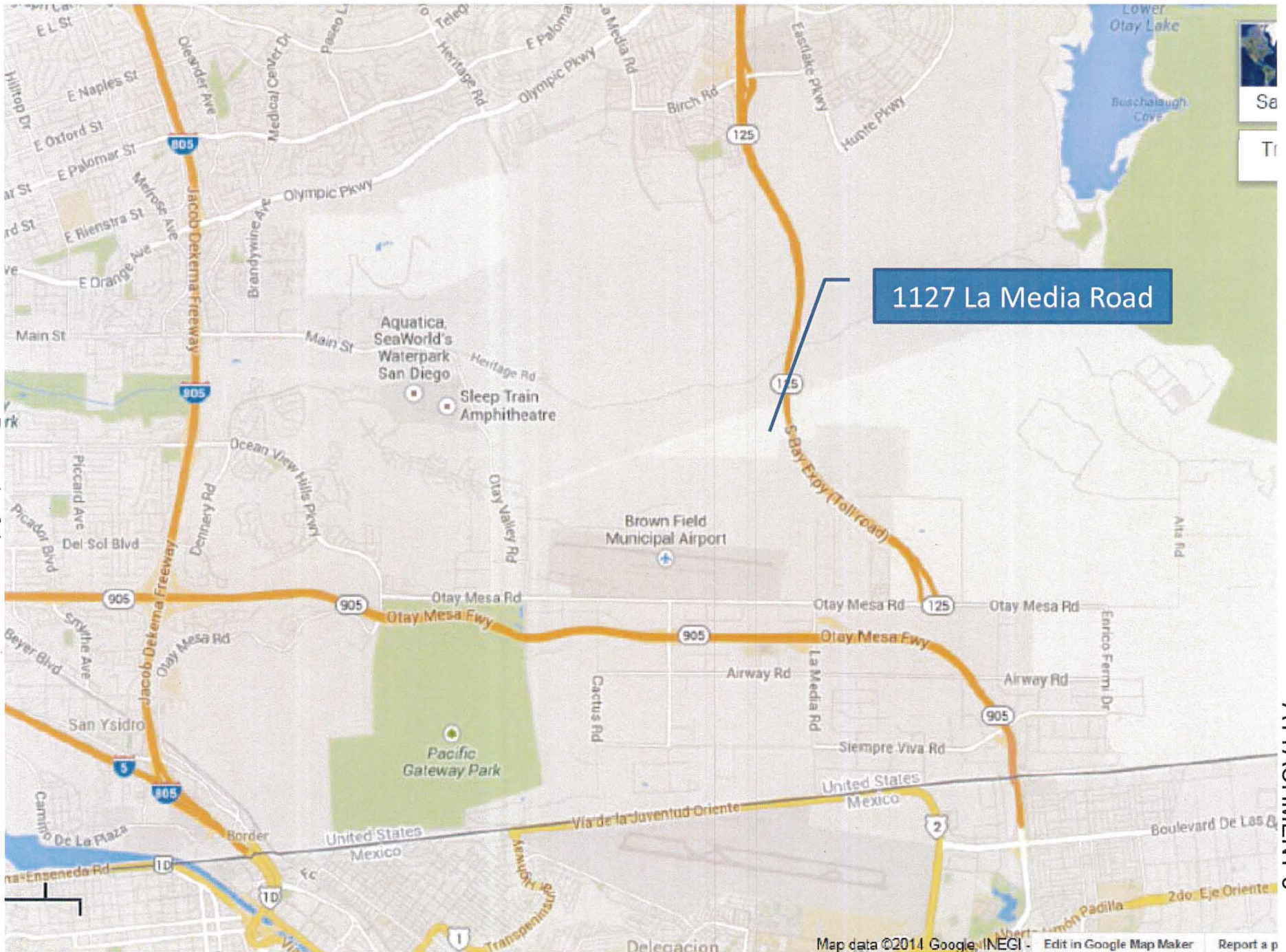
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OTAY MESA PROPOSED ZONING MAP - Figure



ATTACHMENT 2

Sprint – South Bay Expressway, Project No. 296409
1127 La Media Road



1127 La Media Road

PROJECT DATA SHEET		
PROJECT NAME:	Sprint – South Bay Expressway	
PROJECT DESCRIPTION:	Site Development Permit (SDP) for a Wireless Communication Facility (WCF) consisting of a 55' tall monoecalyptus tree supporting 9 panel antennas. Equipment is located at the base of the monoecalyptus.	
COMMUNITY PLAN:	Otay Mesa	
DISCRETIONARY ACTIONS:	Site Development Permit, Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial	
<u>ZONING INFORMATION:</u>		
ZONE: Otay Mesa Development District (OMDD) Industrial Subdistrict		
HEIGHT LIMIT: -		
FLOOR AREA RATIO: -		
FRONT SETBACK: 20'		
SIDE SETBACK: 15'		
STREETSIDE SETBACK: 20'		
REAR SETBACK: 25'		
PARKING: -		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Agricultural, OMDD-Industrial Subdistrict	Toll Road
SOUTH:	Industrial, OMDD-Industrial Subdistrict	Truck Storage
EAST:	Industrial, OMDD-Industrial Subdistrict	Toll Road
WEST:	Agricultural, OMDD-Industrial Subdistrict	Truck Storage
DEVIATIONS OR VARIANCES REQUESTED:	WCF is located within the setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Otay Mesa Planning Group recommended approval of this project, 12-0-0, at their April 17, 2013 meeting.	

HEARING OFFICER RESOLUTION NO. HO-XXXX
SITE DEVELOPMENT PERMIT NO. 1260817
SPRINT – SOUTH BAY EXPRESSWAY, PROJECT NO. 296409

WHEREAS, the SAN DIEGO ASSOCIATION OF GOVERNMENTS (SANDAG), Owner, and SPRINT, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits “A” and corresponding conditions of approval for the associated Permit No. 1260817);

WHEREAS, the project site is located at 1127 La Media Road in the Otay Mesa Development District – Industrial Subdistrict zone of the Otay Mesa community plan area;

WHEREAS, the project site is legally described as the southwest corner of the northwest quarter of Section 26, Township 18 South, Range 1 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to the Official Plat Thereof;

WHEREAS, on March 19, 2014, the Hearing Officer of the City of San Diego considered SITE DEVELOPMENT PERMIT NO. 1260817 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on February 11, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 19, 2014.

FINDINGS:

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan;

While the Otay Mesa Community Plan does not specifically address Wireless Communication Facilities (WCFs), the City of San Diego’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. With this project, Sprint proposes to construct a 55’ tall faux eucalyptus tree, referred to as a “monoecalyptus.” The faux tree, along with the addition of 5 live trees, will allow the WCF to be integrated with the area and camouflaged from view. Nine panel antennas will be mounted to the faux tree and equipment associated with the antennas will be located at the base of the monoecalyptus. Live trees, proposed adjacent to the faux tree, will allow for a more natural setting for the monoecalyptus, and

will provide additional vertical elements to screen views of the monoecalyptus. Based on the design of this project as described above, the project will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of a 55' tall monoecalyptus tree and an equipment enclosure surrounding the base of the monoecalyptus. The project includes a deviation to allow the WCF to encroach into the side setback. The project is located at 1127 La Media Road, and is located in the Otay Mesa community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare of persons working or residing in the area.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The Wireless Communication Facility (WCF) Regulations, Land Development Code Section 141.0420, require that WCFs utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. The applicant is required to use all reasonable means to conceal or minimize the visual impact of the WCF through integration utilizing architecture, landscape, and siting. The WCF regulations allow faux landscaping where natural vegetation similar in size and species exist, or where landscaping similar in size and species is proposed as part of the development. With this project, Sprint proposes to construct a 55' tall faux eucalyptus tree ("monoecalyptus"), supporting 9 panel antennas. Equipment would be located in an enclosure also surrounding the monoecalyptus. Since an adequate amount of natural vegetation does not exist to effectively integrate the faux tree, 5 live eucalyptus trees are proposed in order to comply with the regulations.

WCFs are permitted in industrial zones with the processing of a Limited Use, Process 1 approval. While the project complies with WCF Regulations, the project requests a deviation from the Otay Mesa Development District – Industrial Subdistrict setback requirements. In addition, an Otay Mesa Development District permit is also required, since the monoecalyptus is a structure other than concrete tilt-up, precast concrete, concrete block, wood, or similar materials. The deviation to the setback is permitted through the processing of this Site Development Permit/Otay Mesa Development District permit. Therefore, the project complies with the regulations of the Land Development Code.

Otay Mesa Development District Permit – Section 1517.0203(c)

- 1. The application is complete and conforms with all City regulations, policies, guidelines, design standards and density;**

While the Otay Mesa Community Plan does not specifically address Wireless Communication Facilities (WCFs), the City of San Diego’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. With this project, Sprint proposes to construct a 55’ tall faux eucalyptus tree, referred to as a “monoecalyptus.” The faux tree, along with the addition of 5 live trees, will allow the WCF to be integrated with the area and camouflaged from view. Nine panel antennas will be mounted to the faux tree and equipment associated with the antennas will be located at the base of the monoecalyptus. Live trees, proposed adjacent to the faux tree, will allow for a more natural setting for the monoecalyptus, and will provide additional vertical elements to screen views of the monoecalyptus. Sprint has submitted the required materials, as identified by the City’s Project Submittal Requirements and their application was deemed complete. Based on the design of this project as described above, the application is complete and the project will conform with all City regulations, policies, guidelines, and design standards and does not impact density.

- 2. The proposed use and project design meet the purpose and intent of this Ordinance and the Otay Mesa Community Plan;**

The purpose of the Otay Mesa Development District Ordinance is to create and promote the development of the City’s largest and potentially most significant industrial area. It is also the purpose of the Otay Mesa Development District Ordinance to control the use, development intensity, and development design of a primarily industrial area which includes a large commercial subdistrict and a border station mixed use subdistrict. The design of this WCF is compatible with the Otay Mesa Development District. The WCF is proposed on a developed parcel and does not preclude other development from occurring on surrounding properties. The design of the WCF, as a monoecalyptus tree, is compatible with the surroundings and will integrate effectively with the surroundings, especially when the proposed live trees grow to their mature size. Based on an analysis of this project, it has been determined that the

proposed use and project design meet the purpose and intent of this ordinance and the Otay Mesa Community Plan.

- 3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity;**

The project consists of a 55' tall monoecalyptus tree and an equipment enclosure surrounding the base of the monoecalyptus. The project includes a deviation to allow the WCF to encroach into the side setback. The project is located at 1127 La Media Road, and is located in the Otay Mesa community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A condition has been added to the permit to require a Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

The design of the project, as a monoecalyptus tree, will integrate effectively with the surroundings and will be compatible with future development. Proposed live trees, surrounding the monoecalyptus tree, will work to integrate the faux tree with neighboring properties.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare of persons working or residing in the area, nor will the project adversely affect other properties in the area.

- 4. The proposed use will comply with the relevant regulations in the Municipal Code; and**

The Wireless Communication Facility (WCF) Regulations, Land Development Code Section 141.0420, require that WCFs utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. The applicant is required to use all reasonable means to conceal or minimize the visual impact of the WCF through integration utilizing architecture, landscape, and siting. The WCF regulations allow faux landscaping where natural vegetation similar in size and species exist, or where landscaping similar in size and species is proposed as part of the development. With this project, Sprint proposes to construct

a 55' tall faux eucalyptus tree ("monoecalyptus"), supporting 9 panel antennas. Equipment would be located in an enclosure also surrounding the monoecalyptus. Since an adequate amount of natural vegetation does not exist to effectively integrate the faux tree, 5 live eucalyptus trees are proposed in order to comply with the regulations.

WCFs are permitted in industrial zones with the processing of a Limited Use, Process 1 approval. While the project complies with WCF Regulations, the project requests a deviation from the Otay Mesa Development District – Industrial Subdistrict setback requirements. In addition, an Otay Mesa Development District permit is also required, since the monoecalyptus is a structure other than concrete tilt-up, precast concrete, concrete block, wood, or similar materials. The deviation to the setback is permitted through the processing of this Site Development Permit/Otay Mesa Development District permit. Therefore, the project complies with the regulations of the Land Development Code.

5. **A plan for the financing of public facilities as provided in Section 1517.0204 (Financing of Public Facilities) of the Otay Mesa Development District has been approved by the City Engineer.**

There is a Public Facilities Financing Plan and Facilities Benefit Assessment document for Otay Mesa, which was adopted October 18, 2006.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, SITE DEVELOPMENT PERMIT NO. 1260817 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1260817, a copy of which is attached hereto and made a part hereof.

Alex Hempton, AICP
Development Project Manager
Development Services

Adopted on: March 19, 2014

Internal Order No. 24003269

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO
 CITY CLERK**

**PROJECT MANAGEMENT
 PERMIT CLERK
 MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003269

SITE DEVELOPMENT PERMIT NO. 1260817
SPRINT – SOUTH BAY EXPRESSWAY, PROJECT NO. 296409
HEARING OFFICER

This SITE DEVELOPMENT PERMIT NO. 1260817 is granted by the HEARING OFFICER of the City of San Diego to SAN DIEGO ASSOCIATION OF GOVERNMENTS (SANDAG), Owner, and SPRINT, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0501, and 1517.0203. The site is located at 1127 La Media Road in the Otay Mesa Development District – Industrial Subdistrict zone of the Otay Mesa community plan area. The project site is legally described as: the southwest corner of the northwest quarter of Section 26, Township 18 South, Range 1 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to the Official Plat Thereof.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 19, 2014, on file in the Development Services Department.

The project shall include:

- a. Nine (9) panel antennas, with the following dimensions: 72.0" by 11.8" by 7.9", mounted to a new 55' tall monoecalyptus tree;
- b. Equipment, located at the base of the monoecalyptus, in a 14' by 18'8" enclosure;
- c. With the processing of this Site Development Permit, the project is allowed to encroach into the setback;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 3, 2017.
2. This Site Development Permit and corresponding use of this site shall expire on April 3, 2024. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the

matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 24 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

AIRPORT REQUIREMENTS:

19. Prior to issuance of any construction permits, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

LANDSCAPE REQUIREMENTS:

20. Prior to the issuance of a construction permit, landscape construction documents shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this Permit and Exhibit "A" on file in the office of Development Services Department.

21. Landscape installed as part of the project shall be maintained and irrigated for the life of the permit. All required landscape shall be maintained in a disease, weed and litter free condition at all times.

22. Prior to activation of facility, it shall be the responsibility of the Permittee to install all required landscape and obtain all required landscape inspections.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/ or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All proposed hand-holes shall be covered with bark material to match the faux tree trunk to the satisfaction of the Development Services Department.

26. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

27. Branches shall extend a minimum of 24-inches beyond the face of the proposed antennas to the satisfaction of the Development Services Department.

28. Starting branch height shall be no lower than 15-feet.

29. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

30. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.

31. The Permittee shall provide color samples and manufacturer specifications for the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape and meets the City's quality standards. Staff will pre-approve the color sample and manufacturer specifications prior to Building Permit issuance. The exact faux tree color exhibit and specifications will be used during the FINAL INSPECTION. The specifications approved by Planning Staff must be identical to the as-built faux tree.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

33. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

34. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
35. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
36. No overhead cabling is allowed for this project.
37. Exposed mounting apparatus shall be removed and shall not remain on the faux tree absent antennas.
38. The Owner/Permittee shall not cause or allow the antennas located on the faux tree to be different sizes (length, width, or height) than as shown on the stamped approved plans.
39. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
40. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
41. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
42. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 19, 2014 and HO-XXXX.

DRAFT

Permit Type/PTS Approval No.: SDP/1260817

Date of Approval: 3/19/2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Alex Hempton, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**SAN DIEGO ASSOCIATION OF
GOVERNMENTS (SANDAG)**

Owner

By _____

SPRINT

Permittee

By _____

GLORI JAMES-SUAREZ
NETWORK MANAGER

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: February 18, 2014

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No.: 24003269

PROJECT NAME/NUMBER: Sprint Southbay Expressway/Project No. 296409

COMMUNITY PLAN AREA: Otay Mesa

COUNCIL DISTRICT: 8

LOCATION: 1127 La Media Road, San Diego, CA 92154

PROJECT DESCRIPTION: SITE DEVELOPMENT PERMIT (SDP) for a new wireless communication facility (WCF) consisting of: a 55'-tall mono eucalyptus; nine (9) antennas; nineteen (19) RRHs; four (4) outdoor equipment cabinets located on a concrete pad inside a proposed 8'-tall concrete wall enclosure; electrical and telco cable; and five (5) live eucalyptus trees. The project site is zoned Industrial and is within the Otay Mesa Community Plan area of Council District 8.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer (Process 3).

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines Section and 15303 (New Construction).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Staff.

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows for the construction and location of limited numbers of new, small facilities and the installation of small, new equipment and facilities including, but not limited to, accessory structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

CITY CONTACT: Alex Hempton, Project Manager
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5349

On February 11, 2014, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is

appealable to the City of San Diego Planning Commission. If you have any questions about this determination, contact the Project Manager above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (by March 4, 2014). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Hempton, Alexander

From: Caitlyn Kes [ckes@deprattiinc.com]
Sent: Thursday, April 18, 2013 4:17 PM
To: Hempton, Alexander
Subject: RE: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - PTS 296409

Hi Alex,
This project was unanimously (12 – 0) approved yesterday at the Otay Mesa Planning Group. Thanks.

CK
858-527-9938

From: Hixson, Rob @ San Diego Downtown [mailto:Rob.Hixson@cbre.com]
Sent: Monday, April 08, 2013 11:51 AM
To: ckes@deprattiinc.com
Subject: RE: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - Request for Project Review

No, 3 p.m. on Wednesday the 17th.

Rob Hixson, SIOR | Senior Vice President | Lic. 00944946
CBRE | Industrial Properties | Lic. 00409987
350 Tenth Avenue, Suite 800 | San Diego, CA 92101
T 619 696 8350 | F 619 232 2462 | C 619 954 9520
Rob.Hixson@cbre.com | www.cbre.com

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From: Caitlyn Kes [mailto:ckes@deprattiinc.com]
Sent: Monday, April 08, 2013 11:40 AM
To: Hixson, Rob @ San Diego Downtown
Subject: RE: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - Request for Project Review

No problem. Wednesday, 4/17/13, at 6:30pm at the Otay Mesa Branch Library, 3003 Coronado Avenue, correct?

Caitlyn Kes
858-527-9938

From: Hixson, Rob @ San Diego Downtown [mailto:Rob.Hixson@cbre.com]
Sent: Monday, April 08, 2013 9:35 AM
To: ckes@deprattiinc.com
Cc: 'Hempton, Alexander'
Subject: RE: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - Request for Project Review

ATTACHMENT 8

Caitlyn, we would prefer color handouts that have a site plan and location map. Full plans are not that important to us, if you can bring one set, if members have specific questions, that would be great. Thank you.

Rob Hixson, SIOR | Senior Vice President | Lic. 00944946
CBRE | Industrial Properties | Lic. 00409987
350 Tenth Avenue, Suite 800 | San Diego, CA 92101
T 619 696 8350 | F 619 232 2462 | C 619 954 9520
Rob.Hixson@cbre.com | www.cbre.com

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From: Caitlyn Kes [<mailto:ckes@deprattiinc.com>]
Sent: Monday, April 08, 2013 9:31 AM
To: Hixson, Rob @ San Diego Downtown
Cc: 'Hempton, Alexander'
Subject: RE: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - Request for Project Review

Thank you Rob. How many sets of plans should I bring to meeting?

Thank you much,

Caitlyn Kes
ckes@deprattiinc.com
858-527-9938



From: Hixson, Rob @ San Diego Downtown [<mailto:Rob.Hixson@cbre.com>]
Sent: Sunday, April 07, 2013 2:58 PM
To: ckes@deprattiinc.com
Cc: Hempton, Alexander
Subject: RE: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - Request for Project Review

Yes, we can put you on for April 17th. Thanks

Rob Hixson, SIOR | Senior Vice President | Lic. 00944946
CBRE | Industrial Properties | Lic. 00409987
350 Tenth Avenue, Suite 800 | San Diego, CA 92101
T 619 696 8350 | F 619 232 2462 | C 619 954 9520
Rob.Hixson@cbre.com | www.cbre.com

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From: Caitlyn Kes [<mailto:ckes@deprattiinc.com>]
Sent: Tuesday, March 26, 2013 1:52 PM
To: Hixson, Rob @ San Diego Downtown
Cc: Hempton, Alexander
Subject: Sprint Southbay Expressway at 1127 La Media Rd - SD73XC013 - Request for Project Review

Hi Rob,

I hope you're well. I was wondering if I can get on the agenda for the next planning group meeting. This is in regards to a new wifeless facility proposed at 1127 La Media Road. I've attached plans and sims for your review. The City PM is Alexander Hempton; he's copied on here as well. Please let me know if you have any questions or when I'm confirmed to be on the agenda. Thank you.

Thank you much,

Caitlyn Kes
ckes@deprattiinc.com
858-527-9938





City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title SD73XC013 South Bay Expressway **Project No. For City Use Only** 296409

Project Address:
 1129 La Media Road, San Diego, California 92154

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):	Name of Individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Signature : Date:	Signature : Date:
Name of Individual (type or print):	Name of Individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Signature : Date:	Signature : Date:

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
 Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (5-05)

Project Title: SD73XC013 South Bay Expressway	Project No. (For City Use Only)
---	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership
 X - Public Entity

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
 SANDAG

Owner Tenant/Lessee

Street Address:
 401 B Street, Suite 800

City/State/Zip:
 San Diego, CA 92101

Phone No: (619) 710-4001 Fax No: (619) 710-4097

Name of Corporate Officer/Partner (type or print):
 Samuel Johnson

Title (type or print):
 Mobility Operations Director

Signature:  Date: 02-22-2012

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Sprint Executive Team

Dan Hesse

Chief Executive Officer

Joseph J. Euteneuer

Chief Financial Officer

Matt Carter

President, Sprint Enterprise Solutions

Michael Schwartz

Senior Vice President, Corporate and Business Development

Steve Elfman

President of Network, Technology and Operations

Bob Johnson

President-Sprint Retail and Chief Service and Information Technology Officer

Bill Malloy

Chief Marketing Officer

Sprint Executive Team

Sandra J. Price

Senior Vice President, Human Resources

Bill White

Senior Vice President, Corporate Communications and Corporate Social Responsibility

Charles Wunsch

Senior Vice President, General Counsel, Corporate Secretary and Chief Ethics Officer

Dow Draper

President, Prepaid

John Saw

Senior Vice President, Technology Architecture

SANDAG Board of Directors as of January 22, 2014

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Executive Director

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(A) Hon. Dave Roberts, Supervisor
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(A) Hon. Bill Horn, Vice Chair

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(A) Laurie Berman, District 11 Director

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(Advisory Member)
Harry Mathis, Chairman
(A) Hon. Al Ovrom

North County Transit District

(Advisory Member)
Hon. Bill Horn, Chairman

(A) Hon. Ed Gallo
(A) Hon. Mike Nichols

Imperial County

(Advisory Member)
Hon. John Renison, Supervisor, District 1
(A) Hon. Bill Hodge, Mayor, City of Calexico

United States Department of Defense

(Advisory Member)
CAPT Darius Banaji, CEC, USN, Commanding Officer
Naval Facilities Engineering Command Southwest
(A) CAPT Richard L. Whipple, CEC, USN, Executive Officer
Naval Facilities Engineering Command Southwest

San Diego Unified Port District

(Advisory Member)
Hon. Bob Nelson, Chairman
(A) Hon. Dan Malcom, Commissioner

San Diego County Water Authority

(Advisory Member)
Tom Wornham, Chairman
(A) David Barnum, Director

Southern California Tribal Chairmen's Association

(Advisory Member)
Hon. Allen Lawson, Chairman, San Pasqual Band of Diegueño Indians
Hon. Robert Smith, Chairman, Pala Band of Mission Indians

Mexico (Consulate General of Mexico)

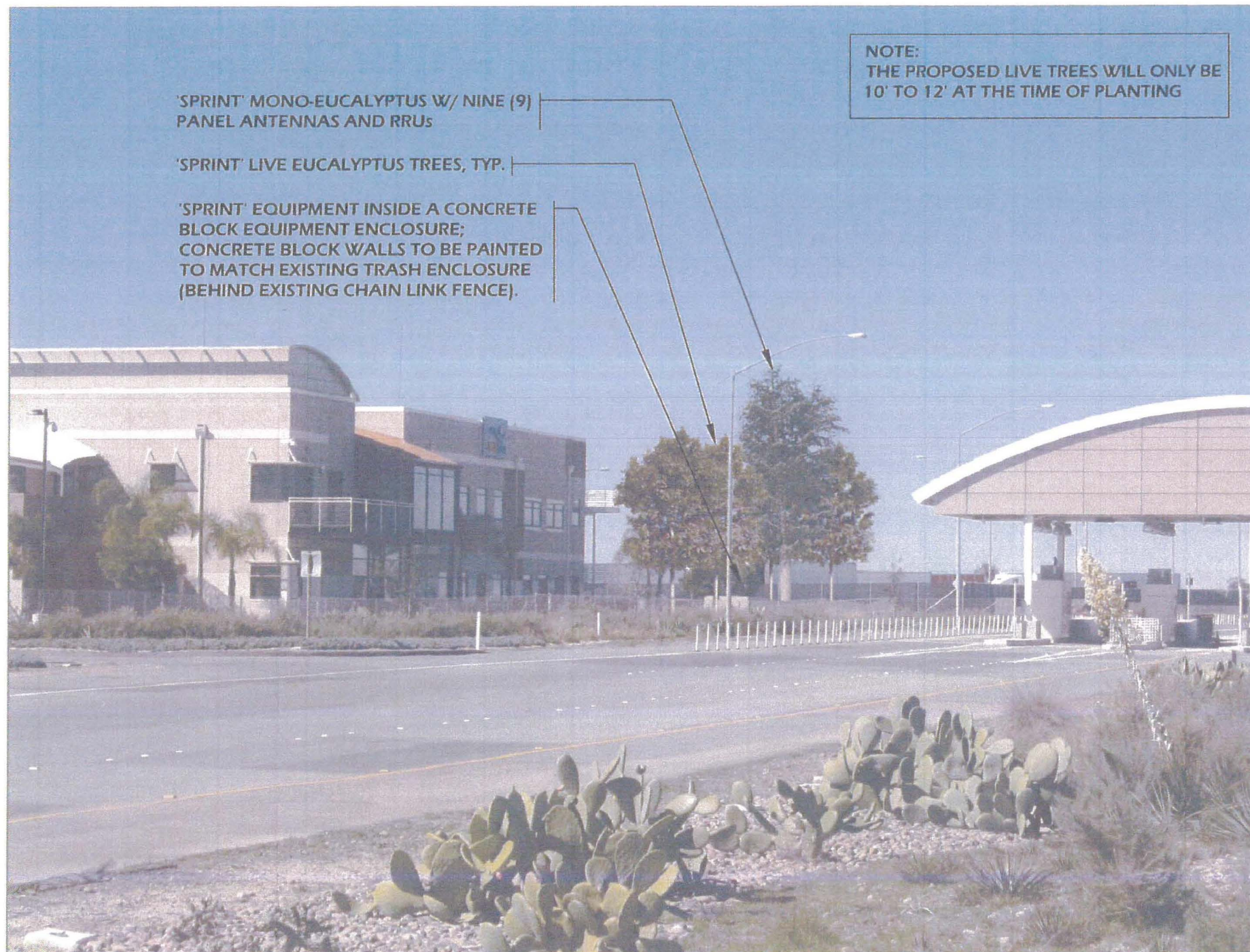
(Advisory Member)
Hon. Remedios Gómez-Arnau, Cónsul General of Mexico
(A) Hon. Francisco Javier Olavarría, Deputy Cónsul General of Mexico
(A) Hon. Alberto Diaz

AERIAL MAP



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EXISTING



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 ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
 T 949.475.1000 | 949.475.1001 F

Sprint
 Together with NEXTEL

**SOUTHBAY EXPRESSWAY
 SD73XC013C**
 1127 LA MEDIA ROAD
 SAN DIEGO, CA 92154

VIEW	SHEET
A	1 / 3

AERIAL MAP



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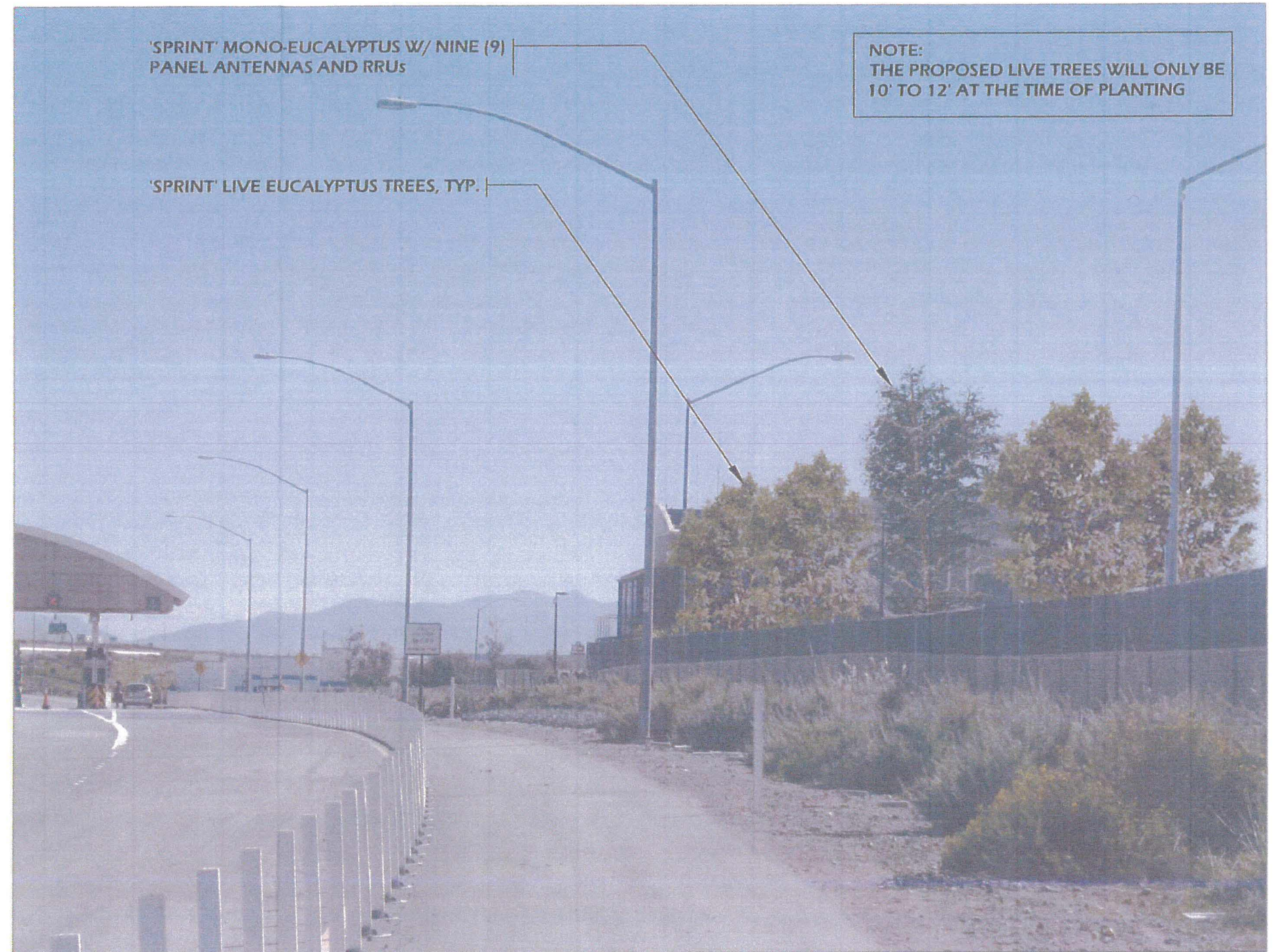
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1127 LA MEDIA ROAD
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VIEW	SHEET
C	3 / 3

Sprint South Bay Express way - Photo Survey SD73XC013

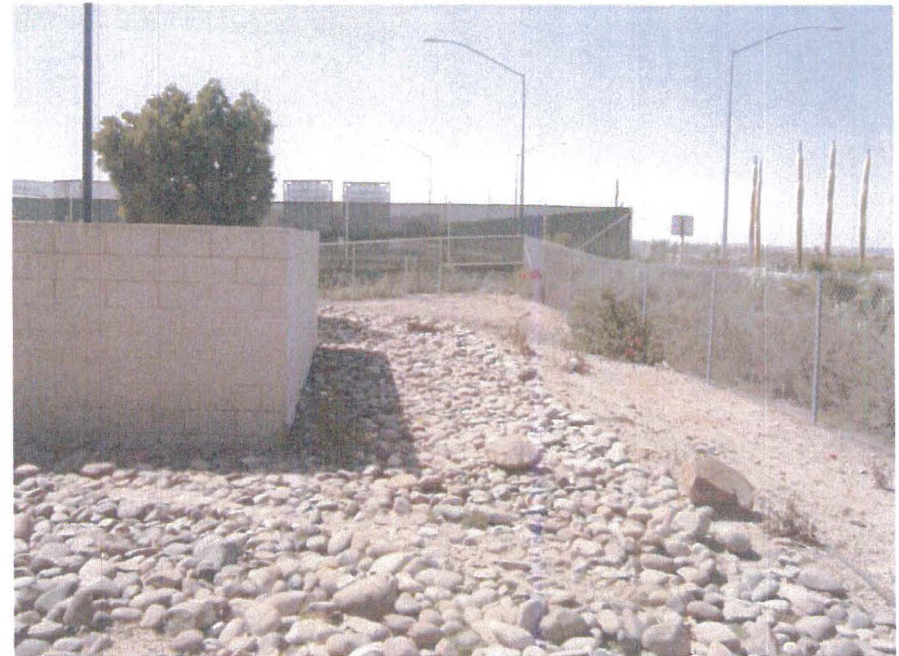


SD73XC013 – Photo Survey

1. View looking south @
North Elevation

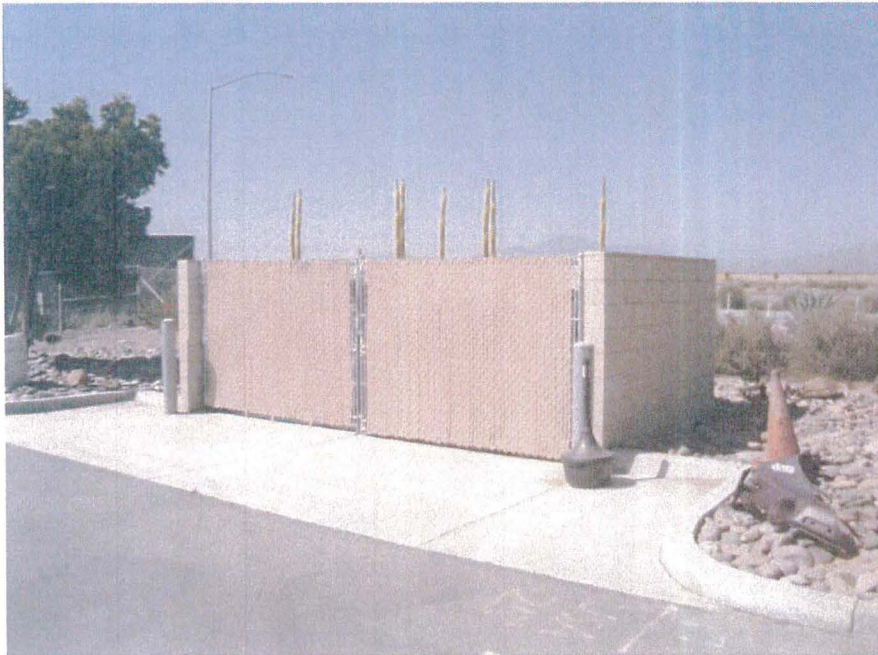


2. View looking west @
East Elevation



SD73XC013 – Photo Survey

3. View looking north @
South Elevation

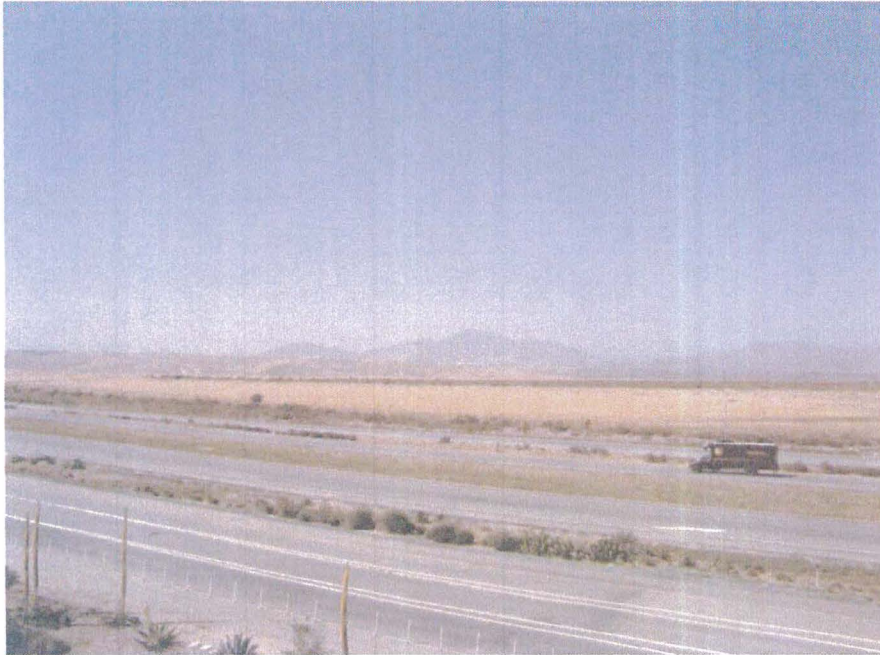


4. View looking east @
West Elevation



SD73XC013 – Photo Survey

5. View looking North from Site 6. View looking East from Site



SD73XC013 – Photo Survey

7. View looking South from site



8. View looking West from Site



Sprint
SD73XC013 Southbay Expressway
SDP Findings

Site Development Permit Findings:

1. The proposed development will not adversely affect the applicable land use plan

Sprint proposes to place a wireless communications facility at 1129 La Media. Sprint is proposing to place an architecturally integrated FRP enclosure on the north side of the roof. The enclosure is painted and textured to blend with the roof. The enclosure will house the equipment cabinets and the antennas.

The project was been designed to integrate well with the existing building and the surrounding neighborhood.

Approval of the permit will not adversely affect the City of San Diego Municipal Code or General Plan.

2. The proposed development will not be detrimental to the public health, safety and welfare

Sprint been authorized by the Federal Communications Commission (FCC) to construct and operate telecommunication system in the United States. The proposed use of this project will not be detrimental to the health, safety and general welfare of persons residing or working in the area and will not adversely affect other property in the vicinity. The FCC has established safety standards for wireless communication facilities. Wireless telecommunication facilities by their design and operation are low power devices.

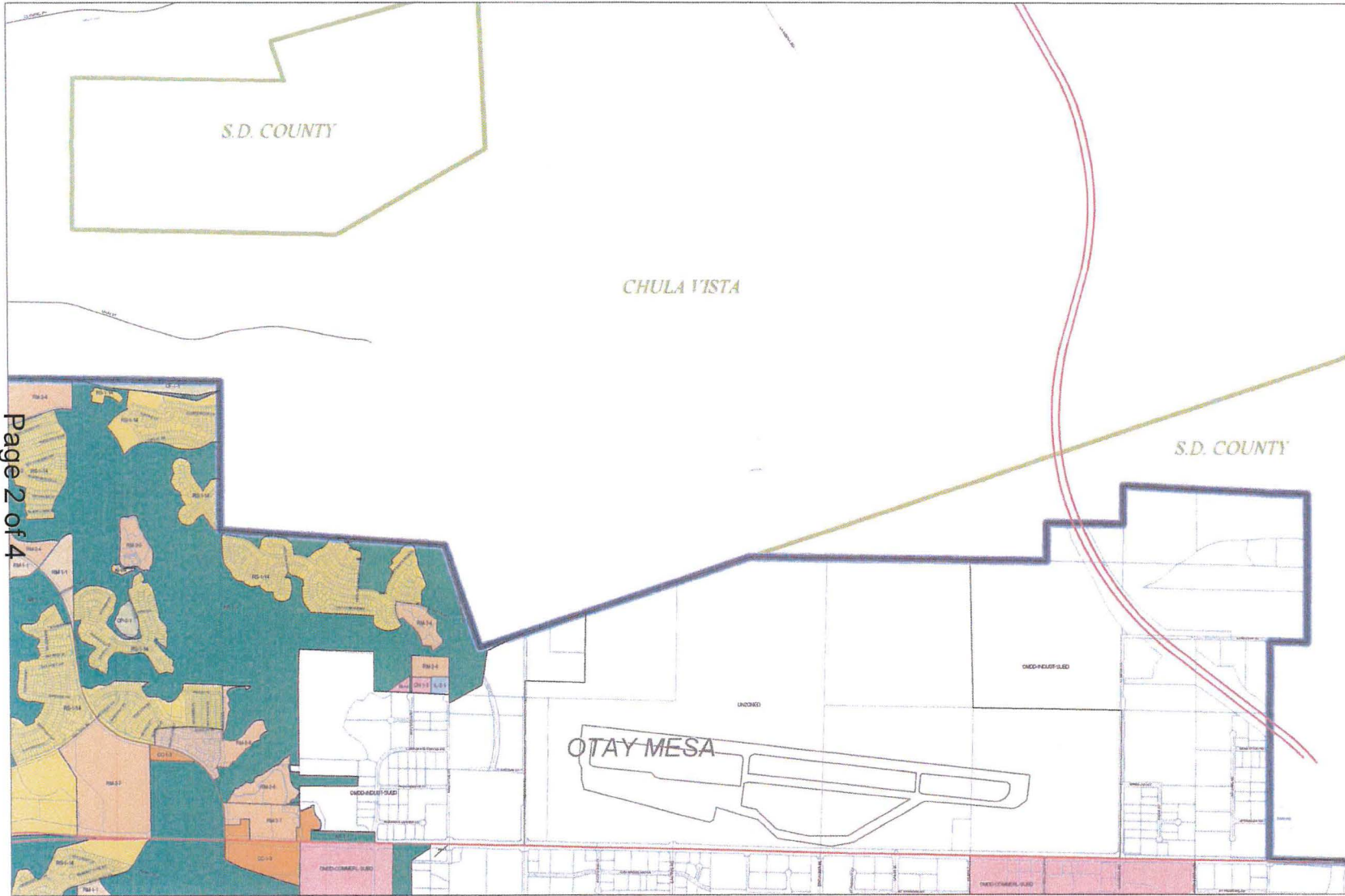
An EMF Report demonstrating compliance will be prepared and submitted with this building permit application.

The requested permit renewal will not be detrimental to the public health, safety and welfare of the site.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The project was been designed to integrate well with the existing building and the surrounding neighborhood its use will not have an adverse effect upon either adjacent or abutting properties and the site will comply with all city codes and regulations.

Official Zoning Map



Legend

- City of San Diego Boundary
- Community Plan Areas
- Parcels

Zoning

ZONE_NAME

- AR-1-1
- AR-1-2
- CC-1-3
- CN-1-2
- IL-2-1
- OF-1-1
- OMDD-COMMERL-SUBD
- OMDD-INDUST-SUBD
- OP-2-1
- RM-1-1
- RM-2-4
- RM-2-5
- RM-2-6
- RM-3-7
- RS-1-14
- UNZONED

Page 2 of 4

Index Map

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				39	40	41		
				35	36	37	38	
				31	32	33	34	
				27	28	29	30	
				21	22	23	24	25
				19	18	20		
				14	15	16	17	
				10	11	12	13	
				9				
				5	6	7	8	
				1	2	3		

ATTACHMENT 12

SanGIS Mapping Accuracy
 SanGIS Layer Data Accuracy: Data for the City of San Diego is based on 10.7 foot ground resolution at the 100% scale. This data meets the NAD83 Standard for Class 1 Map Accuracy at a scale of 1:24,000 (100% scale).
 This information is not intended for use in a vehicle. Landfill sites have not been updated since 2008.

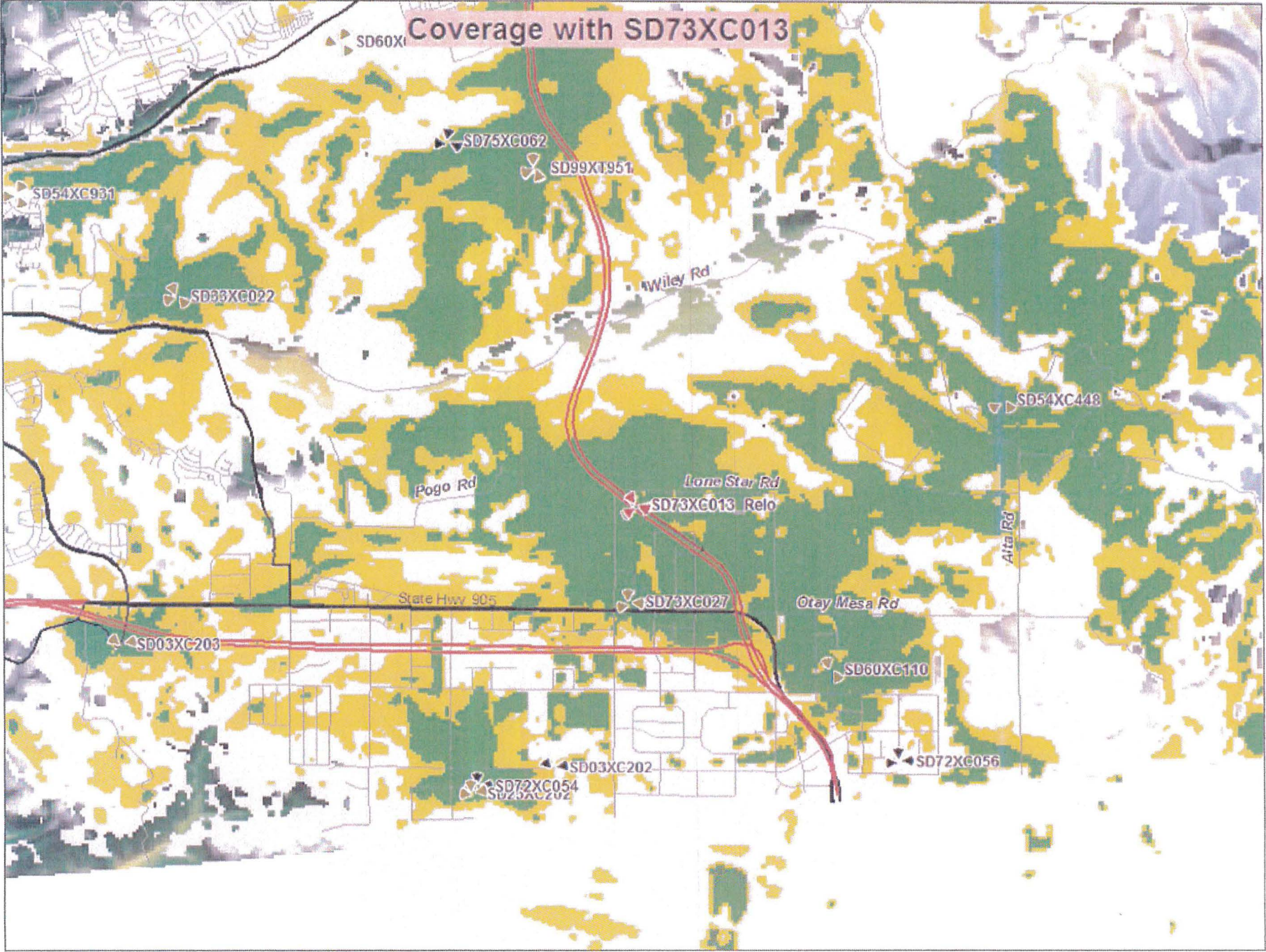
City of San Diego
 This information is not intended for use in a vehicle. Landfill sites have not been updated since 2008.

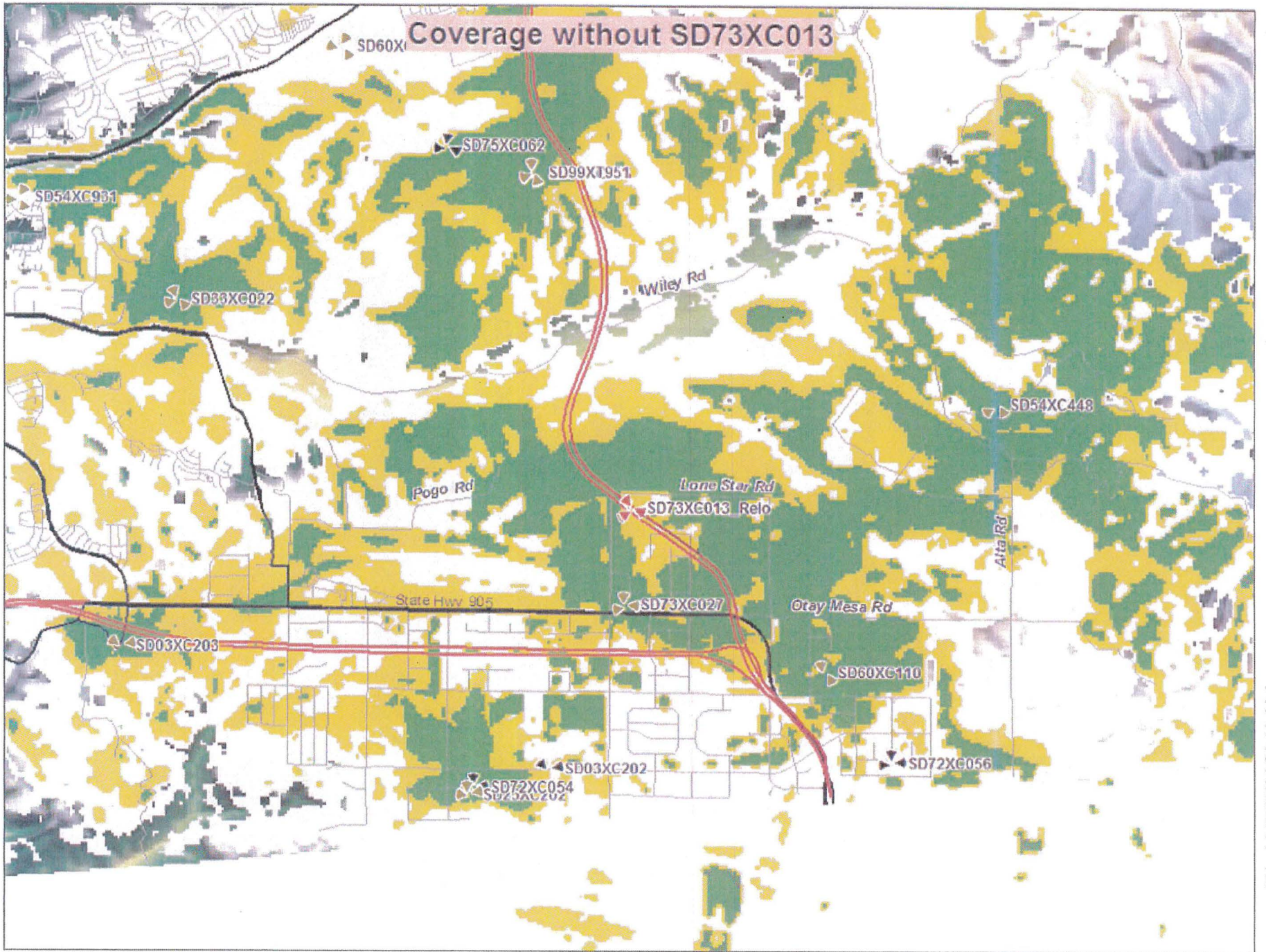


City of San Diego
Development Services Department



GRID TILE: 7
 GRID SCALE: 800
 DATE: 6/10/2009 4:56:40 PM







THE CITY OF SAN DIEGO

DATE OF NOTICE: March 5, 2014

NOTICE OF PUBLIC HEARING

HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	March 19, 2014
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	SITE DEVELOPMENT PERMIT, PROCESS 3
PROJECT NO:	<u>296409</u>
PROJECT NAME:	<u>SPRINT – SOUTHBAY EXPRESSWAY</u>
APPLICANT:	CAITLYN KES, DEPRATTI, INC., AGENTS REPRESENTING SPRINT
COMMUNITY PLAN AREA:	OTAY MESA
COUNCIL DISTRICT:	District 8
CITY PROJECT MANAGER:	Alex Hempton, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5349/ahempton@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of a 55-foot tall monoecalyptus (faux eucalyptus tree) supporting nine (9) panel antennas, with equipment located in a new building. The project is located at 1127 La Media Road.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act on 2/11/2014 and the opportunity to appeal that determination ended 3/4/2014.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003269

Revised 04/08/10 HRD



Together with NEXTEL

NETWORK VISION MMBTS LAUNCH

SOUTH BAY EXPRESSWAY

SD73XC013C

1127 LA MEDIA ROAD,
SAN DIEGO, CA 92154

"I, JOHNOAH D. YU, DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15 (A) OF TITLE 14 OF THE CODE FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED."



DCI PACIFIC

A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

Sprint

Together with NEXTEL

310 COMMERCE, SUITE 250
IRVINE, CA 92602
PHONE: (714) 617-8342
FAX: (714) 368-3501

DEVELOPMENT SUMMARY

PROJECT SCOPE OF WORK:

ZONING FOR A PROPOSED 'SPRINT' UNMANNED TELECOMMUNICATION FACILITY:

- 55'H MONOEUCALYPTUS TREE
- (9) NV ANTENNAS TOTAL
- 18 1900 3RH, TYP.
- (4) OUTDOOR EQUIPMENT CABINETS ON CONCRETE PAD INSIDE PROPOSED 8'H CMU WALL ENCLOSURE
- PROPOSED FIVE (5) LIVE EUCALYPTUS TREES & IRRIGATION INSTALLATION
- PROPOSED ELECTRICAL & TELCO RUN

PROPERTY INFORMATION:

LEGAL DESCRIPTION:
THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 18 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO STATE OF CALIFORNIA ACCORDING TO THE OFFICIAL PLAT THEREOF

ASSESSOR PARCEL NUMBER: 646-070-54-00
PROPOSED 'SPRINT' LEASE AREA: 200 SQ. FT.

BOXED BELOW IS A LIST OF DEVELOPMENT REGULATION DEVIATIONS, AND THE REQUIRED PERMITS/APPROVALS, N/A IF LEFT BLANK:

OWNER:

OWNER: SAN DIEGO ASSOCIATION OF GOVERNMENTS (SANDAG)

ADDRESS: 1127 LA MEDIA ROAD, SAN DIEGO, CA 92154

CONTACT: MICHAEL SCHWARTING, ROADWAY OPERATIONS MANAGER (SR-125)

PHONE: (619) 710-4028

EXISTING WCFs ON SAME PROPERTY:

-NO EXISTING TELECOM CARRIERS ON SITE

BUILDING CODE INFORMATION:

EXISTING BUILDING/STRUCTURE:
OCCUPANCY = N/A
CONSTRUCTION TYPE = N/A
SPRINKLER SYSTEM = N/A
PROPOSED STRUCTURE:
OCCUPANCY = S-2
CONSTRUCTION TYPE = V-B
SPRINKLER SYSTEM = N/A

PROJECT TEAM:

CONSTRUCTION: PAUL HOKENESS
PHONE: (858) 231-8889
SITE ACQUISITION: CAITLYN KES
PHONE: (858) 527-9938
PLANNING: CAITLYN KES
PHONE: (858) 527-9938
ARCHITECT: D.K. DO, RA
PHONE: (949) 475-1000

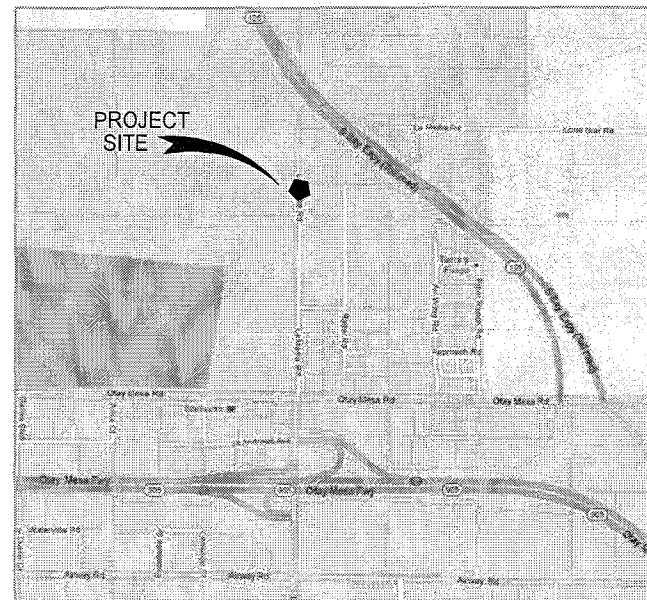
ZONING INFORMATION:

JURISDICTION: CITY OF SAN DIEGO
ZONING DESIGNATION: INDUSTRIAL
EXISTING ZONING NO.: -
LATITUDE: 32° 34.38' 52" N
LONGITUDE: 116° 57.32' 96" W
ELEVATIONS: 517 (FEET) AGL

CODE COMPLIANCE

- | | |
|--|--|
| 1. 2010 CALIFORNIA ADMINISTRATIVE CODE (CAC) | 5. 2010 CALIFORNIA ENERGY CODE |
| 2. 2010 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 | (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS) |
| (2009 EDITION INTRENCRATION BUILDING CODE WITH 2010 CALIFORNIA AMENDMENTS) | 6. 2010 CALIFORNIA FIRE CODE (CFC) |
| 3. 2010 CALIFORNIA ELECTRICAL CODE | (2009 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS) |
| (2008 EDITION NATIONAL ELECTRICAL CODE WITH 2010 CALIFORNIA AMENDMENTS) | 7. 2010 CALIFORNIA GREEN CODE |
| 4. 2010 CALIFORNIA MECHANICAL CODE (CMC) | 8. 2010 CALIFORNIA REFERENCES STANDARDS CODE |
| (2009 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2010 CALIFORNIA AMENDMENTS) | |

VICINITY MAP



DRIVING DIRECTIONS

DEPART FROM SPRINT IRVINE OFFICE:

1. HEAD NORTHWEST ON COMMERCE
 2. TAKE THE 1ST RIGHT TO STAY ON COMMERCE
 3. TURN LEFT ONTO EL CAMINO REAL
 4. TURN LEFT ONTO JAMBOREE RD
 5. TAKE THE RAMP ONTO I-5 S
 6. SLIGHT LEFT ONTO I-805 S
 7. TAKE EXIT 1B TO MERGE ONTO CA-905 E
 8. TAKE EXIT 7 FOR LA MEDIA ROAD
 9. TURN LEFT ONTO LA MEDIA RD
- DESTINATION WILL BE ON THE RIGHT

1127 LA MEDIA RD
SAN DIEGO, CA 92154

APPROVAL	DATE	SIGNATURE
P.M.:		
LANDLORD:		
CONST:		
S/A:		
R.F.:		
ZONING:		
A&E:		
R.F.:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

DRAWING INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET
A1	SITE PLAN AND LESSEE'S CERTIFICATE
A2	EQUIPMENT AND ANTENNA LAYOUT PLAN
A3	ELEVATIONS
D1	MONOEUCALYPTUS SECTION, ANTENNA SPECS & DETAILS
L1	IRRIGATION PLAN
L2	IRRIGATION DETAILS & WATER CALCULATIONS
L3	PLANTING PLAN
LS1	TOPOGRAPHIC SURVEY (1/2)
LS2	TOPOGRAPHIC SURVEY (2/2)
10	TOTAL SHEET

ABBREVIATIONS

A/C	AIR CONDITIONING	CA	GALVE	GALVANIZED	OC	ON CENTER
AGL	ABOVE FINISH GRADE	GALV	GC	GENERAL CONTRACTOR	OD	OUTSIDE DIAMETER
APPROX	APPROXIMATELY	GRND	GYP BD	GYPSTUM WALL BOARD	PLYWD	PLYWOOD
BLDG	BUILDING	HR	HT	HEIGHT	PROJ	PROJECT
BLK	BLOCKING	IN	INT	INTERIOR	PROP	PROPERTY
CLR	CLEAR	INSUL	INT	INTERIOR	R	RADIUS
CONC	CONCRETE	INT	INT	INTERIOR	REQ	REQUIRED
CONST	CONSTRUCTION	INT	INT	INTERIOR	RM	ROOM
CONT	CONTINUOUS	INT	INT	INTERIOR	RO	ROUGH OPENING
DBL	DOUBLE	INT	INT	INTERIOR	SHT	SHEET
DIA	DIAMETER	IN	INCH	INFORMATION	SIM	SIMILAR
DIAG	DIAGONAL	IN	INCH	INFORMATION	SPEC	SPECIFICATION
DN	DOWN	INFO	INFO	INFORMATION	SF	SQUARE FOOT
DET	DETAIL	INSUL	INSUL	INSULATION	SS	STAINLESS STEEL
DWC	DRAWING	INT	INT	INTERIOR	STL	STEEL
E	EXISTING	INT	INT	INTERIOR	STRUCT	STRUCTURAL
EA	EACH	INT	INT	INTERIOR	SUSP	SUSPENDED
ELEV	ELEVATION	INT	INT	INTERIOR	THRU	THROUGH
ELEC	ELECTRICAL	INT	INT	INTERIOR	T.O.	TOP OF
EQ	EQUAL	INT	INT	INTERIOR	TYP	TYPICAL
EQUIP	EQUIPMENT	INT	INT	INTERIOR	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	INT	INT	INTERIOR	VERT	VERTICAL
FIN	FINISH	INT	INT	INTERIOR	VIF	VERIFY IN FIELD
FLUOR	FLUORESCENT	INT	INT	INTERIOR	W/	WITH
FLR	FLOOR	INT	INT	INTERIOR	W/O	WITHOUT
FT	FOOT	INT	INT	INTERIOR	WP	WATER PROOF
		INT	INT	INTERIOR		
		NTS	NTS	NOT TO SCALE		

APPLICANT INFORMATION

APPLICANT:

SPRINT
310 COMMERCE, #250
IRVINE, CA 92602
CONTACT: STEPHEN DEMARS
PHONE: (760) 250-3706
FAX: (858) 650-4202

ARCHITECT:

DCI PACIFIC
32 EXECUTIVE PARK, SUITE 110
IRVINE, CA 92614
CONTACT: D.K. DO, RA
PHONE: (949) 475-1000
FAX: (949) 475-1001
E-MAIL: DK@DCIPACIFIC.COM
CONTACT: JOHNOAH D. YU, RA
PHONE: (949) 475-1000 EXT 112
FAX: (949) 475-1001
E-MAIL: BOK@DCIPACIFIC.COM

SITE ACQUISITION:

DEPRATTI INC.
13948 CALLE BUENO CANAR
JAMUL, CA 91935
CONTACT: SEE PROJECT TEAM FOR INFO.
PHONE: (619) 726-8110

PROJECT IDENTIFICATION:

SOUTH BAY EXPRESSWAY
SD73XC013C

1127 LA MEDIA ROAD,
SAN DIEGO, CA 92154

CURRENT ISSUE DATE:

01/02/14

ISSUED FOR:

100% ZD

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

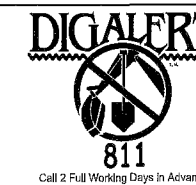
DRAWN BY:	CHK:	APV:
JGD	BOK	DKD

ISSUE STATUS:

DATE:	DESCRIPTION:	BY:
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08/05/13	REVISED PER NEW SURVEY	JGD
11/13/13	RELOCATE LEASE AREA	JGD
01/02/14	REV PER CYCLCE ISSUE 13	JGD

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T1
ISSUE LEVEL:
SOUTH BAY
SD73XC013C



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RF		
CM		

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JGD	BOK	DKD

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---	01/02/14	REV PER CYCLOE ISSUE 13	JGD

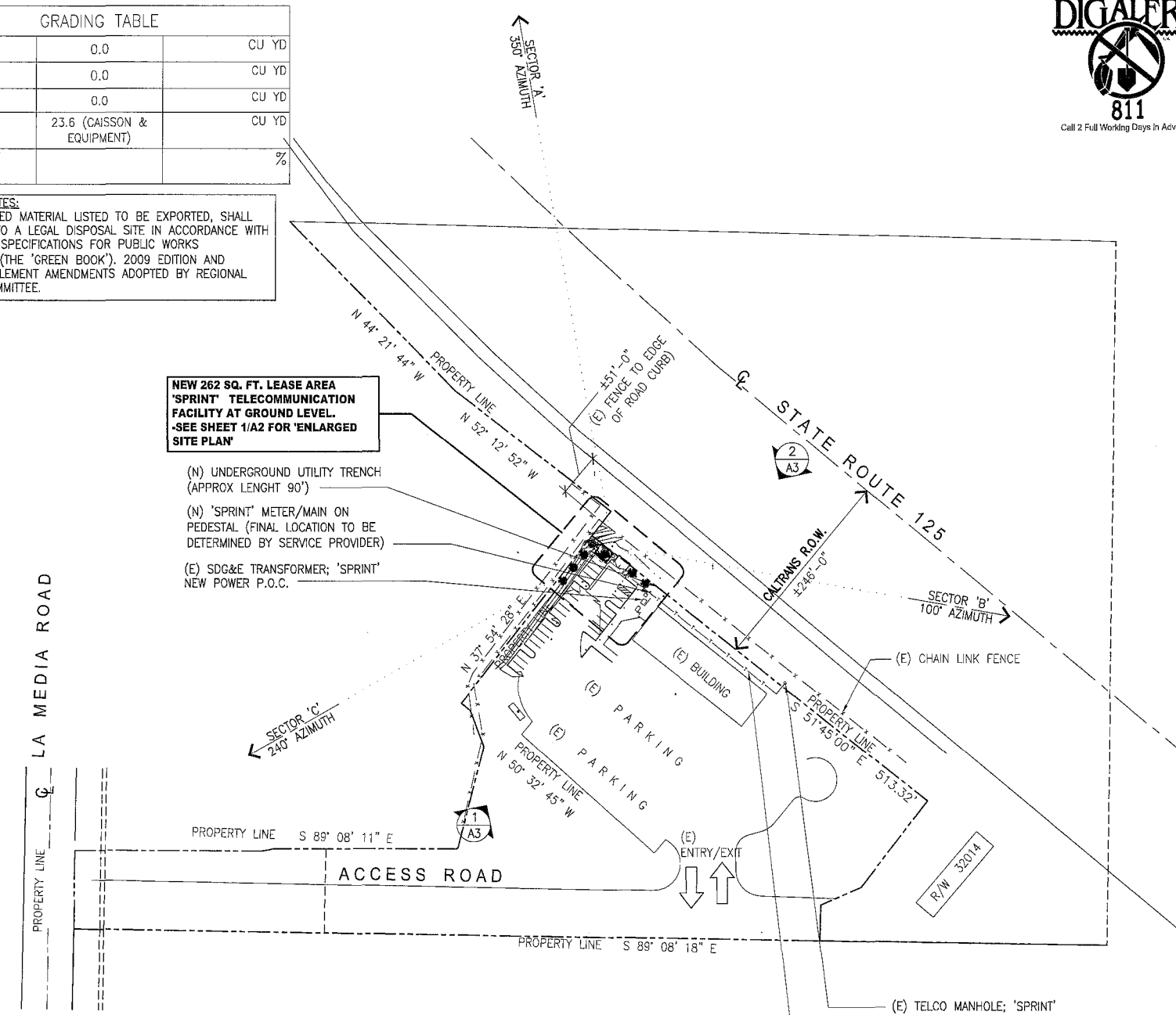
SHEET TITLE:
**SITE PLAN AND
LESSEE'S CERTIFICATE**

SHEET NUMBER:	ISSUE LEVEL:
A1	SOUTH BAY SD73XC13C

CUT	0.0	CU YD
FILL	0.0	CU YD
IMPORT	0.0	CU YD
EXPORT	23.6 (CAISSON & EQUIPMENT)	CU YD
% OF CUT		%

EXCAVATION NOTES:
1. ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED, SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE 'GREEN BOOK'), 2009 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.

LA MEDIA ROAD



**NEW 262 SQ. FT. LEASE AREA
'SPRINT' TELECOMMUNICATION
FACILITY AT GROUND LEVEL.
-SEE SHEET 1/A2 FOR 'ENLARGED
SITE PLAN'**

- (N) UNDERGROUND UTILITY TRENCH (APPROX LENGTH 90')
- (N) 'SPRINT' METER/MAIN ON PEDESTAL (FINAL LOCATION TO BE DETERMINED BY SERVICE PROVIDER)
- (E) SDG&E TRANSFORMER; 'SPRINT' NEW POWER P.O.C.

**Lessee's Certificate
Standard Wireless Facility Project
for Post-construction BMP's**

I, we the undersigned, as lessee of a portion of the property described as
1127 LA MEDIA RD., SAN DIEGO, CA 92154
(Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Fish & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into this site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee STEPHEN DEMARS Company Name SPRINT
(print name)

Lessee [Signature] Date 08/15/11
(signature)

NOTES:

- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
- THE PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPALITY CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCLP). THE WPCLP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

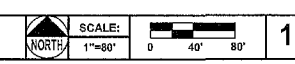
NOTE: NO EXISTING TELECOM CARRIERS ARE ON SITE.

'SPRINT' TRANSMITTER FREQUENCIES AND POWER LEVELS:
TRANSMIT-851-860, 935-940, 1990-1995 MHz BAND WIDTH
RECEIVE-805-824, 896-901, 1910-1915 MHz BAND WIDTH
ERP-100 WATTS MAX

GENERAL CONSTRUCTION NOTES:

- THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT, AS SHOWN ON THE SITE PLAN, IS PRIVATE AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPALITY CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

SITE PLAN AND LESSEE'S CERTIFICATE



1

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A/E/C WORKS

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32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | F 949 475.1001

Sprint
Together with NEXTEL

310 COMMERCE, SUITE 250
IRVINE, CA 92602
PHONE: (714) 617-9342
FAX: (714) 388-3501

PROJECT IDENTIFICATION:
**SOUTH BAY EXPRESSWAY
SD73XC013C**

1127 LA MEDIA ROAD,
SAN DIEGO, CA 92154

CURRENT ISSUE DATE:
01/02/14

ISSUED FOR:
100% ZD

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
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LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
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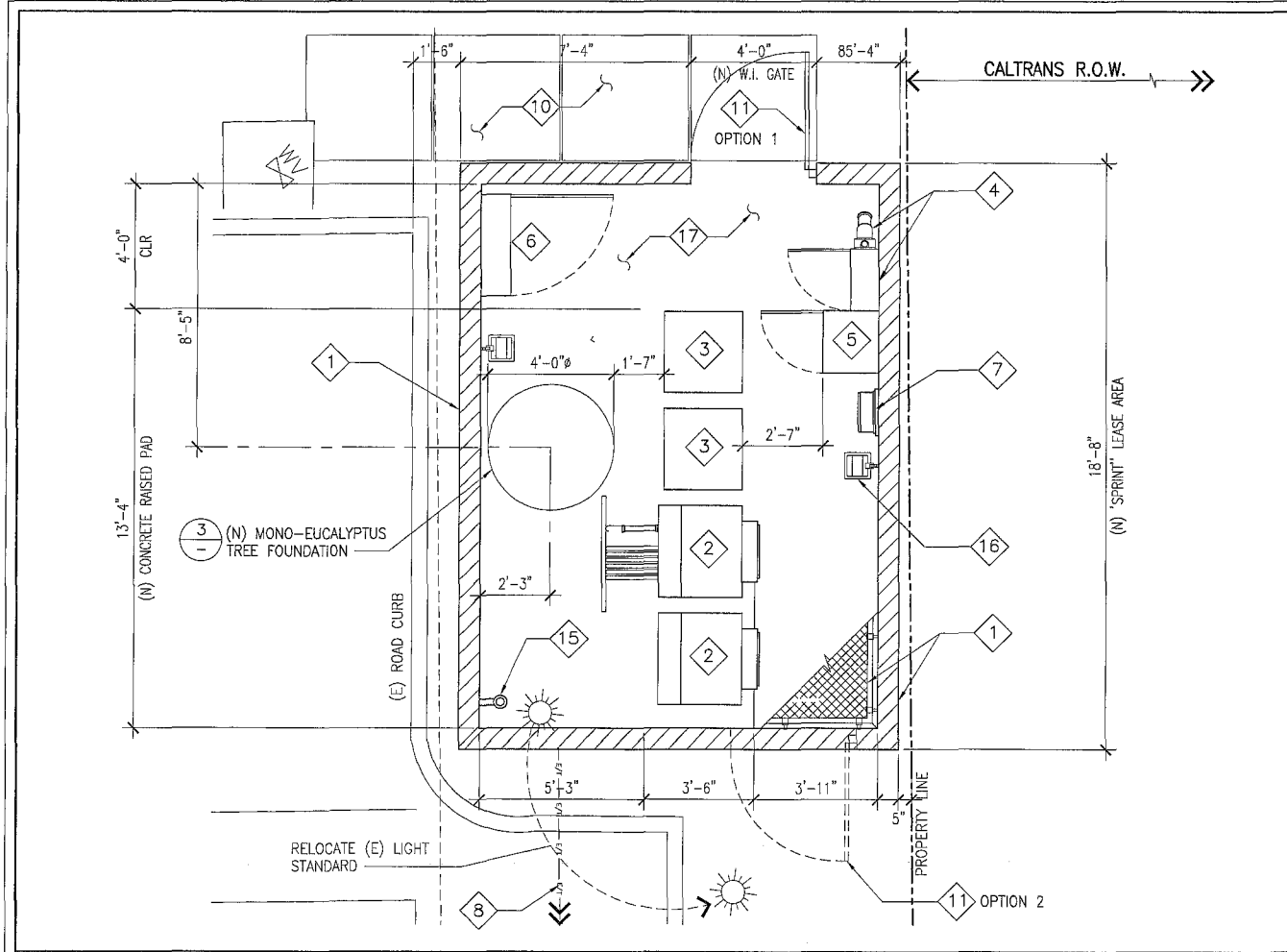
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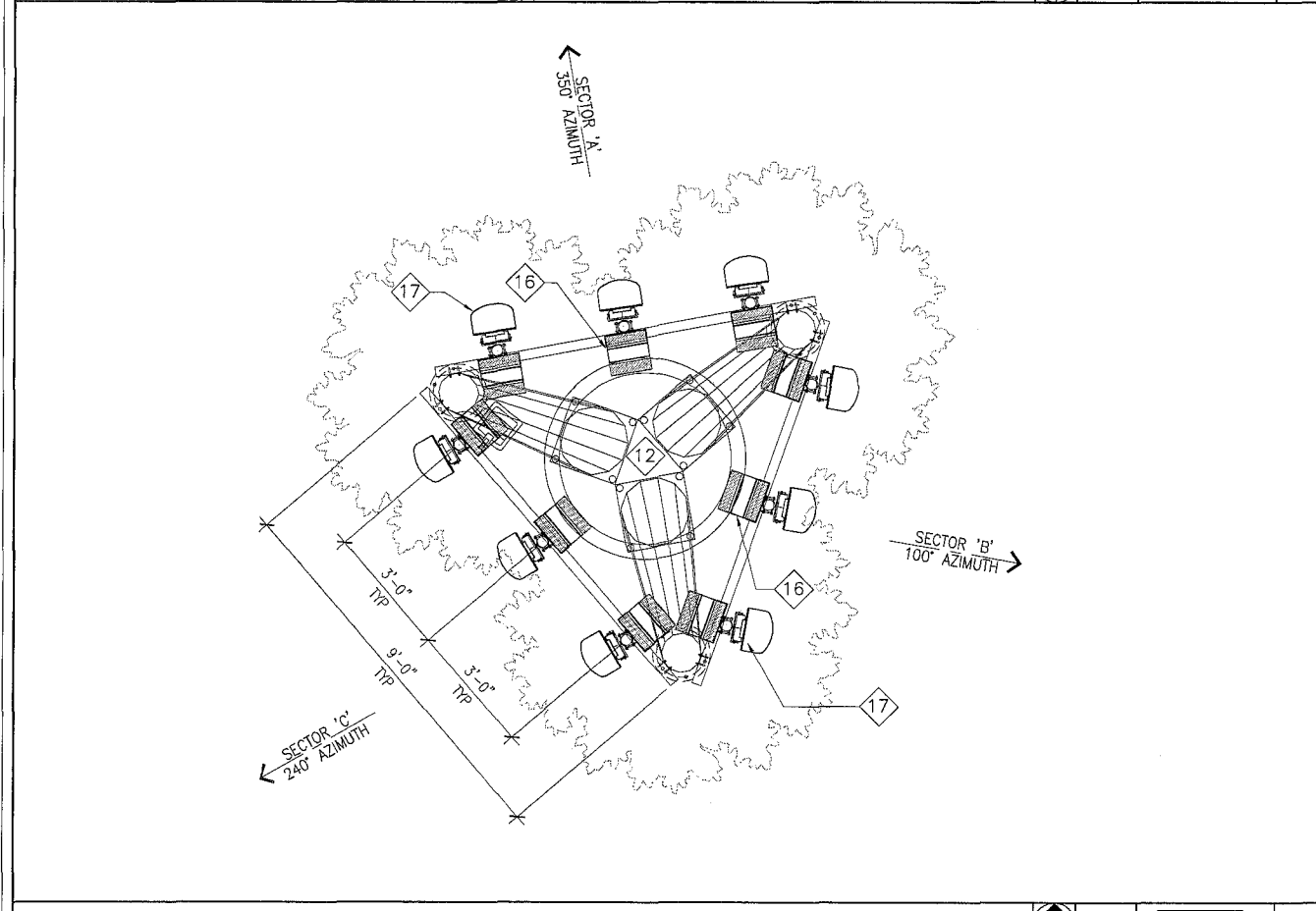
SHEET TITLE:
**EQUIPMENT AND ANTENNA
LAYOUT PLANS**

SHEET NUMBER:
A2

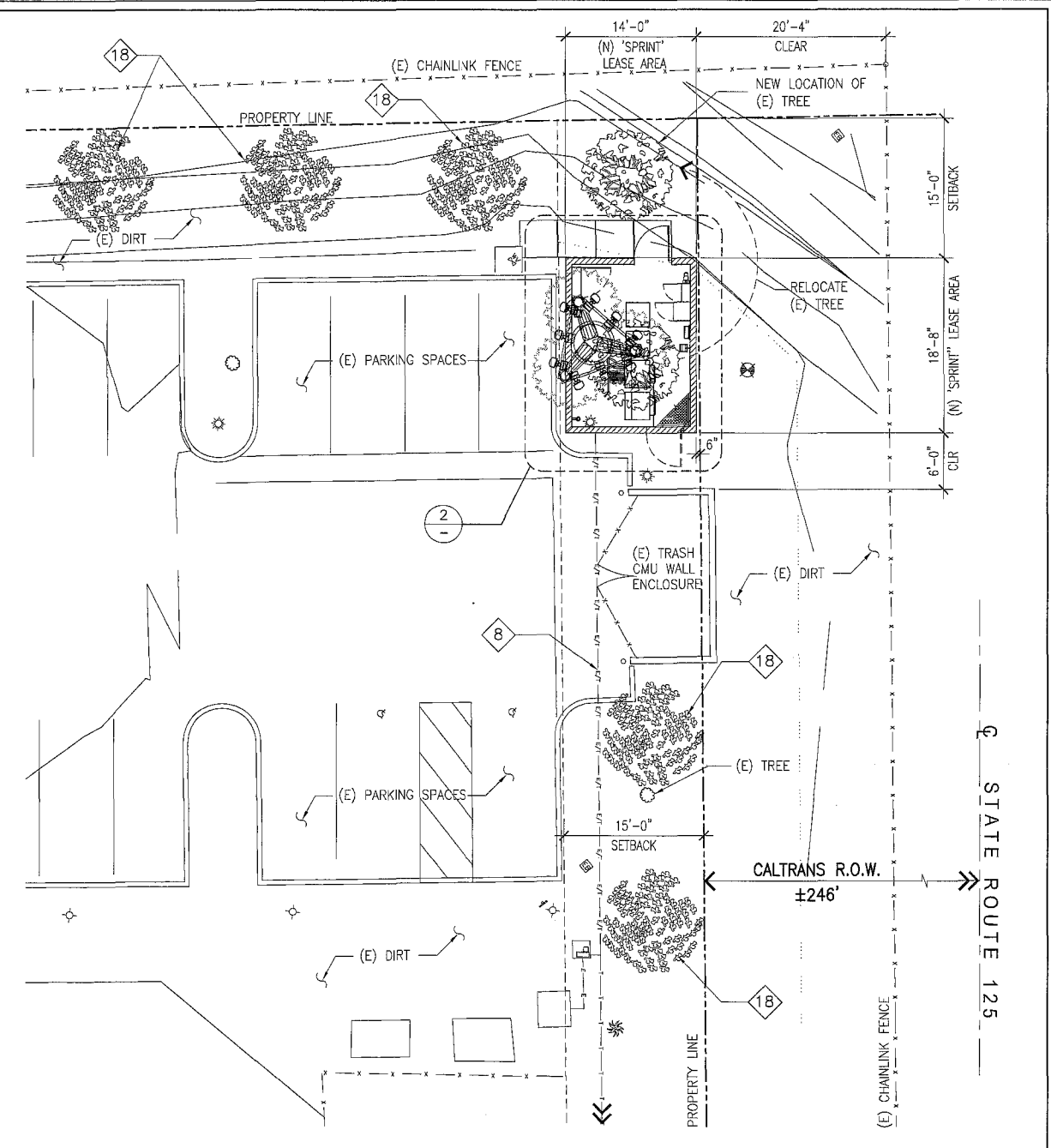
ISSUE LEVEL:
SOUTH BAY
SD73XC13C



EQUIPMENT LAYOUT PLAN SCALE: 3/8"=1'-0" 0 16' 32' **2**



ANTENNA LAYOUT PLAN SCALE: 1/2"=1'-0" 0 1' 2' **3**



KEYNOTES:

1 (N) 8'-0"H CMU WALL ENCLOSURE (SPLIT-FACE) WITH CHAINLINK FENCE LID	12 (N) 55'-0"H MONO-EUCALYPTUS TREE
2 (N) 9928 MMBT'S EQUIPMENT CABINET	13 (N) (2) 1900 RRH PER ANTENNA, 18 RRH TOTAL
3 (N) 60ECV2 BATTERY CABINET	14 (N) 6FT NV ANTENNAS, MOUNTED ON 45'-0"H RAD CENTER, 3 ANTENNAS PER SECTOR, 9 ANTENNAS TOTAL. -TYP.
4 (N) POWER PROTECTION CABINET WITH BUILT-IN EGR MOUNTED ON WALL.	15 (N) GPS ANTENNA MOUNTED ON CLEAR TOP CHAINLINK FENCE LID
5 (N) TELCO CABINET	16 (N) SERVICE LIGHTS, 3 TOTAL.
6 (N) POWER/FIBER JUNCTION BOX	17 (N) CONCRETE SLAB
7 (N) FIBER SPOOL BOX	18 (N) FIVE (5) LIVE EUCALYPTUS TREES -SEE LANDSCAPE DWGS
8 (N) U/G COMBINED UTILITY POWER & TELCO CONDUIT RUN	NOTES:
9 NOT IN USED	1. ALL LIVE EUCALYPTUS TREES WILL ONLY BE ABOUT 10'-12'H AT TIME OF PLANTING.
10 (N) CONCRETE PAVEMENT	2. FINAL LOCATION OF ALL LIVE EUCALYPTUS TREES SHALL AVOID ANTENNA'S DIRECT AZIMUTH PATH AND SHALL COORDINATE WITH SPRINT'S CONSTRUCTION MANAGER PRIOR TO PLANTING.
11 (N) 4'W CORRUGATED METAL GATE, COLOR TO MATCH CMU WALL	

ENLARGED SITE PLAN SCALE: 1/8"=1'-0" 0 2' 4' 8' **1**

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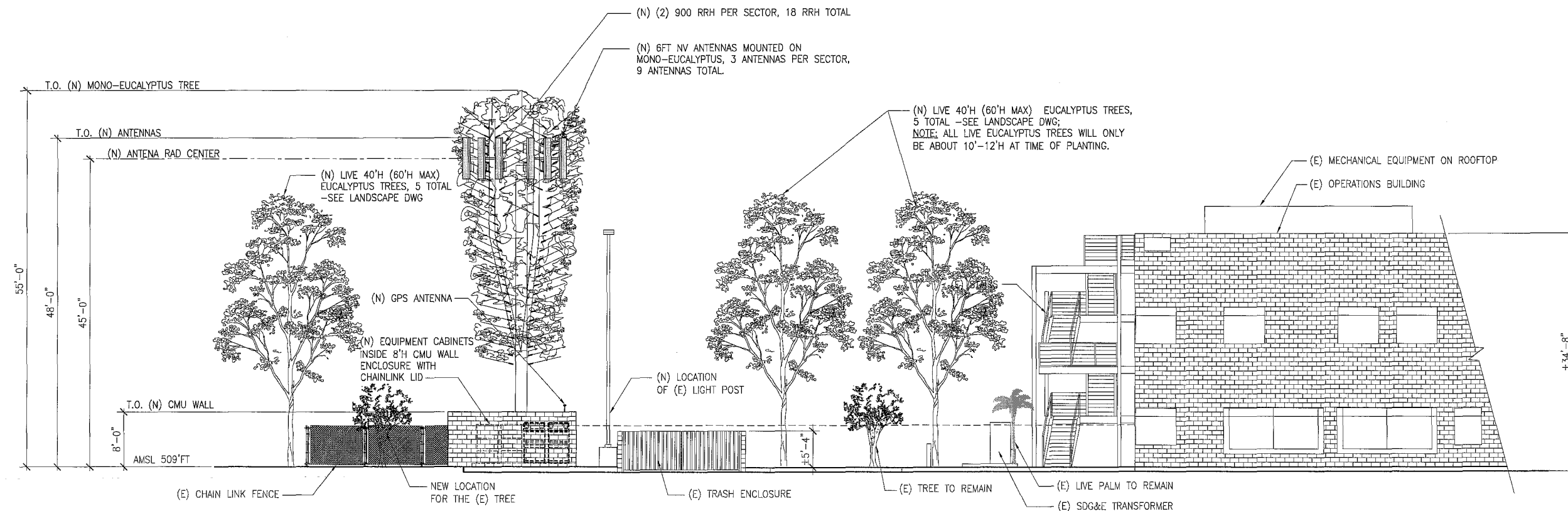
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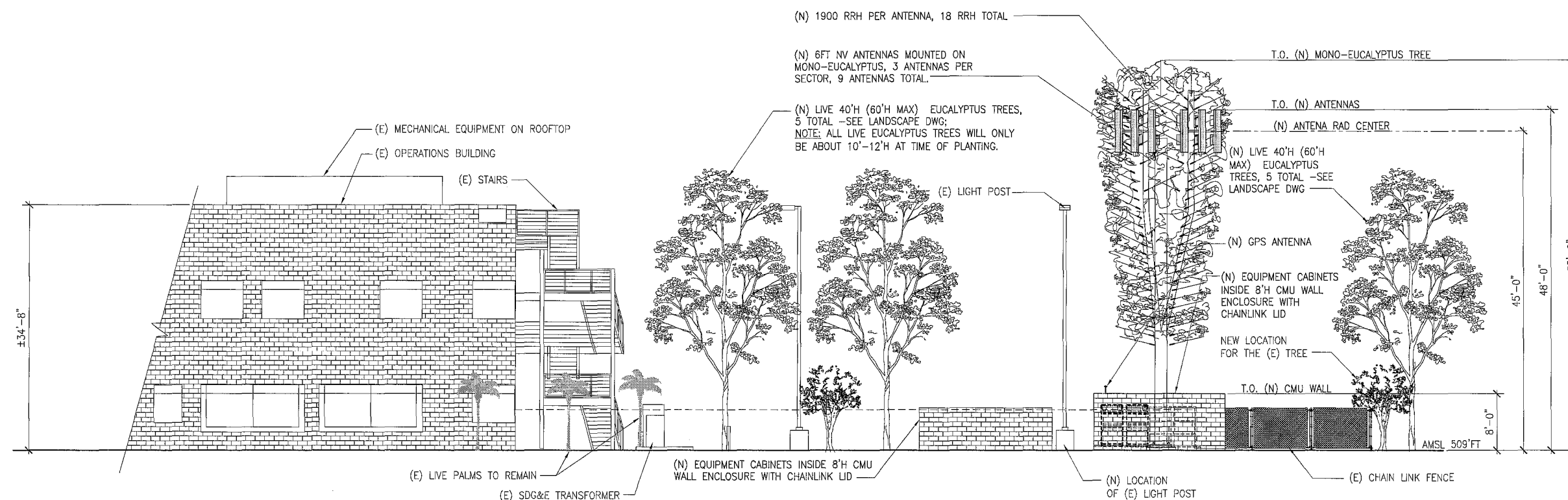
SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A3
ISSUE LEVEL:
SOUTH BAY
SD73XC13C



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1



NORTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 2

DCI PACIFIC

A/E/C WORKS

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08/05/13	REVISED PER NEW SURVEY	JGD
11/13/13	RELOCATE LEASE AREA	JGD
01/02/14	REV PER CYCLCE ISSUE 13	JGD

SHEET TITLE:
IRRIGATION PLAN

SHEET NUMBER:
L1
ISSUE LEVEL:
SOUTH BAY
SD73XC13C

IRRIGATION NOTES

THE DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS AS NECESSARY.

DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVES PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.

INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL LOCAL CITY AND COUNTY REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.

THE SYSTEM IS DESIGN FOR A MINIMUM OPERATING PRESSURE OF 65 PSI. THE MAXIMUM DEMAND OF GALLONS PER MINUTE IS 3. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE ON THE SITE PRIOR TO THE START OF INSTALLATION.

THE ACTUAL LOCATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNERS AUTHORIZED REPRESENTATIVE.

110 V. ELECTRICAL POWER SOURCE TO BE PROVIDED BY OTHERS TO THE LOCATION FOR THE AUTOMATIC CONTROLLER. IRRIGATION CONTRACTOR TO BE RESPONSIBLE FOR THE FINAL CONNECTION TO THE EQUIPMENT.

ALL QUICK COUPLERS VALVES ARE TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHENEVER POSSIBLE AND WITHIN 18" OF THE HARDSCAPE. ALL QUICK COUPLER VALVES SHALL BE INSTALLED IN A 10" DIAM. GREEN PLASTIC VALVE BOX.

ALL VALVE BOX COVERS ARE TO BE LABELED WITH 1" HEAT BRANDED LETTERS: "Q.C." FOR QUICK COUPLERS, "G.V." FOR GATE VALVES AND I.V.C. AND STATION NO. FOR CONTROL VALVES.

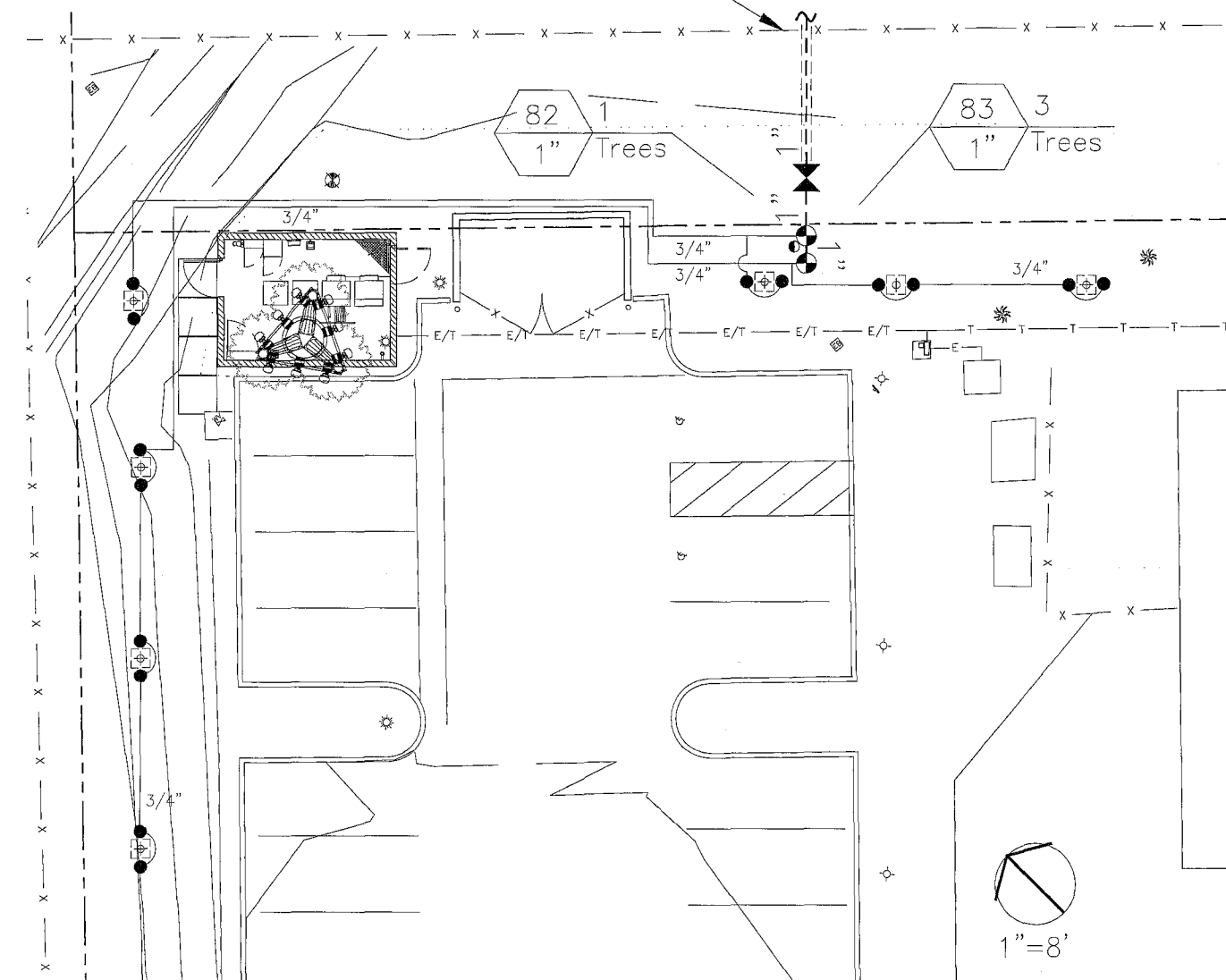
CONTRACTOR SHALL INSTALL ANTI-DRAINAGE DEVICES FOR ALL LOW HEADS TO PREVENT LOW HEAD DRAINAGE AND POSSIBLE SOIL EROSION.

THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF POSSIBLE ON-SITE INSPECTIONS.

THE CONTRACTOR SHALL PROVIDE TO THE OWNER'S REP AND/OR CITY REP., UPON THE COMPLETION OF THE JOB A SET OF REPRODUCIBLE AS-BUILT DRAWINGS, WHICH SHALL BE VERIFIED FOR ACCURACY AT THE TIME OF THE FINAL JOB WALK-THROUGH.

THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTIED IN WRITING FOR A PERIOD OF (1) YEAR. ANY DEFECTIVE EQUIPMENT, MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

POINT OF CONNECTION:
CONTRACTOR TO TIE THESE (2) NEW VALVES INTO THE EXISTING EXPRESSWAY R.O.W. LANDSCAPE IRRIGATION SYSTEM AND EXTEND MAINLINE TO NEW VALVES AS INDICATED. LOCATE VALVES IN SHRUB AREA.
STATIC PRESSURE: 65 PSI
DESIGN PRESSURE: 45 PSI
MAXIMUM DEMAND: 3 GPM



IRRIGATION PLAN

IRRIGATION LEGEND

SYMBOL	MFG.	MODEL NO.	DESCRIPTION	RAD.	GPM.	PSI	DET.	REF.
●	RAINBIRD	1401	FLOOD BUBBLER	-	0.25	30	E	
○	RAINBIRD	33NP	3/4" QUICK COUPLING VALVE.				F	
⊕	HUNTER	ICV100-R	1" RECLAIMED WATER REMOTE CONTROL VALVE WITH HUNTER D-100 OR D-200 DECODER AS NECESSARY				B	
⊗	NIBCO	T-580	LINE-SIZE BALL VALVE.				C	
---	PVC SCH 40 FOR PIPES 1-1/2" AND SMALLER, PVC CLASS 315 FOR PIPES 2" AND LARGER. PRESSURE MAINLINE -18" DEEP.						D	
----	PVC CLASS 200 NON-PRESSURE LATERAL LINE. 12" DEEP. SIZE NOTED.						D	
----	PVC SCH 40 WIRE AND PIPE SLEEVES.						H	
GPM PLANT SIZE	CALLOUT	IRRIGATION LATERAL	BUBBLERS, PLACE AT OPPOSITE SIDES OF ROOTBALL 2 PER TREE	TREE TRUNK	ROOTBALL			

NOTE:
DISCONNECT THESE TWO EXISTING TREES FROM THE ONSITE POTABLE WATER SOURCE AND RECONNECT AS INDICATED TO THE RECLAIMED WATER SOURCE COMING FROM THE SOUTHBAY EXPRESSWAY ROW IRRIGATION SYSTEM.



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SEE SHEET L2 FOR IRRIGATION DETAILS & WATER CALCULATIONS
SEE SHEET L3 FOR PLANTING PLAN

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PROJECT IDENTIFICATION:

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SD73XC013C**

1127 LA MEDIA ROAD,
SAN DIEGO, CA 92154

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01/02/14

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APPROVED BY:	INITIALS:	DATE:
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LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APV:
JGD	BOK	DKD

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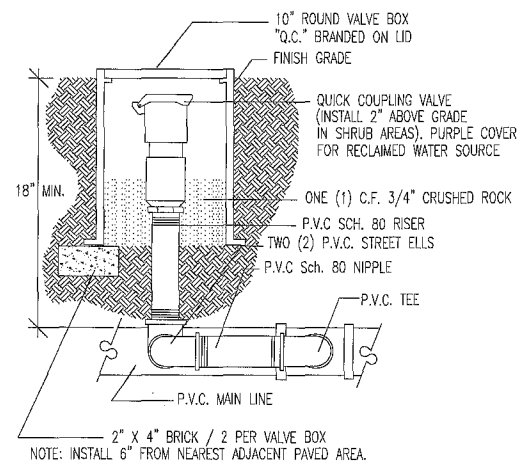
SHEET TITLE:

**IRRIGATION DETAILS & WATER
CALCULATIONS**

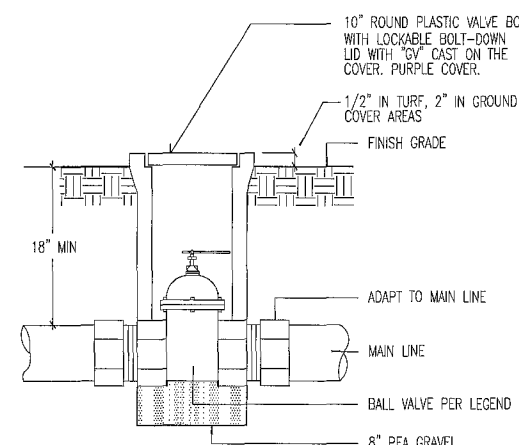
SHEET NUMBER: ISSUE LEVEL:

L2

SOUTH BAY
SD73XC13C



F QUICK COUPLER



C BALL VALVE

A NOT USED

SECTION A: HYDROZONE INFORMATION TABLE

Provide the Square Footage of Landscape Area per Hydrozone

Hydrozone	Zone or Valve	Irrigation Method	Area (s.f.)	% of Landscape Area
LW	82	B	26	62
MW	83	B	16	38
			42	100

SECTION B: WATER BUDGET CALCULATIONS

SECTION B1: MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

The project's Maximum Applied Water Allowance shall be calculated using this equation:

$$MAWA = ETo (0.62) [(0.7 \times LA) + (0.3 \times SLA)]$$

$$MAWA = 46.5 (0.62) [(0.7 \times 42) + (0.3 \times 0)]$$

$$MAWA = (28.83) (29.4)$$

$$MAWA = 847 \text{ GALLONS PER YEAR}$$

SECTION B2: ESTIMATED TOTAL WATER USE (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = ETo (0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

$$ETWU = 46.5 (0.62) \left(\frac{0.2 \times 26 + 0}{0.71} \right)$$

$$ETWU = (28.83) (7.32)$$

$$ETWU = 211 \text{ GALLONS PER YEAR (HYDROZONE 1)}$$

$$ETWU = ETo (0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

$$ETWU = 46.5 (0.62) \left(\frac{0.6 \times 16 + 0}{0.71} \right)$$

$$ETWU = (28.83) (13.52)$$

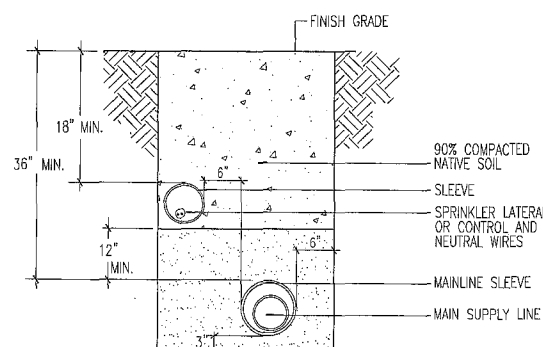
$$ETWU = 390 \text{ GALLONS PER YEAR (HYDROZONE 2)}$$

$$ETWU = 601 \text{ GALLONS PER YEAR (HYDROZONES 1 \& 2)}$$

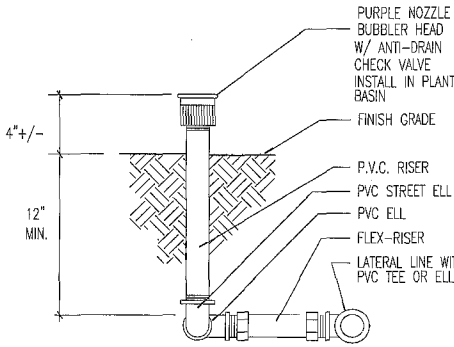
G NOT USED

D TRENCHING

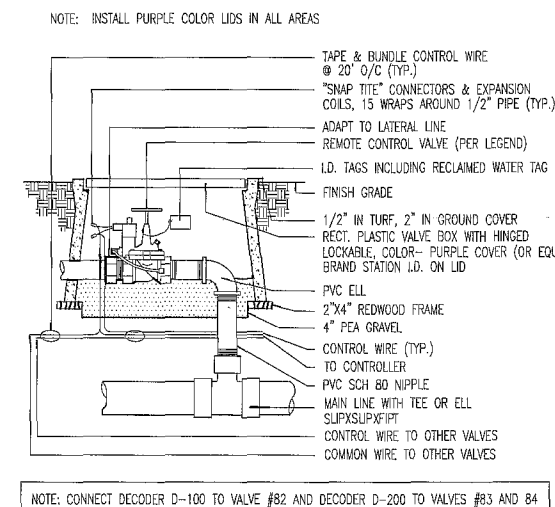
B REMOTE CONTROL VALVE



H SLEEVING



E BUBBLER ON RISER



NOTE: CONNECT DECODER D-100 TO VALVE #82 AND DECODER D-200 TO VALVES #83 AND #84

DIGALERT

DIAL BEFORE YOU DIG
TOLL FREE
TWO WORKING DAYS BEFORE YOU DIG
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT
1-800-227-2600



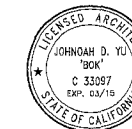
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billshapton@hotmail.com

SEE SHEET L1 FOR IRRIGATION PLAN
SEE SHEET L3 FOR PLANTING PLAN

K WATER CALCULATIONS

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SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:
L3
ISSUE LEVEL:
SOUTH BAY
SD73XC13C

PLANTING NOTES

SOIL TEST

AFTER SOIL HAS BEEN SET IN PLACE & PRIOR TO ANY SOIL PREPARATION, THE CONTRACTOR SHALL FURNISH SOIL TESTS OF THE SITE FOR AGRICULTURAL FERTILITY AND TO DETERMINE PROPER SOIL AMMENDMENTS. TEST ARE TO BE PERFORMED BY A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES WITH COPIES SENT TO THE OWNER & LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.

SOIL PREPARATION

THE FOLLOWING IS PROVIDED FOR BID PURPOSES ONLY AND SHALL BE MODIFIED AS NECESSARY GIVEN THE RESULTS OF THE SOILS TEST. THE CONTRACTOR SHALL BE PREPARED TO PROVIDE DELIVERY SLIPS AND EMPTY FERTILIZER BAGS ON SITE FOR VERIFICATION OF MATERIAL.

1. BACKFILL MIX FOR USE OF PLANTING ALL TREES:

- 6 PARTS BY VOLUME ON SITE SOIL.
- 4 PARTS BY VOLUME ORGANIC AMMENDMENT.
- 1 LB. 12-12-12 COMMERCIAL FERTILIZER PER CUBIC YARD.
- 1 LB. IRON SULFATE PER CU. YD. OF MIX.

2. PLANT TABLET FOR ALL TREES:

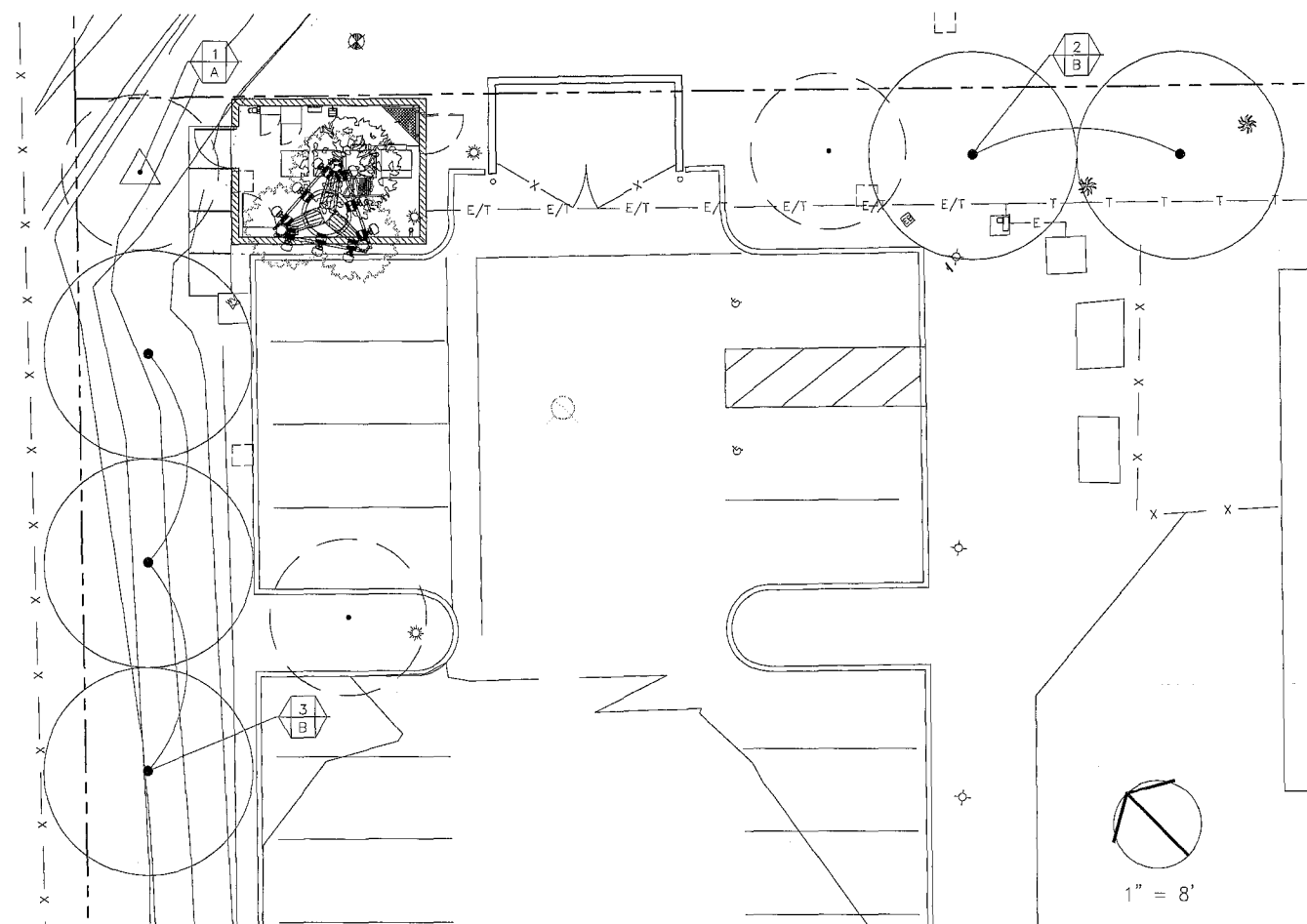
- 1--21 GRAM AGRIFORM FERTILIZER PER 1/2" TREE CALIPER FOR ALL BOX SIZED TREE NEXT TO ROOT BALL

TOP DRESSING

ALL SHRUBS AND GROUND COVER AREAS ARE TO BE TOP DRESSED WITH 2" THICK LAYER OF SHREDDED TREE BARK

CITY OF SAN DIEGO STANDARD LANDSCAPE NOTES:

1. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT. THE TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO ITS MATURE HEIGHT AND SPREAD.
2. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
3. ANY REQUIRED PLANTING THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL SHOWN ON THE APPROVED PLAN.
4. REQUIRED SHRUBS OR TREES THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15-GALLON SIZE OR 60-INCH BOX SIZE/15 FOOT BTH MATERIAL, RESPECTIVELY. DEVELOPMENT SERVICES MAY AUTHORIZE ADJUSTMENT OF THE SIZE AND QUANTITY OF REPLACEMENT MATERIAL.

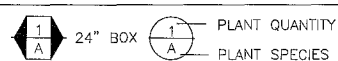


PLANTING PLAN

PLANT MATERIAL LEGEND

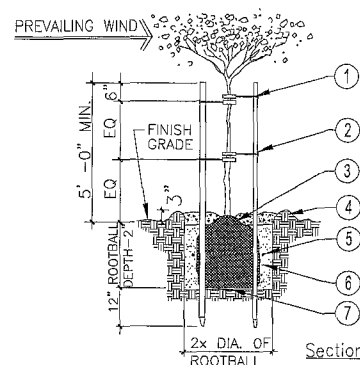
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE HGT & SPRD	CONTAINER SIZE	PLANT SPACING	PLNTG DETAIL	FACTOR WUCOLS REGION 3	REMARKS
(•)	-	-	EXISTING PODOCARPUS TREE TO REMAIN	-	-	-	-	-	-	PROTECT IN PLACE
(△)	A	1	EXISTING PODOCARPUS TREE TO BE RELOCATED	-	-	-	-	-	-	SEE ARCHITECT'S DRAWING, SHEET A1
(□)	B	5	EUCALYPTUS POLYANTHEMOS	SILVER DOLLAR GUM	40'-60' X 35'-40'	24" BOX	AS SHOWN	P1	L	10'-12' TALL X 4'-5' SPRD AT TIME OF PLANTING SEE PLANTING NOTES & DETAIL ON SHEET L4

SIZING LEGEND



LEGEND:

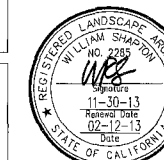
1. "V.I.T. Cinch Tie" Tree Tie (4) required. Secure to stake per manufacturer's recommendation. Place below branching yoke of tree
2. Lodgepole pine stakes; copper naphthenate impregnated. 2-1/2" diam. x 12' for 36" box and smaller
3. Set top of rootball 2" above finish grade. Install 1" deep layer of decomposed granite. Hold 2" back from trunk.
4. 3" high water basin. Remove once plant is established.
5. Fertilizer tablets
6. Amended backfill mix
7. Soil mantle - compacted backfill to adjust crown height, roughen surface

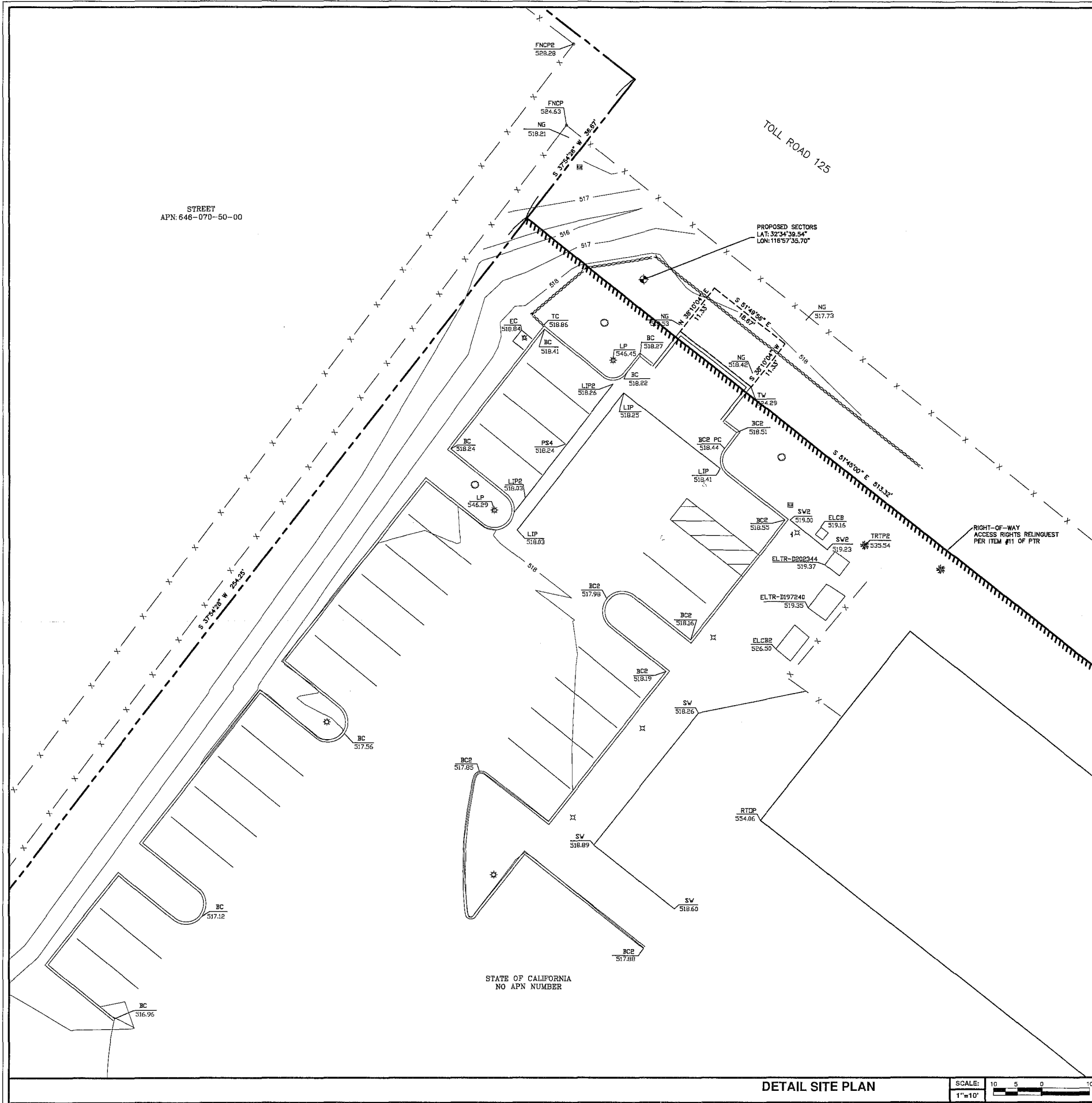


P1 TREE PLANTING/STAKING DETAIL

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billshapton@hotmail.com

SEE SHEET L-1 FOR IRRIGATION PLAN
SEE SHEET L-2 FOR IRRIGATION DETAILS & WATER CALCULATIONS





LEGEND

These standard symbols will be found in the drawing.

	ELECTRICAL BOX
	HANDICAP PARKING
	LIGHT POLE
	LIGHT GROUND
	LIGHT POLE W/ARM
	SIGN
	PANEL ANTENNA
	TREE DECIDUOUS
	TREE PALM
	WATER VALVE
	PROPOSED SECTORS
	EDGE OF ROCKS
	BOTTOM OF CURB
	EDGE OF CONCRETE
	ELECTRICAL CABINET
	ELECTRICAL TRANSFORMER
	EDGE OF ROCK LANDSCAPING
	FENCE TOP
	LIP OF GUTTER
	LIGHT POLE TOP
	GROUND SPOT ELEVATION
	PAINT STRIPING
	ROOF TOP
	SIDEWALK
	TOP OF CURB
	TREE TOP PALM
	WALL TOP
	BOUNDARY LINE
	CENTERLINE
	MISC. PROPERTY LINE
	MISC. TIE LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	FENCE LINE

LEGEND

1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.

2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.

3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.

4) Field survey completed on JUNE 25, 2013.

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LICENSURE: _____ ARCHITECT: _____

FLOYD SURVEYING
2521 GREEN RIVER RD.
STE 105-202
CORONA, CA 92882
CELL: (949) 200-0826
EMAIL: fs@floydsurveying.com

LICENSURE: _____ CONSULTANT: _____

CONSULTANT

Sprint Together with NEXTEL

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ISSUE	DATE	DESCRIPTION	BY
0	5/28/13	ZONING DRAWING	DAF
1	8/02/13	TITLE REVIEW	DAF
2	11/05/13	REVISED TITLE REVIEW	DAF

DSA STAMP:

DRAWN BY: _____ CHK.: _____ APV.: _____

DAF	DAF	DAF
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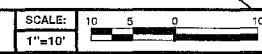
SHEET TITLE:

SITE SURVEY
GENERAL INFORMATION

SHEET NUMBER: _____

LS2

DETAIL SITE PLAN



GENERAL NOTES