



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: March 26, 2014 REPORT NO. HO 14-016

ATTENTION: Hearing Officer

SUBJECT: VERIZON WIRELESS CARMEL MOUNTAIN COUNTRY CLUB
PTS PROJECT NUMBER: 345524

LOCATION: 14050 Carmel Ridge Road, San Diego, CA 92128

APPLICANT: Verizon Wireless (Represented by PlanCom Inc.)

SUMMARY

Issue(s): Should the Hearing Officer approve a new Wireless Communication Facility at 14050 Carmel Ridge Road in the RS-1-14 zone of the Carmel Mountain Ranch Community Planning area?

Staff Recommendation(s) -

1. **APPROVE** Conditional Use Permit No. 1209009 and;
2. **APPROVE** Neighborhood Development Permit No. 1218077.

Community Planning Group Recommendation: On January 8, 2014, the Carmel Mountain Ranch Community Committee voted 9-0-0 to support the proposed Verizon project.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 7, 2014, and the opportunity to appeal that determination ended February 25, 2014.

BACKGROUND

Verizon Wireless is proposing to install a new Wireless Communication Facility that consists of a 35-foot tall mono-pine and a 676-square foot equipment enclosure. The WCF includes twelve (12) antennas and twelve (12) Remote Radio Units (RRUs) concealed within the mono-pine. The associated equipment is located inside a 290-square foot equipment building. The emergency generator is located inside a separate 386-square foot enclosure adjacent to the proposed

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Site Plans
9. Photosimulation
10. Photosurvey
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Public Notice of Hearing Officer
14. Project Chronology
15. Site Justification Letter
16. Coverage Maps
17. Draft Findings (Prepared by the applicant)

Rev 1/25/11 hmd

equipment building. Pursuant to the City of San Diego Land Development Code Section 141.0420(e)(1) and 141.0420(g)(2), the project requires a Conditional Use Permit and a Neighborhood Development Permit, Process 3, Hearing Officer decision. The project is surrounded by residential uses to the south and to the east and the existing country club golf course is to the north and to the west.

DISCUSSION

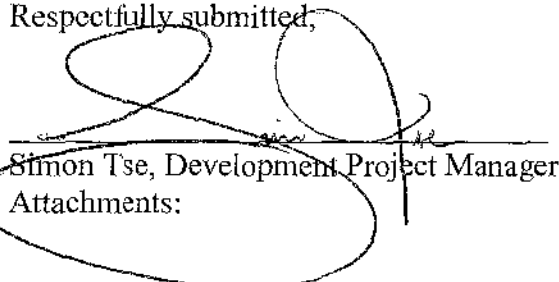
The project complies with the City of San Diego General Plan UD-A.15 and the Municipal Code Section 141.0420 Wireless Communication Facilities Regulations. The proposed 35-foot tall mono-pine includes camouflaging and screening techniques to hide and blend the antenna into the surrounding area so that it is aesthetically pleasing and respectful of the neighborhood context consistent with the General Plan's requirements. The 35-foot tall mono-pine utilizes screening techniques such as antenna socks, high branch count (total of 76) and 24-inch branch extension beyond the antennas. The mono-pine is approximately 50-feet from the nearest sidewalk and screened from public views with the existing and proposed landscaping palette on the property. Furthermore, the mono-pine design is appropriately located along the club's southeastern property line and would blend in with the other mature pine trees as a natural visual barrier to the adjacent residential use. The equipment room featuring a concrete block shelter with lap siding, brick veneer and concrete tile roof results in a design that maintains and preserves the neighborhood character.

As designed, the project is a Process 3, Preference 3 location. According to Council Policy 600-43, the applicant must justify in their application for choosing a Process 3/Preference 3 location over other lower Preference level locations. The applicant submitted a justification map that identifies the current search ring which is surrounded by only residential uses with the exception of the Carmel Mountain Country Club. Based on the justification and the coverage maps, it appears that there were no other lower preference level sites evaluated that could provide the necessary coverage. As a result, this non-residentially used property was selected. There are currently three other wireless carriers at this site.

ALTERNATIVES

1. **Approve** Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077, **with modifications.**
2. **Deny** Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077, **if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



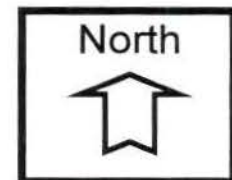
Simon Tse, Development Project Manager

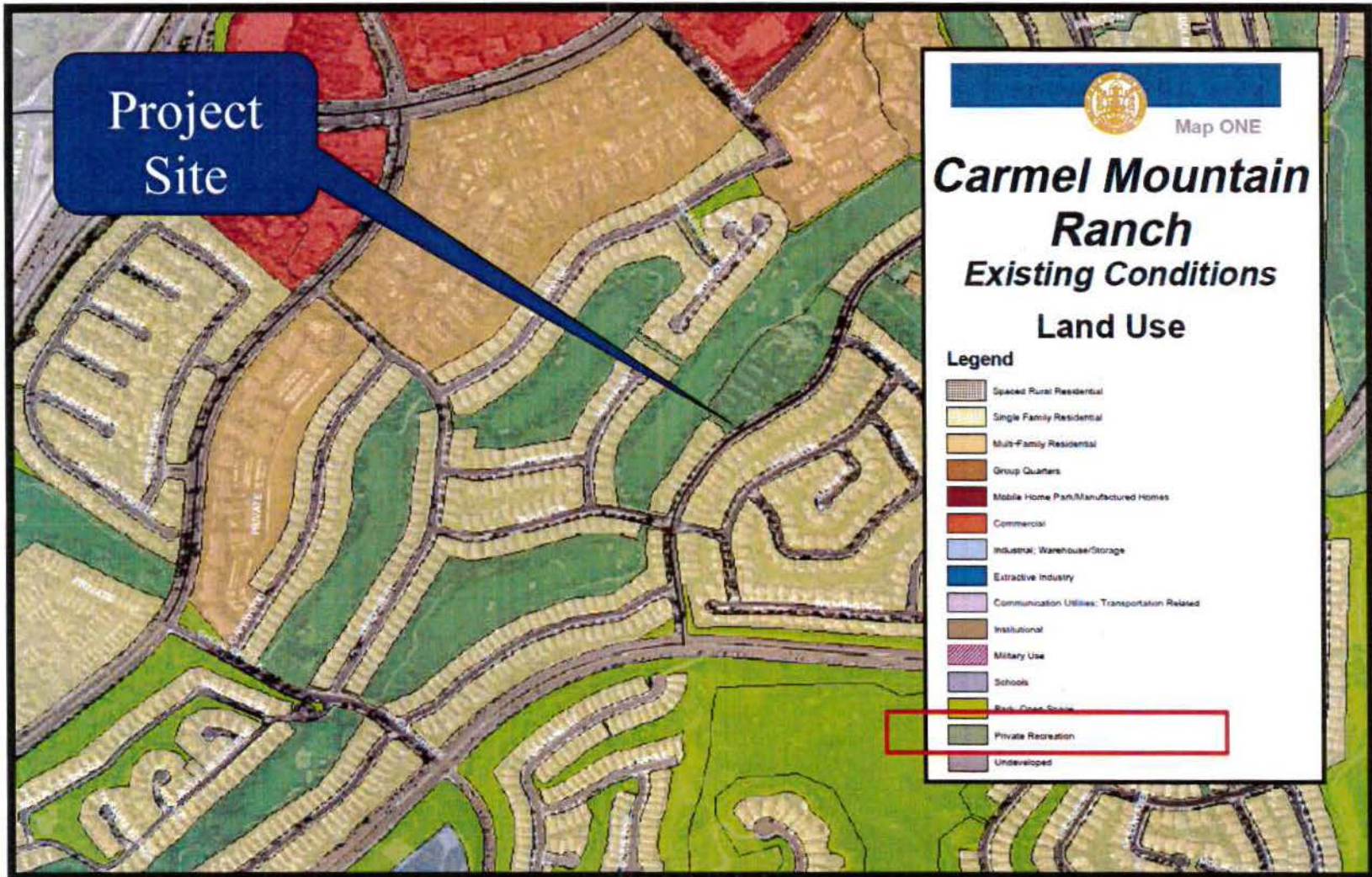
Attachments:



Aerial Photo

Verizon Wireless Carmel Mountain Ranch Country Club - Project No. 345524
14050 Carmel Ridge Road, San Diego, CA 92128

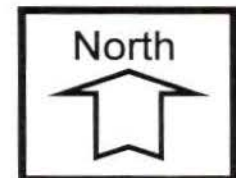


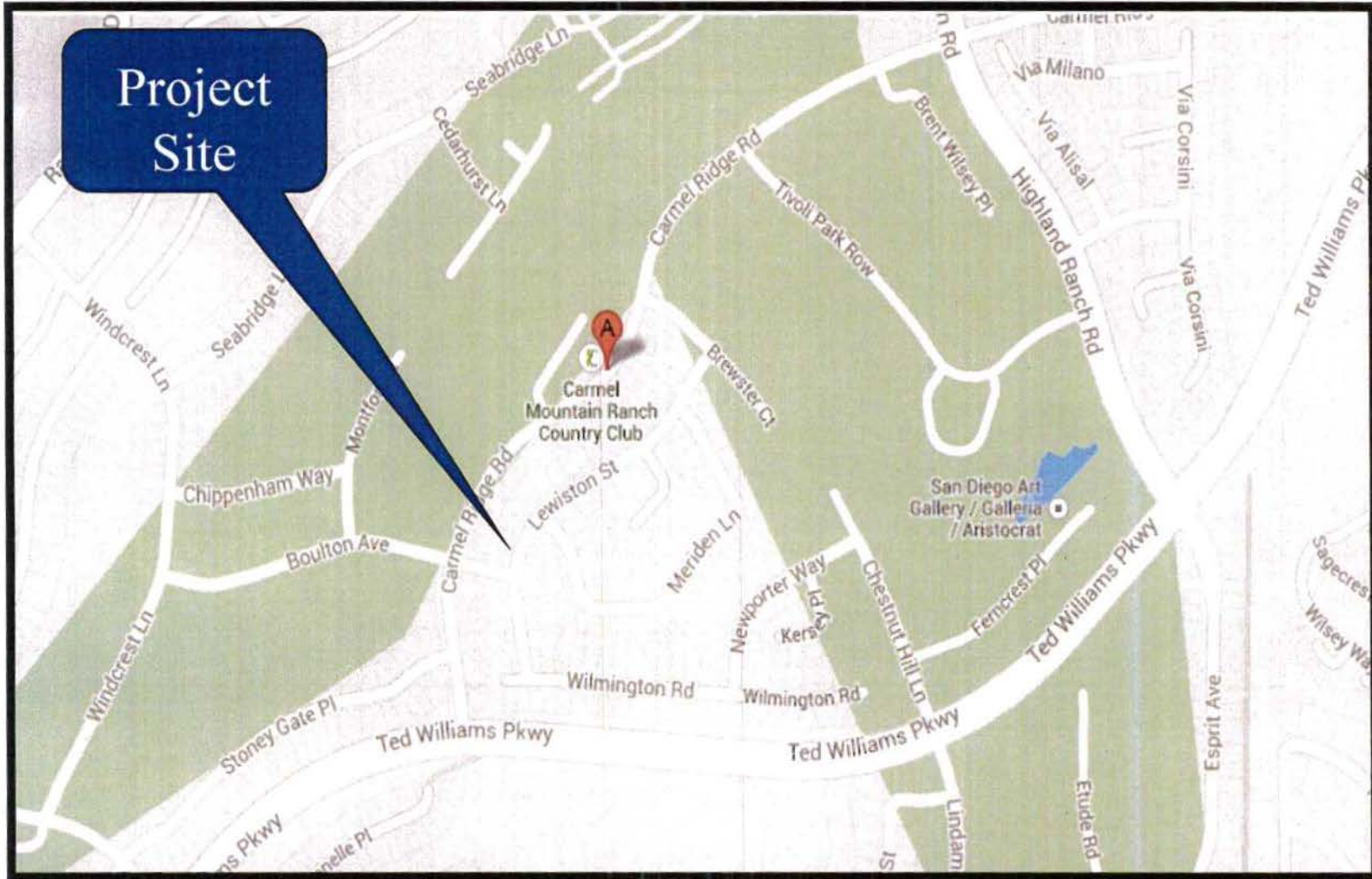


Community Land Use Map (Carmel Mountain Ranch)

Verizon Wireless Carmel Mountain Ranch Country Club - Project No. 345524

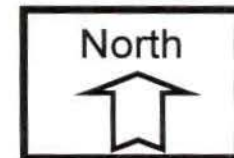
14050 Carmel Ridge Road, San Diego, CA 92128





Project Location Map

Verizon Wireless Carmel Mountain Ranch Country Club - Project No. 345524
14050 Carmel Ridge Road, San Diego, CA 92128



PROJECT DATA SHEET

PROJECT NAME:	Verizon Wireless Carmel Mountain Country Club	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of twelve (12) antennas and twelve (12) Remote Radio Units on a 35-foot tall mono-pole. The associated equipment and emergency generator are located inside a 676-square foot enclosure with landscaping.	
COMMUNITY PLAN AREA:	Carmel Mountain Ranch	
DISCRETIONARY ACTIONS:	Conditional Use Permit and Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Private Recreation	
<u>(RS-1-14) ZONING INFORMATION:</u>		
CURRENT HEIGHT LIMIT:	35-feet	PROPOSED HEIGHT: 35-feet
CURRENT FRONT SETBACK:	25-feet	PROPOSED FRONT SETBACK: No Change
CURRENT SIDE SETBACK:	10-feet	PROPOSED SIDE SETBACK: No change
CURRENT REAR SETBACK:	10-feet	PROPOSED REAR SETBACK: No change
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential/RS-1-14	Golf Course/Private Recreation
SOUTH:	Residential/RS-1-14	Residential
EAST:	Residential/RS-1-14	Residential
WEST:	Private Recreation/AR-1-1	Golf Course/Private Recreation
DEVIATIONS OR VARIANCES REQUESTED:	No deviation is proposed.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 8, 2014, the Carmel Mountain Ranch Community Committee voted 9-0-0 to approve the Verizon project.	

**HEARING OFFICER
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1209009
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1218077
VERIZON WIRELESS CARMEL MOUNTAIN COUNTRY CLUB
PROJECT NO. 345524**

WHEREAS, PACS ENTERPRISES, LLC, Owner and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit to install a new Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077);

WHEREAS, the project site is located at 14050 Carmel Ridge Road, San Diego, CA 92128 in the RS-1-14 zone of the Carmel Mountain Ranch Community Planning area;

WHEREAS, the project site is legally described as Parcel 1 of Parcel Map No. 15309, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, July 21, 1988 as file no. 88-354721 of official records;

WHEREAS, on March 26, 2014, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on February 25, 2014, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 26, 2014.

FINDINGS:

Conditional Use Permit – Section §126.0305

1. The proposed development will not adversely affect the applicable land use plan;

The Carmel Mountain Ranch Community Plan does not address Wireless Communication Facilities (WCF); however, the City of San Diego General Plan requires all WCFs to be concealed in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area. Additionally, each WCF shall be designed to be aesthetically pleasing and respectful of the neighborhood context to minimize the visual impacts of the wireless facilities. For this project, Verizon Wireless is proposing to conceal their antennas within the 35-foot tall mono-pine design. To comply with the General Plan, the mono-pine maintains the industry standard of 3 branches per foot

for a total of 76 branches consistent with the WCF Design Guidelines. Antenna socks will also be utilized to achieve a design that is aesthetically pleasing and respectful of the neighborhood context. Lastly, to reduce the visibility of the antennas, each branch will extend a minimum of 24-inches in front of the antenna for maximum concealment. The associated equipment area is set back from the public right-of-way and the adjacent residential uses and screened appropriately with existing and proposed landscaping. Furthermore, the equipment and the emergency generator are fully concealed inside a new concrete block shelter with lap siding, brick veneer and concrete tile roof. Therefore, the proposed development will not adversely affect the Carmel Mountain Ranch Community Plan; nor the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project consists of a new 35-foot tall mono-pine and an associated equipment building. The antennas and the associated Remote Radio Units (RRUs) are effectively concealed by using camouflaging techniques identified within the WCF Design Guidelines. These techniques include: antenna socks, extending the branches a minimum of 24-inches in front of the antennas, maintaining 3 branches per foot for a total of 76 branches and painting all exposed conduits and mounting pipes to match the mono-pine bark. The equipment and the emergency generator associated with this project are concealed inside a new concrete block shelter with lap siding, brick veneer and concrete tile roof. The project is located at 14050 Carmel Ridge Road in the RS-1-14 zone within the Carmel Mountain Ranch Community Plan.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction) on February 7, 2014. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Federal Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon Wireless submitted an RF Report, which concluded that the project complies with FCC RF Standards. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The proposed WCF has been designed to comply with the Wireless Communication Facility Regulations Land Development Code Section 141.0420 and the RS-1-14 zone. Pursuant to LDC Section 141.0420(e)(1) a Conditional Use Permit is required. Additionally, pursuant to LDC Section 141.0420(g)(3), a Neighborhood Development Permit is required for the proposed equipment enclosure. LDC Section 141.0420 requires all WCF to be designed to minimize visual impacts. The 35-foot tall mono-pine utilizes screening techniques such as antenna socks, high branch count and extending each

branch length accordingly to replicate the appearance of a live tree. The mono-pine is approximately 50-feet from the nearest sidewalk and screened from public views with the existing and proposed landscaping design. The equipment room featuring a concrete block shelter with lap siding, brick veneer and concrete tile roof results in a desirable design that maintains and preserves the neighborhood character. No deviations are proposed for this project. Therefore, the proposed WCF will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The proposed WCF use is located within the landscaped area adjacent to the parking lot of the Carmel Mountain Country Club. As designed, the project is a Process 3, Preference 3 location. According to Council Policy 600-43, the applicant must justify choosing a Process 3/Preference 3 location over other lower Preference level locations. The applicant submitted a justification map that identifies the current search ring which is surrounded by only residential uses. Additionally, this search ring as illustrated in the coverage map is necessary to help improve the current coverage objective. Based on the justification map, it appears that there were no other lower preference level sites that could provide the necessary coverage. Instead, this non-residentially used property was selected. There are currently three other wireless carriers at this site providing similar coverage. In conclusion, the mono-pine design is appropriately located along the club's southeastern property line and would blend in with the other mature pine trees as a natural screen to the adjacent residential uses. Therefore, the proposed WCF use is appropriate at the proposed location.

Neighborhood Development Permit - Section 126.0404

1. The proposed development will not adversely affect the applicable land use plan;

The Carmel Mountain Ranch Community Plan does not address Wireless Communication Facilities (WCF); however, the City of San Diego General Plan requires all WCFs to be concealed in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area. Additionally, each WCF shall be designed to be aesthetically pleasing and respectful of the neighborhood context to minimize the visual impacts of the wireless facilities. For this project, Verizon Wireless is proposing to conceal their antennas within the 35-foot tall mono-pine design. To comply with the General Plan, the mono-pine maintains the industry standard of 3 branches per foot for a total of 76 branches consistent with the WCF Design Guidelines. Antenna socks will also be utilized to achieve a design that is aesthetically pleasing and respectful of the neighborhood context. Lastly, to reduce the visibility of the antennas, each branch will extend a minimum of 24-inches in front of the antenna for maximum concealment. The associated equipment area is set back from the public right-of-way and the adjacent residential uses and screened appropriately with existing and proposed landscaping. Furthermore, the equipment and the emergency generator are fully concealed inside a new concrete block shelter with lap siding, brick veneer and concrete tile roof. Therefore, the proposed development will not adversely affect the Carmel Mountain Ranch Community Plan; nor the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of a new 35-foot tall mono-pine and associated equipment building. The antennas and the associated RRUs are effectively concealed by using camouflaging techniques identified within the WCF Design Guidelines. These techniques includes: antenna socks, extending the branches a

minimum of 24-inches in front of the antennas, maintaining 3 branches per foot count for a total of 76 branches and painting all exposed conduits and mounting pipes to match the mono-pine bark. The equipment and the emergency generator associated with this project are concealed inside a new concrete block shelter with lap sidings, brick veneer and concrete tile roof. The project is located at 14050 Carmel Ridge Road in the RS-1-14 zone within the Carmel Mountain Ranch Community Plan.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction) on February 7, 2014. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon Wireless submitted an RF Report, which concluded that the project complies with FCC RF Standards. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed WCF has been designed to comply with the Wireless Communication Facility Regulations Land Development Code Section 141.0420 and the RS-1-14 zone. Pursuant to LDC Section 141.0420(e)(1) a Conditional Use Permit is required. Additionally, pursuant to LDC Section 141.0420(g)(3), a Neighborhood Development Permit is required for the proposed equipment enclosure. LDC Section 141.0420 requires all WCF to be designed to minimize visual impacts. The 35-foot tall mono-pine utilizes screening techniques such as antenna socks, high branch count and extending each branch length accordingly to replicate the appearance of a live tree. The mono-pine is approximately 50-feet from the nearest sidewalk and screened from public views with the existing and proposed landscaping design. The equipment room featuring a concrete block shelter with lap siding, brick veneer and concrete tile roof results in a desirable design that maintains and preserves the neighborhood character. No deviations are proposed for this project. Therefore, the proposed WCF will comply with the regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077, a copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: March 26, 2014

Internal Order No. 24004184

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004184

CONDITIONAL USE PERMIT NO. 1209009
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1218077
VERIZON WIRELESS CARMEL MOUNTAIN COUNTRY CLUB
PROJECT NO. 345524
HEARING OFFICER

This Conditional Use Permit No. 1209009 and Neighborhood Development Permit No. 1218077 is granted by the Hearing Officer of the City of San Diego to **PACS ENTERPRISES, LLC**, Owner, and **VERIZON WIRELESS**, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, 126.0401, 131.0401, and 141.0420. The project is located at 14050 Carmel Ridge Road, San Diego, CA 92128 in the RS-1-14 zone of the Carmel Mountain Ranch Community Planning area. The project site is legally described as Parcel 1 of Parcel Map No. 15309, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, July 21, 1988 as file no. 88-354721 of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a new Wireless Communication Facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 26, 2014, on file in the Development Services Department.

The project shall include:

- a. A Wireless Communication Facility that consists of twelve (12) antennas, twelve (12) Remote Radio Units (RRUs), and a microwave dish installed on a 35-foot tall mono-pine; and
- b. A 290-square foot equipment building room; and

- c. A 30kW emergency generator located inside a new 386-square foot concrete block enclosure; and
- d. Four Raycap DC Surge Protection units; and
- e. Landscaping (planting, irrigation and landscape related improvements); and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **April 9, 2017**.
2. This Conditional Use Permit (CUP) and Neighborhood Development Permit (NDP) and corresponding use of this site shall expire on **March 26, 2024**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

13. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

15. The project proposes to export 29 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Carmel Ridge Road Right-of-Way.

17. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Carmel Ridge Road Right-of-Way.

18. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

21. Complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
22. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan.
23. All required landscape shall be maintained in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or a Final Landscape Inspection.
25. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan.
26. Prior to installation of faux trees, applicant shall provide BDR-Landscaping with samples of proposed tree(s) leaves.

PLANNING/DESIGN REQUIREMENTS:

27. No overhead cabling is permitted.
28. The WCF shall conform to the stamped approved plans and approved photosimulations prior to final Telecom Planning Inspection approval.
29. Photosimulations in color for the WCF shall be printed (not stapled) on the construction plans. This helps ensure that the construction team building the project constructs the project in compliance with approved the Exhibit "A."
30. The Owner/Permittee shall not cause or allow the antennas located on the WCF to be different sizes (length, width, or height) than as shown on the stamped approved plans and as listed here:
 - a. 78" by 15" by 9.5"
 - b. 4' diameter microwave antenna

31. No exposed pipes or mounting apparatus absent antennas shall be present at any time. Mounting pipes shall not be longer than the antennas.
32. Antennas shall be painted and textured to match the building to the satisfaction of the Development Services Department.
33. All proposed hand-holes shall be covered with bark material to match the mono-pine trunk to the satisfaction of the Development Services Department.
34. All coaxial conduits shall be routed up through the caisson and into the mono-pine to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
35. Branches shall extend a minimum of 24-inches beyond the proposed antennas to the satisfaction of the Development Services Department.
36. Starting branch height shall be no higher than 10-feet. This must be corrected on the construction drawings prior to issuance of any permits.
37. All exposed cables, brackets and supports shall be painted to match the mono-pine foliage to the satisfaction of the Development Services Department.
38. RF socks fully covering the front and back of the antennas (and any other components) shall be used.
39. The applicant shall provide color samples of the mono-pines branches and bark prior to Building Permit issuance. This is to ensure that the proposed components integrate with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact samples shall be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built mono-pines.
40. Mono-pines rely on existing and/or proposed trees to integrate with the surroundings. Additional trees may be required, to effectively integrate the mono-pine, to the satisfaction of the Development Services Department.
41. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

INFORMATION ONLY:

- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building

schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.

- Per LDC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 26, 2014 and [Approved Resolution Number].

Conditional Use Permit No. 1209009
Neighborhood Development Permit No. 1218077
March 26, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

PACS ENTERPRISES, LLC
Owner

By _____
NAME
TITLE

VERIZON WIRELESS
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 345524 PROJECT TITLE: Verizon Carmel Mountain

PROJECT LOCATION-SPECIFIC: 14050 Carmel Ridge Road, San Diego, CA 92128

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: CONDITIONAL USE PERMIT (CUP) and NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) for a new wireless communication facility consisting of twelve panel antennas and one microwave dish mounted to a new 35-foot tall monopine, and a new equipment/generator building. The project is located within the RS-1-14 zone within the Carmel Mountain Ranch Planning Area area, within Council District 5.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Leslie Vartanian, Verizon Wireless, 1505 Sand Canyon Avenue, Building D104, Irvine, CA 92618; (949) 286-8623

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL
- DECLARED EMERGENCY
- EMERGENCY PROJECT
- CATEGORICAL EXEMPTION: SECTION 15303: NEW CONSTRUCTION OR CONVERSION OR SMALL STRUCTURES

REASONS WHY PROJECT IS EXEMPT: The project has been determined to be exempt from CEQA pursuant to Section 15303 of CEQA Guidelines. Section 15303 allows the construction of limited numbers of new, small facilities or structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore, this exemption is applicable to the proposed project.

LEAD AGENCY CONTACT PERSON: M. Blake

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Maat Ma / Senior Planner
SIGNATURE/SENIOR PLANNER

FEBRUARY 25, 2014
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

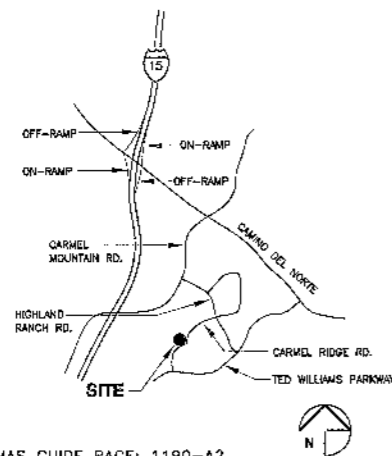
DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

EX-103 BY 2/25/14



CARMEL MOUNTAIN COUNTRY CLUB
14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128

VICINITY MAP



THOMAS GUIDE PAGE: 1190-A2

ADDRESS
 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE): FROM 15505 SAND CANYON AVENUE, IRVINE, CA 92618, HEAD SW ON SAND CANYON AVENUE TOWARD WATERWORKS WAY. KEEP LEFT AT THE FORK, MERGE ONTO 405 VIA RAMP TO SD. MERGE ONTO I-5 SOUTH. TAKE VISTA WAY/CA-78 EXIT. MERGE ONTO CA-78 EAST. TAKE I-15 SOUTH LEFT. TURN RIGHT ON CARMEL MOUNTAIN ROAD. TURN LEFT ON HIGHLAND RANCH ROAD. TURN RIGHT ON CARMEL RIDGE ROAD. DESTINATION WILL BE ON THE RIGHT.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
 CALIFORNIA PLUMBING CODE, 2010 EDITION
 CALIFORNIA MECHANICAL CODE, 2010 EDITION
 CALIFORNIA ELECTRICAL CODE, 2010 EDITION
 CALIFORNIA FIRE CODE, 2010 EDITION
 CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8566 (FAX)

LEASING/PLANNING:
 PLANCOM, INC.
 JILL CLEVELAND
 302 STATE PLACE
 ESCONDIDO, CA 92028
 (760) 420-4833

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4585

PERMITS REQUIRED

- CONDITIONAL USE PERMIT
- NEIGHBORHOOD DEVELOPMENT PERMIT

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
CONTACT: JILL CLEVELAND
 PHONE: (760) 420-4833

OWNER: PACS ENTERPRISES LLC
 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128
SITE CONTACT: KEVIN HWANG
 PHONE: (658) 487-9224

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A PROPOSED 14'-8" x 20'-0" STICK-BUILT EQUIPMENT BUILDING ON A NEW CONCRETE PAD.
- INSTALLATION OF NEW 19'-4" x 20'-0" CONCRETE BLOCK WALL ENCLOSURE AT GRADE LEVEL.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED ON A NEW 35'-0" HIGH MONOPINE.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRUS) MOUNTED BEHIND ANTENNAS ON PROPOSED 35'-0" HIGH MONOPINE.
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED ON PROPOSED 35'-0" HIGH MONOPINE.
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A 30kW ENCLOSED EMERGENCY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE NEW CONCRETE BLOCK WALL ENCLOSURE. (ENHANCED MUFFLER REQUIRED)
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE FROM EXISTING SDG&E TRANSFORMER
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM AN EXISTING TELCO PEDESTAL
- MINOR LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128

ASSESSORS PARCEL NUMBER: APN 313-043-09

EXISTING ZONING: RS-1-14

TOTAL SITE AREA: 208,083 S.F.
 = 4.8 ACRES

PROPOSED PROJECT AREA:
 EQUIPMENT BUILDING: 290 SF
 CONCRETE BLOCK ENCLOSURE: 386 SF

PROPOSED TYPE OF CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: B

NOTE: THERE ARE THREE EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY (AT&T, CRICKET COMMUNICATIONS, T-MOBILE)

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT FLOOR PLAN
A-3	ROOF PLAN AND CHAIN LINK LID PLAN
A-4	EXTERIOR ELEVATIONS
A-5	MONOPINE ELEVATION, ANTENNA PLAN & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
C-1	TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 15309, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 21, 1988 AS FILE NO. 88-354721 OF OFFICIAL RECORDS
 FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-2

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DR. STE. D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

ABC	DATE
RF	DATE
RF	DATE
INT	DATE
EE/IN	DATE
GFS	DATE
EE/OUT	DATE

PROJECT NAME

CARMEL MOUNTAIN COUNTRY CLUB

14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128

SAN DIEGO COUNTY

DRAWING DATES

09/27/13 90% CD (lc)
 10/02/13 100% CD (lc)
 12/04/13 100% CD REVISION 1 (se)
 01/30/14 100% CD REVISION 2 (hc)

SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\13229

T-1

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED

355 CARLEBAD VILLAGE DRIVE SUITE D2
CARLEBAD, CA 95008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**CARMEL MOUNTAIN
COUNTRY CLUB**

14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128

SAN DIEGO COUNTY

DRAWING DATES

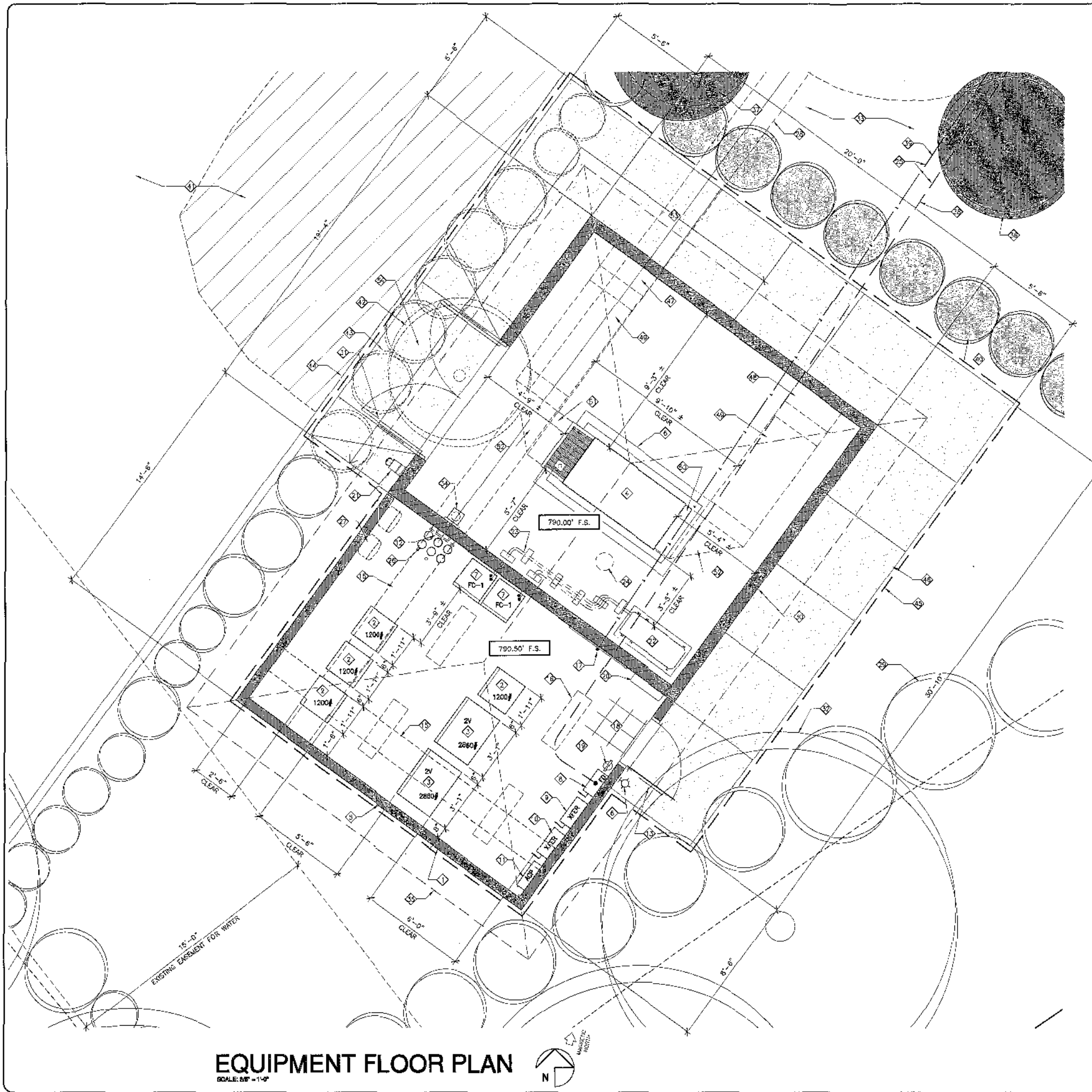
09/27/13	90% ZD (1c)
10/02/13	100% ZD (1c)
12/04/13	100% ZD REVISION 1 (se)
01/30/14	100% ZD REVISION 2 (1c)

SHEET TITLE

EQUIPMENT FLOOR PLAN

PROJECT: VERIZON 13229

A-2



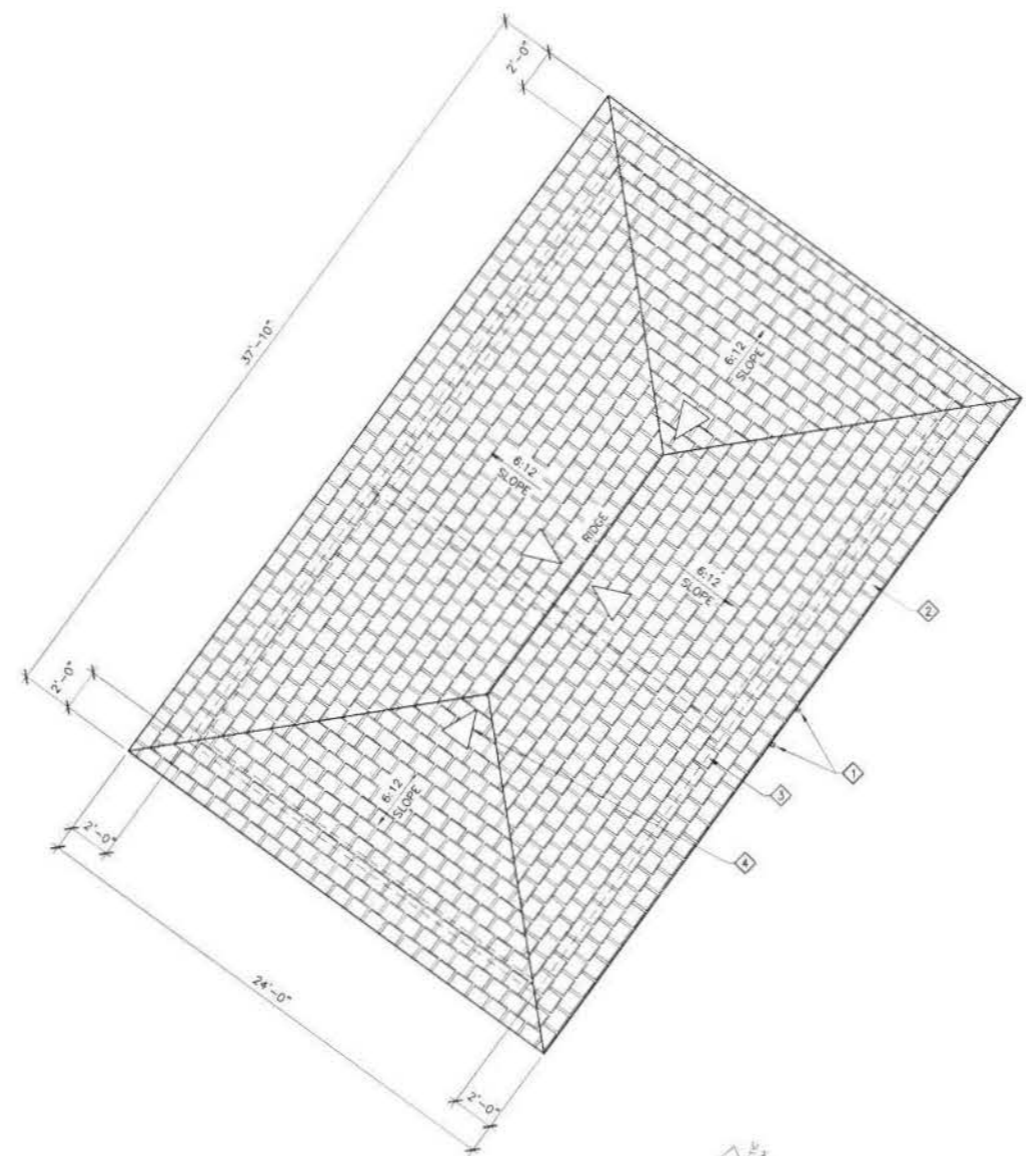
EQUIPMENT FLOOR PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW BUILDING ON A CONCRETE PAD
- 2. PROPOSED VERIZON WIRELESS EQUIPMENT RACK 23" WIDE x 84" HIGH x 23" DEEP, WEIGHT: 1200 LBS.
- 3. PROPOSED VERIZON WIRELESS 2V BATTERY RACK, 37" WIDE x 37.66" HIGH x 27.88" DEEP, WEIGHT: 2860 LBS.
- 4. PROPOSED VERIZON WIRELESS 30kW ENCLOSED EMERGENCY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POLYRED-IN-PLACE CONCRETE PAD, "GENERAC" SD030 GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 64 dBA AT A REFERENCE DISTANCE OF 23 FEET. (ENHANCED MUFFLER REQUIRED)
- 5. PROPOSED 15" X 18" MOTORIZED EXHAUST FAN
- 6. PROPOSED CONCRETE SPILL CONTAINMENT CURB
- 7. PROPOSED AIR HANDLERS
- 8. PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9. PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10. PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11. PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 13. PROPOSED 2'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 14. PROPOSED ALUMINUM THRESHOLD
- 15. PROPOSED OVERHEAD 18" CABLE LADDER @ 4'-7" - 8" (SHOWN DASHED)
- 16. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 4)
- 17. PROPOSED WALL MOUNTED TELCO BOARD
- 18. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 19. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 20. PROVIDE AND INSTALL (1) BATTERY ACID SPILL KIT
- 21. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 22. PROPOSED (2) OUTDOOR CONDENSER UNITS (CARRIER 38-DR600) MOUNTED ON STACKING RACK ON A CONCRETE PAD
- 23. PROPOSED REFRIGERANT LINE ROUTING
- 24. PROPOSED DRYWELL
- 25. PROPOSED UNDERGROUND JOINT UTILITY TRENCH, SEE SHEET A-1 FOR CONTINUATION.
- 26. PROPOSED (6) 6" CONDUITS FOR COAX CABLE & (1) 1-1/2" CONDUIT FOR GROUND
- 27. PROPOSED RAYCAP DC SURGE PROTECTION UNITS MOUNTED HIGH UP ON WALL (TYPICAL OF 2)
- 28. PROPOSED VERIZON WIRELESS COAXIAL CABLE TRENCH
- 29. EXISTING SHRUBS
- 30. PROPOSED CONCRETE BLOCK WALL ENCLOSURE WITH A STUCCO FINISH (SHOWN SHADED)
- 31. PROPOSED EXTERIOR 4'-0" WIDE SOUND TRANSMISSION CONTROL, STEEL, SOLID CORE DOOR, WITH 54 DEC RATING BY "DOOR COMPONENTS INC."
- 32. EXISTING TREE
- 33. EXISTING LANDSCAPE AREA
- 34. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS A&B&C FIRE EXTINGUISHER INSIDE A NEMA 3R CABINET
- 35. PROPOSED ROOF OVERHANG (SHOWN DASHED)
- 36. RELOCATED TREE #1
- 37. RELOCATED TREE #2
- 38. PROPOSED UNDERGROUND ELECTRICAL CONDUIT ROUTE
- 39. PROPOSED UNDERGROUND TELCO CONDUIT ROUTE
- 40. PROPOSED SHRUBS
- 41. EXISTING ASPHALT PAVED PARKING AREA
- 42. RELOCATE EXISTING TREE #2
- 43. REMOVE EXISTING SHRUBS AS REQUIRED
- 44. EXISTING CONCRETE CURB
- 45. AREA OF SCOPE WORK (SHOWN DASHED)
- 46. PROPOSED CONCRETE SIDEWALK
- 47. PROPOSED 36" x 24" LOUVERED AIR INTAKE VENT (MODEL ALA-HV-24)
- 48. PROPOSED 36" x 24" LOUVERED AIR EXHAUST VENT (MODEL ALA-EV-24)
- 49. PROPOSED DUCT (SHOWN DASHED) LINED WITH 2" THICK NOISE ABSORBING LINING
- 50. PROPOSED AIR INLET INLINE SILENCER (SHOWN DASHED) LINED WITH 2" THICK NOISE ABSORBING LINING
- 51. PROPOSED AIR OUTLET INLINE SILENCER (SHOWN DASHED) LINED WITH 2" THICK NOISE ABSORBING LINING
- 52. PROPOSED FLEXIBLE DUCT (SHOWN DASHED) LINED WITH 2" THICK NOISE ABSORBING LINING
- 53. SLOPE TO MATCH EXISTING SLOPED CURB
- 54. PROPOSED BUILT UP CONCRETE RAMP WITH A DRAINAGE PIPE

EQUIPMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"





ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN NOTES:

- 1 PROPOSED E911/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 2 PROPOSED CONCRETE TILES
- 3 PROPOSED BUILDING OUTLINE BELOW (SHOW DASHED)
- 4 PROPOSED ATTIC DORMER VENT (TYPICAL OF 4)

BOOTH & SUAREZ

ARCHITECTURE INCORPORATED
395 CARLSBAD VILLAGE DRIVE SUITE D9
CARLSBAD CA 92008 (760) 434-8874



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

CARMEL MOUNTAIN COUNTRY CLUB
14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128
SAN DIEGO COUNTY

DRAWING DATES

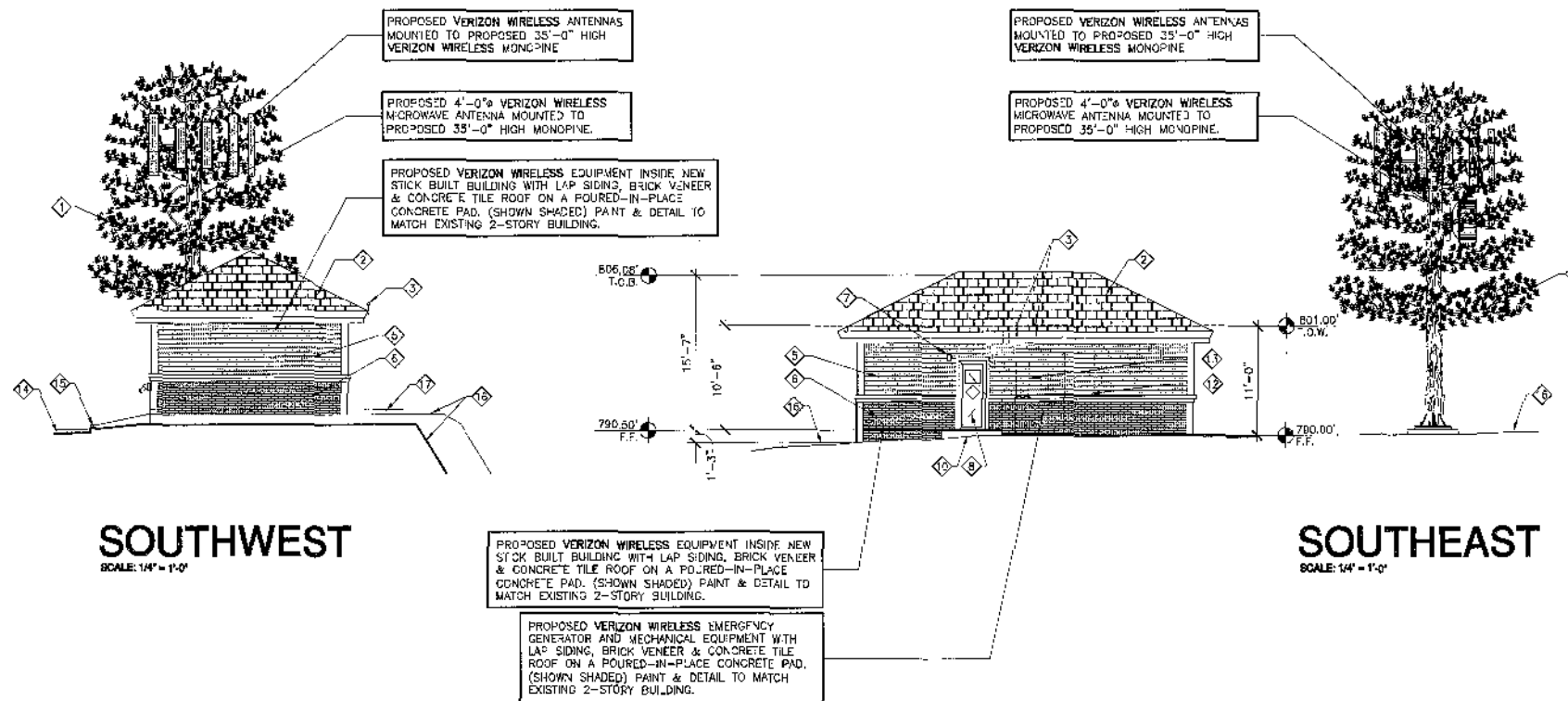
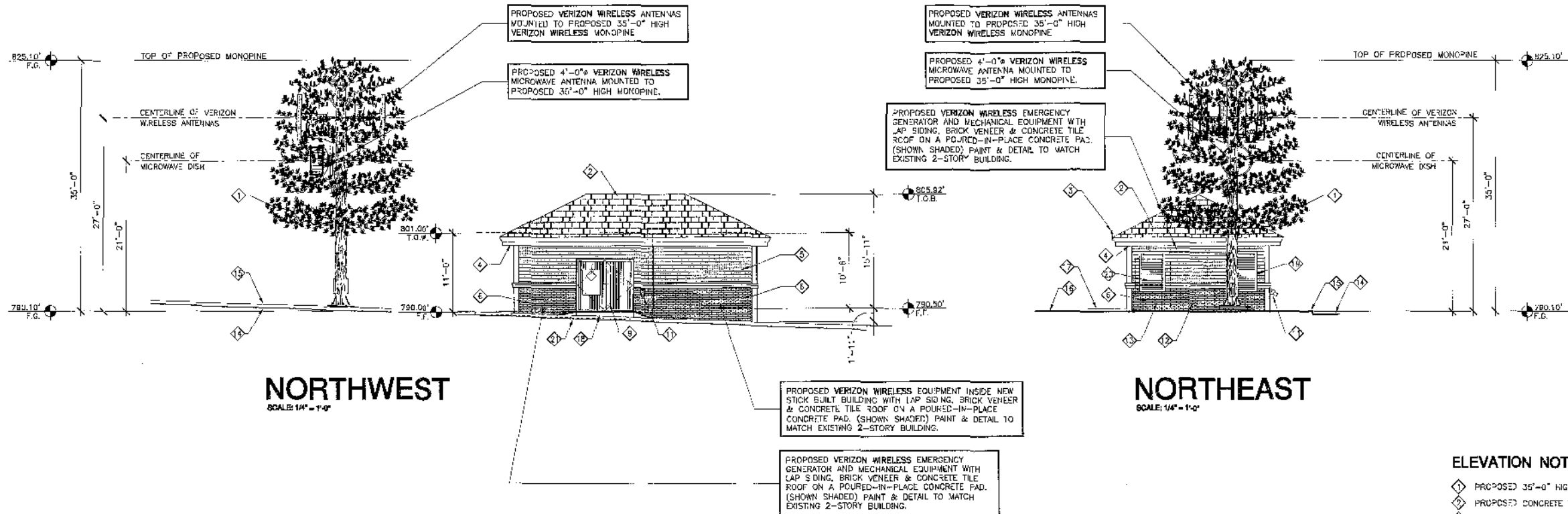
09/27/13	90% ZD (ic)
10/02/13	100% ZD (ic)
12/04/13	100% ZD REVISION 1 (**)
01/30/14	100% ZD REVISION 2 (hc)

SHEET TITLE

ROOF PLAN AND CHAIN LINK LID PLAN

PROJECTS\VERIZON\13229

A-3



ELEVATION NOTES:

- 1. PROPOSED 35'-0" HIGH MONOPINE
- 2. PROPOSED CONCRETE TILE ROOF
- 3. PROPOSED E911/OPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 4. PROPOSED WOOD TRIM
- 5. PROPOSED LAP SIDING
- 6. PROPOSED BRICK VENEER
- 7. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 8. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 9. PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME W/ SIGNAGE
- 10. PROPOSED CONCRETE LANDING
- 11. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 12. PROPOSED VERIZON WIRELESS ENCLOSED EMERGENCY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- 13. PROPOSED (2) STACKED MECHANICAL UNITS MOUNTED ON A CONCRETE PAD (SHOWN DASHED)
- 14. EXISTING ASPHALT PAVED PARKING AREA
- 15. EXISTING CONCRETE CURB
- 16. EXISTING GRADE
- 17. PROPOSED CONCRETE SIDEWALK
- 18. PROPOSED BUILT UP CONCRETE RAMP WITH A DRAINAGE PIPE
- 19. PROPOSED 36" x 24" LOUVERED AIR INTAKE VENT (MODEL ALA-N-24)
- 20. PROPOSED 36" x 24" LOUVERED AIR EXHAUST VENT (MODEL ALA-N-24)
- 21. PROPOSED CONCRETE SIDEWALK TO MATCH EXISTING SLOPED CURB

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
305 CARLEBAR VILLAGE DRIVE, SUITE 100
CARLEBAR, CA 92008 (760) 454-5774



PREPARED FOR
verizon wireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
CARMEL MOUNTAIN COUNTRY CLUB
14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128
SAN DIEGO COUNTY

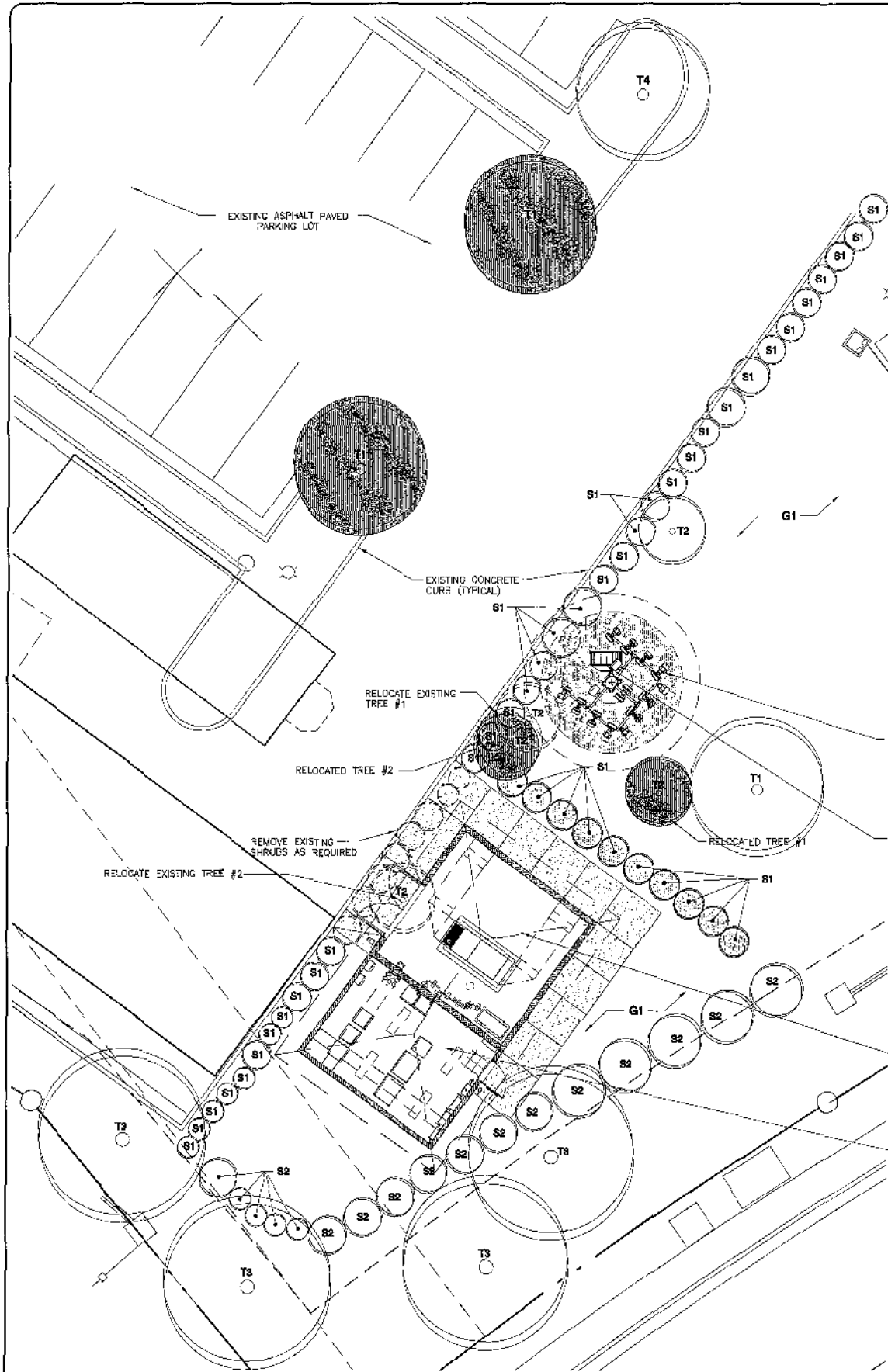
DRAWING DATES

05/27/13	90% ZD (ic)
10/02/13	100% ZD (ic)
12/04/13	100% ZD REVISION 1 (ae)
01/30/14	100% ZD REVISION 2 (hc)

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\VERIZON\13229

A-4



PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK. FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENTS:
MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION. DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, LANDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.

PLANTING NOTES (CONTINUED)

13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
14. ALL PRUNING SHALL COMPLY WITH THE NATIONAL ARBORIST ASSOCIATION. NO TOPPING OR PRUNING OF VEHICULAR USE AREA TREES INTO TOPHAT/HEDGE FORMS IS ALLOWED. TREES SHALL BE ALLOWED TO GROW TO THEIR FULL HEIGHT AND WIDTH TO PROVIDE THE INTENDED SHADE OVER PAVED PARKING SURFACES.

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, FLOODING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	EXISTING HEIGHT & SPREAD	MATURE HEIGHT & SPREAD
S1	LIGISTRUM UNDLATUM	PRIVET	EXISTING	37	-	6' HEIGHT 6' SPREAD
S1	LIGISTRUM UNDLATUM	PRIVET	PROPOSED 5" GAL.	10	-	6' HEIGHT 6' SPREAD
S2	PITTISPORUM TOBIRA VARIEGATED	VARIEGATED PITTISPORUM	EXISTING	17	-	12' HEIGHT 18' SPREAD
T1	CINNAMOMUM CAMPHORA	CAMPHOR LAUREL	EXISTING	1	-	80' HEIGHT 30' SPREAD
T1	CINNAMOMUM CAMPHORA	CAMPHOR LAUREL	24" BOX	2	-	80' HEIGHT 30' SPREAD
T2	LAGERSTROEMIA FAUERI	GRAPE MYRTLE	EXISTING	1	-	26' HEIGHT 15' SPREAD
T2	LAGERSTROEMIA FAUERI	GRAPE MYRTLE	TO BE RELOCATED	2	5'-0" CANOPY 2" TRUNK	25' HEIGHT 15' SPREAD
T2	LAGERSTROEMIA FAUERI	GRAPE MYRTLE	RELOCATED	2	5'-0" CANOPY 2" TRUNK	25' HEIGHT 15' SPREAD
T3	PINUS HALEPENSIS	ALEPPO PINE OR JERUSALEM PINE	EXISTING	4	-	40' HEIGHT 30' SPREAD
T4	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	EXISTING	1	-	50' HEIGHT 35' SPREAD
G1	CYNODON TRIF 419	TIFFINAY BERMUDA (SOD)	EXISTING	-	-	2" HEIGHT

LANDSCAPE DEVELOPMENT PLAN

SCALE 1/8" = 1'-0"



BOOTH SUAREZ &
ARCHITECTURE INCORPORATED
395 CARLSBAD VILLAGE DR. #200, SUITE 09
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
R	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

CARMEL MOUNTAIN COUNTRY CLUB

14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128
SAN DIEGO COUNTY

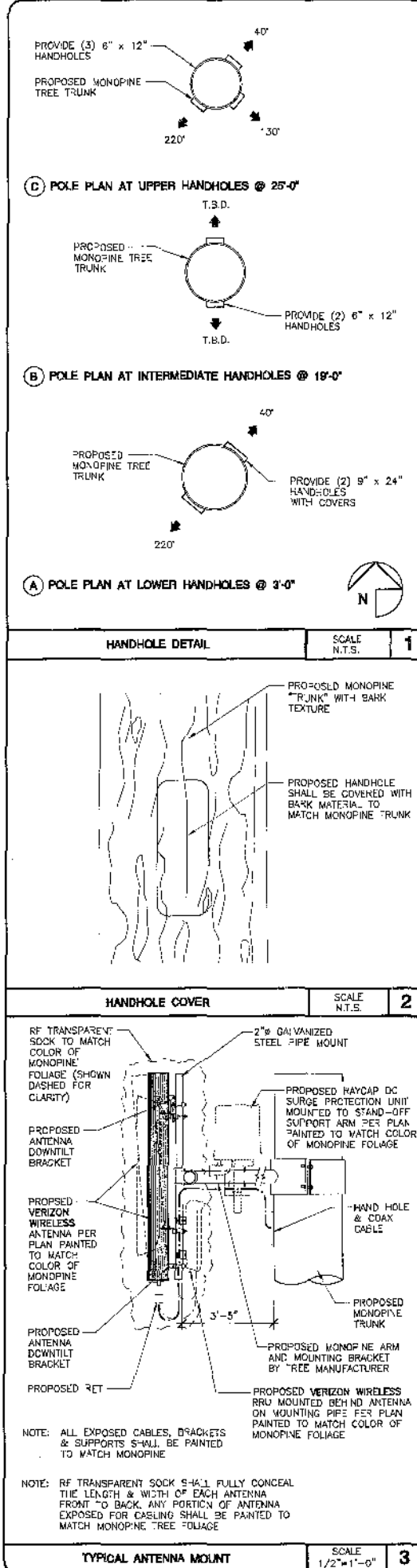
DRAWING DATES
09/27/13 90% 2D (hc)
10/02/13 100% 2D (hc)
12/04/13 100% 2D REVISION 1 (pc)
01/30/14 100% 2D REVISION 2 (hc)

SHEET TITLE

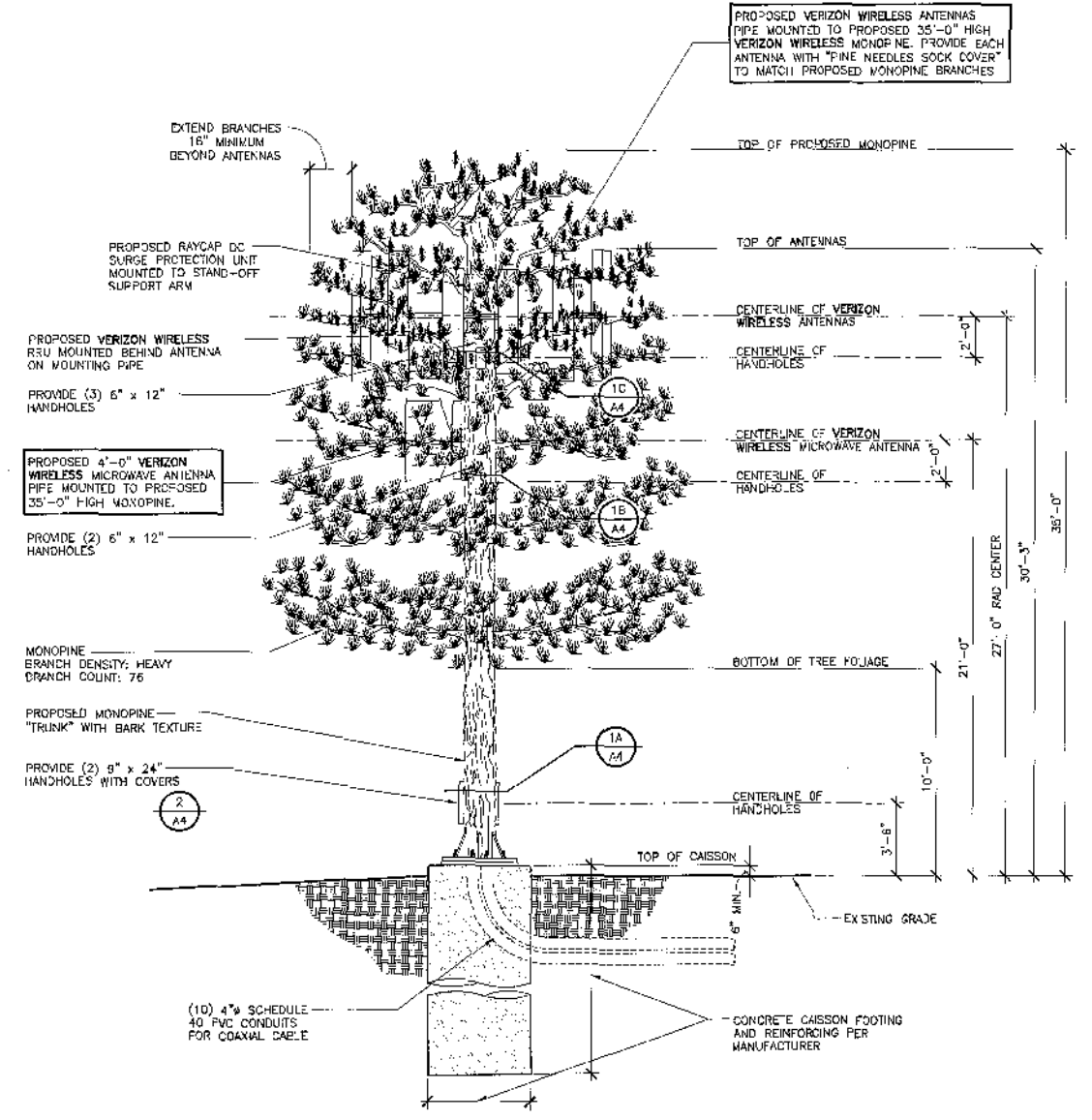
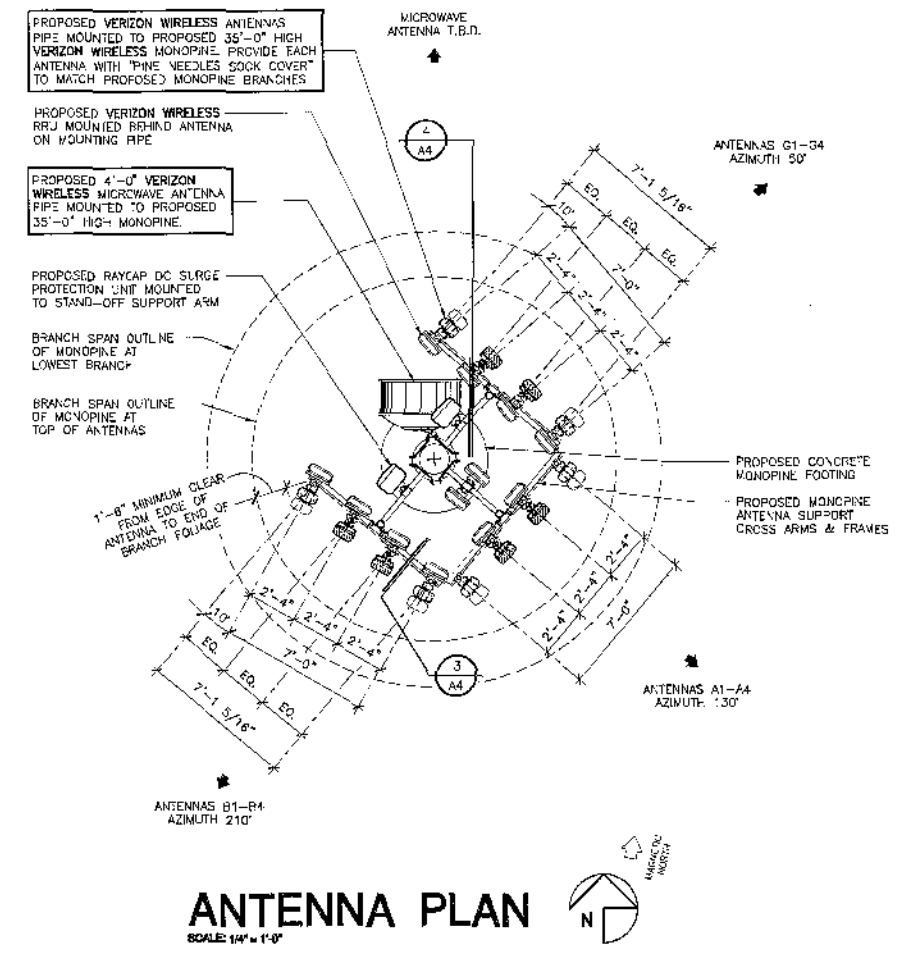
LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\13229

L-1



ANTENNA AND COAXIAL CABLE SCHEDULE							
SECTOR ANTENNA	DIRECTION	AZIMUTH	DOWNTILT	SKW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 3')
ALPHA1					78" L x 15" W x 9.5" D	8 COAX	65'-0"
ALPHA2					78" L x 15" W x 9.5" D	2 HYBRID	6'-0"
ALPHA3	SOUTHEAST	30°	0°	N/A	78" L x 15" W x 9.5" D	2 HYBRID	65'-0"
ALPHA4					78" L x 15" W x 9.5" D	2 HYBRID	6'-0"
BETA1					78" L x 15" W x 9.5" D	6 COAX	65'-0"
BETA2	SOUTH	210°	0°	N/A	78" L x 15" W x 9.5" D	2 HYBRID	6'-0"
BETA3					78" L x 15" W x 9.5" D	2 HYBRID	65'-0"
BETA4					78" L x 15" W x 9.5" D	2 HYBRID	6'-0"
Gamma1					78" L x 15" W x 9.5" D	6 COAX	65'-0"
Gamma2					78" L x 15" W x 9.5" D	2 HYBRID	6'-0"
Gamma3	NORTHEAST	50°	0°	N/A	78" L x 15" W x 9.5" D	2 HYBRID	65'-0"
Gamma4					78" L x 15" W x 9.5" D	2 HYBRID	6'-0"
MICROWAVE DISH	T.B.D.				4'-0" DIAMETER		1 1/4"



MONOPINE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: NO EXPOSED PIPES ABSENT ANTENNAS SHALL BE INSTALLED AT ANY TIME.

MONOPINE MANUFACTURER: CELL TREES CONTACT: DAVID WEEKLEY

Booth Suarez & Associates
ARCHITECTURE INCORPORATED
105 CALLEBARD VILLAGE DRIVE SUITE 205
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR
verizon wireless

P.O. BOX 19707
IRVINE, CA 92625-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/N	DATE
OPS	DATE
EE/OUT	DATE

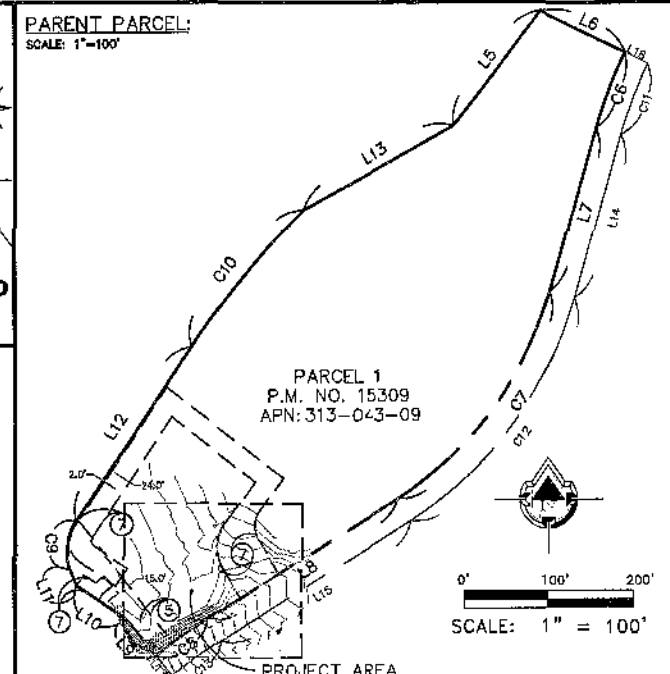
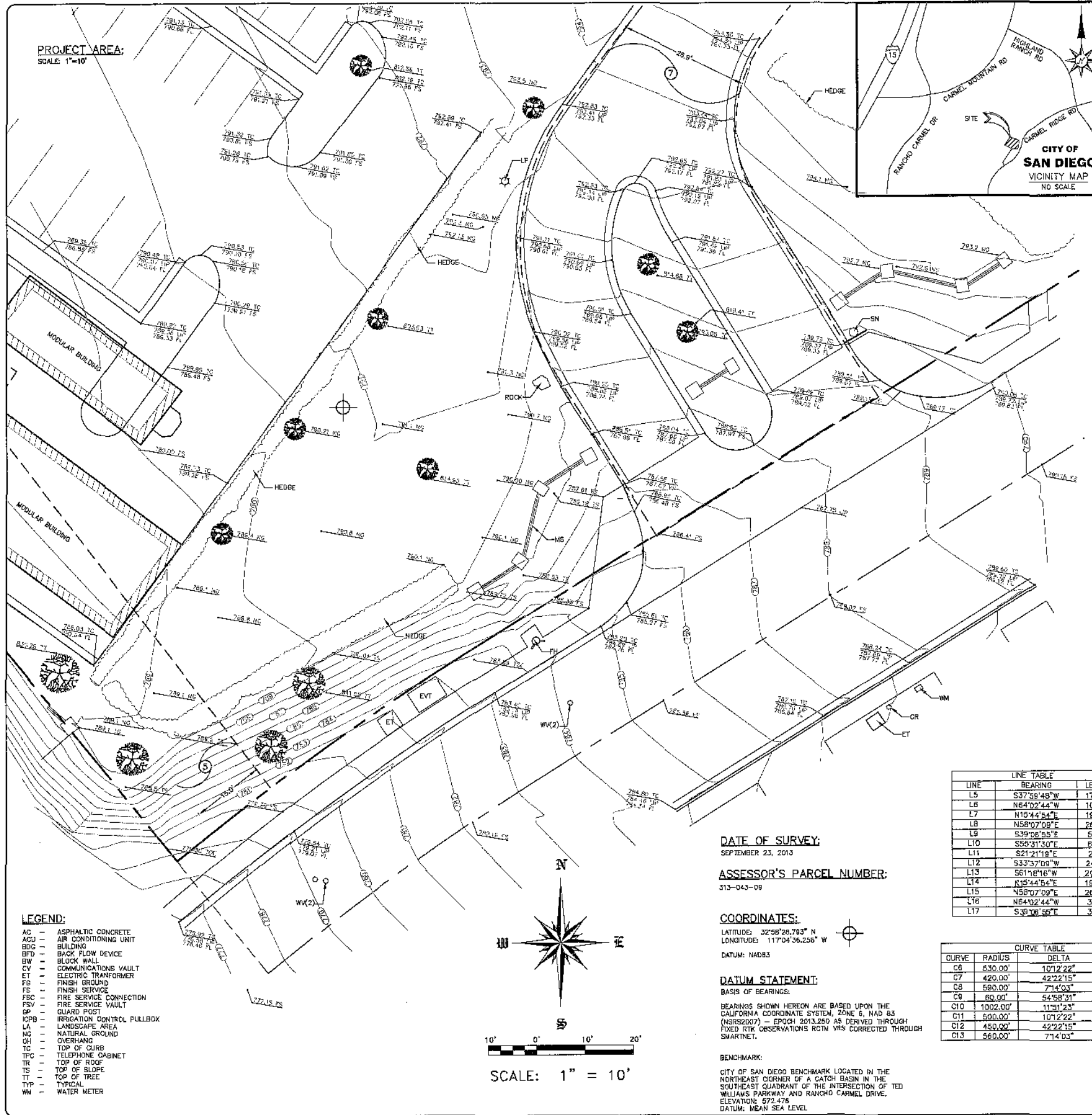
PROJECT NAME
CARMEL MOUNTAIN COUNTRY CLUB
14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128
SAN DIEGO COUNTY

DRAWING DATES
09/27/13 90% CD (ig)
10/02/13 100% CD (ig)
12/04/13 100% CD REVISION 1 (see)
01/30/14 100% CD REVISION 2 (see)

SHEET TITLE
MONOPINE ELEVATION ANTENNA PLAN & DETAILS

PROJECTS\VERIZON\13229

A-5



LEGAL DESCRIPTION:

PARCEL 1 OF PARCEL MAP NO. 15309, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 21, 1988 AS FILE NO. 88-354721 OF OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBER: 313-043-09
 BY: LAWYERS TITLE COMPANY COMMITMENT NO: 09308488
 4100 NEWPORT PLACE DRIVE SUITE 120 TITLE OFFICER: CHRIS MAZARI
 NEWPORT BEACH, CA 92660 DATED: JULY 10, 2013
 (949) 724-3170

ITEMS CORRESPONDING TO SCHEDULE "B":

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
2. THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN CONDITIONAL USE PERMIT NO. 88-0114, AS DISCLOSED BY INSTRUMENT RECORDED MAY 23, 1984 AS INSTRUMENT NO. 84-192331 OF OFFICIAL RECORDS.
3. AN AMENDMENT TO SAID PERMIT RECORDED JULY 22, 1985 AS INSTRUMENT NO. 85-260050 OF OFFICIAL RECORDS.
4. AN AMENDMENT TO SAID PERMIT RECORDED AUGUST 9, 1988 AS INSTRUMENT NO. 88-389553 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
5. A DOCUMENT ENTITLED "DEVELOPMENT AGREEMENT" SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED DECEMBER 10, 1985 AS INSTRUMENT NO. 85-48528 OF OFFICIAL RECORDS.
6. A COVENANT AND AGREEMENT REGARDING THE DEVELOPMENT AGREEMENT, EXECUTED BY THE CITY OF SAN DIEGO AND CARMEL MOUNTAIN RANCH, RECORDED MARCH 2, 1987 AS INSTRUMENT NO. 87-107983 OF OFFICIAL RECORDS.
7. AN ASSIGNMENT OF DEVELOPMENT AGREEMENT EXECUTED BY CARMEL MOUNTAIN RANCH, A CALIFORNIA GENERAL PARTNERSHIP TO SECURITY PACIFIC NATIONAL BANK, A NATIONAL BANKING ASSOCIATION, RECORDED SEPTEMBER 29, 1988 AS INSTRUMENT NO. 88-405302 OF OFFICIAL RECORDS. AN AMENDMENT TO SAID ASSIGNMENT RECORDED APRIL 7, 1989 AS INSTRUMENT NO. 89-183838 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
8. A DOCUMENT ENTITLED "ENCROACHMENT AGREEMENT" SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED RECORDED JULY 21, 1988 AS INSTRUMENT NO. 88-354721 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
9. A DOCUMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT" SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED RECORDED OCTOBER 17, 1991 AS INSTRUMENT NO. 1991-0537801 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
10. AN EASEMENT FOR WATER AND RIGHTS INCIDENTAL THERETO AS SHOWN OR AS OFFERED FOR DEDICATION ON THE RECORDED MAP SHOWN BELOW RECORDED JULY 21, 1988 AS INSTRUMENT NO. 88-354721 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
11. A DOCUMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT" SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED RECORDED OCTOBER 17, 1991 AS INSTRUMENT NO. 1991-0537801 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
12. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED AUGUST 13, 1983 AS INSTRUMENT NO. 1983-0523303 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
13. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "NEIGHBORHOOD USE PERMIT NO. 310685 OR CARMEL MOUNTAIN RANCH COUNTRY CLUB CITY MANAGER PLS NO. 95872" RECORDED JULY 10, 2006 AS INSTRUMENT NO. 2006-0483917 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
14. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "NEIGHBORHOOD USE PERMIT NO. 410764 PLANNED DEVELOPMENT PERMIT NO. 33282 CINGULAR-CARMEL MOUNTAIN RANCH COUNTRY CLUB PLANNING COMMISSION PROJECT NO. 101109" RECORDED AUGUST 15, 2007 AS INSTRUMENT NO. 2007-054252 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
15. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "NEIGHBORHOOD USE PERMIT NO. 681416 T-MOBILE CLUBHOUSE PROJECT NO. 180811 DEVELOPMENT SERVICES DEPARTMENT" RECORDED DECEMBER 10, 2008 AS INSTRUMENT NO. 2008-0694634 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
16. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT" RECORDED DECEMBER 22, 2010 AS INSTRUMENT NO. 2010-0709330 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.
17. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT" RECORDED DECEMBER 22, 2010 AS INSTRUMENT NO. 2010-0709330 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NAUTRE AND IS NOT PLOTTED HEREON.

LINE	BEARING	LENGTH
L5	S37°59'48"W	170.00'
L6	N64°02'44"W	109.00'
L7	N10°44'54"E	197.44'
L8	N58°07'09"E	264.48'
L9	S39°06'55"E	56.00'
L10	S55°31'30"E	85.00'
L11	S21°21'19"E	21.32'
L12	S33°37'09"W	244.21'
L13	S61°18'16"W	203.28'
L14	N15°44'54"E	197.44'
L15	N58°07'09"E	264.48'
L16	N64°02'44"W	30.00'
L17	S37°08'55"E	30.00'

CURVE	RADIUS	DELTA	LENGTH
C6	530.00'	101°2'22"	94.41'
C7	420.00'	42°22'15"	310.59'
C8	580.00'	71°4'03"	74.49'
C9	60.00'	54°58'31"	57.57'
C10	1002.00'	11°51'23"	207.35'
C11	500.00'	101°2'22"	88.07'
C12	450.00'	42°22'15"	332.78'
C13	560.00'	71°4'03"	70.71'

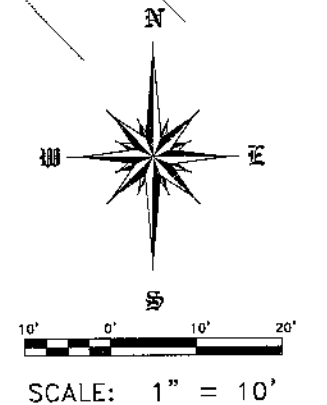
DATE OF SURVEY:
SEPTEMBER 23, 2013

ASSESSOR'S PARCEL NUMBER:
313-043-09

COORDINATES:
LATITUDE: 32°58'28.793" N
LONGITUDE: 117°04'36.256" W
DATUM: NAD83

DATUM STATEMENT:
BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM, ZONE 6, NAD 83 (NRSR2007) - EPOCH 2013.250 AS DERIVED THROUGH FIXED RTK OBSERVATIONS ROTM VRS CORRECTED THROUGH SMARTNET.

BENCHMARK:
CITY OF SAN DIEGO BENCHMARK LOCATED IN THE NORTHEAST CORNER OF A CATCH BASIN IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF TED WILLIAMS PARKWAY AND RANCHO CARMEL DRIVE. ELEVATION: 672.478
DATUM: MEAN SEA LEVEL



- LEGEND:**
- AC - ASPHALTIC CONCRETE
 - AGU - AIR CONDITIONING UNIT
 - BDG - BUILDING
 - BFD - BACK FLOW DEVICE
 - BW - BLOCK WALL
 - CV - COMMUNICATIONS VAULT
 - ET - ELECTRIC TRANSFORMER
 - FG - FINISH GROUND
 - FS - FINISH SERVICE
 - FSC - FIRE SERVICE CONNECTION
 - FSV - FIRE SERVICE VAULT
 - GP - GUARD POST
 - ICPB - IRRIGATION CONTROL PULLBOX
 - LA - LANDSCAPE AREA
 - NG - NATURAL GROUND
 - OH - OVERHANG
 - TC - TOP OF CURB
 - TPC - TELEPHONE CABINET
 - TR - TOP OF ROOF
 - TS - TOP OF SLOPE
 - TT - TOP OF TREE
 - TYP - TYPICAL
 - WM - WATER METER

ARCHITECTURE & PLANNING

WILLIAM H. BOOTH, ARCHITECT ROBERT A. SUAREZ, ARCHITECT
 P.O. BOX 4681, CALIFORNIA, CA 92018 (760) 434-9478

PREPARED FOR

verizon wireless

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

CONSULTANT

JRN
 CIVIL ENGINEERS

232 AVENIDA FABRICANTE,
 SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PROJECT NAME

CARMEL MOUNTAIN CC

14050 CARMEL RIDGE RD
 SAN DIEGO, CA 92128

SAN DIEGO COUNTY

DRAWING DATES

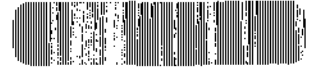
SHEET TITLE

TOPOGRAPHIC SURVEY

PROJECTS/VERIZON/13085 ACM

C1

Booth Suarez &
 ARCHITECTURE INCORPORATED
 395 CALLEJAS PLAZA DRIVE SUITE D9
 CARLEBAD, CA 92008 (760) 434-5474



PREPARED FOR

 P.O. BOX 16707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
CC/OUT	DATE

PROJECT NAME
CARMEL MOUNTAIN COUNTRY CLUB
 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

DRAWING DATES

09/27/13	80% ZD (lc)
10/02/13	100% ZD (lc)
12/04/13	100% ZD REVISION 1 (sc)
01/30/14	100% ZD REVISION 2 (sc)

SHEET TITLE

SITE PLAN

PROJECTS\VERIZON\13229

A-0

License's Certificate
 Standard Wireless Facility System
 For Post-Construction BMP's
 I/we the undersigned, as licensee of a portion of the property described as:
 14050 CARMEL RIDGE ROAD, SAN DIEGO, CA 92128
 (Address or legal description)

I understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Section 17.09.020, this project is required to "Identify Features from the Project Area" and incorporate "Site Design" and "Source Controls" BMP's.

I certify to the best of my knowledge, that the information anticipated by the proposed land use use as follows:

- Soilmarks
- Markings
- Task & Detail
- Oxygen Dissolving Substance
- Oil & Grease
- Thermal & Visual
- Disturbance

I/We will incorporate the following into the site design:

- Minimize pre-development, runoff concentrations
- Minimize impervious foot print by consolidating walkways, paths and driveways with permeable surfaces.
- Close cover storm drains
- Use natural drainage systems as opposed to sheet erosion or underground drainage systems
- Detain roof tops, walkways, paths and driveways into efficient landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion.

Additionally, I/we will:
 • Minimize the use of pesticides
 • Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow sensors as needed.

I/we will maintain the above Standard Post-Construction BMP's for the duration of the term.

Licensee: **Booth Suarez &** Company Name: **Verizon Wireless**
 Licensee: *[Signature]* Date: **1-9-2008**

DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED 0%
 CUBIC YARDS OF CUT 72 CUBIC YARDS OF FILL 21
 VOLUME OF FILL TO BE IMPORTED 0 C.Y./D... EXPORTED 55 C.Y./D...
 AREA TO BE GRADED?? 0 % OF SITE 0%
 PROPOSED CUT SLOPE RATIO: 0 FILL SLOPE RATIO: 0
 MAXIMUM HEIGHT OF CUT SLOPE 0 FEET; FILL SLOPE 0 FEET

ENGINEERING NOTES:

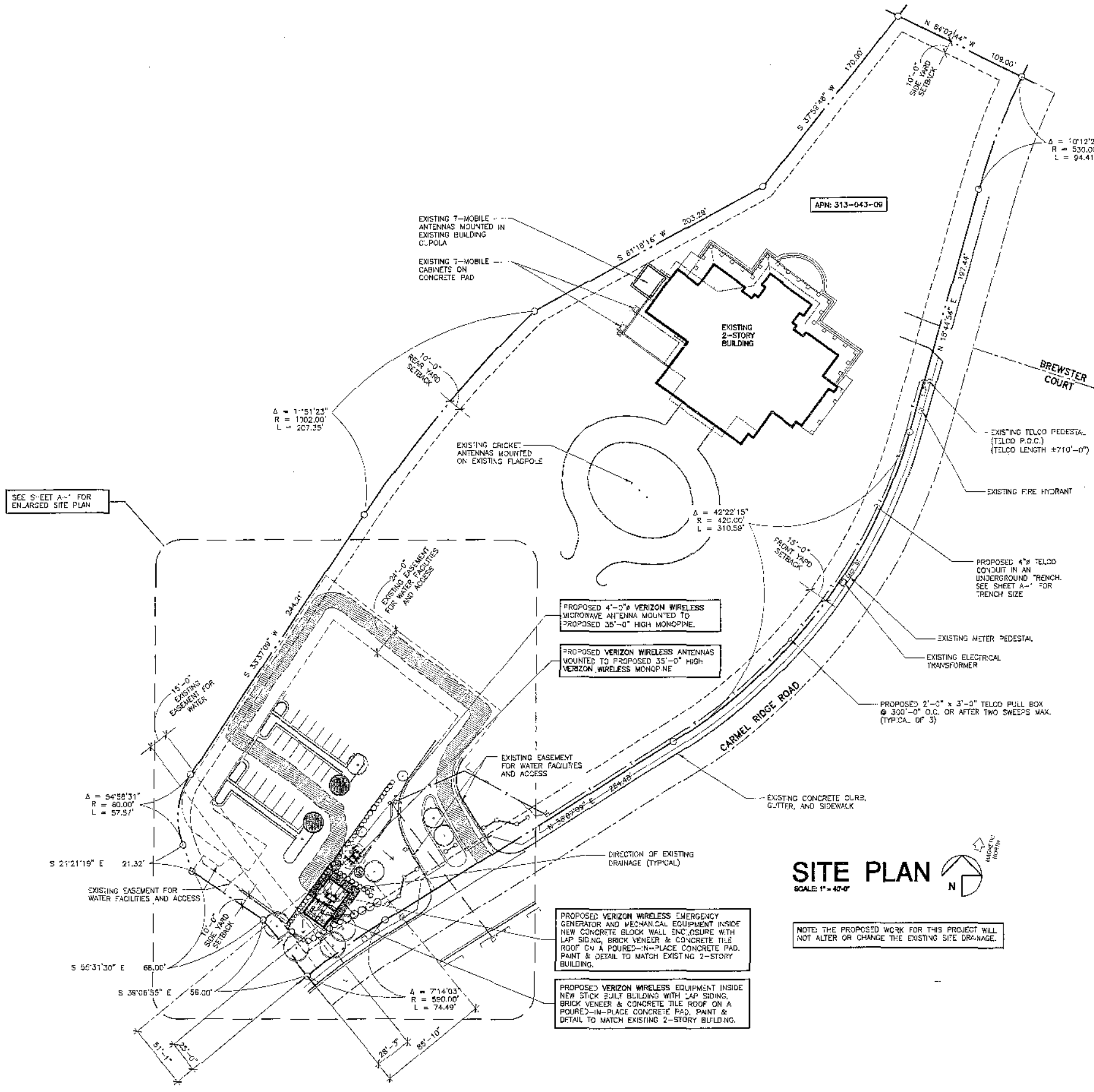
1. THE APPLICANT SHALL OBTAIN A NON-EXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE CARMEL RIDGE ROAD RIGHT-OF-WAY.
2. THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE CARMEL RIDGE ROAD RIGHT-OF-WAY.
3. SAN DIEGO MUNICIPAL CODE SECTION 142.0607 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES REQUIRES WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER/PERMITEE SHALL, AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.
4. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
5. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
6. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
7. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPPCL). THE WPPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

EASEMENTS:

EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCELS, MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS.

BOUNDARY NOTE:

THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY HAS NOT BEEN PERFORMED.



SITE PLAN
 SCALE: 1" = 40'-0"

NOTE: THE PROPOSED WORK FOR THIS PROJECT WILL NOT ALTER OR CHANGE THE EXISTING SITE DRAINAGE.

PROPOSED VERIZON WIRELESS EMERGENCY GENERATOR AND MECHANICAL EQUIPMENT INSIDE NEW CONCRETE BLOCK WALL ENCLOSURE WITH LAP SIDING, BRICK VENEER & CONCRETE TILE ROOF ON A POURED-IN-PLACE CONCRETE PAD. PAINT & DETAIL TO MATCH EXISTING 2-STORY BUILDING.

PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE NEW STICK BUILT BUILDING WITH LAP SIDING, BRICK VENEER & CONCRETE TILE ROOF ON A POURED-IN-PLACE CONCRETE PAD. PAINT & DETAIL TO MATCH EXISTING 2-STORY BUILDING.

SEE SHEET A-1 FOR ENLARGED SITE PLAN

Booth & Suarez
 ARCHITECTURE INCORPORATED
 328 CARLETON VILLAGE DRIVE SUITE 07
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 266-7000

APPROVALS

ABC	DATE
RE	DATE
RF	DATE
NT	DATE
EE/IN	DATE
DPS	DATE
EE/OUT	DATE

PROJECT NAME

CARMEL MOUNTAIN COUNTRY CLUB

14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

DRAWING DATES

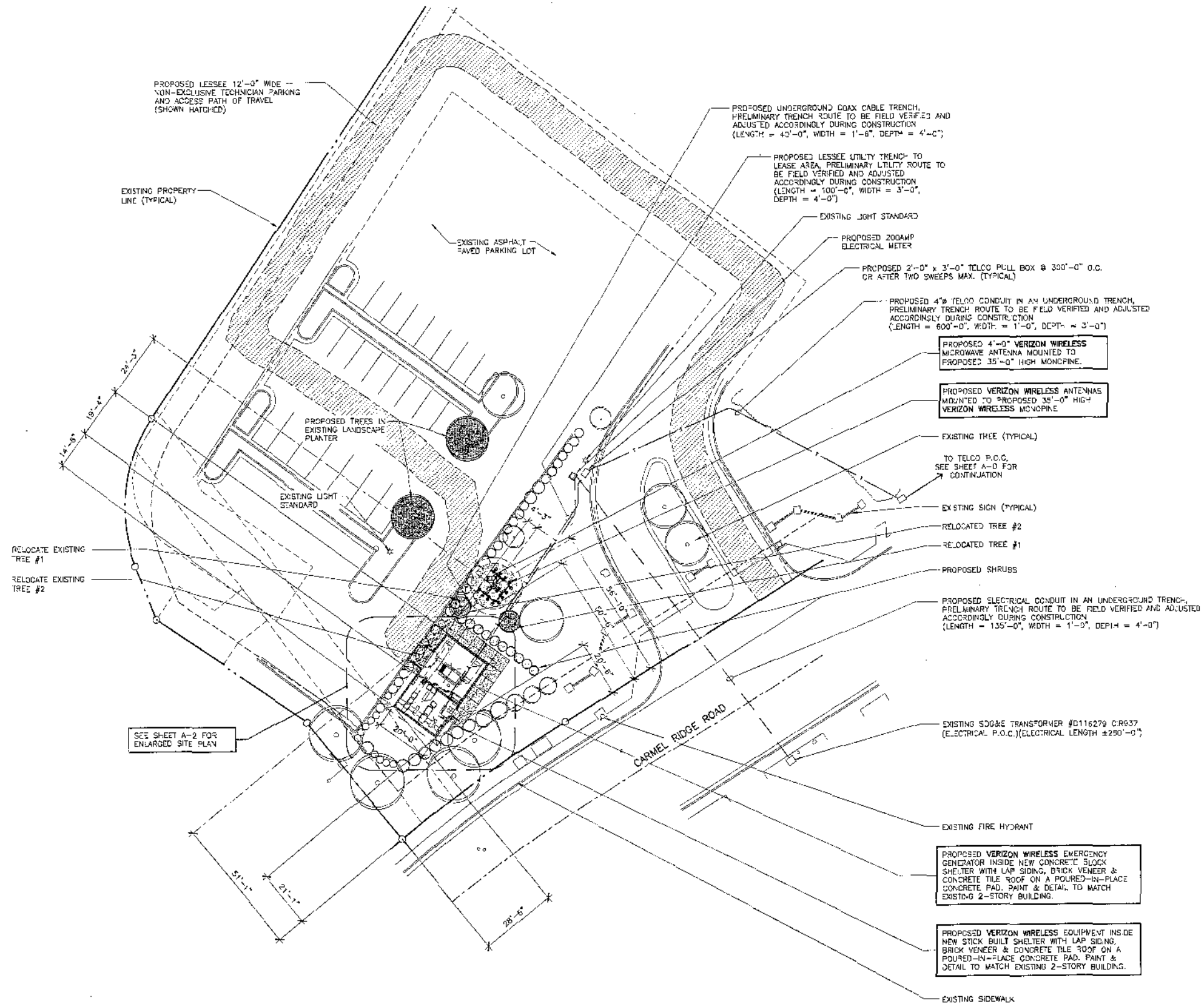
05/27/13	30% ZD (sp)
10/02/13	100% ZD (ic)
12/04/13	100% ZD REVISION 1 (sm)
01/30/14	100% ZD REVISION 2 (hb)

SHEET TITLE

ENLARGED SITE PLAN

PROJECTS\VERIZON\1.3229

A-1



ENLARGED SITE PLAN

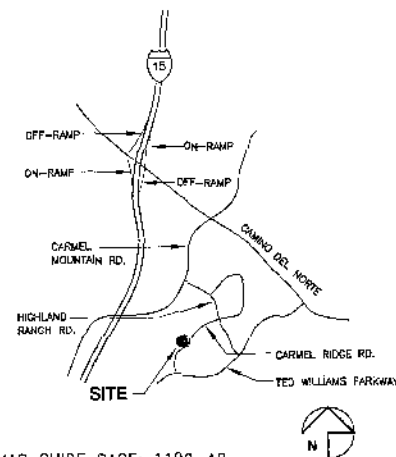
SCALE: 1" = 20'-0"





CARMEL MOUNTAIN COUNTRY CLUB
14050 CARMEL RIDGE ROAD
SAN DIEGO, CA 92128

VICINITY MAP



THOMAS GUIDE PAGE: 1190-A2

ADDRESS
 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128

DIRECTIONS:

(FROM VZW'S OFFICES IN IRVINE): FROM 15505 SAND CANYON AVENUE, IRVINE, CA 92618, HEAD SW ON SAND CANYON AVENUE TOWARD WATERWORKS WAY, KEEP LEFT AT THE FORK, MERGE ONTO 405 VIA RAMP TO SD, MERGE ONTO I-5 SOUTH, TAKE VISTA WAY/CA-78 EXIT, MERGE ONTO CA-78 EAST, TAKE I-15 SOUTH TOWARD SAN DIEGO, TAKE CAMINO DEL NORTE EXIT AND TURN LEFT, TURN RIGHT ON CARMEL MOUNTAIN ROAD, TURN LEFT ON HIGHLAND RANCH ROAD, TURN RIGHT ON CARMEL RIDGE ROAD, DESTINATION WILL BE ON THE RIGHT.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
 CALIFORNIA PLUMBING CODE, 2010 EDITION
 CALIFORNIA MECHANICAL CODE, 2010 EDITION
 CALIFORNIA ELECTRICAL CODE, 2010 EDITION
 CALIFORNIA FIRE CODE, 2010 EDITION
 CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8596 (FAX)

LEASING/PLANNING:
 PLANCON, INC.
 JILL CLEVELAND
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (760) 420-4833

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PERMITS REQUIRED

- CONDITIONAL USE PERMIT
- NEIGHBORHOOD DEVELOPMENT PERMIT

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALES ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: JILL CLEVELAND
 PHONE: (760) 420-4833

OWNER: PACS ENTERPRISES LLC
 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128
 SITE CONTACT: KEVIN HWANG
 PHONE: (858) 487-9224

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A PROPOSED 14'-6" x 23'-0" STICK-BUILT EQUIPMENT BUILDING ON A NEW CONCRETE PAD.
- INSTALLATION OF NEW 19'-4" x 20'-0" CONCRETE BLOCK WALL ENCLOSURE AT GRADE LEVEL.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED ON A NEW 35'-0" HIGH MONOPINE.
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRUS) MOUNTED BEHIND ANTENNAS ON PROPOSED 35'-0" HIGH MONOPINE.
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED ON PROPOSED 35'-0" HIGH MONOPINE.
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A 30kW ENCLOSED EMERGENCY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE NEW CONCRETE BLOCK WALL ENCLOSURE. (ENHANCED MUFFLER REQUIRED)
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE FROM EXISTING S04&E TRANSFORMER.
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM AN EXISTING TELCO PEDESTAL.
- MINOR LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT.

PROJECT ADDRESS: 14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128

ASSESSORS PARCEL NUMBER: APN 313-043-09

EXISTING ZONING: RS-1-14

TOTAL SITE AREA: 208,083 S.F.
 = 4.8 ACRES

PROPOSED PROJECT AREA:
 EQUIPMENT BUILDING: 290 SF
 CONCRETE BLOCK ENCLOSURE: 386 SF

PROPOSED TYPE OF CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: B

NOTE: THERE ARE THREE EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY (AT&T, CRICKET COMMUNICATIONS, T-MOBILE)

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT FLOOR PLAN
A-3	ROOF PLAN AND CHAIN LINK LID PLAN
A-4	EXTERIOR ELEVATIONS
A-5	MONOPINE ELEVATION, ANTENNA PLAN & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
C-1	TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 15309, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 21, 1988 AS FILE NO. 88-354721 OF OFFICIAL RECORDS

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-2

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

Booth & Suarez
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
NT	DATE
EE/IN	DATE
CPS	DATE
EE/OUT	DATE

PROJECT NAME

CARMEL MOUNTAIN COUNTRY CLUB

14050 CARMEL RIDGE ROAD
 SAN DIEGO, CA 92128

SAN DIEGO COUNTY

DRAWING DATES

09/27/13 90% 2D (hc)
 10/02/13 100% 2D (hc)
 12/04/13 100% 2D REVISION 1 (sc)
 01/30/14 100% 2D REVISION 2 (hc)

SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\13229

T-1

EXISTING

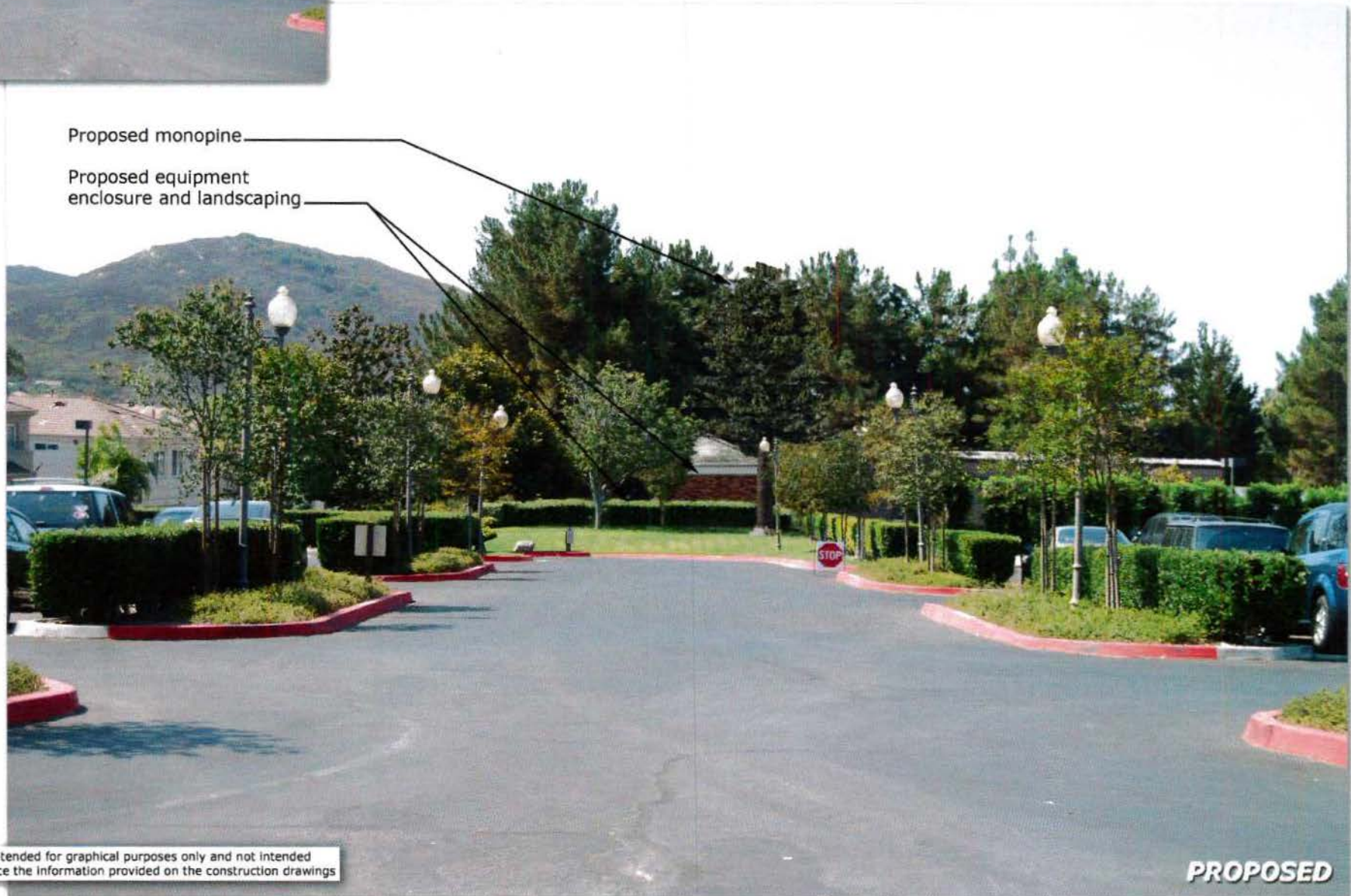


ATTACHMENT 9

Carmel Mountain Country Club
14050 Carmel Ridge Rd.
San Diego, CA 92128



Proposed monopine
Proposed equipment enclosure and landscaping



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED



PHOTO STUDY & KEY MAP

PROPOSAL TO ESTABLISH AND OPERATE A
NEW DIGITAL PCS
COMMUNICATIONS FACILITY

Verizon Wireless
"Carmel Mountain CC"
14050 Carmel Ridge Road
San Diego, CA 92128

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Shelly Kilbourn, Planning Consultant
(619) 223-1357

September 30, 2013



View North



View South



View East



View West



View from Carmel Ridge Road



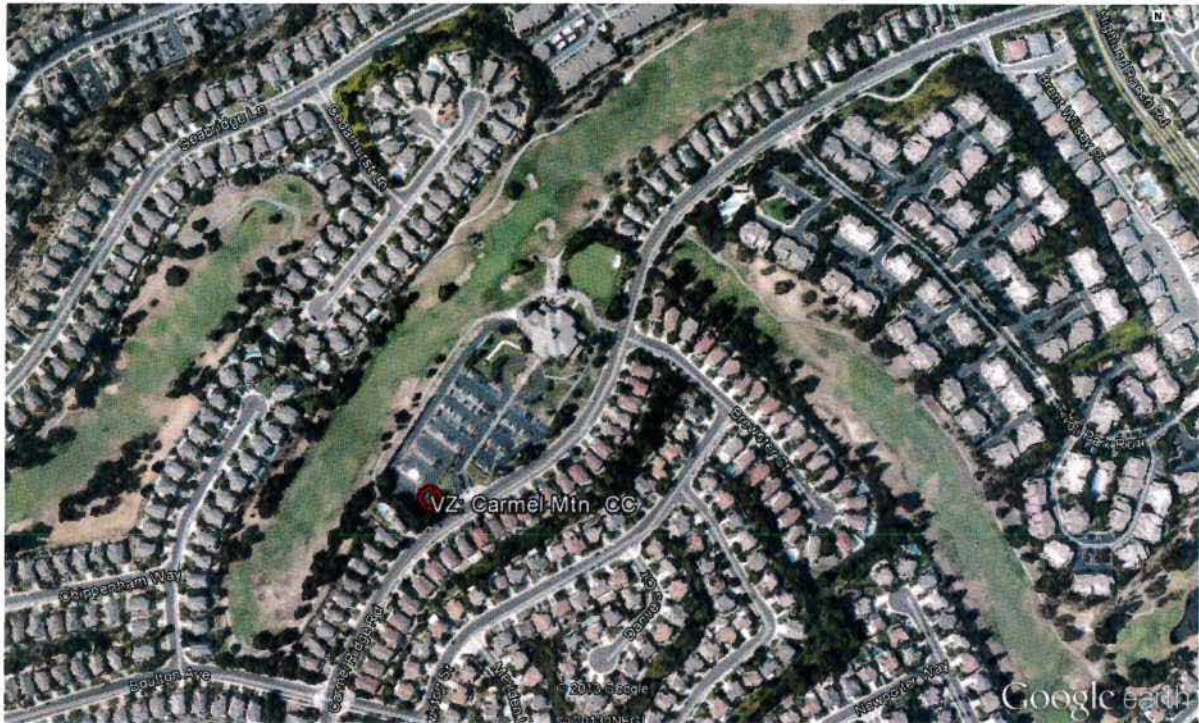
View from Club Entrance



Proposed Utility Transformer



Proposed Equipment Location



Aerial View of Subject Site & Surroundings



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Verizon - Carmel Mountain		Project Number: 345524	Distribution Date: 12/13/2013	
Project Scope/Location: A Conditional Use Permit and a Neighborhood Development Permit, consolidated Process 3, Hearing Officer decision application for a new Wireless Communication Facility located at 14050 Carmel Ridge Road in the RS-1-14 zone of the Carmel Mountain Ranch Community Plan. This WCF consists of a 35-foot tall monopine with twelve antennas, an emergency generator and associated equipment enclosure. Council District 5. (1 Posted Notice)				
Applicant Name: Diehl, Kerrigan			Applicant Phone Number: (760) 587-3003	
Project Manager: Tse, Simon	Phone Number: (619) 687-5984	Fax Number: (619) 446-5245	E-mail Address: STse@sandiego.gov	
Committee Recommendations (To be completed for Initial Review):				
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 9	Members No 0	Members Abstain 0	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued	
CONDITIONS:				
NAME: John Giltner		TITLE: C.M.R./SSCC		
SIGNATURE: John Giltner		DATE: 1/8/2014		
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.				

Project Title: VZW Carmel Mountain CC	Project No. (For City Use Only) 345524
-------------------------------------------------	--------------------------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? CA Corporate Identification No. 3
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
PACS ENTERPRISES LLC

Owner Tenant/Lessee

Street Address: 14050 CARMEL RIDGE RD

City/State/Zip: SAN DIEGO, CA 92128

Phone No: 858 487 9224 Fax No: 858 487 7437

Name of Corporate Officer/Partner (type or print):
KEVIN HUANG

Title (type or print):
MANAGER

Signature: _____ Date: 9/9/13

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 VZW Carmel Mountain CC 345524

Project Address:
 14050 Carmel Ridge Road

Part I: To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____



THE CITY OF SAN DIEGO

DATE OF NOTICE: March 11, 2014

NOTICE OF PUBLIC HEARING

HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	March 26, 2014
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	CONDITIONAL USE PERMIT & NEIGHBORHOOD DEVELOPMENT PERMIT – PROCESS 2 ENVIRONMENTAL EXEMPTION
PROJECT NO:	<u>345524</u>
PROJECT NAME:	<u>VERIZON WIRELESS CARMEL MTN COUNTRY CLUB</u>
APPLICANT:	SHELLY KILBOURN
COMMUNITY PLAN AREA:	CARMEL MOUNTAIN RANCH
COUNCIL DISTRICT:	District 5
CITY PROJECT MANAGER:	Simon Tse, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 687-5984

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Conditional Use Permit and Neighborhood Development Permit consolidated Process 3 for a new Wireless Communication Facility consisting of a 35-foot tall mono-pole with twelve antennas, an emergency generator and associated equipment enclosure. The site is located at 14050 Carmel Ridge Road in the RS-1-14 zone of the Carmel Mountain Ranch Community Plan area; Council District 5.

THIS APPLICATION WAS FILED ON October 30, 2013.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at

1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act on February 7, 2014 and the opportunity to appeal that determination ended February 25, 2014.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004184

Revised 04/08/10 HIRD

Verizon Wireless Carmel Mountain Country Club
PROJECT CHRONOLOGY
PTS #345524 INT #24004184

Date	Action	Description	City Review	Applicant Response
12/19/2012	First Submittal	Project Deemed Complete		
1/22/2013	First Assessment Letter		34 days	
10/30/2013	Second Submittal			281 days
12/13/2013	Second Assessment Letter		44 days	
01/30/2014	Third Submittal			48 days
02/13/2014	All issues resolved		1 days	
03/26/2014	Hearing Officer Hearing		43 days	
Total Staff Time:		Including City Holidays and Furlough	118 days	
Total Applicant Time:		Including City Holidays and Furlough		329 days
Total Project Running Time:		From Deemed Complete to PC Hearing	447 days	

SITE JUSTIFICATION
Verizon "Carmel Mountain CC"
14050 Carmel Ridge Road
San Diego, CA 92128

PROJECT DESCRIPTION

The project proposes to install a WCF for Verizon Wireless located at 14050 Carmel Ridge Road, in the Carmel Mountain ranch community planning area. The project will consist of the installation of (12) panel antennas, (12) Remote Radio Units and a MW dish mounted to a new 35' stealth designed monopine. Associated equipment including emergency back-up generator to be located at grade within a custom 450 sf enclosure designed to match the existing clubhouse façade.

Although the property is completely developed with a Country Club building and golf course with no residential uses, it is residentially zoned, RM-1-14.

SITE DESIGN

More specifically, the monopine will be configured with 3 sectors of 4 antennas and 4 RRUs at each sector. The monopine is geographically located along the club's southeastern property line. The area has several mature pines which act as a natural barrier to the adjacent residential as well as the appropriate visual integration with and from the surroundings. The associated equipment necessary to operate the facility including an emergency back-up generator will be located at grade inside a 450 sf custom equipment enclosure designed to match the existing cape cod/colonial architecture of the existing clubhouse. The project has been designed to integrate with the existing building materials and architectural features as well as the surrounding mature landscaping. The landscape development plan has been designed based on the landlord's existing palette and input.

PREFERENCE 3 LOCATION:

The project is a Preference 3 location the proposed facility is located on a residentially zoned, but non-residentially used property.

We believe that the facility as designed is consistent with all relevant regulations and will be well integrated from vantage points or surrounding properties.

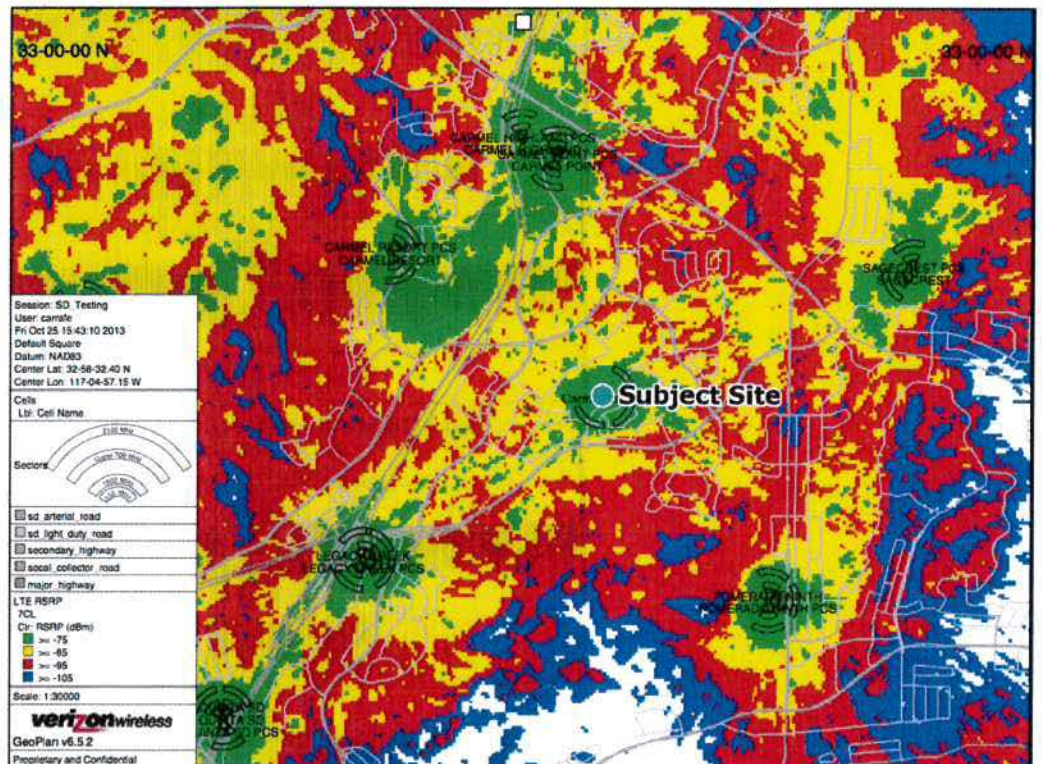
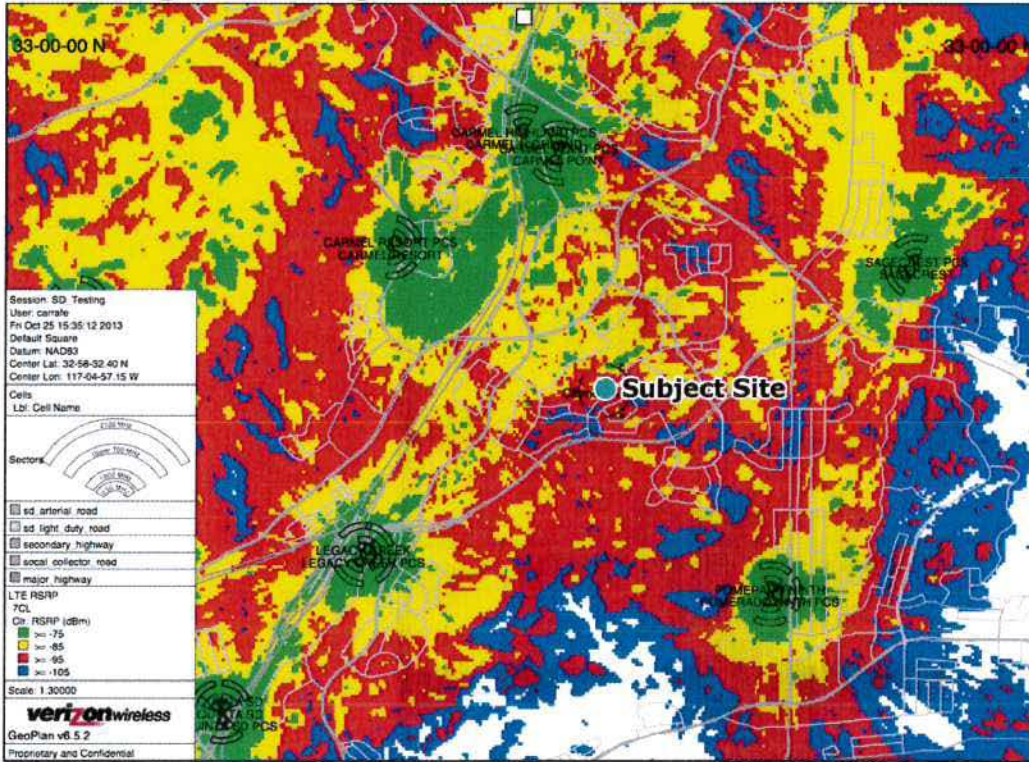
CO-LOCATION OF WIRELESS FACILITIES

There are two existing wireless carriers at this site. AT&T is located in the monument tower and T-Mobile is façade mounted to the existing cupola.

Carmel Mountain Country Club
 14050 Carmel Ridge Rd.
 San Diego, CA 92128



Existing coverage



Coverage Levels:

- Excellent
- Good/Variable
- Poor

10/28/2013

Proposed coverage

DRAFT FINDINGS

Verizon Wireless "Carmel Mountain CC"

FINDINGS:**NEIGHBORHOOD USE PERMIT & NEIGHBORHOOD DEVELOPMENT PERMIT****1. The proposed development will not adversely affect the applicable land use plan;**

Although the property is zoned residential, there is no residential use on site. The property is developed with a Country Club and Golf Course. The project has been designed not to impact the existing uses on site or surrounding land uses identified in the community Plan. The project does not propose any deviations. The project is located on a site with an established telecom use and the design allows the project to be more integrated with the existing mature on site landscape to help achieve better visual integration as recommended by the LDC and wireless guidelines. The equipment has been designed to meet the relevant noise standards, footprint needs of the applicant and complement the site's overall design aesthetic. The project as designed will not adversely affect the Carmel Mountain Ranch community or land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed wireless communication facility will comply with all of the relevant regulations of the underlying zone and Land Development Code. The project has been designed not to impact the existing uses on site or surrounding land uses identified in the community Plan. The project does not propose any deviations. The project is located on a site with an established telecom use and the design allows the project to be more integrated with the existing mature on site landscape to help achieve better visual integration as recommended by the LDC and wireless guidelines.