



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: December 11, 2013 REPORT NO. HO 13-106

ATTENTION: Hearing Officer

SUBJECT: SUNSET CLIFFS NATURAL PARK HILLSIDE SECTION
IMPROVEMENTS
PROJECT NUMBER: 236548

LOCATION: South of Ladera Street east of the Pacific Ocean, west of Point Loma
Nazarene University

APPLICANT: City of San Diego Public Works Department – Engineering and Capital
Projects

SUMMARY

Issue: Should the Hearing Officer approve the construction of improvements to the Sunset Cliffs Natural Park (SCNP) within the Peninsula Community Plan Area?

Staff Recommendation: APPROVE an application for Coastal Development Permit No. 850065/Site Development Permit No. 850066.

Community Planning Group Recommendation – On July 21, 2011, the Peninsula Community Planning Board voted 10-1-0 to recommend approval of the proposed project with no conditions.

Environmental Review: A Subsequent Project Findings to the Master Environmental Impact Report for the Sunset Cliffs Natural Park Master Plan was prepared for the project.

BACKGROUND

The project is located south of Ladera Street east of the Pacific Ocean, west of Point Loma Nazarene University and north of federal land managed by the U.S. Navy in the OP-1-1 zone and within the Peninsula Community Plan Area (Attachment 3). The project site contains Environmentally Sensitive Lands in the form of sensitive biological resources, steep hillsides, the coastal bluff, and coastal beaches. The site is designated as Open Space park. The site is located in the Hillside Section of the Sunset Cliffs Natural Park and in the Coastal Overlay (appealable),

Coastal Height Limit Overlay, First Public Roadway, and the Federal Aviation Administration (FAA) Part 77 overlay area.

The project would implement the Sunset Cliffs Natural Park Master Plan (SCMP) by improving existing trails and observation points, removing and revegetating an abandoned ball field, implementing a phased revegetation program to remove non-native plants and improving an eight-foot sewer easement access path to comply with Americans with Disabilities Act (ADA) requirements. The project also includes a new drainage swale that will reduce runoff and the removal of a concrete slab remaining from demolition of properties in the park following a fire and associated revegetation of the area with native plants.

The SCNP Master Plan was adopted by the San Diego City Council in 2004, followed by California Coastal Commission approval in July 2005. In 2008, the City Council established a new Capital Improvement Project (CIP) for the SCNP Hillside Section Improvements and authorized City staff to apply for grant funding for the CIP. The SCNP Master Plan divides the Park into a northern 18-acre Linear Park and the southern 50-acre Hillside Section. The project is located in Hillside Section. The SCNP Master Plan identified improvements within the Hillside Section and some of which have been implemented. An athletic field was eliminated and fencing, baseball equipment and irrigation was removed. New stairs at the northern end of the Hillside Section were constructed and the existing lower parking lot has been repaved.

Project Description:

The current project initially included demolition of both a northern and an abandoned southern Ladera Street property. However, in April 2013, a fire occurred at the southern property located at 4401 Ladera Street and the structure was subsequently demolished. The remaining northern Ladera Street property located at 4515 Ladera Street was re-evaluated as part of this current review in accordance with Historical Resources Regulations and Guidelines and determined to be eligible for local historic designation. As such, the proposed trail alignment avoids this potential resource.

Project improvements also include widening primary trails to six feet in width with natural surfacing or decomposed granite (DG) to connect the park to various uses, link observation points and link the park to the surrounding community. Secondary trails would also be improved with natural surfacing and an ADA trail would be created to allow access from a lower parking lot to an observation point. Secondary and tertiary trails that are not part of the planned trail system would be restored with native vegetation to mirror the surrounding native vegetation. A new drainage swale vegetated with native plants would be created on the slope above the new multi-use trail to reduce runoff crossing the trail from the hillside.

Community Plan Analysis:

The Peninsula Community Plan designates the project site for park space and indicates the area should remain free of development. The Plan also calls for increasing access to the shoreline area of the Sunset Cliffs Park and for providing visual access where physical access is restricted

due to safety concerns. The project proposes to enhance trails and access points by physically improving the trails and making them ADA compliant where possible. These trail and access improvements increase visual access to the shoreline, also called for in the Local Coastal Program. In addition, the project proposes to remove foundations associated with buildings damaged by fire, thus removing developments from the Park, consistent with the Plan. By eliminating trails near the coastal bluff edge, that are not planned as part of the park trail system, the coastal bluff resource would be further protected and trail user safety would be increased. These areas would also be revegetated with native plants.

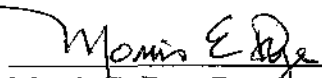
Conclusion:

The project would implement the Peninsula Community Plan/Local Coastal Program and the Sunset Cliffs Natural Park Master Plan by enhancing the Hillside Section of the Park with improved trails, by revegetating areas that currently have non-natives species with native plants and by removing a structural foundation and ball field not consistent with the Master Plan. The project is consistent with the applicable land use policies in effect for the site. As such, staff is recommending approval of the project.

ALTERNATIVES

1. Approve Coastal Development Permit No. 850065/Site Development Permit No. 850066, with modifications.
2. Deny Coastal Development Permit No. 850065/Site Development Permit No. 850066, if the findings required to approve the project cannot be affirmed.

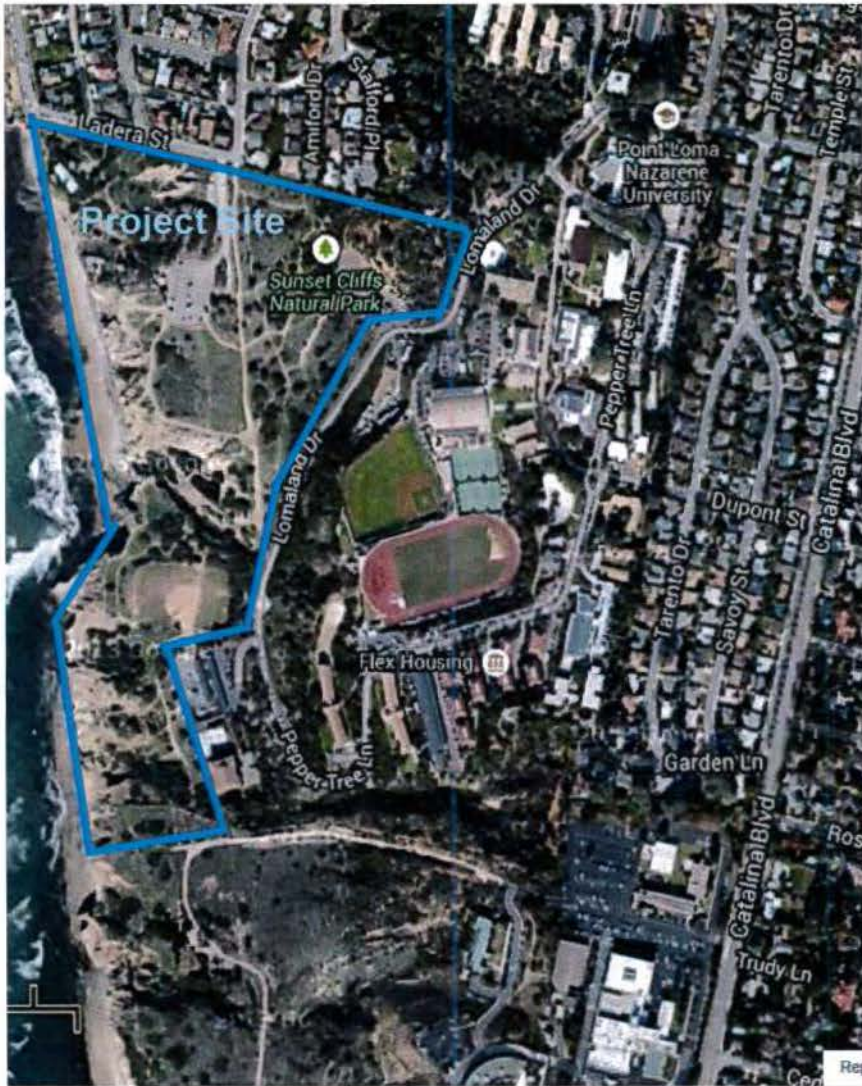
Respectfully submitted,



Morris E. Dye, Development Project Manager

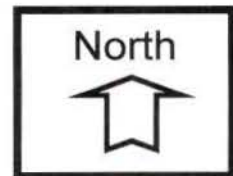
Attachments:

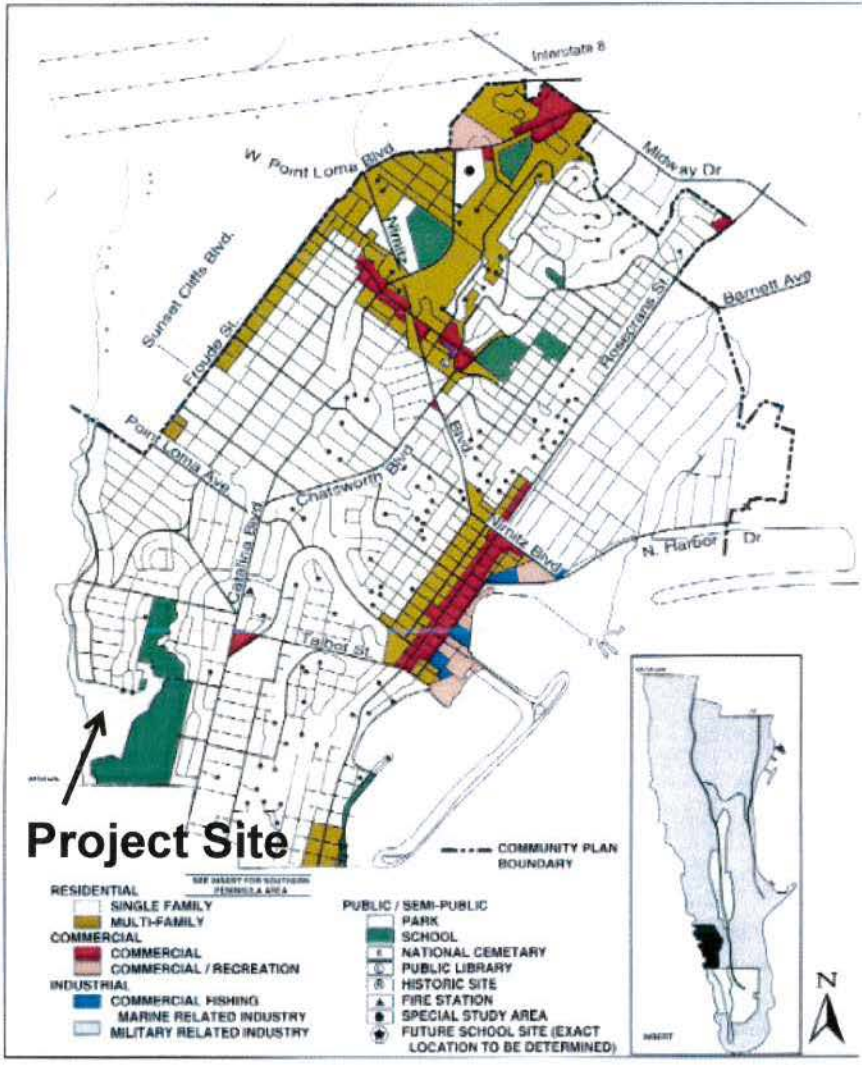
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Resolution
7. Community Planning Group Recommendation
8. Project Plans Excerpts



Location Aerial Photo

Sunset Cliffs Natural Park Hillside Improvements – South of Ladera Street
PROJECT NO. 236548





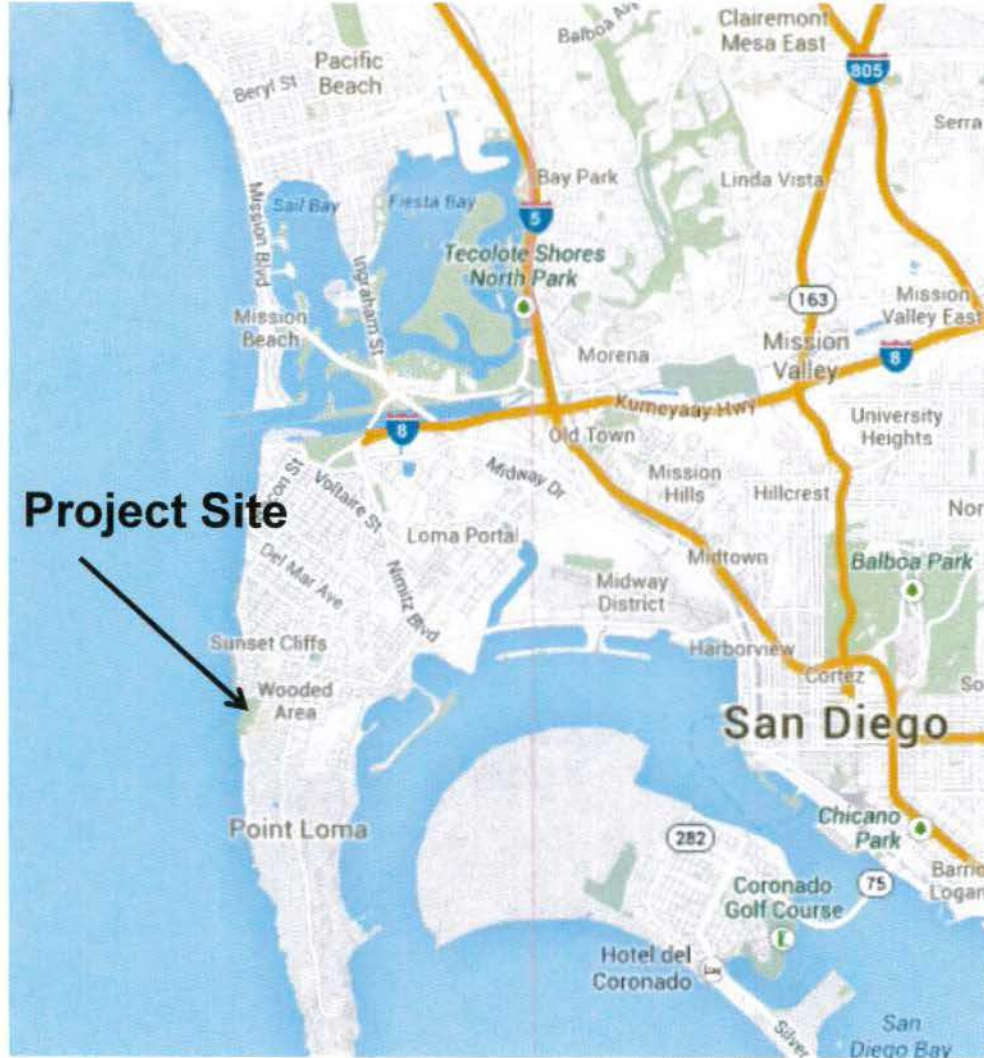
 **Peninsula Community Plan**
CITY OF SAN DIEGO • PLANNING DEPARTMENT



Land Use Map

Sunset Cliffs Natural Park Hillside Improvements – South of Ladera Street
PROJECT NO. 236548

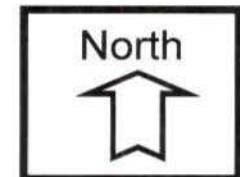




Project Location Map

Sunset Cliffs Natural Park Hillside Improvements – South of Ladera Street

PROJECT NO. 236548



HEARING OFFICER
 RESOLUTION NO. _____
 COASTAL DEVELOPMENT PERMIT NO. 850065
 SITE DEVELOPMENT PERMIT NO. 850066
SUNSET CLIFFS HILLSIDE PARK PROJECT NO. 236548
MMRP

WHEREAS, the City of San Diego, Public Works-Engineering and Capital Projects Department of the City of San Diego, Owner/Permittee, filed an application with the City of San Diego to allow a pedestrian trail and associated appurtenances, observation point improvements, implementation of a phased revegetation program, removal of non-native vegetation and re-contouring and revegetation of a former ball field within the Hillside Section of the Sunset Cliffs Natural Park (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 850065/Site Development Permit No. 850066) on portions of a 50-acre site.

WHEREAS, the Sunset Cliffs Natural Park project site is located south of Ladera Street east of the Pacific Ocean, west of Point Loma Nazarene University and north of federal land managed by the U.S. Navy in the OP-1-1 zone and within the Peninsula Community Plan area.

WHEREAS, on December 11, 2013, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 850065/Site Development Permit No. 850066 pursuant to the Land Development Code of the City of San Diego.

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 11, 2013.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The Peninsula Community Plan/Local Coastal Program indicates that there are shoreline views from Sunset Cliffs Natural Park, but does not identify any planned or existing physical access points within the Park to the shoreline. As the primary purpose of the project is to improve an existing pedestrian trail system that provides physical and visual public access along the Pacific Ocean shoreline, provides improvements to associated appurtenances and observation points located within the Sunset Cliffs Natural Hillside Park, the project would enhance and protect views along the ocean and other scenic coastal areas. The Peninsula Community Plan and Local Coastal Program recommend improving the access in the Park. The project would improve access trails to meet City Park and Recreation design standards and comply with Americans with Disabilities Act (ADA) accessibility requirements. Trail improvement would include natural surfacing and linking observation points and linking trails and the Park to the surrounding community. Bicycle access through the park would also be improved by the project. Improved physical access to the shoreline in the park provides improved access to scenic coastal areas and public views within the Park.

As access to views and the shoreline would be enhanced by trail and other improvements in the Park, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project site contains Environmentally Sensitive Lands in the form of sensitive biological resources, steep hillsides, the coastal bluff, and coastal beaches. Following the preparation of a Sunset Cliffs Natural Park Master Plan, Master Environmental Impact Report (MEIR) No. 91-0644, a Master Environmental Impact Report Subsequent Project Findings document was prepared. Through its Initial Study that document identified that the project could have significant environmental effects in the areas of: Land Use (Multiple Species Conservation Program/Multi-Habitat Planning Area (MSCP/MHPA)); Biological Resources; Historical Resources (Archaeology); and Paleontological Resources. The proposed project is within the scope of analysis of the Sunset Cliffs Natural Park Master Plan as examined by the MEIR. No substantial changes have occurred with respect to the circumstances under which the MEIR was certified. The project now includes mitigation that would avoid or mitigate any potentially significant environmental effects to these resources.

A Brush Management Zone is located along the northeastern edge of the project site. The project is designed to comply with the City of San Diego's Brush Management regulations in that target non-native/invasive plant species would be removed during Phase 2 revegetation efforts. In addition, Tier I-III habitats on the site would be flagged and avoided during construction. Trail

construction would impact 0.28-acre of Tier I-IIIB upland habitat and that impact would be mitigated on site as part of the project. Phase 2 revegetation would result in excess habitat (7.71 acres) that could be used for future mitigation needs of projects, consistent with the MEIR.

As the project would avoid or mitigate for potential impacts to environmentally sensitive lands, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The Peninsula Community Plan/Local Coastal Program designates the project site for Park space and that the area should remain free of development. It also calls for increasing access to the shoreline area of the Sunset Cliffs Park and for providing visual access where physical access is restricted due to safety concerns. The project proposes to enhance trails and access points by physically improving the trails and making them ADA compliant where possible. These trail and access improvements increase visual access to the shoreline, also called for in the Local Coastal Program. In addition, the project proposes to remove foundations associated with buildings damaged by fire, thus removing developments from the Park, consistent with the Plan.

Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the Certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project site is located within the nearest public roadway in Ladera Street. For private developments, Chapter 3 of the California Coastal Act addresses the requirement for new developments to not impede public access to Coastal amenities. Although the project is a public development, the primary purpose of the project is to increase safe public access to the shoreline at the Sunset Cliffs Natural Hillside Park and its visual access points. The project would improve trails and provide bicycle access through the Park. Therefore, the project would not impede

public access to the nearby coastal amenity. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The Peninsula Community Plan/Local Coastal Program designates the project site for Park space and that the area should remain free of development. It also calls for increasing access to the shoreline area of the Sunset Cliffs Park and for providing visual access where physical access is restricted due to safety concerns. The project proposes to enhance trails and access points by physically improving the trails and making them ADA compliant where possible. These trail and access improvements increase visual access to the shoreline, also called for in the Local Coastal Program. In addition, the project proposes to remove foundations associated with buildings damaged by fire, thus removing developments from the Park, consistent with the Plan. As the project improves access to the shoreline and coastal viewpoints called for in the Local Coastal Program the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

An integral purpose of the project is to improve public safety through access trail improvement. The project will connect observation points and link the trail system to the surrounding community. Paths would be leveled and cleared. Slope erosion and trail wash out would also be reduced through revegetation of other closed trails and restoring the ball field to pre-existing contours and replanting with native plants. In addition, an Americans with Disabilities Act (ADA) trail would be created to allow access from a lower parking lot to an observation point. Also, a new drainage swale vegetated with native plants would be created on the slope above a new multi-use trail to reduce the amount of runoff crossing the trail from the hillside above. These collective improvements would help direct park users to designated safe trails and reducing the potential for injury.

As the project would reduce runoff, improve trail conditions, would link observation points and would link the Park to the surrounding community, the proposed development will not be detrimental to the public health, safety and welfare.

3 The proposed development will comply with the applicable regulations of the Land Development Code;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

No deviations to applicable regulations are proposed. The project includes improvements to an eight-foot sewer easement access path that would comply with ADA accessibility requirements. The project would adhere to the ESL 40-foot setback requirement for sensitive coastal bluffs for all improvements. In addition, all proposed landscape improvements would comply with the City of San Diego Landscape Technical Manual.

The project would comply with all Land Development Code requirements and, therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project would improve existing trails, and close other trails close to the sensitive coastal bluff and remove non-native vegetation. This proposal would reduce the impact on sensitive biology, the sensitive coastal bluff and provide for the minimum disturbance to environmentally sensitive lands. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in the minimum disturbance to environmentally Sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work

within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project includes trail improvements to existing trails or will improve disturbed areas by revegetation, restoring land forms to their natural state. Much of the landscape had been disturbed by a high level of park activity and the use of unauthorized trails. Remaining native vegetation would be fenced off and preserved in place during construction activities. The project would also include removing non-native vegetation throughout the park and replant with native species. The revegetation would slow the flow of runoff water down the slopes of the park and to the coastal bluff, reducing erosion in the area. The project is not located within a special flood hazard area.

As the project would minimize the impact on native vegetation and replace non-native plants with native vegetation, and reduce water runoff the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

This project has been designed to preserve the highest quality biological resources on site. Sensitive vegetation communities occurring on site have been mapped during biological surveys performed by a qualified URS biologist. This map was provided to the design team and used to avoid impacts to sensitive plant species occurring on site. The proposed improvements and trail alignments have been sited to impact the least sensitive vegetation to the greatest extent possible. Much of the landscape has been disturbed by the high level of park activity and the use of unauthorized trails. Stands of native vegetation will be fenced off and preserved in place during construction. Areas impacted during construction will be revegetated with native plants and at a future time a second phase will include an effort to remove non-native plants throughout the park and replant with native species to create high quality habitat within the park.

In many areas trails were shifted further from the bluff edge than was approved in the SCNP master plan to provide greater safety for park users and protect the stability of the bluffs. The proposed project does not propose any improvement to occur closer to the bluff edge than currently exists and all work within 40 feet of the bluff edge will involve restoring previously disturbed areas with native plants to stabilize the soils and reduce erosion.

As the project would preserve biological resources on site and shift park use away from the sensitive coastal bluff, the proposed development would be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park (SCNP) in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project site is located within the Multiple Species Conservation Program's Multi-Habitat Planning Area (MHP) area. The project will not involve impacts to sensitive plant species. In 2011, spring surveys for sensitive plant species (San Diego sand aster, cliffspurge, Orcutt's spineflower and wart stemmed ceanothus) were performed by qualified URS biologists as required in the Master Environmental Impact Report for SCNP. Rare plant surveys were conducted on foot for the entire project site to determine the presence or absence, location, and abundance of special status plant species. Additional individual special status species were identified in approximately nine locations during those surveys. In construction areas near special status species, the following mitigation measures will be implemented to ensure these plants are not damaged: Special status plant species will be avoided by flagging individual plants within 20 feet of proposed construction activities to alert construction crews of their presence. These individuals may also be fenced off, if necessary, to ensure avoidance. The biological monitor present during construction activities will also ensure that construction crews avoid rare plants. For the protection of other protected species, specifically the California gnatcatcher, no work will occur within the breeding season without performing pre-construction protocol surveys during the appropriate time of year. These efforts are consistent with the MSCP Subarea Plan. Therefore the proposed development will be consistent with the City of San Diego's MSCP) Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project site is immediately adjacent to the Pacific Ocean. The proposed project has been designed to reduce erosion occurring on site and to protect the adjacent public beach from disturbance. This project proposes to install low-impact storm water improvements such as vegetated swales, water bars, revegetation of bare areas, removal of an existing turf field and hardscape from the burned down southern Ladera Street properties and restoration with native plants. These efforts will help increase on site infiltration and reduce erosion of soils within the park slopes and to coastal bluffs. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project would construct a pedestrian trail, associated appurtenances and observation point improvements, and implementation of a phased revegetation program, removal of non-native vegetation, re-contouring and revegetation of a former ball field and removed foundation work within the Hillside Section of the Sunset Cliffs Natural Park in the OP-1-1 zone and within the Peninsula Community Plan Area.

The project proposes to implement the recommendations of the Sunset Cliffs Natural Park Master Plan. Project improvements include improvement of existing trails to meet City Park and Recreation design standards, revegetation of trails currently not suitable for safe use, removal of the remaining southern Ladera Street building foundations and restoration of the developed areas with native plants, removal of the existing ball field and revegetation with native plants, construction of a vegetated swale and storm water improvements to capture flow and reduce erosion of the park slopes, ADA improvements to provide better access to the park, and installation of viewpoints, trash cans, hand railings and a new entry monument sign.

All improvements are proposed to implement the recommendations of the SCNP Master Plan. Mitigation measures included in the SCNP Master Plan MEIR have been incorporated and modified where necessary to provide the greatest protection for on-site resources possible. Many project impacts were avoided through redesign of the project where needed to reduce the level of impacts and preserve resources in place. Updated mitigation measures were incorporated into the report recommendations to comply with the current standards for archaeological and cultural resources on site. An historical evaluation report was prepared for the Ladera Street house to identify the significance of the structure and the architect, Richard Lareau.

This project will provide restoration of upland habitat in the form of Tier I and Tier II to mitigate for direct impacts to Tier I, II and IIIB habitat consisting of 0.01 acre of Maritime Succulent Scrub (Cactus scrub), 0.01 acre of unvegetated sandstone, <0.01 acre of cliff face, beach and rocky shore, 0.15 acre of coastal sage scrub (including 0.10 of disturbed habitat) and 0.11 acre of non-native grassland within the MHPA via restoration of 0.30 acres of habitat, consisting of 0.02 acre of Maritime Succulent Scrub (Cactus scrub), 0.02 acre of unvegetated sandstone, <0.01 acre of cliff face, beach & rocky shore, 0.15 acres of Diegan coastal sage scrub and 0.11 acres of non-native grassland. All work will occur as outlined in the conceptual *Revegetation Plan (Plan)* prepared by URS Corporation (April 2013).

The revegetation plan exceeds the mitigation requirement by providing for a total net increase of 6.96 acres of sensitive vegetation (Tiers I, II and IIIB) in Phase 1 and a total net increase of 7.71 acres of sensitive vegetation (Tiers I and II) in Phase II. Phase II revegetation would remove ruderal habitat, non-native grassland and eucalyptus trees and revegetate the areas to maritime succulent scrub (Tier I) and coastal sage scrub (Tier II) habitats. After Phase 2, the 37.95 acre Project site should support 34.78 acres of Tier I and Tier II habitat (Table 8) for a total net increase of 14.67 acres. Areas successfully restored beyond the 0.30 acres required as mitigation for the project shall be available to offset mitigation requirements for future projects consistent with the MEIR within SCNP. Consultation with DSD Environmental and MSCP staff along with approval by the Wildlife Agencies (if applicable) shall be required prior to sign-off in order to

verify that project types within SCNP (and their location) would be able to use excess the mitigation credits.

As the project would revegetate and restore sensitive habitat within the project site as described, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 850065/Site Development Permit No. 850066 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 850065/Site Development Permit No. 850066, a copy of which is attached hereto and made a part hereof.

Morris E. Dye
Development Project Manager
Development Services

Adopted on: November 20, 2013

Job Order No. S.10091.02.06

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: S.10091.02.06

COASTAL DEVELOPMENT PERMIT NO. 850065
SITE DEVELOPMENT PERMIT NO. 850066
SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS - MMRP
PROJECT NO. 236548
HEARING OFFICER

This Coastal Development Permit No. 850065/Site Development Permit No. 850066 is granted by the Hearing Officer of the City of San Diego to the City of San Diego, Public Works-Engineering and Capital Projects Department, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708 and SDMC section 143.0110. The project site is located along the coastline south of Ladera Street and west of Lomaland Drive to the Naval Facilities Engineering Command in the OP-I-1 zone of the Peninsula Community Plan Area.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee allow a pedestrian trail and associated appurtenances, observation point improvements, implementation of a phased revegetation program, removal of non-native vegetation and re-contouring and revegetation of a former ball field within the Hillside Section of the Sunset Cliffs Natural Park as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 11, 2013 on file in the Development Services Department.

The project shall include:

- a. Improvements to a pedestrian trail, associated appurtenances and observations points.
- b. Implementation of a phased revegetation program, removal of non-native vegetation and re-contouring and revegetation of a former ball field.
- c. Removal of concrete slab remaining from demolition of Ladera Street properties destroyed by fire and revegetation of the area with native plants.

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

ENGINEERING REQUIREMENTS:

11. The City Engineer shall ensure that the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

12. The City Engineer shall ensure that the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards, satisfactory to the City Engineer.

13. The drainage system proposed for this development is subject to approval by the City Engineer.

14. The City Engineer shall ensure that the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

15. The City Engineer shall ensure that development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-009 DWQ and the Municipal Storm Water Permit, Order No. 2009-009(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

16. The City Engineer shall ensure that a copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-009 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2009-009 DWQ.

LANDSCAPING REQUIREMENTS:

17. Prior to approval of 100% completion of construction documents, the Permittee Department shall ensure said documents to be prepared in accordance with the Land Development Code - Landscape Regulations and Biology Guidelines to include the revegetation and hydroseeding of all disturbed land and brush management adjacent to structures within 100-ft of native/naturalized vegetation. Construction Documents shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

18. The Permittee Department shall be responsible for the establishment and maintenance of all landscape improvements shown on the approved plans, consistent with the Landscape Standards and Exhibit "A" Conceptual Revegetation Plan.

ENVIRONMENTAL REQUIREMENTS:

19. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

20. The applicant shall comply with the MMRP as specified in MASTER ENVIRONMENTAL IMPACT REPORT SUBSEQUENT PROJECT FINDINGS NO. 236548, Findings to MEIR No 91-0644, SCH No.97101071 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: **Land Use(MSCP/MHPA), Biological Resources, Historical Resources (Archaeology), and Paleontological Resources.**

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

APPROVED by the Hearing Officer of the City of San Diego on December 11, 2013 and Resolution No. _____.

Coastal Development Permit No. 850065/Site Development Permit No. 850066
December 11, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Morris E. Dye
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Joseph Diab

By _____
Joseph Diab, Engineering and Capital
Projects, City of San Diego

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R- _____

ADOPTED ON _____

**A RESOLUTION ADOPTING FINDINGS AND MITIGATION
MONITORING AND REPORTING PROGRAM FOR THE
SUNSET CLIFFS NATURAL PARK HILLSIDE SECTION IMPROVEMENTS
PROJECT NO. 236548**

WHEREAS, on May 10, 2011, the City of San Diego Public Works Department submitted an application to City of San Diego, Development Services Department for a COASTAL DEVELOPMENT PERMIT (CDP) and SITE DEVELOPMENT PERMIT (SDP) to allow for the improvement of a pedestrian trail system, associated appurtenances and observation points, implementation of a phased revegetation program, removal of non-native vegetation and re-contouring and revegetation of the former ball field within the Hillside Section of the Sunset Cliffs Natural Park (SCNP) south of Ladera Street (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on December 11, 2013; and

WHEREAS, the City Council had previously certified Master Environmental Impact Report (MEIR) No. 91-0644 and adopted the Sunset Cliffs Natural Park Master Plan (Master Plan) on December 7, 2004; and

WHEREAS, the Sunset Cliffs Natural Park Hillside Section Improvements project site is within the Sunset Cliffs Natural Park Master Plan area; and

WHEREAS, in connection with the consideration of the Project the Hearing Officer considered Findings (No. 236548) to MEIR No. 91-0644, and the Initial Study prepared for the Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer of the City of San Diego, that it makes the following findings with respect to the White Residence Project in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the findings reflect the independent judgment of the City of San Diego as Lead Agency, and that the information contained in Findings (No. 236548) to MEIR No. 91-0644, the Initial Study prepared for the Project, and any comments received during the public review process, has been reviewed and considered by the Hearing Officer:

- a) Implementation of the proposed project would not result in any additional significant effects on the environment beyond those identified in the Master Environmental Impact Report, as defined in Subdivision (d) of Section 21158 of the Public Resources Code. As such, the proposed project would not require additional mitigation measures and/or alternatives analysis, and the White Residence Project is within the scope of the MEIR No. 91-0644.
- b) No substantial changes have occurred with respect to the circumstances under which the Sunset Cliffs Natural Park Master Plan, Master Environmental Impact Report No. 91-0644 was certified, there is no new available information which was not known and could not have been known at the time that the MEIR was certified has become available.

BE IT RESOLVED, that pursuant to State CEQA Guidelines Section 15177(d) and California Public Resources Code Section 21081.6, the Hearing Officer hereby adopts the project-specific Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT RESOLVED, that the Findings (No. 236548) to MEIR No. 91-0644, and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the DEVELOPMENT SERVICES DEPARTMENT, 1222 FIRST AVENUE, SAN DIEGO, CA 92101 or CITY CLERK, 202 C STREET, SAN DIEGO, CA 92101.

BE IT FURTHER RESOLVED, that the Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED:

By: _____
Morris Dye
Development Project Manager

ATTACHMENT: Exhibit A - Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

**COASTAL DEVELOPMENT PERMIT (CDP) No. 850065 AND
SITE DEVELOPMENT PERMIT (SDP) NO. 850066
SUNSET CLIFFS NATURAL PARK HILLSIDE SECTION IMPROVEMENTS
PROJECT NO. 236548**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Advanced Planning and Engineering Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in Findings No. 236548 to MEIR No.91-0644 shall be made conditions of **CDP No. 850065 & SDP No. 850066** as may be further described below.

A. GENERAL REQUIREMENTS – PART I**Plan Check Phase (prior to permit issuance)**

1. Prior to issuance of a Notice to Proceed (NTC) or any construction permits, including but not limited to the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, or any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD) (plans, specification, details, etc.) to ensure the MMRP requirements have been incorporated.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

B. GENERAL REQUIREMENTS – PART II**Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division

and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants as necessary:

Project Biologist/Monitors
Landscape Contractor
Archaeologist/Monitors
Native American Observer/Monitors
Palcontologist/Monitors

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division**
858-627-3200

b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

- 2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 236548 or for subsequent future projects the associated PTS No, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's ED, MMC and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

- 3. OTHER AGENCY REQUIREMENTS:** Evidence that any other agency requirements or permits have been obtained or are in process shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency as applicable.

NONE REQUIRED FOR THIS PROJECT

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.
5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<i>Issue Area</i>	<i>Document submittal</i>	<i>Associated Inspection/Approvals/Note</i>
General meeting	Consultant Qualification Letters	Prior to Pre-construction
General Biology	Consultant Const. Monitoring Revegetation/Restoration Plans	Prior to or at Pre-Con Meeting Limit of Work Verification/site observations
Biology	Biology Monitoring Reports	Precon survey/monitoring reports
Archaeology meeting	Consultant Qualifications	Prior to Pre-Construction
Archaeology final)	Archaeology Monitoring Reports	Monitoring Reports (draft +
Paleontology final)	Paleontological Monitoring Reports	Monitoring Reports (draft +
Final MMRP	Final monitoring reports	Final MMRP inspection

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIOLOGICAL RESOURCES (MITIGATION FOR DIRECT IMPACTS TO TIER 1 – IIIB HABITAT)

THIS PROJECT REQUIRES IMPLEMENTATION OF MITIGATION FOR DIRECT IMPACTS TO TIER I-IIIB HABITAT IN ACCORDANCE WITH THE *BIOLOGICAL RESOURCES TECHNICAL REPORT FOR THE SUNSET CLIFFS NATURAL PARK HILLSIDE SECTION IMPROVEMENTS* prepared by URS (APRIL 2013) AND AS INDICATED IN TABLE 1 BELOW:

I. Entitlement Plan Check - Prior to Permit Issuance

- a. Prior to Permit Issuance and/or the Notice to Proceed (which will be sent to DSD), the Owner/Permitee shall provide detailed plans and specifications to DSD for review for the restoration of upland habitat satisfactory to the City Manager to mitigate for direct impacts to Tier I, II and IIIB habitat consisting of 0.01 acre of Maritime Succulent Scrub (Cactus scrub), 0.01 acre of unvegetated sandstone, <0.01 acre of cliff face, beach and rocky shore, 0.15 acre of coastal sage scrub (including 0.10 of disturbed habitat) and 0.11 acre of non-native grassland within

the MHPA via restoration of 0.30 acres of habitat, consisting of 0.02 acre of Maritime Succulent Scrub (Cactus scrub), 0.02 acre of unvegetated sandstone, <0.01 acre of cliff face, beach& rocky shore, 0.15 acres of Diegan coastal sage scrub and 0.11 acres of non-native grassland. Specifications must be found to be in conformance with the conceptual *Revegetation Plan (Plan)* prepared by URS Corporation (April 2013).

TABLE 1
SENSITIVE VEGETATION IMPACTS AND MITIGATION FOR TRAIL IMPROVEMENTS

VEGETATION COMMUNITY	MSCP TIER	EXISTING ACRES	MITIGATION RATIO	ACRES IMPACTED	REQUIRED MITIGATION	ACRES REMAINING & PRESERVED ON-SITE
Maritime Succulent Scrub (Cactus Scrub)	I	1.87	2:1	0.01	0.02	1.86
Unvegetated Sandstone	I	3.18	2:1	0.01	0.02	3.17
Cliff Face, Beach and Rocky Shore	I	1.00	2:1	<0.01	<0.01	1.00
Coastal Sage Scrub	II	3.16	1:1	0.05	0.05	3.11
Disturbed Coastal Sage Scrub	II	7.08	1:1	0.10	0.10	6.98
Non-Native Grassland	IIIB	4.10	1:1	0.11	0.11	3.99
TOTAL				0.28	0.30	20.11

- b. **Note: The revegetation plan exceeds the mitigation requirement by providing for a total net increase of 6.96 acres of sensitive vegetation (Tiers I, II and IIIB) in Phase 1 and a total net increase of 7.71 acres of sensitive vegetation (Tiers I and II) in Phase II. Phase II revegetation would remove ruderal habitat, non-native grassland and eucalyptus trees and revegetate the areas to maritime succulent scrub (Tier I) and coastal sage scrub (Tier II) habitats. After Phase 2, the 37.95 acre Project site should support 34.78 acres of Tier I and Tier II habitat (Table 8) for a total net increase of 14.67 acres. Areas successfully restored beyond the 0.30 acres required as mitigation for the project shall be available to offset mitigation requirements for future projects consistent with the MEIR within SCNP. Consultation with DSD Environmental and MSCP staff along with approval by the Wildlife Agencies (if applicable) shall be required prior to sign-off in order to verify that project types within SCNP (and their location) would be able to use excess the mitigation credits.**

1. Mitigation Goal: The project shall mitigate for impacts to 0.28 acres of upland habitat through the restoration of 0.02 acre of Cactus scrub, 0.02 acre of unvegetated sandstone, <0.01acre of cliff face/beach/rocky shore, 0.15 acre Diegan coastal sage and 0.11 acre of non-native grassland within the Sunset Cliffs Natural Park Hillside Section as detailed in the Plan.
2. Responsibilities: The Contractor shall be responsible for all grading and contouring, clearing and grubbing, installation of plant materials and native seed mixes, and any necessary maintenance activities or remedial actions required during installation and the 120-day plant establishment period as detailed in the Mitigation Plan. Standard Best Management Practices shall be implemented to insure that sensitive biological resources would not be impacted by water runoff.
3. Biological Monitoring Requirements: All biological monitoring in or adjacent to wetlands shall be conducted by a qualified wetland biologist. The biologist shall conduct construction monitoring during all phases of the project. Orange flagging shall be used to protect sensitive habitat. Construction related activity shall be limited to the construction corridor areas as identified on the construction plans. Both a detailed Performance Criteria plan and all the maintenance requirements are found in the Offsite Mitigation Plan.
4. Notification of Completion: At the end of the fifth year, a final report shall be submitted to Mitigation Monitoring Coordination section evaluating the success of the mitigation. The report shall make a determination of whether the requirements of the mitigation plan have been achieved. If the final report indicates that the mitigation has been in part, or whole, unsuccessful, the Applicant shall be required to submit a revised or supplemental mitigation program to compensate for those portions of the original mitigation program which were not successful. At such time, the Applicant must consult with the Development Services Department. The Applicant understands that agreed upon remedial measures may result in extensions to the long-term maintenance and monitoring.

II. Prior to Construction

- A. **Biologist Verification** -The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting** - The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora

surveys/salvage.

- C. **Biological Documents** - The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Regulation (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **BCME** -The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. **Avian Protection Requirements** - To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.

- F. **Resource Delineation** - Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education** –Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

III. During Construction

- A. **Monitoring**- All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on “Exhibit A” and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. **Subsequent Resource Identification** - The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.-

IV. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 90 days of construction completion.

GENERAL NESTING BIRD MITIGATION

To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

LAND USE – MULTIPLE SPECIES CONSERVATION PROGRAM (MSCP/MHPA)

- I. Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify the Applicant has accurately represented the project's design in or on the Construction Documents (CD's/CD's consist of Construction Plan Sets for Private Projects and Contract Specifications for Public Projects) are in conformance with the associated discretionary permit conditions and Exhibit "A", and also the City's Multi-Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines. The applicant shall provide an implementing plan and include references on/in CD's of the following:
 - A. **Grading/Land Development/MHPA Boundaries** - MHPA boundaries on-site and adjacent properties shall be delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the development footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.
 - B. **Drainage** - All new and proposed parking lots and developed areas in and adjacent to the MHPA shall be designed so they do not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.

- C. **Toxics/Project Staging Areas/Equipment Storage** - Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Where applicable, this requirement shall incorporated into leases on publicly-owned property when applications for renewal occur. Provide a note in/on the CD's that states: *"All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."*
- D. **Invasives**- No invasive non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- E. **Noise** - Due to the site's location adjacent to or within the MHPA where the Qualified Biologist has identified potential nesting habitat for listed avian species, construction noise that exceeds the maximum levels allowed shall be avoided during the breeding seasons for the following: California Gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species, U.S. Fish and Wildlife Service protocol surveys shall be required in order to determine species presence/absence. If protocol surveys are not conducted in suitable habitat during the breeding season for the aforementioned listed species, presence shall be assumed with implementation of noise attenuation and biological monitoring.

When applicable (i.e., habitat is occupied or if presence of the covered species is assumed), adequate noise reduction measures shall be incorporated as follows:

SPECIAL STATUS BIRD CONDITIONS

All maintenance activities shall be conducted outside established breeding seasons for the following special-status birds (i.e., August 15 through March 1, annually) which are known to occur within the study area: California gnatcatcher.

CALIFORNIA GNATCATCHER (STATE ENDANGERED/FEDERALLY ENDANGERED)

No clearing, grubbing, grading, or other construction activities shall occur between *March 1st and August 15th*, the breeding season of the California Gnatcatcher, until the following requirements have been met to the satisfaction of the ADD/Environmental Designee:

- A. A qualified biologist (possessing a valid Endangered Species Act Section 10(a)(1)(a) recovery permit) shall survey those areas that would be subject to construction noise levels exceeding 60 decibels [db(a)] hourly average for the presence of the California gnatcatcher. Surveys for this species shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the

breeding season prior to the commencement of construction. If the California Gnatcatcher is present, then the following conditions must be met:

- I. Between March 1 and August 15, no clearing, grubbing, or grading of occupied California gnatcatcher_habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - II. Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 db(a) hourly average at the edge of occupied California Gnatcatcher or habitat. An analysis showing that noise generated by construction activities would not exceed 60 db(a) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the city manager at least two weeks prior to the commencement of construction activities. Prior to the commencement of any of construction activities during the breeding season, areas restricted from such activities shall be staked, fenced or flagged under the supervision of a qualified biologist; or
 - III. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 db(a) hourly average at the edge of habitat occupied by the California Gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 db(a) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (September 16).
- * Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 db(a) hourly average or to the ambient noise level if it already exceeds 60 db(a) hourly average. If not, other measures shall be implemented in consultation with the biologist and the add/environmental designee, as necessary, to reduce noise levels to below 60 db(a) hourly average or to the ambient noise level if it already exceeds 60 db(a) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.
- B. If California gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the ADD/Environmental Designee and

applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1st and August 15th as follows:

1. If this evidence indicates the potential is high for California gnatcatcher to be present based on historical records or site conditions, then condition A. III., shall be adhered to as specified above.
2. If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

HISTORICAL RESOURCES (ARCHAEOLOGY)

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor

(where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a.. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of

fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.

4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section

15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally

appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
3. The cost for curation is the responsibility of the property owner.

C. Curation of artifacts: Accession Agreement and Acceptance Verification

1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective

measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.

- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

- A. Entitlements Plan Check
1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- B. PI Shall Attend Precon Meetings
1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or

suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.

3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction**A. Preparation and Submittal of Draft Monitoring Report**

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Fossil Remains

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate

C. Curation of fossil remains: Deed of Gift and Acceptance Verification

1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

D. Final Monitoring Report(s)

1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

Peninsula Community Planning Board Minutes
July 21, 2011
Meeting Room Pt. Loma Library

I. Parliamentary items:

Meeting called to order by Chair S. Khalil approx. 6:44 pm with Pledge of Allegiance

(note: MSP = Moved, Seconded and Passed; MSF = Moved, Seconded and Failed)

- A. **Approval of Agenda** –G. Page i) requested that in order to save time, that the Chair move three of his Chair Report items to when those topics would be discussed later in the meeting, ii) noted that the use of a Consent Agenda was new to the PCPB and objected to its use for tonight's agenda, iii) noted that while the Board appreciates the Information Items on the agenda, that the Action Items (and the people who have come to present those items) should take precedent and that Information Items should be moved to after the subcommittee reports, iv) again noted that all Community Members on the PCPB subcommittees should be approved by the Board and he did not see that on the agenda, and v) requested that a Procedural Matters Discussion be added to the end of the agenda to discuss several topics that he wished the Board to discuss. J. Shumaker noted that he believed that any person from the audience or the Board could remove an item from the Consent Agenda by objecting and Mr. Page noted that he would do so at that portion of the meeting. The Chair noted that with respect to the Information Items being moved to the front portion of the agenda, it was done in large part because our District 2 City Councilman Kevin Faulconer would be speaking tonight, and that his schedule required that he leave the meeting by 7:15 pm, so that change was being made to accommodate the Councilman's schedule. Separately, J. Gott noted that the phone numbers for the Airport Noise Compliance and the Neighborhood Code Compliance, which, historically, had been included at the bottom of the Agenda, had not been included this month and requested that they be re-inserted into the Agenda on a go-forward basis; the Chair noted that both those numbers are available on the Board's web site, but that he would include them going forward. The Agenda was then approved with no objections.
- B. **Attendance** – Board Members Present: S. Khalil, R. Michael, J. Gott, C. Veun, P. Clark, G. Page, J. Ross, J. Shumaker, N. Allenby, P. Nystrom, M. Ryan, and P. Webb. Absent: H. Kinnaird, N. Graham, and A. Jones. Community Attendance – see sign-in sheet posted on PCPB web site.
- B. **Approval of Minutes** – the minutes to the PCPB meeting on June 16, 2011 PCPB were presented by J. Gott for Board approval. A motion by P. Webb to approve the minutes, was seconded and they were approved MSP (11 RM, JG, CV, PC, GP, JR, JS, NA, PN, MR, PW) -- (0) -- (0).
- D. **Treasurer** – N. Graham was not in attendance and no report was given.

I. Information Items:

- A. **Councilman Kevin Faulconer's community updates:** San Diego City District 2 Councilman Kevin Faulconer made a presentation which started by him thanking the Board and the public in attendance for participating in our Community. He then noted that the City Redistricting Commission is moving towards a "final" proposed map which will not split the Peninsula (and Ocean Beach) communities into two separate districts, but rather redraw District 2 to include the Peninsula, Ocean Beach, Mission Beach & Bay, Pacific Beach, the Midway area and western portions of Linda Vista and Clairemont Mesa; the Final Proposal should be out within the next couple of weeks. Mr. Faulconer then introduced Michael Patton, representative and policy advisor to Mr. Faulconer for the Peninsula, Midway/North Bay, and Ocean Beach communities. He noted that the free Summer Concert Series has begun for 2011 and encouraged everyone to attend the concerts at the Point Loma Little League field / Point Loma Park. With respect to the SANDAG R1P 2050 plan, he noted that the missing I-8 / I-5 interconnects were still a need for the Community and that both "transit" and "mass transit" be prioritized on a balanced basis as the 2050 plan progresses. With respect to the Sunset Cliffs Natural Park, drainage remains a major issue and focus which he continues to support. With regard to moving forward with a full update of the Peninsula Community Plan update, funding in the current environment will be difficult to obtain. And finally, he thanked the public for supporting to keep all community libraries open as a resource to the communities. Questions were asked and observations made, and a discussion ensued. Two items of note were that another community of San Diego was pursuing the use of Redevelopment Funds to update their Community Plan and Mr. Faulconer said that would be worth looking into, and with regard to the jet fuel pipeline that runs from Naval Base Point Loma to the Marine Corp Air Station Miramar, he too was concerned with its age and condition and was supporting working with the Navy to address and advise the community as to its condition and plans for future use. S. Khalil requested support from Kevin Faulconer's Office for PCPB's efforts to bring forth a collaborative approach to solving SCNP Comprehensive Drainage Study issues that would require all City Water/Sewer/Park departments and stakeholders (PCPB/PLNU) to be involved. Mr. Faulconer stated he would support this effort.

I. Parliamentary items:**E. Non Agenda Public Comment –**

Julia Quinn - commented that the new seating arrangement for the PCPB meeting made it difficult for the audience to see the projection screen. A discussion ensued with it noted that the arrangement may also have been less desirable from a fire safety perspective. The Chair noted that the rearrangement was a work in progress and that these comments would be taken into consideration for the next meeting.

II. Consent Agenda Items:

G. Page requested that all three Consent Agenda Items on the Agenda be moved to Action Items. The Chair acknowledged the request.

I. Information Items:

B. San Diego Regional Airport Authority - Ted Anasis, Manager of Airport Planning, San Diego Regional Airport Authority provided an update on "The Green Build" airport construction project; the steel framing for Terminal 2 has now been completed, the parking apron for planes for Terminal 2 has been installed; construction of the 2-level roadway (separating arrivals from departures) has started; a new blast fence has been constructed; a temporary parking lot has been established; and the Terminal 2 baggage system has been submitted for approval. Preconditioned air systems will be installed at the new gates, 50 electrical vehicle charging stations will be installed in the parking and exterior areas of the airport, and a new "Car 2 Go" program is expected to be accommodated. Separately, the Northside Improvements project is still in the EIR process and they are analyzing design options; when the final EIR is produced, a copy will be made available. With regard to the Noise Monitoring System (on the Agenda), Dan Frazee will speak on that topic at the next PCPB meeting in August. During the presentation and after, questions were asked and discussions ensued.

IV. Subcommittee Presentations:

A. Form Base (Long Range Planning) – J. Shumaker – noted that the subcommittee has received assistance from the New School of Architecture which has established a Summer Session Program for two of its students (John Martinez and Kyle Peterson) where the students will work on a project to work with members from the community to develop a long range vision for the community. Next steps will include arranging meetings to obtain community input. John Martinez was in attendance and introduced himself.

I. Information Items:

D. H2O Futures – Ned Daugherty and Terشيا d'Elgin presented an overview of an array of water conservation and water re-use projects and strategies that have been developed and implemented around the globe. Projects used untreated sea water, brackish water and also moderately treated waste water to develop and produce aquaculture, agriculture and various staged cleaner and clean water. They have received notice from the California Coastal Commission that they are approved for a \$50,000 grant to demonstrate such systems, and they have identified a potential site on the east side of the NTC Boat Channel where there is also proximity to the USGS San Diego Hydrogeology Project Office and also the SDSU Coastal Waters Laboratory as well as one of San Diego Wastewater's Pump Stations. The project would be intended to be an educational "waterhood park" where the public would be encouraged to walk through the park/project. Questions were asked and discussions ensued.

C. San Diego County Taxpayer's Association – redistricting map – no representative was present and no presentation was given.

IV. Subcommittee Presentations:

B. Parks & Recreation – Mike Ryan – noted that Building 619 at Liberty Station will be part of planned pool complex (the Aquatic Complex is still in the design phase); ground squirrels have returned along the boat channel at Liberty Station; at Dusty Rhodes Dog Park, there is no gate between the "large dog" and "small dog" zones – Mr. Ryan phoned a fence builder who indicated it would run approximately \$500 to install a gate; also there have been some discussions about turning the USS Recruit (former training ship on the NTC property) over to Parks and Recreation or to create a non-profit organization to acquire the structure (and hopefully restore it).

II. Consent Agenda / Action Items (now, all Action Items):

- A. **Sunset Cliffs Hillside Park Project #236548:** Joseph Diab, Project Manager City of San Diego, Joe Esposito, Consultant w/ Estrada Land Planning and Ali Darvishi, Chief Engineer, City of San Diego, all provided input into phased improvements planned for the "Hillside Section" of the Park, including discussions on phases and strategies for addressing drainage and types of native vegetation, strategies to provide signage, and also cable "fencing" to keep visitors on the trails. It was noted that the PCPB Project Review subcommittee had voted 6-0-0 to support the project. Significant questions were asked and a full discussion ensued. For more information on the Sunset Cliffs Natural Park (SCNP) and its Master Plan – see www.sunsetcliffs.info. A motion by P. Webb to recommend approval and implementation of the Coastal Development Permit (CDP) and the Site Development Permit (SDP) while the PCPB concurrently works collaboratively with the SCNP Committee and cooperatively with the Point Loma Nazarene University to address and resolve drainage concerns was approved MSP (10 RM, JG, CV, PC, JR, JS, NA, PN, MR, PW) – (1 GP) – (0).
- B. **AT&T Rosecrans LTE Substantial Conformance Review / CUP 3276 Rosecrans:** Kerrigan Deihl presented the request to use the 12 existing cell antennas mounts (with 6 currently in use) to install 12 newer generation technology antennas. C. Veum noted that the Project Review subcommittee had voted 3-0-1 to approve the request. After a discussion, a motion by R. Michael to approve the project / request was approved MSP (10 RM, JG, CV, PC, JR, JS, NA, PN, MR, PW) – (1 GP) – (0).
- C. **Rosecrans Starbuck's Zoning Violation:** John Alpert, Design Manager for Starbuck's presented the history regarding the construction of the windows facing Rosecrans and Carleton Streets, and the limitations to converting those windows into fully transparent views into the Starbuck's establishment. Mr. Alpert noted that projected costs to redesign the coffee shop to be fully compliant would make the location unsuccessful. Therefore, initially, Starbucks had proposed installing window coverings that were predominantly Starbuck's branding images – but that proposal was not received positively, so they developed new graphics with a collage of local images (provided by the Portuguese Historical Center and JVA Art Group) that would be installed on the exterior of the windows. Discussion ensued, with it being noted as to if the currently proposed solution would be less subject to weather and vandalism if the images were installed on the interior of the windows, but Mr. Alpert noted that some of the windows were not accessible from the inside, and thus that would not be possible. C. Veum noted that the Project Review Subcommittee had reviewed the proposal and had voted 4-0-0 to approve subject to a letter from the City (preferably the Zoning Administrator Bob Vacci) 1) stating what the City considers a satisfactory resolution of the issue, and 2) confirming that there are no other open issues. A motion by N. Allenby to approve the proposal subject to the same conditions noted by the Project Review Subcommittee (i.e.: receipt of a letter from the City (preferably the Zoning Administrator Bob Vacci) 1) stating what the City considers a satisfactory resolution of the issue, and 2) confirming that there are no other open issues) was approved MSP (10 RM, JG, CV, PC, GP, JS, NA, PN, MR, PW) – (1 JR) – (0).
- D. **Sunset Cliffs Natural Park Ad Hoc Subcommittee (per Agenda: "III Action Item b"):** The Chair suggested the formation of an Ad Hoc Subcommittee to review issues and recommendations regarding the Sunset Cliffs Natural Park as a PCPB Ad Hoc subcommittee & an adjunct to the Environment / Water Subcommittee. SCNP Ad Hoc Subcommittee members recommended were Norm Allenby (Chair), Paul Webb, Suhail Khalil (ex-officio), and from the community, Craig Barilotti, Camilla Ingram, Ann Swanson and Ned Daugherty. The formation of the SCNP Ad Hoc subcommittee and the composition was approved without any opposition.
- E. **PCPB Traffic & Transportation Subcommittee request (per Agenda: "III Action Item a"):** P. Nystrom, Chair of the subcommittee noted that comments on the City's Smart Growth Concept Map could be provided to Tait Galloway, Senior Planner for the City of San Diego by August 1, 2011. It was noted that the Rosecrans corridor was currently showing as "mixed use transit corridor" and it did not include Liberty Station in the area. After a good deal of discussion, a motion by J. Shumaker that the land use designation for the area extending down from Talbot north to Lytton be designated as a commercial town center rather than as a mixed use transit corridor was approved MSP (9 RM, JG, CV, PC, JS, NA, PN, MR, PW) – (2 GP, JR) – (0). Additionally, P. Nystrom noted that community member Anthony (Tony) Reid, Ministry Leader with the Rock Church Parking Ministry, was interested in joining the PCPB Traffic and Transportation Subcommittee. Mr. Reid introduced himself and provided a bit of his background and interest in joining the subcommittee. Mr. Reid's addition to the subcommittee was approved without any objection.

There being no more time left for additional items on the agenda, the meeting was adjourned.

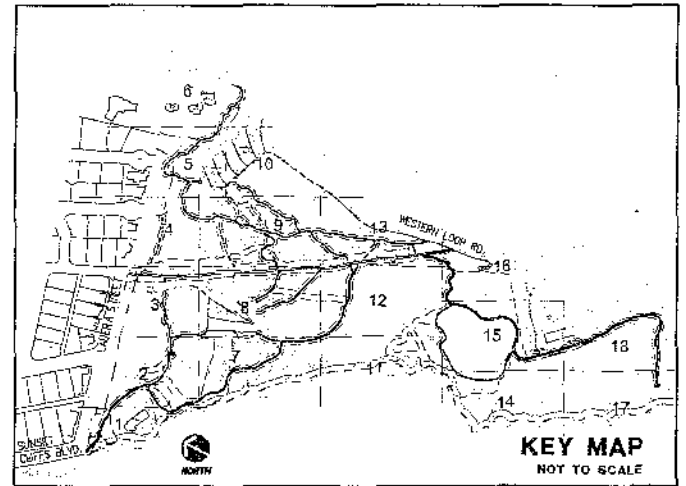
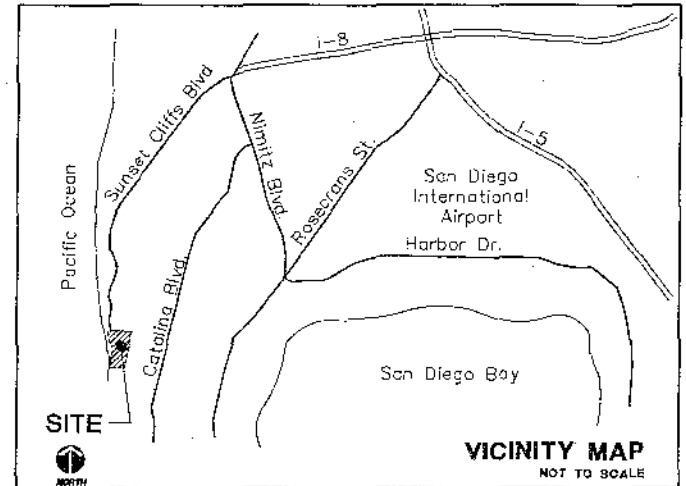
V. Adjournment: 9:45 pm

Next PCPB monthly meeting 3701 Voltaire August 18, 2011 at 6:30 PM Pt. Loma Hervey Library.

Airport Noise Compliance 619-400-2799
Neighborhood Code Compliance 619-236-5500

Prepared by: John Gott, Secretary
 FINAL: August 18, 2011

PLANS FOR THE RENOVATION OF, SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS



CONSTRUCTION TYPE:
RESTORE PARK TO NATURAL, OPEN SPACE PARK, (DEDICATED PUBLIC PARK)

STREET ADDRESS
495 LADERA STREET
SAN DIEGO, CA

LEGAL DESCRIPTION:
SUNSET CLIFFS NATURAL PARK IS A 69 ACRE RESOURCE PARK STRETCHING ALONG THE PACIFIC OCEAN BORDERING THE WESTERN EDGE OF POINT LOMA. THE 16 ACRE LINEAR SECTION OF THE PARK LIES TO THE WEST OF SUNSET CLIFFS BLVD. BETWEEN ADAIR ST. AND LADERA ST. THE 53 ACRE HILLSIDE SECTION LIES SOUTH OF THE LADERA ST. BETWEEN POINT LOMA MARINE UNIVERSITY AND THE PACIFIC OCEAN IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

DESCRIPTION OF THE SCOPE OF WORK
PLANS, NOTES, SPECIFICATIONS AND DETAILS FOR THE RENOVATION OF SUNSET CLIFFS NATURAL PARK INCLUDING IMPROVEMENT OF THE PEDESTRIAN TRAILS AND OBSERVATION POINTS, IMPLEMENTATION OF A REVEGETATION PROGRAM, REMOVAL OF THE DIXON ESTATES AND LADERA STREET HOUSE PROPERTIES, REMOVAL OF EXOTIC NON-NATIVE PLANTS, REMOVAL AND RECONTOURING OF BALL FIELD.

CONTRACTOR'S RESPONSIBILITIES
CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

OWNER/APPLICANT
CITY OF SAN DIEGO, ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
MANAGER: JOSEPH DIAB, (619) 533-4616

STANDARD DRAWINGS/STANDARD SPECIFICATIONS

- CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("WHITEBOOK"), 2012 EDITION, DOCUMENT NO. PITS07012-02.
- STANDARD SPECIFICATIONS FOR PUBLIC WORKS (GREENBOOK), 2012 EDITION, DOCUMENT NO. PITS07012-01.
- 1999 STANDARD SPECIAL PROVISIONS FOR SIGNALS, LIGHTING AND ELECTRICAL SYSTEMS OF CITY OF SAN DIEGO, DOCUMENT NO. 769642, FILED OCTOBER 22, 1999.
- CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONE," 1996 ED. DOCUMENT NO. 769643, FILED JANUARY 24, 2000.
- CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, 2012 EDITION, DOCUMENT NO. PITS07012-03.
- CALIFORNIA MUTCD, 2012 EDITION, DOCUMENT NO. PITS07012-04

CODES AND REGULATIONS:

- ACCESSIBILITY REGULATIONS, TITLE 24, CURRENT EDITION, AND "ACCESS COMPLIANCE REFERENCE MANUAL", CURRENT EDITION, PREPARED BY THE DIVISION OF THE STATE ARCHITECT.
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- US CONSUMER PRODUCT SAFETY COMMISSION HANDBOOK FOR PLAYGROUND SAFETY 1999
- 2010 CALIFORNIA BUILDING CODE (CBC) PART 2, CBCS 12009 IBC AND 2010 CALIFORNIA AMENDMENTS; AMERICAN WITH DISABILITIES ACT (ADA) ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX D: 28 CFR PART 36)
- "CONSULTANT'S GUIDE TO PARK DESIGN AND DEVELOPMENT", CITY OF SAN DIEGO PARK & RECREATION DEPARTMENT, NOVEMBER 2010.

UNDERGROUND UTILITIES:

CAUTION !!!
BEFORE EXCAVATION, VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

AT LEAST THREE (3) WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL REQUEST MARKOUT OF UNDERGROUND UTILITIES BY CALLING THE BELOW LISTED REGIONAL NOTIFICATION CENTER FOR AN INQUIRY IDENTIFICATION NUMBER:

UNDERGROUND UTILITIES

ALERT (GAS, ELECTRIC, TELEPHONE, WATER, SEWER, LIGHTING AND T.V.) CITY BUILDINGS DIVISION	1-800-422-4133
IRRIGATION SYSTEMS	(619) 525-8540
IRRIGATION CONTROL WRES	(619) 533-5783
	(619) 533-9785

WATER FEES
THE CITY OF SAN DIEGO PROJECT MANAGER AND THE CONSULTANT SHALL COORDINATE THE FOLLOWING WATER AND SEWER CAPACITY FEES SHALL BE PREPAID BY THE CITY FOR THE CITY CONTRACTS. THE CONTRACTOR SHALL PAY ALL OTHER CONSTRUCTION AND MAINTENANCE WATER METER AND SEWER FEES, AND SHALL COORDINATE WITH THE WATER UTILITIES DEPARTMENT FOR INSTALLATION OF SERVICES. ALLOW THREE (3) MONTHS NOTICE TO THE WATER UTILITIES DEPARTMENT. NO NEW SERVICES ANTICIPATED.

SHEET SIZE NOTE:
IF SHEET IS LESS THAN 22"x34", IT IS A REDUCED PLAN - SCALE ACCORDINGLY

PREPARED BY:
LANDSCAPE ARCHITECT:
ESTRADA LAND PLANNING, INC.
755 BROADWAY CIRCLE, SUITE 300,
SAN DIEGO, CA 92101
PHONE: 236-2043, FAX: (619) 236-0578
ATTN: JOE ESPOSITO

CIVIL ENGINEER:
NIELAND ENGINEERING
4740 RUFFER ST.
SAN DIEGO, CA 921
PH: (619) 232-7770
FAX: (619) 571-324
ATTN: DORY SCHRACK

ENVIRONMENTAL CONSULTANT:
URS
4225 EXECUTIVE SQ, STE 1600
LA JOLLA, CA 92037
PH: (619) 294-9400
FAX: (619) 293-7920
ATTN: PAT MOOK

OWNER/APPLICANT
CITY OF SAN DIEGO
PUBLIC WORKS DEPARTMENT
ENGINEERING AND CAPITAL PROJECTS
ARCHITECTURAL ENGINEERING & PARKS DIVISION,
PROJECT MANAGER: JOSEPH DIAB, (619) 533-4616

AS-BUILT DRAWINGS:
ATTENTION IS DIRECTED TO STANDARD SPECIFICATION, CITY OF SAN DIEGO SUPPLEMENTAL AMENDMENTS, SECTION 2-3.4 AS BUILT DRAWINGS.
CONTRACTOR IS REQUIRED TO DELIVER "AS-BUILT" INFORMATION, TO THE ENGINEER, PRIOR TO THE FIELD ACCEPTANCE OF THE WORK.

WATER POLLUTION CONTROL NOTES:
THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS NOTED IN THE GREENBOOK 2009 CITY SUPPLEMENT SEC 801 - WATER POLLUTION CONTROL.

PARK INSPECTION TEAM

- SITE SUPERINTENDENT (CONTRACTOR REPRESENTATIVE)
- CONTRACTOR'S
- RESIDENT ENGINEER FROM FIELD ENGINEERING DIVISION
- CITY PROJECT MANAGER
- DESIGN CONSULTANT
- PARK AND RECREATION ASSISTANT MANAGER
- ACCESS COMPLIANCE OFFICER

INSPECTION SCHEDULE

- PRE-CONSTRUCTION MEETING
- DEMOLITION WORK
- ROUGH GRADING AND DRAINAGE
- IRRIGATION MAINLINE PRESSURE TEST
- WIRING PRIOR TO BACKFILLING TRENCHES
- FINISHING GRADING AND SOIL PREPARATION
- IRRIGATION COVERAGE TEST
- PLANT MATERIAL (WHEN DELIVERED) AND PLACEMENT APPROVAL
- PROJECT CONSTRUCTION 90% COMPLETE DEVELOP PUNCH LIST AND "SUMMIT" RED-LINE AS-BUILTS
- 90-DAY PLANT MAINTENANCE PERIOD (THIS INSPECTION TO BE HELD WHEN THE PUNCH LIST ITEMS ARE COMPLETE)
- FINAL WALK THROUGH, ACCEPTANCE BY CITY. (CONTRACTOR TO SUBMIT FINAL APPROVED AS-BUILTS TO THE CITY.)

DECLARATION OF RESPONSIBILITY
I HEREBY DECLARE THAT I AM THE LANDSCAPE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS LANDSCAPE ARCHITECT OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

BY: _____ DATE: _____
VICKI ESTRADA
ESTRADA LAND PLANNING
755 BROADWAY CIRCLE, SUITE 300
SAN DIEGO, CALIFORNIA 92101
VSTRADAB@ESTRADALANDPLAN.COM

SHEET TITLE	SHEET NO.	SHEET REF.
TITLE SHEET	1	T-1
OVERALL SITE PLAN	2	SP-1
CIVIL TITLE SHEET	3	C-1
DEMOLITION PLANS	4	C-2
DEMOLITION/GRADING PLAN	5	C-3
GRADING PLAN	6	C-4
MULTI-USE TRAIL - PLAN AND PROFILE	7 THRU 9	C-5 THRU C-7
ADA TRAIL AND PARKING PLAN-PLAN AND PROFILE	10 THRU 11	C-8 THRU C-9
EROSION CONTROL PLANS	12 THRU 16	C-10 THRU C-14
CIVIL DETAILS AND SECTIONS	17	C-15
IMPROVEMENT PLANS	18 THRU 35	L-1 THRU L-18
IMPROVEMENT DETAILS	36 THRU 38	L-19 THRU L-21
IRRIGATION PLANS	39 THRU 55	I-1 THRU I-18
IRRIGATION DETAILS AND NOTES	57	I-19
IRRIGATION DETAILS	58	I-20
PLANTING PLANS	59 THRU 76	P-1 THRU P-18
PLANTING LEGENDS AND DETAILS	77 THRU 78	PL-1 THRU PL-2

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SITE DATA:
TOTAL SITE: _____ SQ. ACRES

REFERENCE DRAWINGS:
SUNSET CLIFFS NATURAL PARK MASTER PLAN, FINAL JULY 2005

PROJECT PERMITS:
TRAFFIC CONTROL PERMIT, REVIEW NO. _____

ENVIRONMENTAL DOCUMENTS:
FINAL MASTER ENVIRONMENTAL IMPACT REPORT AND FINAL MASTER ENVIRONMENTAL IMPACT REPORT APPENDICES, LDR NO. 91-0644, SCH NO. 9710071, MAY 2004

CONSTRUCTION CHANGE / ADDENDUM				WARNING
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	
				IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT



CONSULTANT

Estrada Land Planning
Urban Design Landscape Architecture Computer Imaging

619.236.0143
225 Broadway, Suite 160
San Diego, California 92101
619.236.0578 Fax
ELP@EstradaLandPlan.com

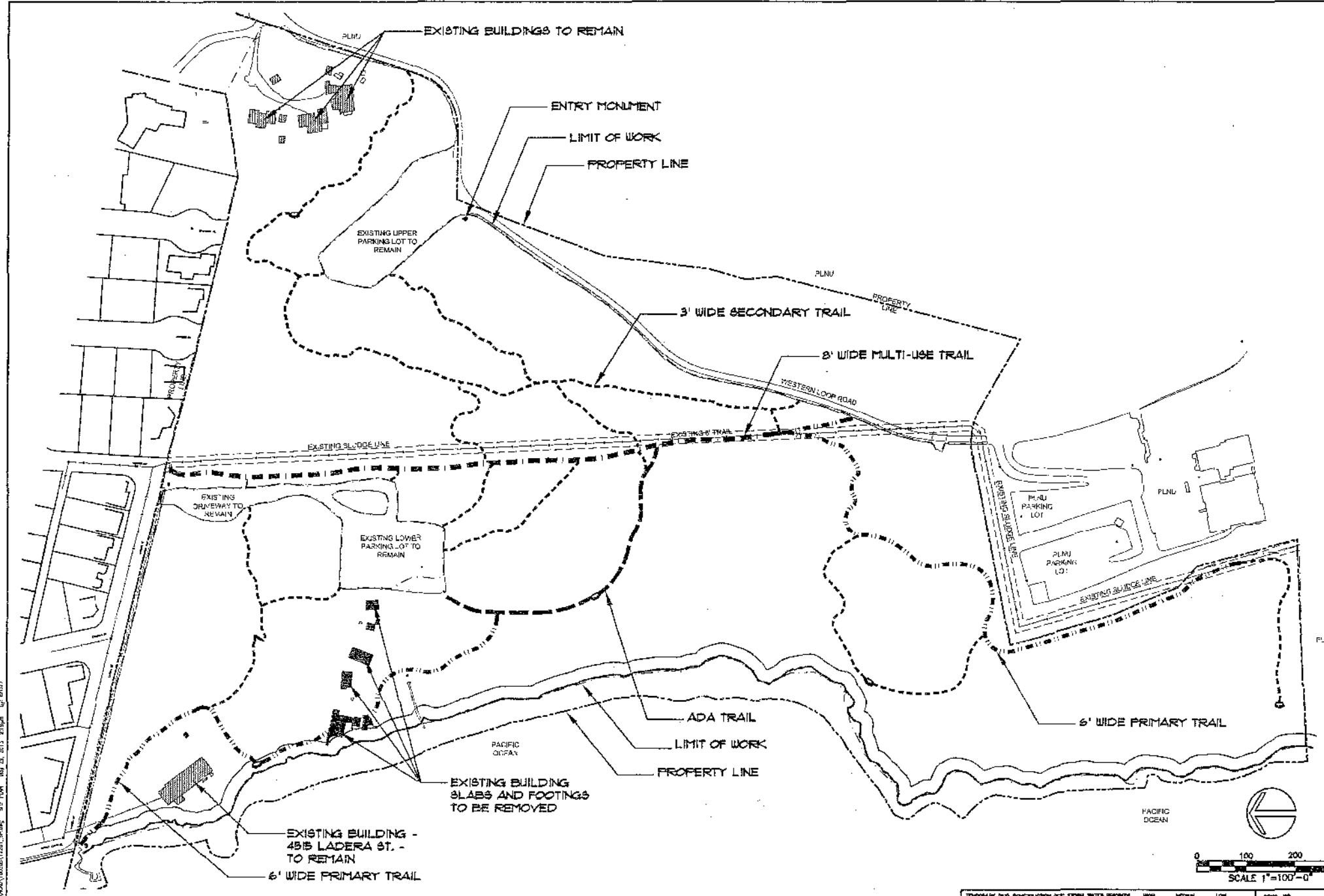


CITY CONTRACT

PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
TITLE SHEET

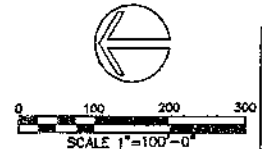
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 1 OF 78 SHEETS	WBS _____				
FOR CITY ENGINEER	DATE _____				
DESCRIPTION	BY	APPROVED	DATE	FILED	PROJECT MANAGER
ORIGINAL	ELP				PROJECT ENGINEER
					DESIGN COORDINATOR
					DESIGN COORDINATOR
CONTRACTOR	DATE STARTED	36768-1-D			
INSPECTOR	DATE COMPLETED				

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



IMPROVEMENT DETAIL KEY

DESCRIPTION	SYMBOL
ADA TRAIL - 6' WIDE	— — — — —
MULTI-USE TRAIL - 8' WIDE	— — — — —
PRIMARY TRAIL - 6' WIDE	— — — — —
SECONDARY TRAIL - 3' WIDE	— — — — —
PARK BOUNDARY	— — — — —



SP-1

**PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
IMPROVEMENT PLAN**

CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 2 OF 18 SHEETS

FOR CITY ENGINEER:	DATE:	DATE:	DATE:	DATE:	PROJECT MANAGER:
DESCRIPTION:	BY:	APPROVED:	DATE:	FILED:	PROJECT ENGINEER:
ORIGINAL:	ELP:				CORREY COOPERATE:
CONTRACTOR:					DATE STARTED:
INSPECTOR:					DATE COMPLETED:

36768-2-D

CONSTRUCTION CHANGE / ADDENDUM

CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

**CITY OF SAN DIEGO
PUBLIC WORKS PROJECT**



CONSULTANT

Estrada Land Planning
Urban Design Landscape Architecture Computer Imaging

619.225.0143
225 Broadway, Suite 160
San Diego, California 92101
619.236.0578 Fax
ELP@EstradaLand.com



Drawing name: M:\Projects\100112511-SunsetCliffsNaturalPark\100112511-SP-1.dwg, SET DATE: 08/21/2013, 12:38pm, by: 41227

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL

DISABLED ACCESS NOTES

1. ALL SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE CALIFORNIA BUILDING CODE (C.B.C.) AND THE AMERICANS WITH DISABILITY ACT ACCESS GUIDE (A.D.A.A.G.) IN ORDER TO ALLOW FOR CONSTRUCTION TOLERANCES. IT IS CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH A.D.A.A.G. AND 2010 C.B.C. AND IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT THAN SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
2. THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL PHASES OF WORK RELATING TO C.B.C. AND A.D.A.A.G. ACCESS FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS CALLED OUT BY C.B.C. AND A.D.A.A.G. ARE SUBJECT TO REJECTION BY THE CITY AND MAY BE REQUIRED TO BE REMOVED AND REPLACED.
3. SINCE THE CIVIL ENGINEER OR SURVEYOR CAN NOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUB-CONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF A.D.A.A.G. RELATED ITEMS BY THE CITY, ANY OTHER AUTHORITY, OR OTHER AFFECTED PARTIES.
4. ADA TRAIL DESIGN PER APPENDIX K OF THE CITY OF SAN DIEGO TRAIL POLICIES AND STANDARDS SECTION 3.2 "BARRIER FREE TRAIL DESIGN AND ADA RECOMMENDATIONS".

GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE, 2000 EDITION.
2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDRATED MIX, GRASS COVER, OR EQUIVALENT MATERIAL.

GRADING QUANTITIES

GRADED AREA	158,635 SQ FT	MAX. CUT DEPTH 8 FT
CUT QUANTITIES	180 CYD	MAX CUT SLOPE RATIO (2:1MAX) 2:1
FILL QUANTITIES	1590 CYD	MAX FILL DEPTH 8 FT
IMPORT	1410 CYD	MAX FILL SLOPE RATIO (2:1MAX) 2:1

PERMANENT POST-CONSTRUCTION BMP NOTES

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE "OWNER/PERMITTEE" SUBMITTER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE "OWNER/PERMITTEE" SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

TOPOGRAPHY SOURCE

REFERENCES:
CITY OF SAN DIEGO PRELIMINARY SURVEY FIELD NOTES, SUNSET CLIFFS NATURAL PARK AERIAL, 11/19/2019, NBS: 5-10091200-1699

BASIS OF BEARINGS/COORDINATES:
THE BASIS OF BEARINGS FOR THIS PROJECT WAS DERIVED FROM A PREVIOUS STATIC GPS SURVEY USING GPS 215 AND GPS 243 AS SHOWN ON R.O.P. 6 14482. I.E. N 05°38'07" E, MAG. 83 FEET, ZONE 8 (EPOCH 91.35), UTILIZING RTK/GPS FIELD PROCEDURES WITH CALVINS BASE STATION LOCATED AT GBRO, CONSTRAINING TO GPS 215 AND GPS 243.

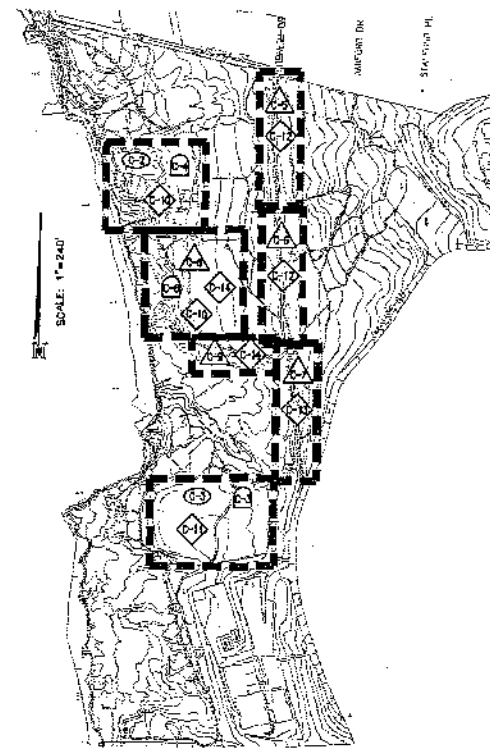
BENCH:
NWSB CARMELO ST. & SUNSET CLIFFS BLVD. ELEV. 60.324 MSL, BASED ON NVDY 28 FEET AS SHOWN IN THE CITY OF SAN DIEGO BENCH BOOK

CAUTION:
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT



KEY MAP:

KEY MAP LEGEND

- DEMOLITION PLAN (Symbol: D-10)
- GRADING PLAN (Symbol: G-10)
- PLAN AND PROFILE (Symbol: P-10)
- EROSION CONTROL PLAN (Symbol: E-10)

SHEET INDEX:

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GRADING PLAN	C-4
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MULTI-USE TRAIL - PLAN AND PROFILE	C-7
ADA TRAIL AND PARKING - PLAN AND PROFILE	C-8
ADA TRAIL - PLAN AND PROFILE	C-9
EROSION CONTROL PLAN	C-10
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SPECIAL NOTES

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

1. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTORS SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, ENGINEER AND GEOLIST HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
2. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY GRADE ALL EXCAVATED SURFACES TO PROVIDE POSITIVE DRAINAGE AND PREVENT PONDING OF WATER. HE SHALL CONTROL SURFACE WATER TO AVOID DAMAGE TO ADJOINING PROPERTIES OR TO FINISHED WORK ON THE SITE.
4. ALL WORK NEEDING MATERIALS TESTING REQUIRES THAT THE CONTRACTOR NOTIFY THE CITY MATERIALS LAB AT 483-0329 BY NOON THE DAY BEFORE THE WORK IS SCHEDULED TO BEGIN TO ARRANGE FOR TESTING.
5. WORK PERFORMED WITHOUT BENEFIT OF TESTING AND/OR INSPECTION SHALL BE SUBJECT TO REJECTION AND REMOVAL.
6. THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. A SEARCH IS CALLED TO THE POSSIBLE EXISTENCE OF OTHER UTILITY FACILITIES OR STRUCTURES NOT KNOWN OR IN A LOCATION DIFFERENT FROM THAT SHOWN ON THE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLANS AND ANY OTHER EXISTING FACILITIES OR STRUCTURES THAT MAY NOT BE SHOWN.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN AND ADJACENT TO THE PROJECT SITE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT THE REVISION OF THE CONSTRUCTION PLANS IF IT IS FOUND THE ACTUAL LOCATIONS ARE IN CONFLICT WITH THE PROPOSED WORK.
8. WHETHER THE CITY OR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS, THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
9. CONTRACTOR SHALL REMOVE AND REPLACE TO THE SATISFACTION OF THE CITY ENGINEER, ALL DESTROYED OR DAMAGED SURFACE IMPROVEMENTS WITH IMPROVEMENTS EQUAL OR SUPERIOR.
10. CONTRACTOR SHALL NOTIFY THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION AT 236-5520 48 HOURS BEFORE BEGINNING OF WORK.
11. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM THE CITY OF SAN DIEGO FOR WORK WITHIN THE PUBLIC RIGHT OF WAY.

IMPORTANT NOTICE

SECTION 4215/4217 OF THE PERMIT/APPROVAL BY THE GOVERNMENT CODE REQUIRES THAT A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. PER YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT.

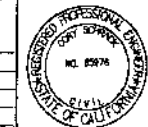
TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

C-1

NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
4740 La Tijera Street, San Diego, California 92117 • 619-594-7799

REVISION	DATE	BY	PROJECT ENGR. COREY SCHWAB
ORIGINAL	02/20/13	CS	DESIGNED BY: CS
			DRAWN BY: CS
			SCALE: AS SHOWN
			JOB NO. 100-091.1

PLAN DATE	IDENTIFIER
02/20/2013	EN-08
02/21/2013	EN-09



PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS
CIVIL TITLE SHEET

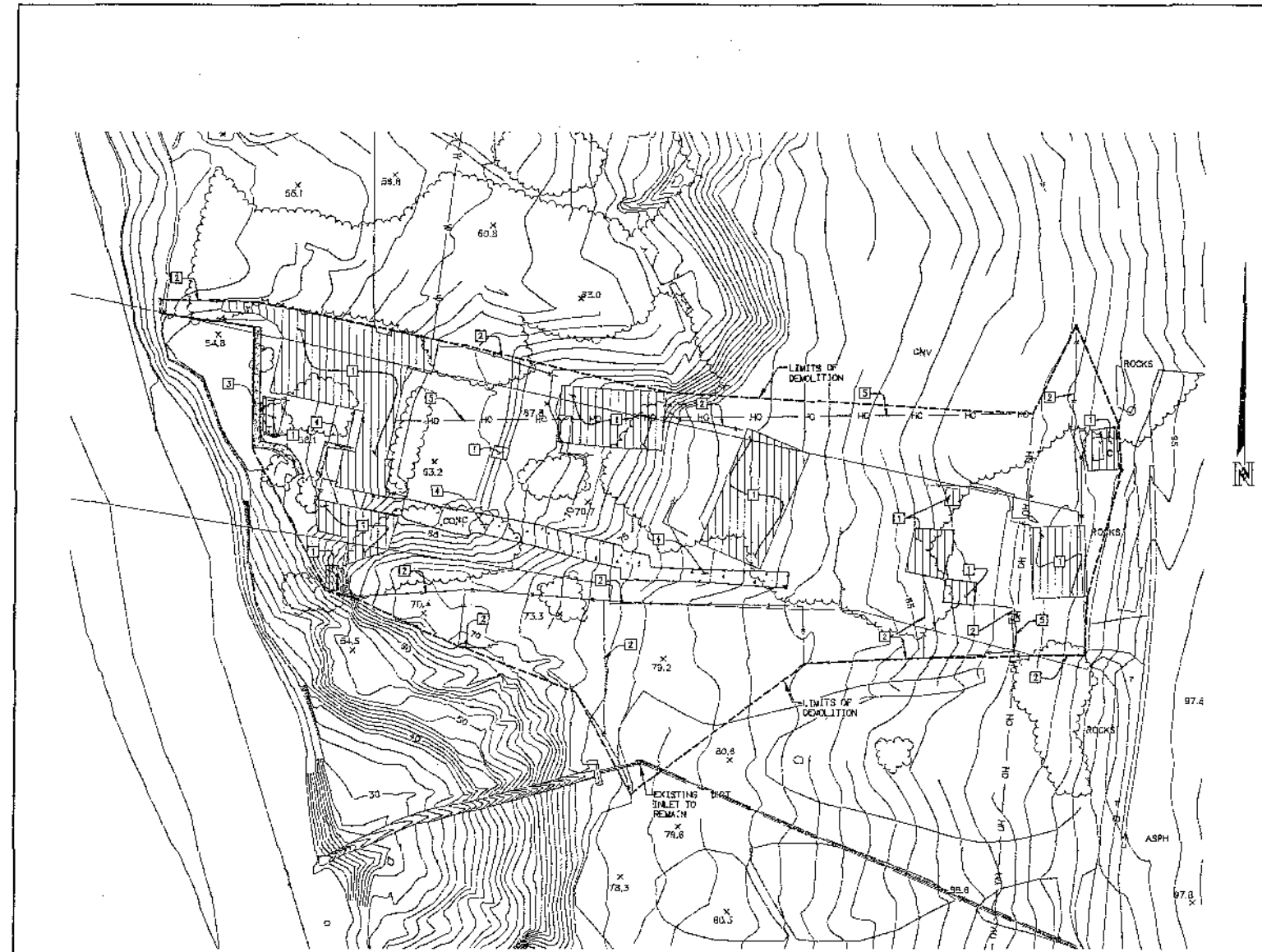
CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 3 OF 78 SHEETS

FOR CITY ENGINEER	DATE	PROJECT MANAGER
DESCRIPTION: ORIGINAL	BY: N.E.	APPROVED DATE: PLACE

CONTRACTOR: _____ DATE STARTED: _____ DATE COMPLETED: _____

36768-3-D

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



- DEMOLITION NOTES:**
- 1 REMOVE EXISTING BUILDING FOOTINGS, CONCRETE SLAB AND ALL UTILITIES WITHIN CONTRACTOR RESPONSIBLE FOR OBTAINING A DEMOLITION PERMIT.
 - 2 EXISTING FENCE AND FOOTINGS TO BE REMOVED.
 - 3 EXISTING BLOCK WALL AND FOOTINGS TO BE REMOVED.
 - 4 EXISTING CONCRETE TO BE REMOVED.
 - 5 EXISTING OVERHEAD POWER LINES TO BE REMOVED, CONTRACTOR TO COORDINATE WITH SOG&E.

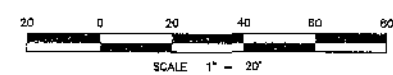
DEMOLITION LEGEND:

EXISTING BUILDING

EXISTING CONCRETE

LIMITS OF DEMOLITION

C-2



CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

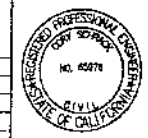
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

**CITY OF SAN DIEGO
PUBLIC WORKS PROJECT**



NASLAND ENGINEERING
CIVIL ENGINEERING & SURVEYING • LAND PLANNING
4740 Bedford Street, San Diego, California, 92116 • 619-582-7776

REVISION	DATE	BY	PROJECT
ORIGINAL	02/20/13	CB	ENGR. GARY SCHRACK
			DESIGNED BY: CB
			DRAWN BY: CB
			SCALE: AS SHOWN
			JOB NO. 13-0811



**PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
DEMOLITION PLAN**

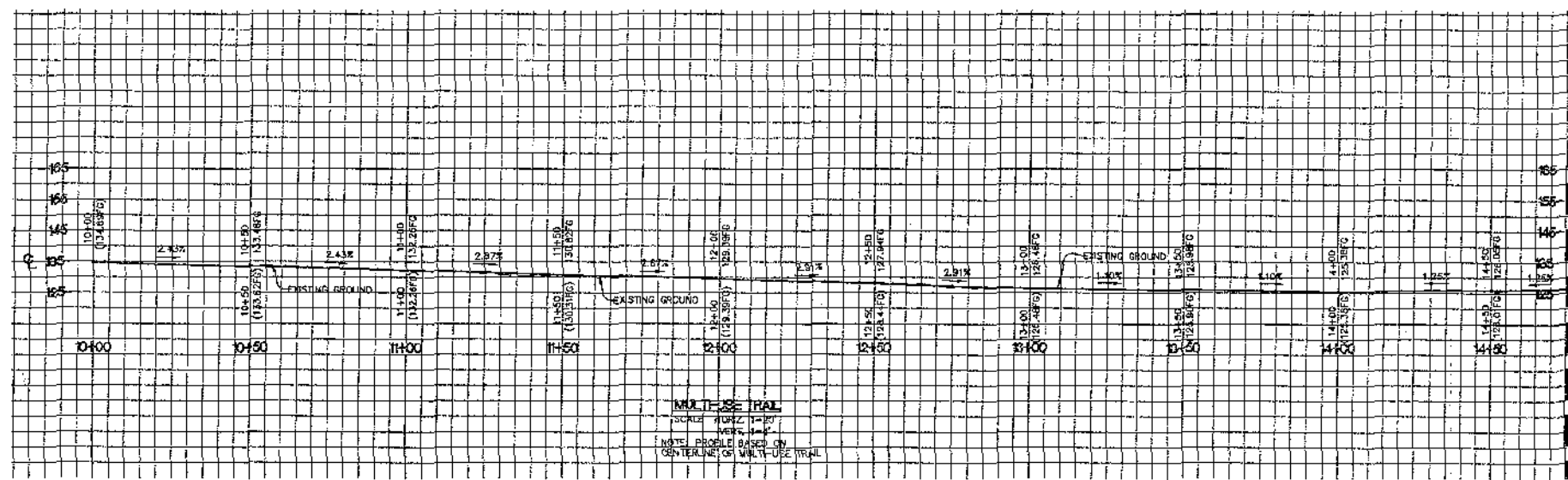
CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 4 OF 78 SHEETS

FOR CITY ENGINEER	DATE	PROJECT MANAGER

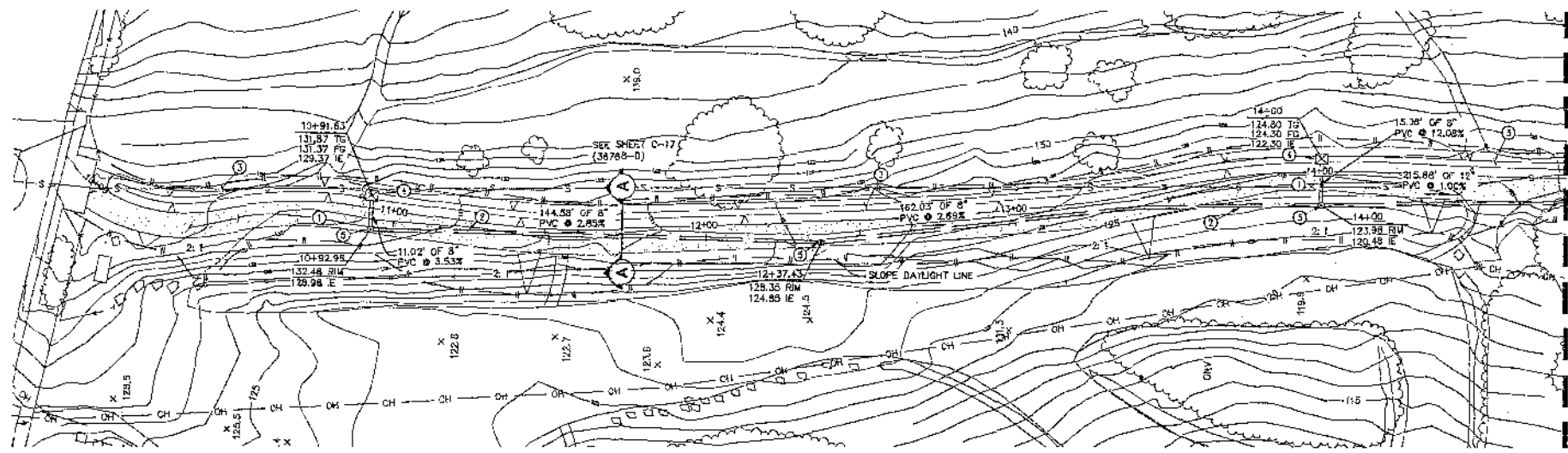
DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	N.E.			

CONTRACTOR: _____ DATE STAMPED: _____ 36768-4-D
INSPECTOR: _____ DATE COMPLETED: _____

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



PROFILE VIEW



PLAN VIEW

LEGEND

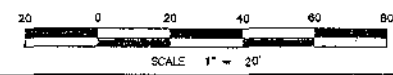
GRADING DAYLIGHT LIMITS	---
MULTI-USE TRAIL LIMITS	---
TYPE G1 GRATED INLET	□
STORM DRAIN CLEANOUT	○

- CONSTRUCTION NOTES**
1. CONSTRUCT MULTI-USE TRAIL PER DETAIL SHEET C-15 (36768-D)
 2. INSTALL PVC SDR-35 STORMDRAIN, SIZE AND SLOPE AS SHOWN ON PLAN. CONTRACTOR IS RESPONSIBLE FOR TRENCHING AND BACKFILL.
 3. CONSTRUCT 8' WIDE VEGETATED SWALE PER DETAIL SHEET C-15 (36768-D)
 4. INSTALL TYPE G1 GRATED INLET PER SDRSD D-B
 5. INSTALL STORM DRAIN CLEANOUT PER DETAIL SHEET C-15 (36768-D)
 6. CONSTRUCT ADA TRAIL PER DETAIL SHEET C-15 (36768-D)
 7. CONSTRUCT 4' WIDE VEGETATED SWALE PER DETAIL SHEET C-15 (36768-D)

MATCHLINE - SEE SHEET C-6

MATCHLINE - SEE SHEET C-6

C-5



CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

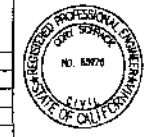
**CITY OF SAN DIEGO
PUBLIC WORKS PROJECT**



NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
8740 Boulder Street, San Diego, California, 92121-4900-7700

REVISION	DATE	BY	PROJECT ENGR. COPY CHECK
ORIGINAL	02/20/13	DB	

DESIGNED BY: CA
DRAWN BY: DB
SCALE: AS SHOWN
JOB NO. 110-097.1



**PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
MULTI-USE TRAIL - PLAN AND PROFILE**

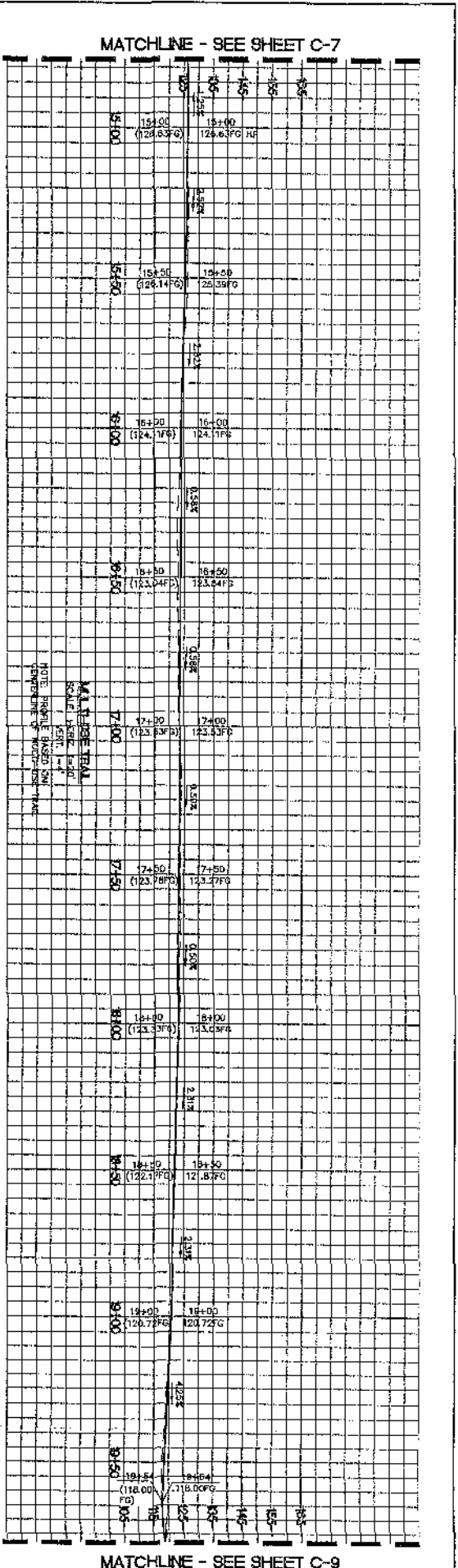
CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 7 OF 73 SHEETS

FOR CITY ENGINEER	DATE	PROJECT MANAGER

DESCRIPTION	BY	APPROVED DATE	FILED	PROJECT ENGINEER
ORIGINAL	N.E.			

CONTRACTOR: _____ DATE STARTED: _____
INSPECTOR: _____ DATE COMPLETED: _____

36768-7-D



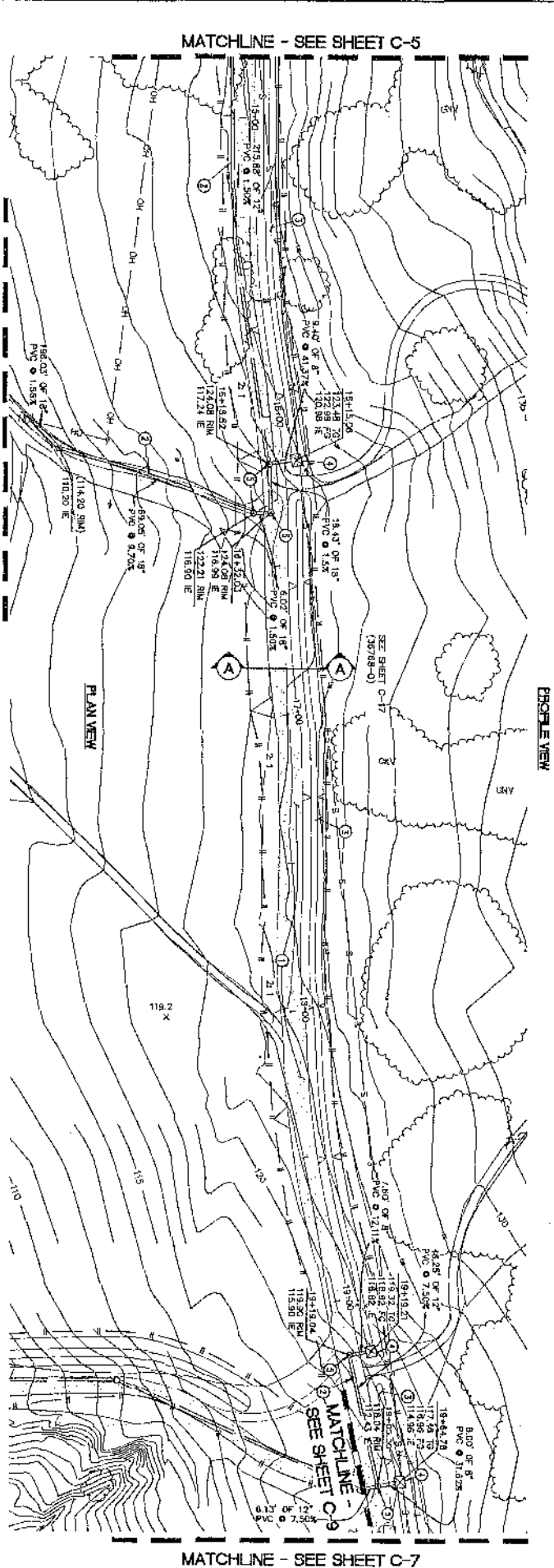
LEGEND

GRADING DATA/LIMITS ————

MULTI-USE TRAIL LIMITS ————

TYPE OF GRADED INLET

STORM DRAIN DEMAND



CONSTRUCTION NOTES

- CONSTRUCT MULT-USE TRAIL PER DETAIL SHEET C-15 (SHEET-D)
- INSTALL PVC SUR-35 STORMDRAIN SIZE AND SLOPE AS SHOWN AND BACKFILL IS RESPONSIBLE FOR FINISHING AND BACKFILL
- CONSTRUCT 8" WIDE VEGEATED SWALE PER DETAIL SHEET C-15 (SHEET-D)
- INSTALL TYPE A1 GRADED INLET PER DETAIL SHEET C-15 (SHEET-D)
- INSTALL STORM DRAIN DEMAND PER DETAIL SHEET C-15 (SHEET-D)
- CONSTRUCT ADA TRAIL PER DETAIL SHEET C-15 (SHEET-D)
- CONSTRUCT 4" WIDE VEGEATED SWALE PER DETAIL SHEET C-15 (SHEET-D)

CONSTRUCTION CHANGE / ADDENDUM

CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	WARNING
				0

IF THIS BAR DOES NOT MEASURE 1" TO 20' TO SCALE.

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT

NASLAND ENGINEERING

4700 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100, SAN DIEGO, CA 92122

DATE: 08/11/11
BY: [Signature]
CHECKED: [Signature]
SCALE: AS SHOWN

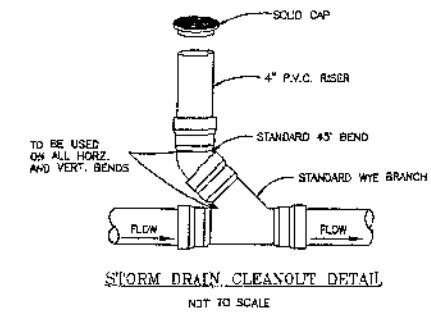
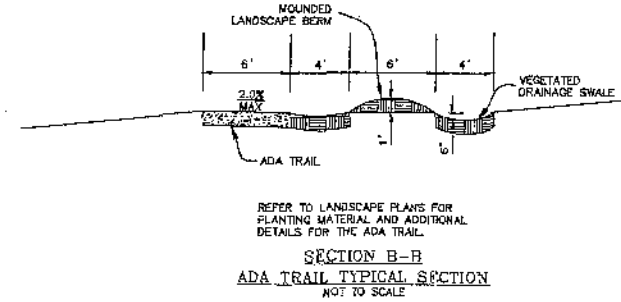
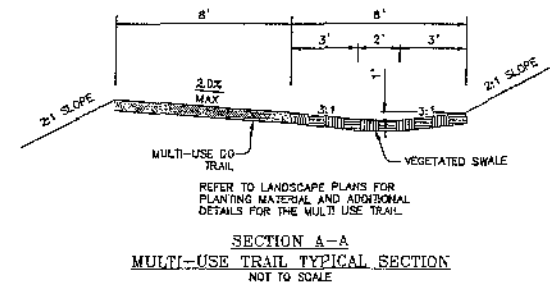
PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS

MULTI-USE TRAIL - PLAN AND PROFILE

CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT

SHEET 8 OF 78 SHEETS

DATE: 08/11/11
BY: [Signature]
CHECKED: [Signature]



C-15

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT

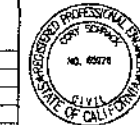


NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING & LAND PLANNING
4740 Hilltop Drive, San Diego, California 92111 • (619) 582-7779

REVISION	DATE	BY	PROJECT
ORIGINAL	07/20/13	CB	SUNSET CLIFFS

DESIGNED BY: CB
DRAWN BY: CB
SCALE: AS SHOWN
JOB NO. 110-091.1

PLAN DATE IDENTIFIER
DATE OF ISSUE: 08/21/2013



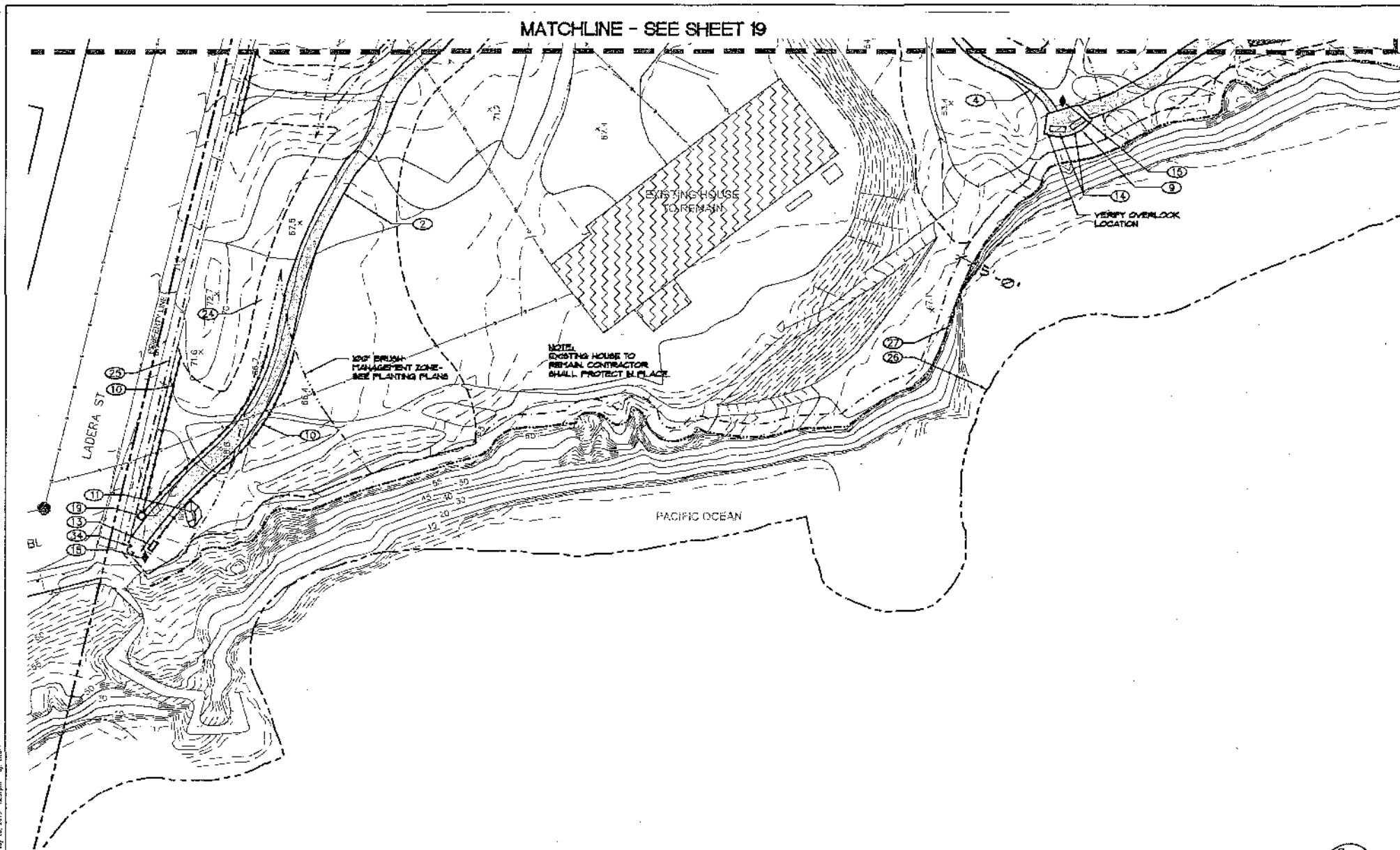
PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
DETAILS AND SECTIONS

CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 17 OF 78 SHEETS

FOR CITY ENGINEER				DATE	PROJECT MANAGER
DESCRIPTION	BY	APPROVED	DATE	FILED	PROJECT NUMBER
ORIGINAL	N.E.				

CONTRACTOR: DATE STARTED: 36768-17-D
INSPECTOR: DATE COMPLETED:

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



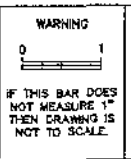
IMPROVEMENT DETAIL KEY

NUM.	DESCRIPTION	SYMBOL	REFERENCE
①	DG MULTI-USE TRAIL / SLUDGE LINE ACCESS MAINTENANCE EASEMENT - 8' WIDE	[Symbol]	A/36 (LD-1)
②	PRIMARY TRAIL - NATIVE SOIL 6' WIDE	[Symbol]	-----
③	DG ADA TRAIL - 6' WIDE	[Symbol]	A/36 (LD-1)
④	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE	[Symbol]	-----
⑤	DISPATCHER	[Symbol]	D/31 (LD-2)
⑥	NEW AC CURB	[Symbol]	S/RSD G-5 (TYPE B)
⑦	PEDESTRIAN BRIDGE	[Symbol]	F/31 (LD-2)
⑧	GRIP LADDER STAIRWAY	[Symbol]	F/36 (LD-1)
⑨	OVERLOOK	[Symbol]	O/36 (LD-1)
⑩	POST AND CABLE RAILING	[Symbol]	B/36 (LD-1)
⑪	ENTRY MONUMENT	[Symbol]	G/36 (LD-1)
⑫	INFORMATIONAL SIGN	[Symbol]	I/36 (LD-1)
⑬	INTERPRETIVE SIGN	[Symbol]	D/36 (LD-1)
⑭	WOOD BENCH	[Symbol]	E/36 (LD-1)
⑮	'REVEGETATION IN PROGRESS' SIGN	[Symbol]	R/31 (LD-2)
⑯	END OF TRAIL SIGN	[Symbol]	B/31 (LD-2)
⑰	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B/31 (LD-2)
⑱	ADA DIRECTIONAL SIGN	[Symbol]	A/31 (LD-2)
⑲	TRASH RECEPTACLE	[Symbol]	-----
⑳	PROPOSED SWALE	[Symbol]	SEE CIVIL DWGS.
㉑	STORM DRAIN INLET	[Symbol]	SEE CIVIL DWGS.
㉒	STORM DRAIN CLEAN OUT	[Symbol]	SEE CIVIL DWGS.
㉓	STORM DRAIN MAIN LINE	[Symbol]	SEE CIVIL DWGS.
㉔	PHASE I REVEGETATION BOUNDARY	[Symbol]	-----
㉕	LIMIT OF WORK LINE	[Symbol]	-----
㉖	PROPERTY LINE	[Symbol]	-----
㉗	TOP OF BLUFF LINE	[Symbol]	-----
㉘	GRADE DIP	[Symbol]	C/31 (LD-2)
㉙	TEMPORARY AC DIKE	[Symbol]	S/RSD G-5 (TYPE D)
㉚	EXISTING CATHODIC TEST STATION	[Symbol]	SEE AS-BUILTS
㉛	EXISTING SLO-OFF VAULT	[Symbol]	SEE AS-BUILTS
㉜	RAISED CALDWAY	[Symbol]	A/36 (LD-3)
㉝	TIMBER CRIB WALL	[Symbol]	B/36 (LD-3)
㉞	REMOVABLE BOLLARD	[Symbol]	S/RSD M-16

Drawn: mmm: 4/14/2014 11:53am
 U-1 May 28, 2013 10:53pm R: 08/07

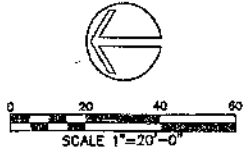
- NOTES**
- PRIOR TO CONSTRUCTION, A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTORS THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
 - IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 500 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING BURROWS OF THE BURROUGHS OWL.
 - NO IMPROVEMENTS ARE TO BE MADE DURING RAPTORS OR OWL BREEDING SEASONS.
 - NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION AND ARE PROTECTED UNDER FEDERAL AND STATE LAW INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR, CALIFORNIA LAW AND GAME CODE 3088.
- CDCGS CODE 3088 STATES: "IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO.
- THERE IS THE POSSIBILITY OF ENCOUNTERING BURNT ASH AND WASTE DURING CONSTRUCTION. CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.



CITY OF SAN DIEGO
PUBLIC WORKS PROJECT

SEE SHEET 30, SHEET 31 AND SHEET 32 FOR CONSTRUCTION DETAILS.
SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



CONSULTANT

Estrada Land Planning
Urban Design Landscape Architects Computer Imaging

619.236.0143
225 Broadway, Suite 150
San Diego, California 92101
619.236.0578 Fax
ELP@EstradaLandPlan.com

KEY MAP

PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS IMPROVEMENT PLAN

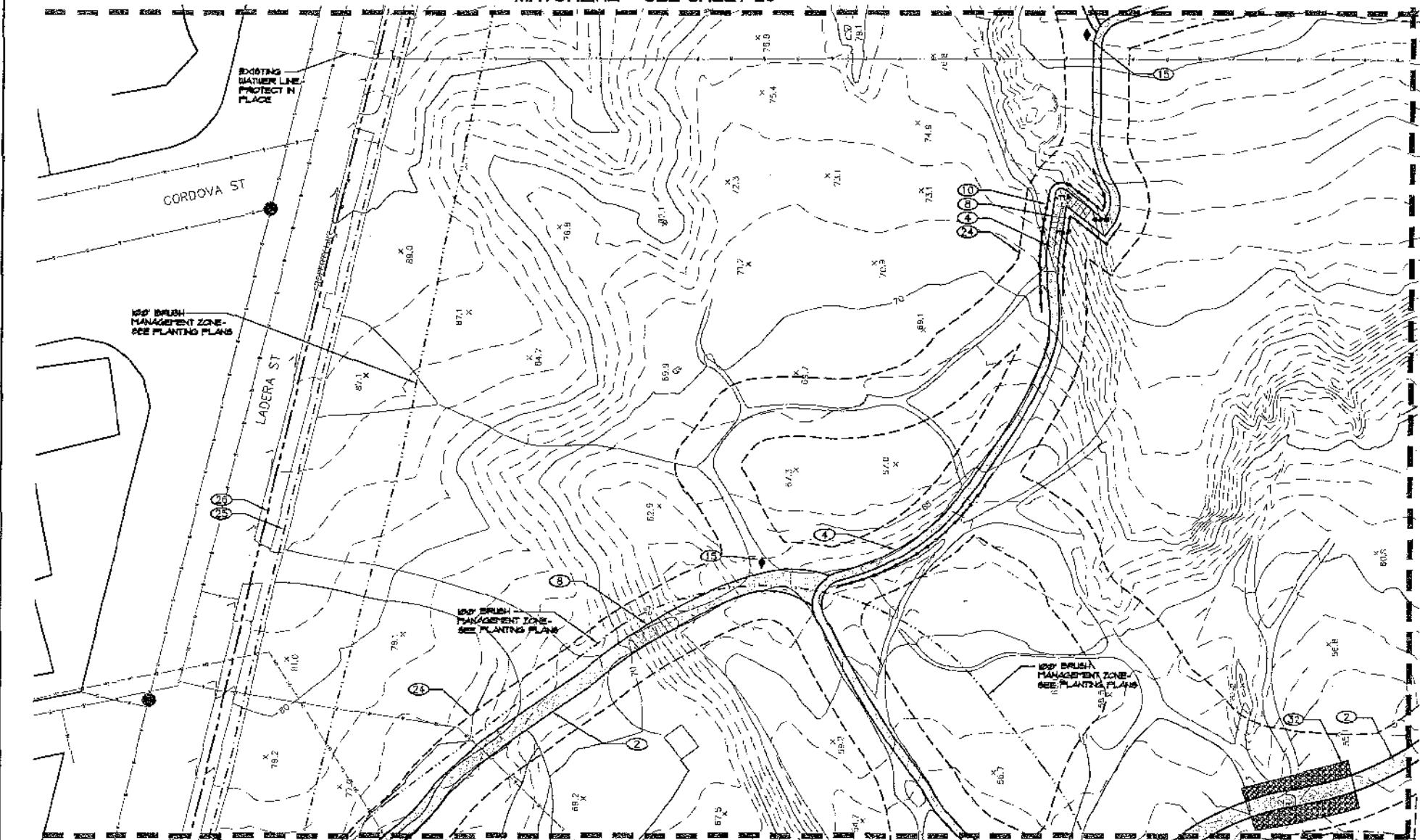
CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 13 OF 78 SHEETS

FOR CITY ENGINEER	DATE	PROJECT MANAGER
DESCRIPTION	BY	APPROVED
ORIGINAL	ELP	[Signature]

CONTRACTOR: _____ DATE STARTED: _____
 WORKSHEET: _____ DATE COMPLETED: 8/6/2014

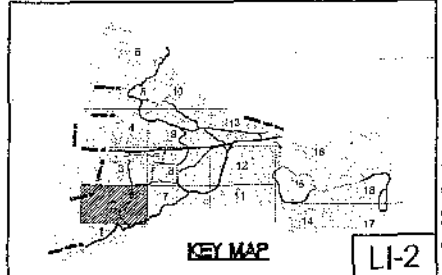
SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL

MATCHLINE - SEE SHEET 20



MATCHLINE - SEE SHEET 18

NUM.	DESCRIPTION	SYMBOL	REFERENCE
1	DIG MULTI-USE TRAIL / BUDGE LINE ACCESS MAINTENANCE EASEMENT - 8' WIDE	[Symbol]	A/36 (LD-1)
2	PRIMARY TRAIL - NATIVE SOIL 6' WIDE	[Symbol]	-----
3	DIG ADA TRAIL - 6' WIDE	[Symbol]	A/36 (LD-1)
4	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE	[Symbol]	-----
5	DIAPHRAGM	[Symbol]	D/51 (LD-2)
6	NEW AG CURB	[Symbol]	SDRSO G-5 (TYPE B)
7	PEDESTRIAN BRIDGE	[Symbol]	F/31 (LD-2)
8	CRIB LADDER STAIRWAY	[Symbol]	F/36 (LD-1)
9	OVERLOOK	[Symbol]	C/36 (LD-1)
10	POST AND CABLE RAILING	[Symbol]	E/36 (LD-1)
11	ENTRY MONUMENT	[Symbol]	G/36 (LD-1)
12	INFORMATIONAL SIGN	[Symbol]	I/36 (LD-1)
13	INTERPRETIVE SIGN	[Symbol]	D/36 (LD-1)
14	WOOD BENCH	[Symbol]	E/36 (LD-1)
15	REVEGETATION IN PROGRESS SIGN	[Symbol]	B/51 (LD-2)
16	END OF TRAIL SIGN	[Symbol]	B/31 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B/31 (LD-2)
18	ADA DIRECTIONAL SIGN	[Symbol]	A/31 (LD-2)
19	TRASH RECEPTACLE	[Symbol]	-----
20	PROPOSED SWALE	[Symbol]	SEE CIVIL DUGS
21	STORM DRAIN INLET	[Symbol]	SEE CIVIL DUGS
22	STORM DRAIN CLEAN OUT	[Symbol]	SEE CIVIL DUGS
23	STORM DRAIN MAIN LINE	[Symbol]	SEE CIVIL DUGS
24	PHASE I REVEGETATION BOUNDARY	[Symbol]	-----
25	LIMIT OF WORK LINE	[Symbol]	-----
26	PROPERTY LINE	[Symbol]	-----
27	TOP OF BLUFF LINE	[Symbol]	-----
28	GRADE DIP	[Symbol]	C/31 (LD-2)
29	TEMPORARY AG DIKE	[Symbol]	SDRSO G-5 (TYPE B)
30	EXISTING CATHODIC TEST STATION	[Symbol]	SEE AS-BUILTS
31	EXISTING BLOW-OFF VAULT	[Symbol]	SEE AS-BUILTS
32	RAISED CAUSEWAY	[Symbol]	A/36 (LD-3)
33	TIMBER CRIB WALL	[Symbol]	B/36 (LD-3)
34	REMOVABLE BOLLARD	[Symbol]	SDRSO M-36



- NOTES:**
- PRIOR TO CONSTRUCTION, A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTORS THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
 - IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 300 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING BURROWS OF THE BURROUGHS OIL.
 - NO IMPROVEMENTS ARE TO BE MADE DURING RAPTORS OR OIL BREEDING SEASONS.
 - NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION, AND ARE PROTECTED UNDER US AND STATE LAW INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR, CA LAWFISH AND GAME CODE 36600.
 - CDCR CODE 36600 STATES: "IT IS UNLAWFUL TO TAKE POSSESSION, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO."
 - THERE IS THE POSSIBILITY OF ENCOUNTERING BURRUSH AND WASTE DURING CONSTRUCTION. CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

SEE SHEET 36, SHEET 37 AND SHEET 38 FOR CONSTRUCTION DETAILS.
SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SCALE 1"=20'-0"

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT



CONSULTANT

Estrada Land Planning
Urban Design Landscape Architecture Computer Imaging

619.238.0143
325 Broadway, Suite 180
San Diego, California 92101
619.238.0573 Fax
ELP@EstradaLandPlan.com

DATE STARTED: _____ DATE COMPLETED: _____

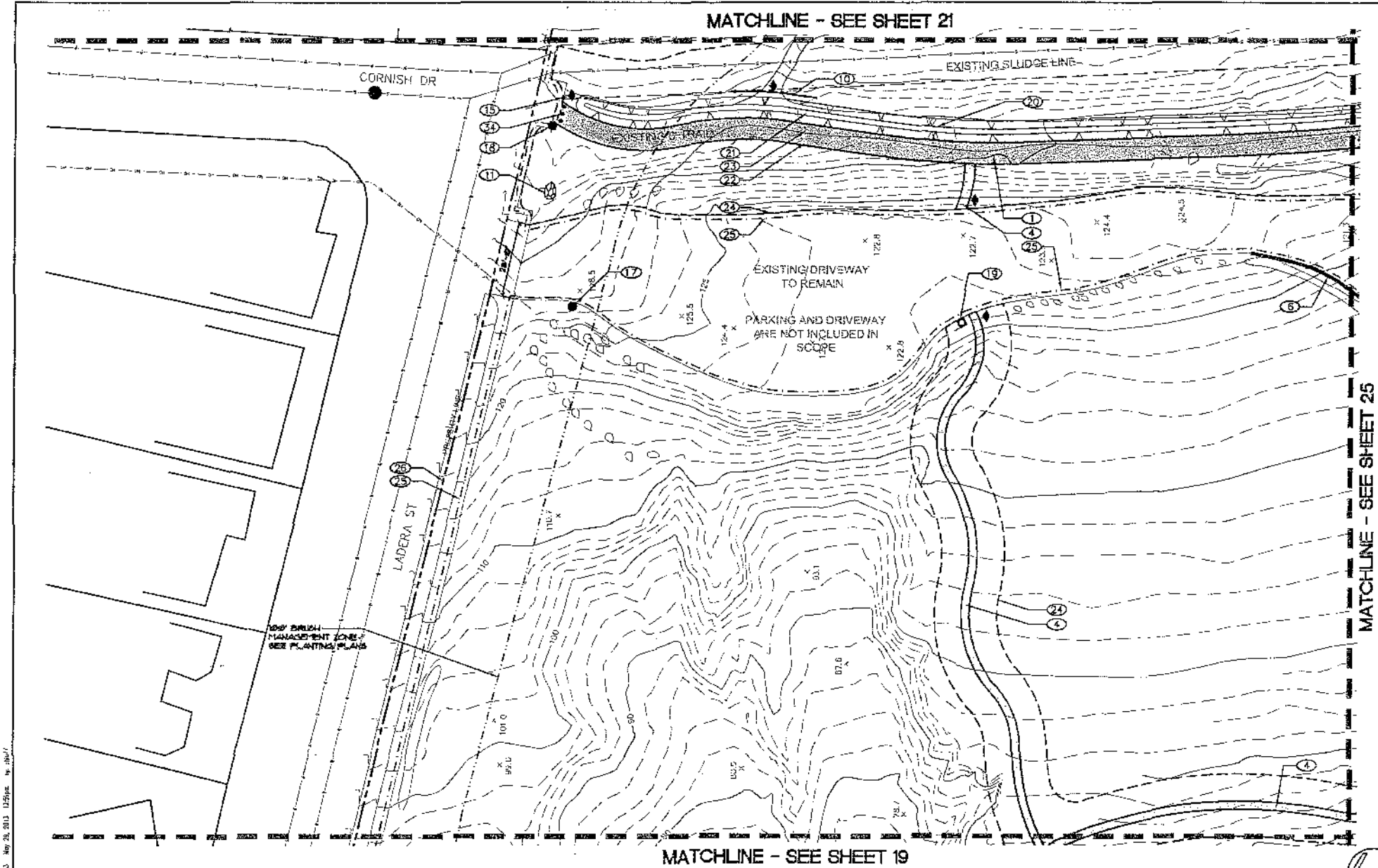
PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS IMPROVEMENT PLAN

CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 19 OF 78 SHEETS

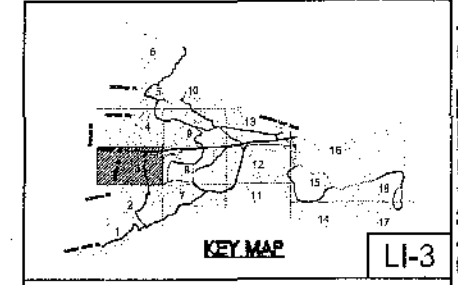
CONTRACTOR: _____ DATE STARTED: _____ DATE COMPLETED: _____

PROJECT NUMBER: 36768-19-D

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



NUM.	DESCRIPTION	SYMBOL	REFERENCE
1	DG MULTI-USE TRAIL / SLUDGE LINE ACCESS MAINTENANCE EASEMENT - 6' WIDE	[Symbol]	A/36 (LD-1)
2	PRIMARY TRAIL - NATIVE SOIL - 6' WIDE	[Symbol]	.....
3	DG ADA TRAIL - 6' WIDE	[Symbol]	A/26 (LD-1)
4	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE	[Symbol]	.....
5	DISPATER	[Symbol]	D/37 (LD-2)
6	NEW AC CURB	[Symbol]	SDRD G-5 (TYPE B)
7	PEDESTRIAN BRIDGE	[Symbol]	F/37 (LD-2)
8	CRIB LADDER STAIRWAY	[Symbol]	F/36 (LD-1)
9	OVERLOOK	[Symbol]	C/36 (LD-1)
10	POST AND CABLE RAILING	[Symbol]	B/36 (LD-1)
11	ENTRY MONUMENT	[Symbol]	G/36 (LD-1)
12	INFORMATIONAL SIGN	[Symbol]	I/36 (LD-1)
13	INTERPRETIVE SIGN	[Symbol]	D/36 (LD-1)
14	WOOD BENCH	[Symbol]	E/36 (LD-1)
15	REVEGETATION IN PROGRESS SIGN	[Symbol]	B/31 (LD-2)
16	END OF TRAIL SIGN	[Symbol]	B/31 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B/31 (LD-2)
18	ADA DIRECTIONAL SIGN	[Symbol]	A/31 (LD-2)
19	TRASH RECEPTACLE	[Symbol]	.....
20	PROPOSED SWALE	[Symbol]	SEE CIVIL DUGS
21	STORM DRAIN INLET	[Symbol]	SEE CIVIL DUGS
22	STORM DRAIN CLEAN OUT	[Symbol]	SEE CIVIL DUGS
23	STORM DRAIN MAIN LINE	[Symbol]	SEE CIVIL DUGS
24	PHASE I REVEGETATION BOUNDARY	[Symbol]	.....
25	LIMIT OF WORK LINE	[Symbol]	.....
26	PROPERTY LINE	[Symbol]	.....
27	TOP OF BLUFF LINE	[Symbol]	.....
28	GRADE DIP	[Symbol]	G/37 (LD-2)
29	TEMPORARY AC CURB	[Symbol]	SDRD G-5 (TYPE D)
30	EXISTING CATODIC TEST STATION	[Symbol]	SEE AS-BUILTS
31	EXISTING BLOW-OFF VAULT	[Symbol]	SEE AS-BUILTS
32	RAISED CAUSEWAY	[Symbol]	A/36 (LD-3)
33	TIMBER CRIB WALL	[Symbol]	B/36 (LD-3)
34	REMOVABLE BOLLARD	[Symbol]	SDRD M-16



NOTES:

- PRIOR TO CONSTRUCTION, A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTORS THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
- IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 300 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING BURROWS OF THE BURROUGHS OWL.
- NO IMPROVEMENTS ARE TO BE MADE DURING RAPTORS OR OWL BREEDING SEASONS.
- NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION, AND ARE PROTECTED UNDER USA AND STATE LAWS INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR CA LAWS: FISH AND GAME CODE 3809.

CIVIL CODE 3809 STATES: "IT IS UNLAWFUL TO TAKE POSSESSION OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO."

3. THERE IS THE POSSIBILITY OF ENCOUNTERING BUSH ASH AND WASTE DURING CONSTRUCTION. CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO PUBLIC WORKS PROJECT

SEE SHEET 36, SHEET 37 AND SHEET 38 FOR CONSTRUCTION DETAILS.

SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

TEMPORARY IMP. CONSTRUCTION BY STORM WATER PROJECTS: HIGH, MEDIUM, LOW, SPECIAL.

CONSULTANT

Estrada Land Planning
 Urban Design Landscape Architecture Computer Imaging

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 225 Broadway, Suite 160
 San Diego, California 92101
 619.236.0578 Fax
 ELP@EstradaLand.com

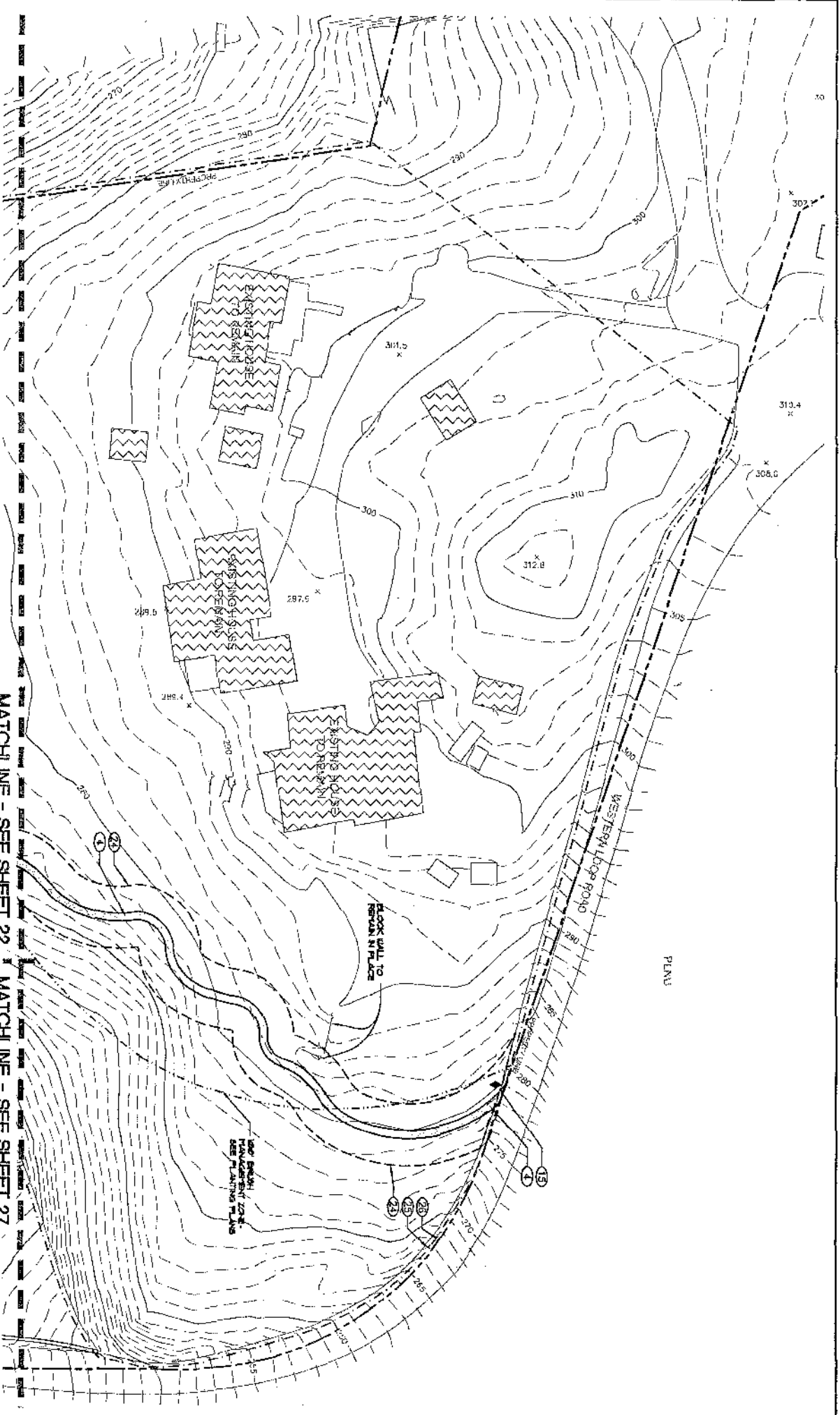
PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS IMPROVEMENT PLAN

CITY OF SAN DIEGO, CALIFORNIA
 ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
 SHEET 20 OF 79 SHEETS

DATE STARTED: _____ DATE COMPLETED: _____

36768-20-D

Project name: W:\Projects\2015\22281-SunsetCliffs\2015\100%Sub\12281_City U-6 May 29, 2015 12:00m by: rlc27



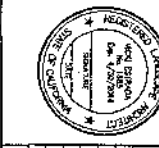
- NOTES:**
1. FROM TO CONSTRUCTION, A NESTING SURVEY FOR BIRDS WILL BE CONDUCTED. REPORTS THAT POTENTIALLY NEST WITHIN THE PROPOSED AREA INCLUDE COOPER'S HAWK, RED-BELLIED WOODPECKER, AND WHITE-TAILED KITE.
 2. IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 500 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING SITES OF THE SPECIALLY LISTED BIRDS.
 3. NO IMPROVEMENTS ARE TO BE MADE DURING CONSTRUCTION OF THE IMPROVEMENTS.

4. NESTING BIRD DISCLOSURES: PLEASE NOTE THAT NESTING BIRDS THAT BE PROTECTED DURING CONSTRUCTION, AND ARE PROTECTED UNDER THE STATE AND FEDERAL ENDANGERED SPECIES ACT AND THE BIRDS PREVENTION ACT, SHALL BE PROTECTED UNDER THE STATE AND FEDERAL ENDANGERED SPECIES ACT AND THE BIRDS PREVENTION ACT. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY UPON DISCOVERY OF ANY NESTING BIRDS OR ANY OTHER SPECIES PROTECTED BY THIS CODE OR ANY REGULATIONS MADE PURSUANT THEREOF.
5. THERE IS THE POSSIBILITY OF ENCOUNTERING BURIAL AND BURIAL DURING CONSTRUCTION. CONTRACTOR SHALL ADVISE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	WARNING
			0	IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT

ESTRADA Land Planning
 619.228.0142
 225 Broadway, Suite 1120
 San Diego, California 92101
 109.230.0578 FAX
 E: ESTRADA@ESTRADA.COM



SEE SHEET 24, SHEET 27 AND SHEET 28 FOR CONSTRUCTION DETAILS.
 SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

CONSULTANT

SCALE: 1"=20'-0"

NO.	DESCRIPTION	SYMBOL	REFERENCE
1	DOG WALKING TRAIL - 4' WIDE	[Symbol]	A26 (LD-1)
2	POSTER TRAIL - NATIVE SOIL 6' WIDE	[Symbol]	A26 (LD-1)
3	DOG WALKING TRAIL - 6' WIDE	[Symbol]	A26 (LD-4)
4	SECONDARY TRAIL - NATIVE SOIL 3' WIDE	[Symbol]	D37 (LD-2)
5	DISEMPLOYER	[Symbol]	GG00 5-5 (TYPE B)
6	NEW AC CURB	[Symbol]	F37 (LD-1)
7	PRESTRESS BRIDGE	[Symbol]	F37 (LD-1)
8	CRIP LADDER STAIRWAY	[Symbol]	F37 (LD-1)
9	OVERLOOK	[Symbol]	F37 (LD-1)
10	POST AND CHAIN RAILING	[Symbol]	F37 (LD-1)
11	ENTRY KIOSK/BENT	[Symbol]	G36 (LD-1)
12	INFORMATIONAL SIGN	[Symbol]	I36 (LD-1)
13	INTERPRETIVE SIGN	[Symbol]	D36 (LD-1)
14	WOOD BENCH	[Symbol]	E36 (LD-1)
15	REGISTRATION IN PROGRESS SIGN	[Symbol]	B37 (LD-2)
16	END OF TRAIL SIGN	[Symbol]	B37 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B37 (LD-2)
18	ADA DIRECTIONAL SIGN	[Symbol]	A37 (LD-2)
19	TRASH RECEPTACLE	[Symbol]	SEE CIVIL
20	PROPOSED SWALE	[Symbol]	SEE CIVIL
21	STONY DRAIN INLET	[Symbol]	SEE CIVIL
22	STONY DRAIN CLEAN OUT	[Symbol]	SEE CIVIL
23	STONY DRAIN MAIN LINE	[Symbol]	SEE CIVIL
24	PHASE I REVEGETATION	[Symbol]	SEE CIVIL
25	PHASE II REVEGETATION	[Symbol]	SEE CIVIL
26	LEFT OF WORK LINE	[Symbol]	SEE CIVIL
27	PROPERTY LINE	[Symbol]	SEE CIVIL
28	TOP OF SLEEPING LINE	[Symbol]	SEE CIVIL
29	GRADE DIP	[Symbol]	SEE CIVIL
30	TEMPORARY AC DIKE	[Symbol]	SEE CIVIL
31	EXISTING CATHODIC TEST STATION	[Symbol]	SEE CIVIL
32	EXISTING BLOCK-OFF WALL	[Symbol]	SEE CIVIL
33	ROBBER CABLEWAY	[Symbol]	SEE CIVIL
34	TRUSS CRIB WALL	[Symbol]	SEE CIVIL
35	REMOVABLE SOILLAND	[Symbol]	SEE CIVIL

PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS

CITY OF SAN DIEGO, CALIFORNIA
 ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
 SHEET 23 OF 75 SHEETS

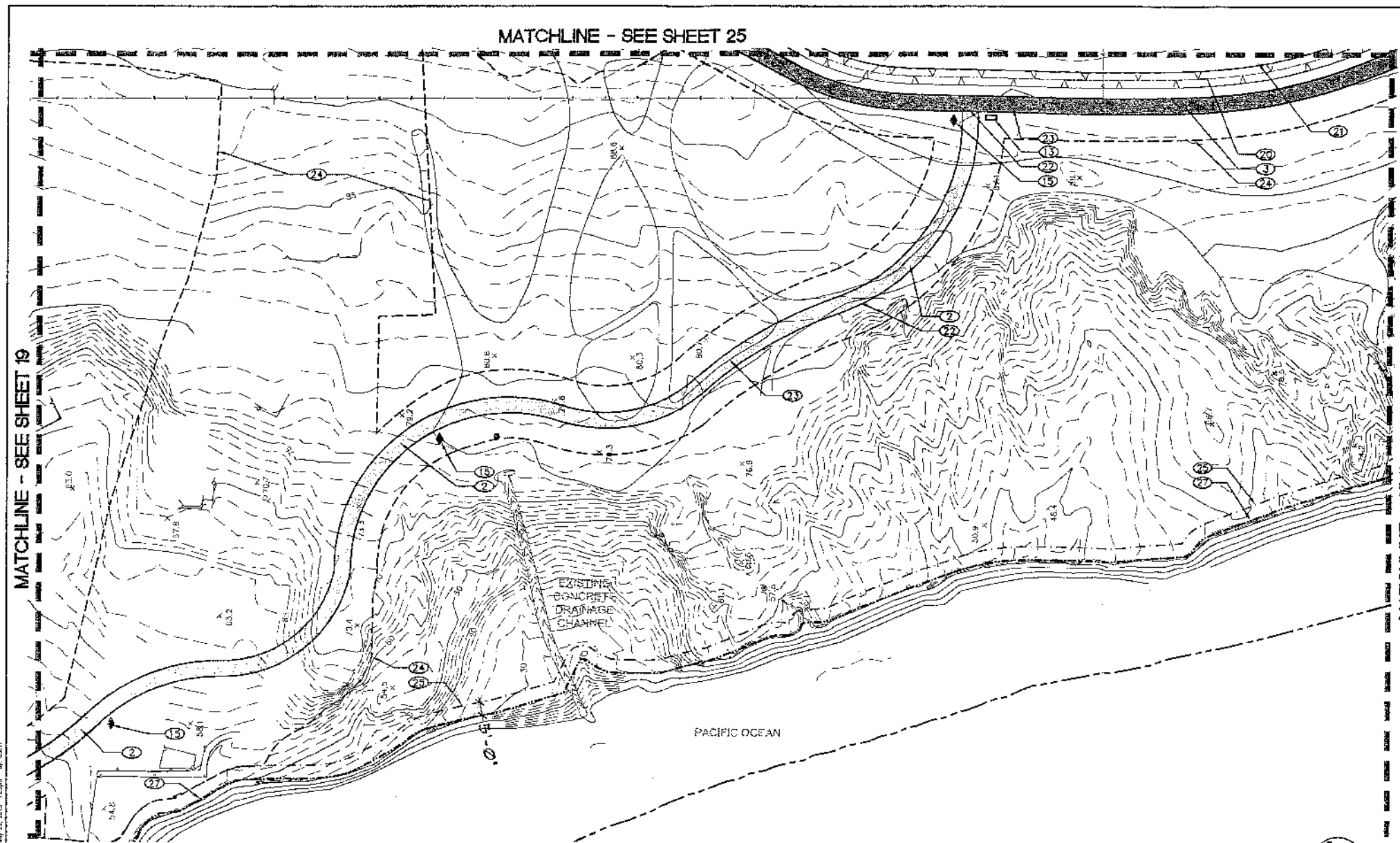
KEYMAP
 LI-6

NO.	DATE	DESCRIPTION	BY	APPROVED	DATE	REVISION
1						

CONTRACT NO. 36768-23-D

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



NO.	DESCRIPTION	SYMBOL	REFERENCE
1	DG MILITARY TRAIL / BLUDGE LINE ACCESS MAINTENANCE EASEMENT - 8' WIDE	[Symbol]	A/26 (LD-1)
2	PRIMARY TRAIL - NATIVE SOIL 8' WIDE	[Symbol]	.....
3	DG ADA TRAIL - 6' WIDE	[Symbol]	A/26 (LD-1)
4	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE	[Symbol]	.....
5	DISPATER	[Symbol]	D/31 (LD-2)
6	NEW AC CURB	[Symbol]	SDRSD G-3 (TYPE B)
7	PEDESTRIAN BRIDGE	[Symbol]	F/37 (LD-2)
8	CRIB LADDER STAIRWAY	[Symbol]	F/36 (LD-1)
9	OVERLOOK	[Symbol]	C/36 (LD-1)
10	POST AND CABLE RAILING	[Symbol]	B/36 (LD-1)
11	ENTRY MONUMENT	[Symbol]	G/36 (LD-1)
12	INFORMATIONAL SIGN	[Symbol]	I/36 (LD-1)
13	INTERPRETIVE SIGN	[Symbol]	D/36 (LD-1)
14	WOOD BENCH	[Symbol]	E/36 (LD-1)
15	REVEGETATION IN PROGRESS SIGN	[Symbol]	B/37 (LD-2)
16	END OF TRAIL SIGN	[Symbol]	B/37 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B/37 (LD-2)
18	ADA DIRECTIONAL SIGN	[Symbol]	A/37 (LD-2)
19	TRASH RECEPTACLE	[Symbol]	.....
20	PROPOSED SWALE	[Symbol]	SEE CIVIL DUGS
21	STORM DRAIN NLET	[Symbol]	SEE CIVIL DUGS
22	STORM DRAIN CLEAN OUT	[Symbol]	SEE CIVIL DUGS
23	STORM DRAIN MAN LINE	[Symbol]	SEE CIVIL DUGS
24	PHASE I REVEGETATION BOUNDARY	[Symbol]	.....
25	LIMIT OF WORK LINE	[Symbol]	.....
26	PROPERTY LINE	[Symbol]	.....
27	TOP OF BLUFF LINE	[Symbol]	.....
28	GRADE DIP	[Symbol]	C/37 (LD-2)
29	TEMPORARY AC DIKE	[Symbol]	SDRSD G-3 (TYPE D)
30	EXISTING CATHODIC TEST STATION	[Symbol]	SEE AS-BUILTS
31	EXISTING BLOW-OFF VAULT	[Symbol]	SEE AS-BUILTS
32	RAISED CAUSEWAY	[Symbol]	A/38 (LD-3)
33	TIMBER CRIB WALL	[Symbol]	B/38 (LD-3)
34	REMOVABLE BOLLARD	[Symbol]	SDRSD M-16

NOTES:

- BEFORE TO CONSTRUCTION A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTOR'S THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
- IN ADDITION A SURVEY SHALL BE CONDUCTED WITHIN 100 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING BURROWS OF THE SURROUNDING OIL.
- NO IMPROVEMENTS ARE TO BE MADE DURING RAPTOR'S OR OIL BREEDING SEASONS.

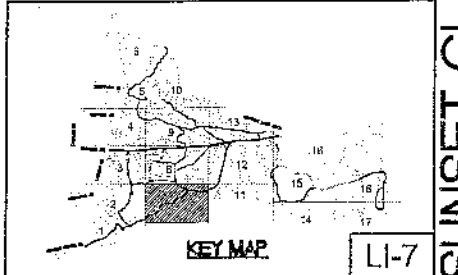
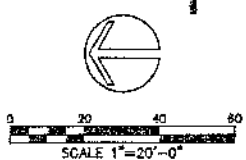
4. NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION AND ARE PROTECTED UNDER US AND STATE LAW INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR CA LAW: FISH AND GAME CODE 3500.

CCRS CODE 3500 STATES: "IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO."

5. THERE IS THE POSSIBILITY OF ENCOUNTERING BURN ASH AND WASTE DURING CONSTRUCTION. CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

SEE SHEET 26, SHEET 31 AND SHEET 38 FOR CONSTRUCTION DETAILS.

SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

**CITY OF SAN DIEGO
PUBLIC WORKS PROJECT**



CONSULTANT

Estrada Land Planning
Urban Design Landscape Architecture Computer Imaging

619 298 0143
225 Broadway, Suite 180
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619 298 0578 Fax
E.P@EstradaLandPlan.com

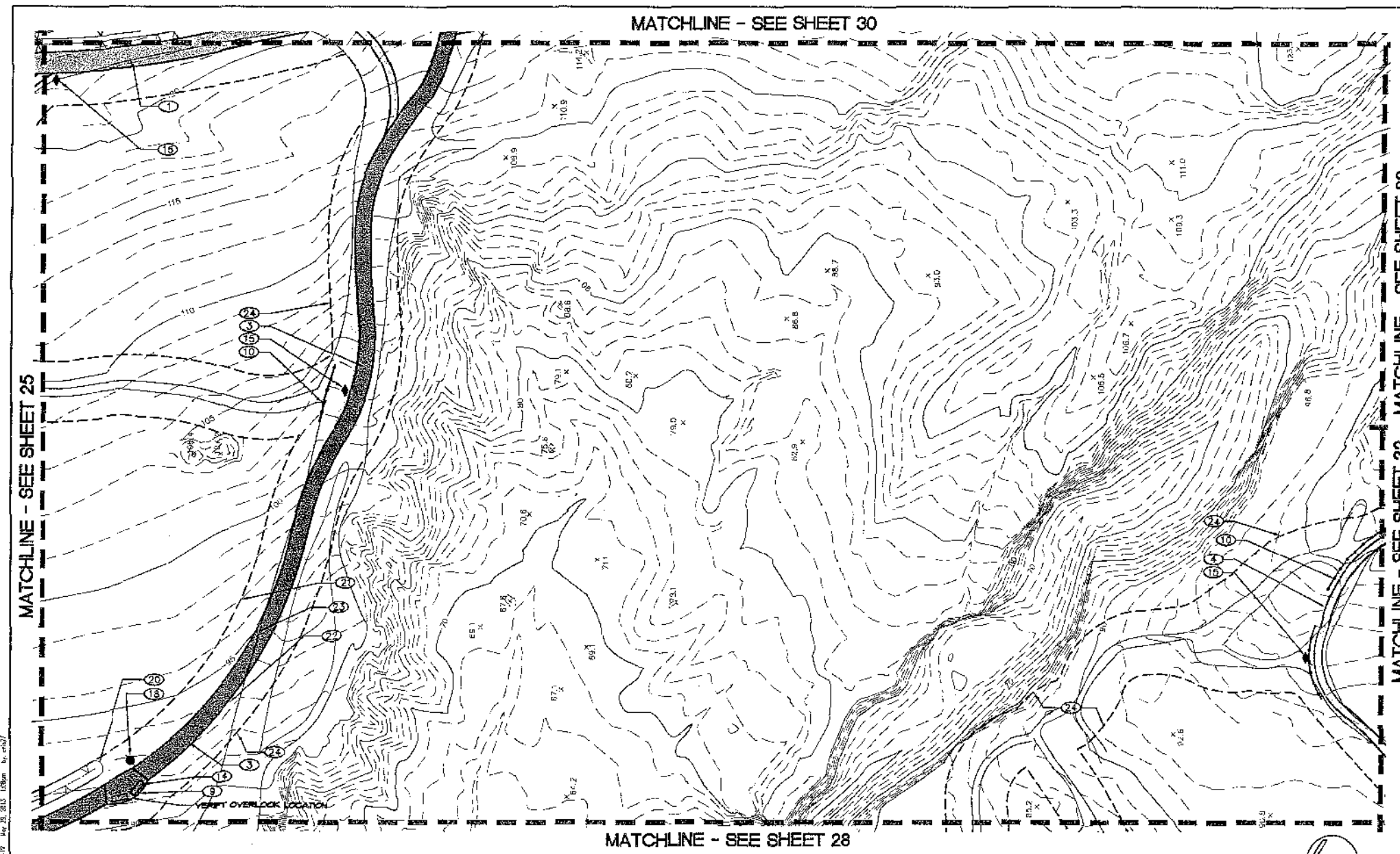


**PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
IMPROVEMENT PLAN**

CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 24 OF 78 SHEETS

FOR CITY ENGINEER:	DATE:	PROJECT MANAGER:
DESCRIPTION:	BY:	PROJECT ENGINEER:
ORIGINAL:	ELP:	DATE COORDINATE:
CONTRACTOR:	DATE STARTED:	DATE COMPLETED:

36768-24-D



N.P.I.	DESCRIPTION	SYMBOL	REFERENCE
1	DG MULTI-USE TRAIL / RIDGE LINE ACCESS MAINTENANCE EASEMENT - 8' WIDE		A/36 (LD-1)
2	PRIMARY TRAIL - NATIVE SOIL 6' WIDE		---
3	DG ADA TRAIL - 6' WIDE		A/26 (LD-1)
4	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE		---
5	DISPATCHER		D/27 (LD-2)
6	NEW AC CURB		SC/30 2-8 (TYPE B)
7	PEDESTRIAN BRIDGE		F/31 (LD-2)
8	CRIB LADDER STAIRWAY		F/36 (LD-1)
9	OVERLOOK		C/36 (LD-1)
10	POST AND CABLE RAILING		B/36 (LD-1)
11	ENTRY MONUMENT		G/36 (LD-1)
12	INFORMATIONAL SIGN		I/36 (LD-1)
13	INTERPRETIVE SIGN		D/36 (LD-1)
14	WOOD BENCH		E/36 (LD-1)
15	REVEGETATION IN PROGRESS SIGN		B/31 (LD-2)
16	END OF TRAIL SIGN		B/31 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS		B/31 (LD-2)
18	ADA DIRECTIONAL SIGN		A/31 (LD-2)
19	TRASH RECEPTACLE		---
20	PROPOSED SWALE		SEE CIVIL DUGS
21	STORM DRAIN INLET		SEE CIVIL DUGS
22	STORM DRAIN CLEAN OUT		SEE CIVIL DUGS
23	STORM DRAIN MAIN LINE		SEE CIVIL DUGS
24	PHASE I REVEGETATION BOUNDARY		---
25	LIMIT OF WORK LINE		---
26	PROPERTY LINE		---
27	TOP OF BLUFF LINE		---
28	GRADE DIP		C/31 (LD-2)
29	TEMPORARY AG DIKE		SC/30 2-5 (TYPE D)
30	EXISTING CATHODIC TEST STATION		SEE AG-BUILTS
31	EXISTING BLOW-OFF VAULT		SEE AG-BUILTS
32	RAISED CAUSEWAY		A/38 (LD-3)
33	THICKER CRIB WALL		B/38 (LD-3)
34	REMOVABLE BOLLARD		SC/30 2-16

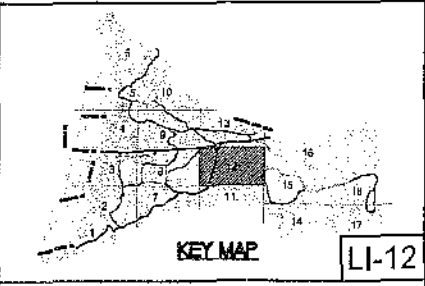
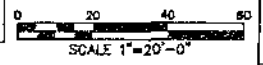
NOTES:

- PRIOR TO CONSTRUCTION A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTORS THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
- IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 300 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING BURROWS OF THE BURROCKING OIL.
- NO IMPROVEMENTS ARE TO BE MADE DURING RAPTORS OR OIL BREEDING SEASONS.
- NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION AND ARE PROTECTED UNDER USA AND STATE LAW INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR, CA LAW - FISH AND GAME CODE 3863.

CEQA CODE 3863 STATES: "IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO.

IF THERE IS THE POSSIBILITY OF ENCOUNTERING BURIAL ASH AND WASTE DURING CONSTRUCTION, CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

SEE SHEET 34, SHEET 31 AND SHEET 33 FOR CONSTRUCTION DETAILS.
SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
IMPROVEMENT PLAN

CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 29 OF 75 SHEETS		DATE	PROJECT MANAGER
FOR CITY ENGINEER	DATE	PROJECT MANAGER	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	ELP		
CONTRACTOR	DATE STARTED	DATE COMPLETED	36768-29-D
INSPECTOR			

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
PUBLIC WORKS PROJECT



CONSULTANT

Estrada Land Planning
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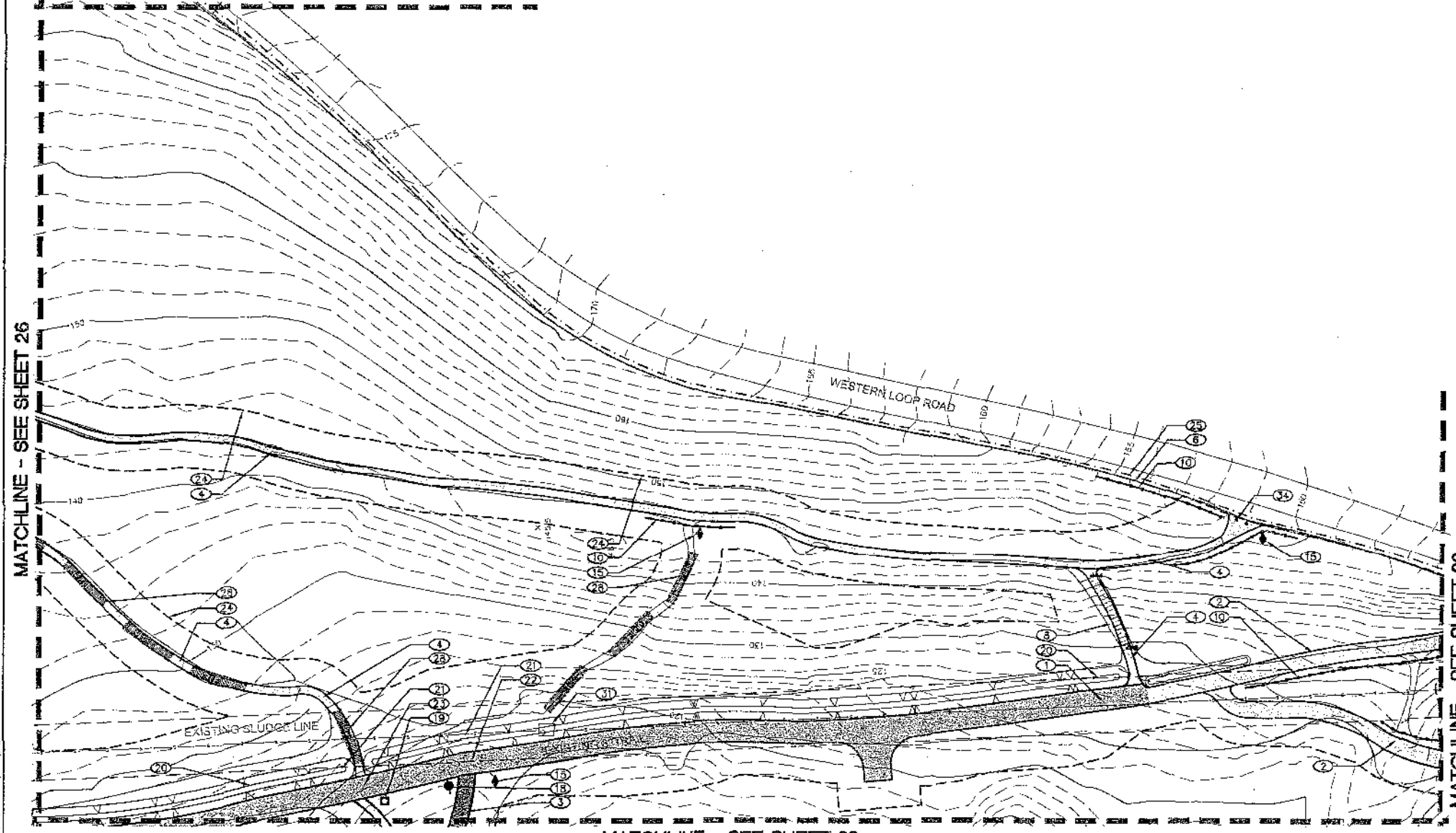
619.236.0143
225 Broadway, Suite 1160
San Diego, California 92101
949.238.0378 Fax
ELP@EstradaLand.com



SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL

MATCHLINE - SEE SHEET 27



IMPROVEMENT DETAIL KEY

NUM.	DESCRIPTION	SYMBOL	REFERENCE
1	DG MULTI-USE TRAIL / SLUDGE LINE ACCESS MAINTENANCE BASEMENT - 8' SIDE	[Symbol]	A/36 (LD-U)
2	PRIMARY TRAIL - NATIVE SOIL - 6' WIDE	[Symbol]	-----
3	DG ADA TRAIL - 6' WIDE	[Symbol]	A/36 (LD-U)
4	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE	[Symbol]	-----
5	DISINFECTOR	[Symbol]	D/31 (LD-1)
6	NEW AC CURB	[Symbol]	SORSO G-8 (TYPE B)
7	PEDESTRIAN BRIDGE	[Symbol]	F/31 (LD-2)
8	CRIB LADDER STAIRWAY	[Symbol]	F/36 (LD-U)
9	OVERLOOK	[Symbol]	C/36 (LD-U)
10	POST AND CABLE RAILING	[Symbol]	B/36 (LD-U)
11	ENTRY MONUMENT	[Symbol]	G/36 (LD-U)
12	INFORMATIONAL SIGN	[Symbol]	I/36 (LD-U)
13	INTERPRETIVE SIGN	[Symbol]	D/36 (LD-U)
14	WOOD BENCH	[Symbol]	E/36 (LD-U)
15	VEGETATION IN PROGRESS SIGN	[Symbol]	C/31 (LD-2)
16	END OF TRAIL SIGN	[Symbol]	B/31 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B/31 (LD-2)
18	ADA DIRECTIONAL SIGN	[Symbol]	A/31 (LD-2)
19	TRASH RECEPTACLE	[Symbol]	-----
20	PROPOSED SWALE	[Symbol]	SEE CIVIL PLANS
21	STORM DRAIN INLET	[Symbol]	SEE CIVIL PLANS
22	STORM DRAIN CLEAN OUT	[Symbol]	SEE CIVIL PLANS
23	STORM DRAIN MAIN LINE	[Symbol]	SEE CIVIL PLANS
24	PHASE I REVEGETATION BOUNDARY	[Symbol]	-----
25	LIFT OF WORK LINE	[Symbol]	-----
26	PROPERTY LINE	[Symbol]	-----
27	TOP OF BLUFF LINE	[Symbol]	-----
28	GRADE DIP	[Symbol]	C/31 (LD-2)
29	TEMPORARY AC DIKE	[Symbol]	SORSO G-8 (TYPE D)
30	EXISTING CATHODIC TEST STATION	[Symbol]	SEE AS-BUILTS
31	EXISTING BLOW-OFF VAULT	[Symbol]	SEE AS-BUILTS
32	RAISED CAUSEWAY	[Symbol]	A/36 (LD-3)
33	TIMBER CRIB WALL	[Symbol]	B/36 (LD-3)
34	REMOVABLE BOLLARD	[Symbol]	SORSO M-6

MATCHLINE - SEE SHEET 26

MATCHLINE - SEE SHEET 33

MATCHLINE - SEE SHEET 29

- NOTES**
- PRIOR TO CONSTRUCTION, A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTORS THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
 - IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 300 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING BURROWS OF THE SURROUNDING SOIL.
 - NO IMPROVEMENTS ARE TO BE MADE DURING RAPTORS OR OIL BREEDING SEASONS.
 - NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION AND ARE PROTECTED UNDER FEDERAL AND STATE LAWS INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR CA LAWS - FISH AND GAME CODE 38000.
 - CORPS CODE 3800 STATES "IT IS UNLAWFUL TO TAKE POSSESSION OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO."
 - THERE IS THE POSSIBILITY OF ENCOUNTERING BURIED ASH AND SHALE DURING CONSTRUCTION. CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

SEE SHEET 36, SHEET 31 AND SHEET 33 FOR CONSTRUCTION DETAILS.
SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

TEMPORARY MAP CONSTRUCTION SITE FROM WEST TO EAST: HIGH, MEDIUM, LOW, SPEED, M/S

SCALE 1"=20'-0"

CONSTRUCTION CHANGE / ADDENDUM			WARNING
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

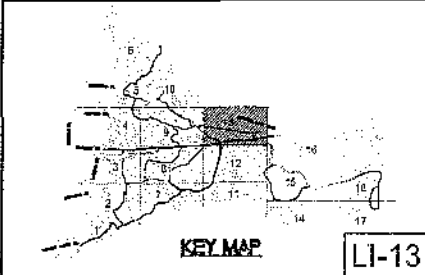
CITY OF SAN DIEGO
PUBLIC WORKS PROJECT



CONSULTANT

Estrada Land Planning
Urban Design Landscape Architects Computer Imaging

210.236.0143
229 Broadway, Suite 1150
San Diego, California 92101
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ELP@estradaLandPlan.com



PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
IMPROVEMENT PLAN

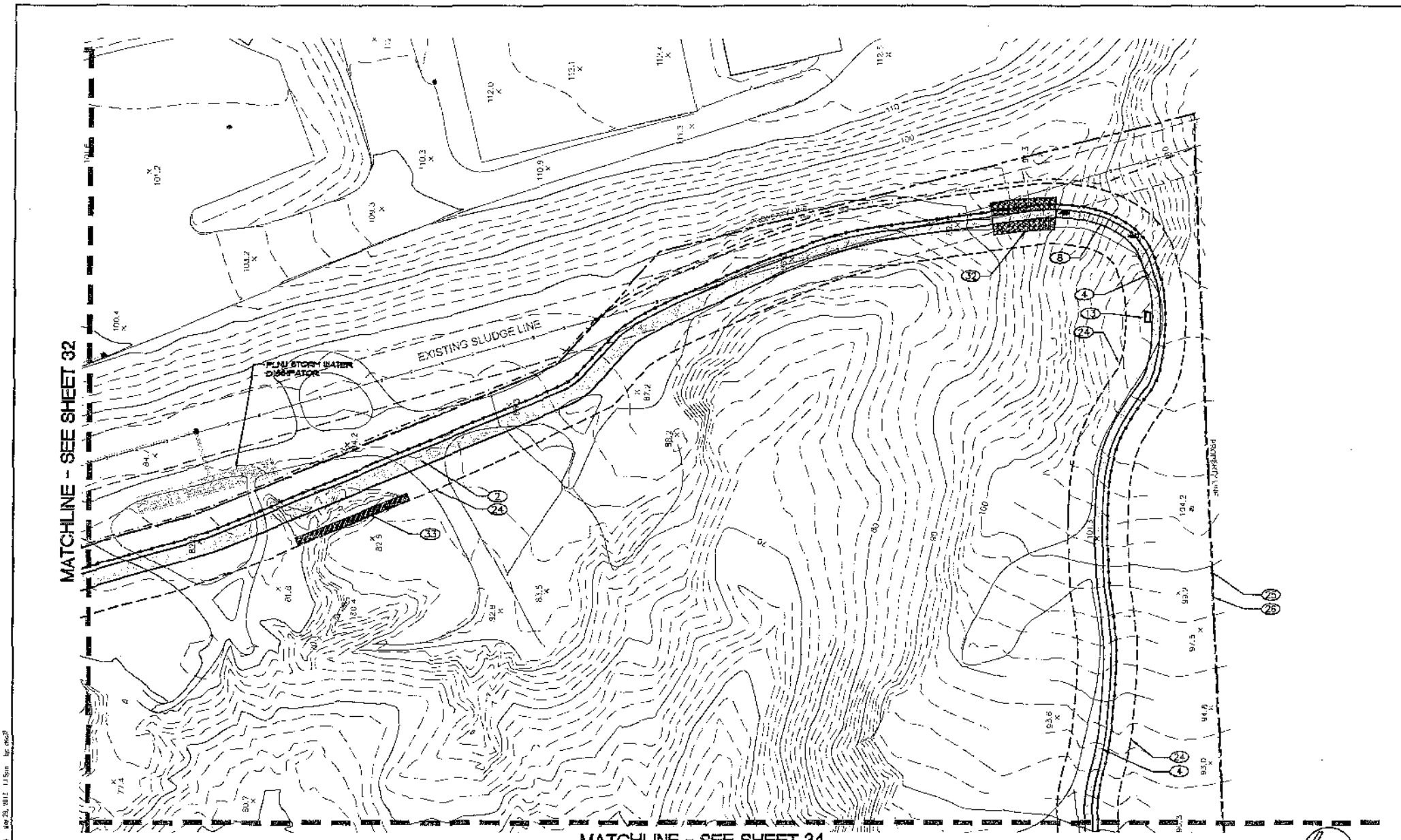
CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 30 OF 78 SHEETS

PER CITY ENGINEER	DATE	PROJECT NUMBER

DESCRIPTION	BY	APPROVED	DATE	FLUID	PROJECT NUMBER
ORIGINAL	ELP				

CONTRACTOR	DATE STARTED	DATE COMPLETED

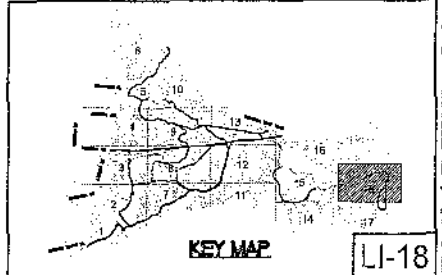
36768-30-D



MATCHLINE - SEE SHEET 32

MATCHLINE - SEE SHEET 34

IMPROVEMENT DETAIL KEY			
NUM.	DESCRIPTION	SYM-BOL	REFERENCE
1	DG MULTI-USE TRAIL / BLUDGE LINE ACCESS MAINTENANCE EASEMENT - 8' WIDE	[Symbol]	A/36 (LD-1)
2	PRIMARY TRAIL - NATIVE SOIL 6' WIDE	[Symbol]	
3	DG ADA TRAIL - 6' WIDE	[Symbol]	A/36 (LD-1)
4	SECONDARY TRAIL - NATIVE SOIL - 3' WIDE	[Symbol]	
5	DISSIPATER	[Symbol]	D/31 (LD-2)
6	NEW AC CURB	[Symbol]	SDRSD G-8 (TYPE B)
7	PEDESTRIAN BRIDGE	[Symbol]	P/31 (LD-2)
8	CRIB LADDER STAIRWAY	[Symbol]	P/36 (LD-1)
9	OVERLOOK	[Symbol]	C/36 (LD-1)
10	POST AND CABLE RAILING	[Symbol]	B/36 (LD-1)
11	ENTRY MONUMENT	[Symbol]	G/36 (LD-1)
12	INFORMATIONAL SIGN	[Symbol]	I/36 (LD-1)
13	INTERPRETIVE SIGN	[Symbol]	D/36 (LD-1)
14	WOOD BENCH	[Symbol]	E/36 (LD-1)
15	REVEGETATION IN PROGRESS SIGN	[Symbol]	B/31 (LD-2)
16	END OF TRAIL SIGN	[Symbol]	B/31 (LD-2)
17	DIRECTIONAL SIGN INDICATING PARKING LOTS	[Symbol]	B/31 (LD-2)
18	ADA DIRECTIONAL SIGN	[Symbol]	A/31 (LD-2)
19	TRASH RECEPTACLE	[Symbol]	
20	PROPOSED SWALE	[Symbol]	SEE CIVIL DUGS
21	STORM DRAIN INLET	[Symbol]	SEE CIVIL DUGS
22	STORM DRAIN CLEAN OUT	[Symbol]	SEE CIVIL DUGS
23	STORM DRAIN MAN LINE	[Symbol]	SEE CIVIL DUGS
24	PHASE I REVEGETATION BOUNDARY	[Symbol]	
25	LIMIT OF WORK LINE	[Symbol]	
26	PROPERTY LINE	[Symbol]	
27	TOP OF BLUFF LINE	[Symbol]	
28	GRADE DIP	[Symbol]	C/31 (LD-2)
29	TEMPORARY AC DIKE	[Symbol]	SDRSD G-7 (TYPE B)
30	EXISTING CATHODIC TEST STATION	[Symbol]	SEE AS-BUILTS
31	EXISTING BLOW-OFF VAULT	[Symbol]	SEE AS-BUILTS
32	RAISED CAUSEWAY	[Symbol]	A/38 (LD-3)
33	TIMBER CRIB WALL	[Symbol]	B/38 (LD-3)
34	REMOVABLE BOLLARD	[Symbol]	SDRSD H-4



- NOTES:**
- PRIOR TO CONSTRUCTION, A NESTING SURVEY FOR RAPTORS WILL BE CONDUCTED. RAPTORS THAT POTENTIALLY NEST WITHIN THE PROJECT AREA INCLUDE COOPER'S HAWK, RED-SHOULDERED HAWK, AND WHITE-TAILED KITE.
 - IN ADDITION, A SURVEY SHALL BE CONDUCTED WITHIN 300 FEET OF IMPACT AREAS TO IDENTIFY IF THERE ARE POTENTIAL NESTING SITES OF THE SURROUNDING OIL.
 - NO IMPROVEMENTS ARE TO BE MADE DURING RAPTOR OR OIL BREEDING SEASONS.
 - NESTING BIRD DISCLOSURE - PLEASE NOTE THAT NESTING BIRDS MAY BE PRESENT DURING CONSTRUCTION, AND ARE PROTECTED UNDER U.S. AND STATE LAW INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT AND IN PARTICULAR, CA LAW - FISH AND GAME CODE 30663.
 - CPGS CODE 30663 STATES "IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO.
 - THERE IS THE POSSIBILITY OF ENCOUNTERING BURN ASH AND WASTE DURING CONSTRUCTION. CONTRACTOR SHALL ADHERE TO THE COMMUNITY HEALTH AND SAFETY PLAN AND SOIL MANAGEMENT PLAN.

SEE SHEET 36, SHEET 37 AND SHEET 38 FOR CONSTRUCTION DETAILS.
SEE SPECIFICATIONS AND SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SCALE 1"=20'-0"

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

**CITY OF SAN DIEGO
PUBLIC WORKS PROJECT**



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PROFESSIONAL LANDSCAPE ARCHITECT
MICHAEL ESTRADA
No. 188
Exp. 1/30/2014
SANDIEGO
STATE OF CALIFORNIA

**PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
IMPROVEMENT PLAN**

CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
SHEET 35 OF 75 SHEETS

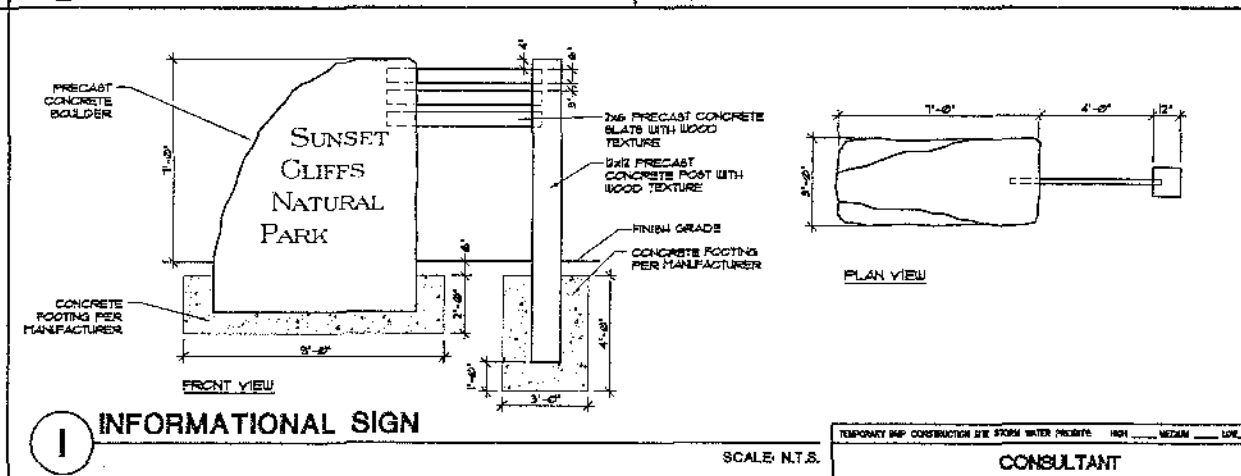
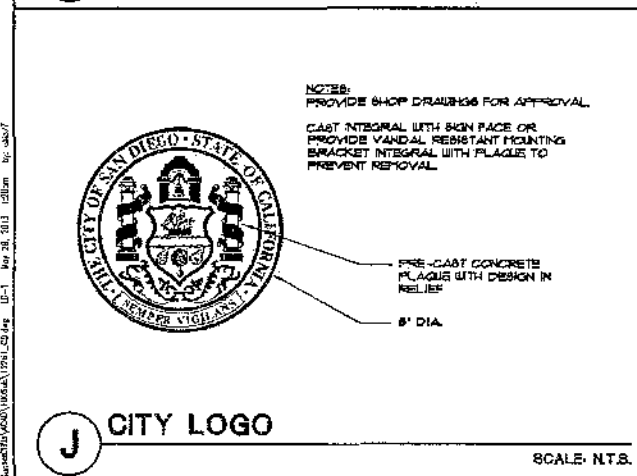
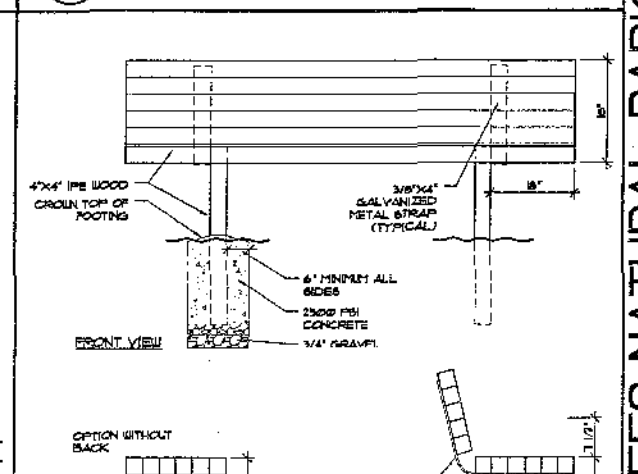
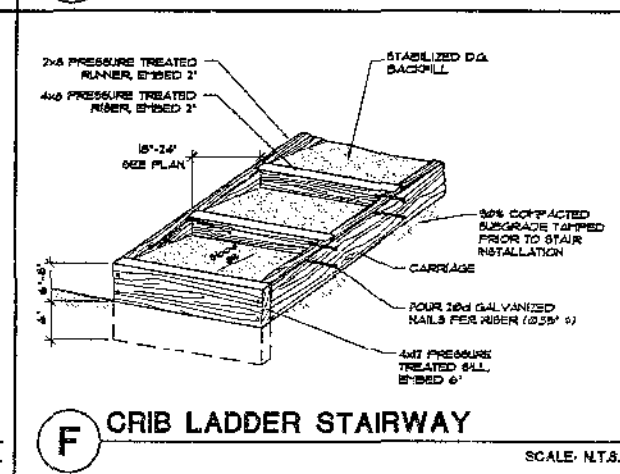
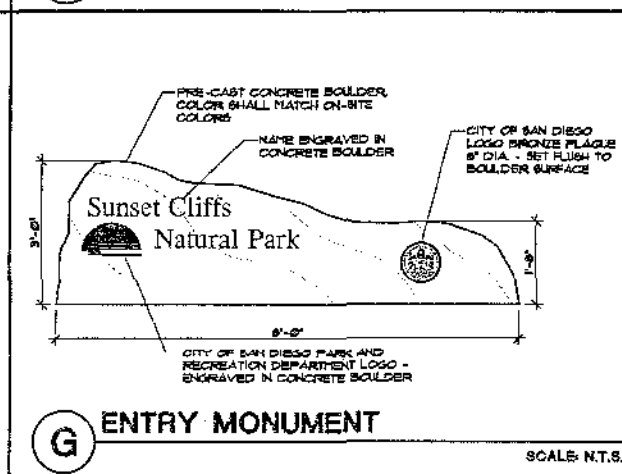
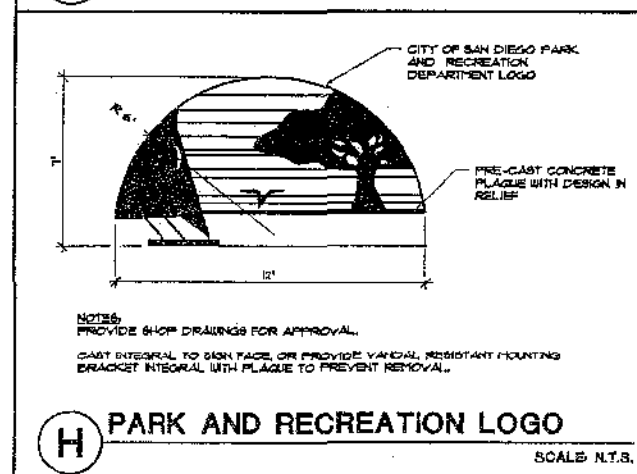
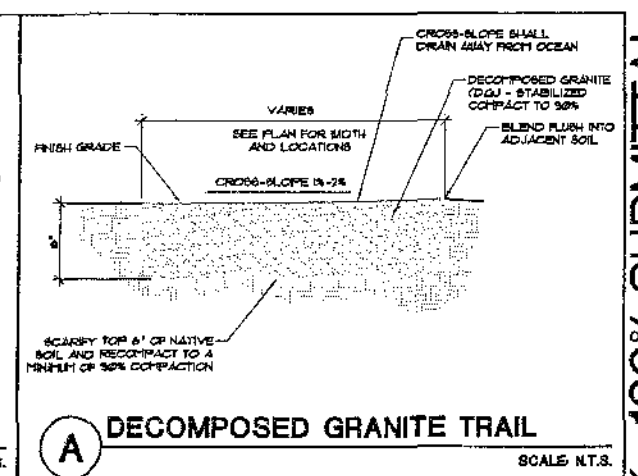
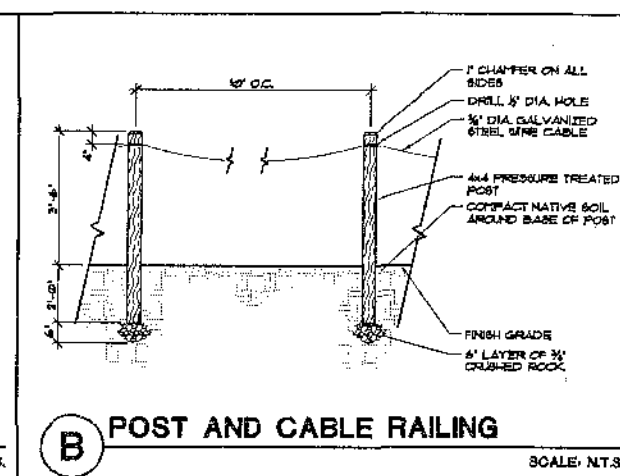
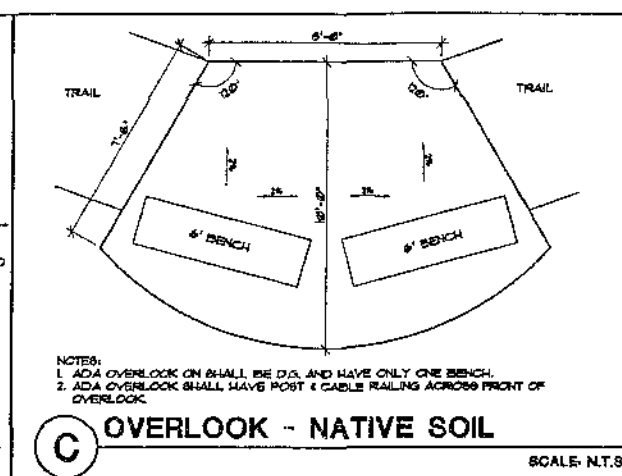
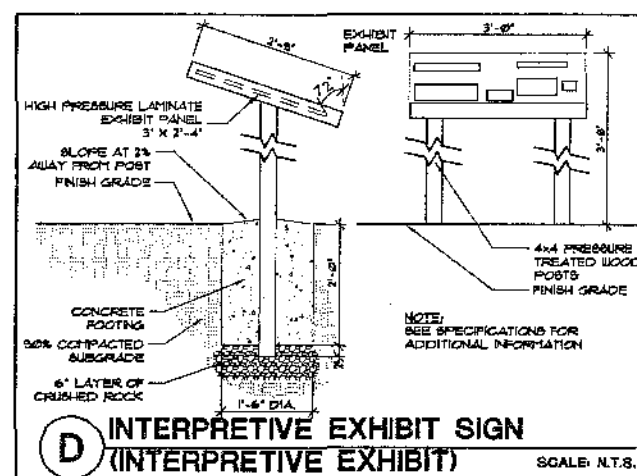
NO. _____
REV. _____

FOR CITY ENGINEER	DATE	PROJECT MANAGER
DESCRIPTION	BY	APPROVED DATE
ORIGINAL	ELP	
		PROJECT MANAGER
		COORDINATOR
		CONTRACTOR
		DATE STARTED
		DATE COMPLETED

CONTRACTOR: _____
INSPECTOR: _____

36768-35-D

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL



PLANS FOR
SUNSET CLIFFS NATURAL PARK
HILLSIDE IMPROVEMENTS
IMPROVEMENT DETAILS

CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 35 OF 78 SHEETS		MSB WBS
DATE	DATE	PROJECT MANAGER
FOR CITY CHIEF ENGINEER	BY	PROJECT NUMBER
DESCRIPTION	APPROVED	CHECK COORDINATE
ORIGINAL	DATE	DATE
DATE	DATE	DATE
CONTRACTOR	DATE STARTED	DATE COMPLETED
INSPECTOR		36768-36-D

CONSTRUCTION CHANGE / ADDENDUM

CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING: IF THIS BAR DOES NOT MEASURE 1\"/>

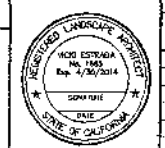
CITY OF SAN DIEGO
PUBLIC WORKS PROJECT

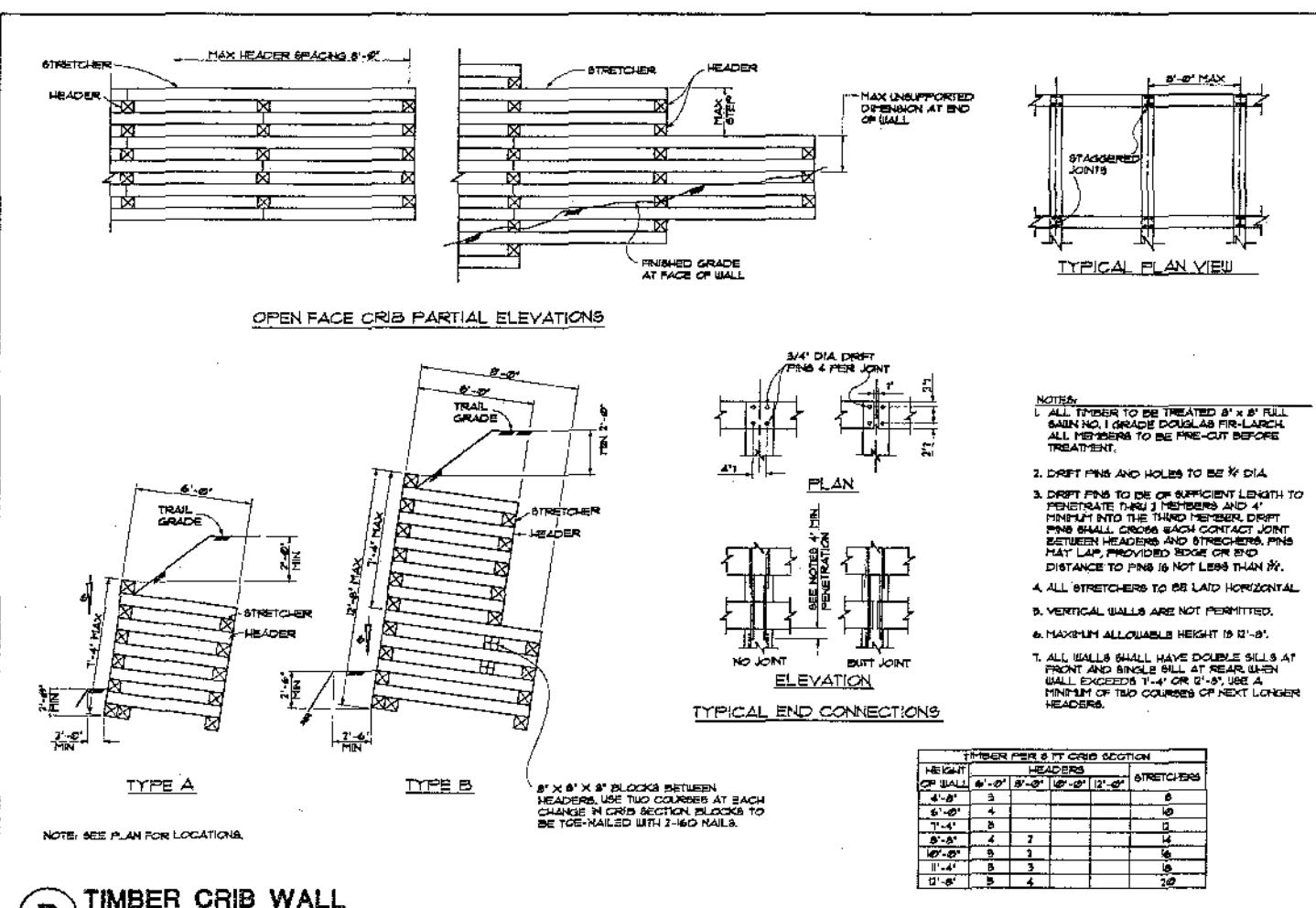


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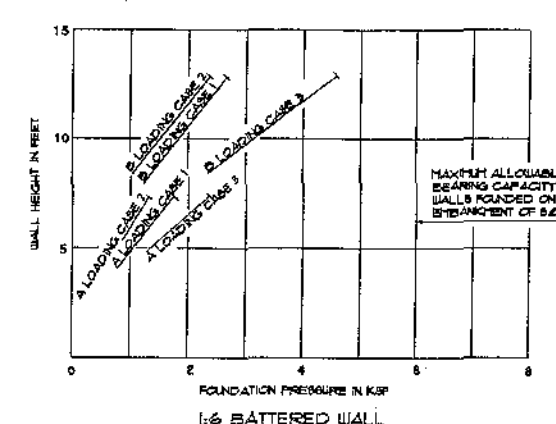
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819.238.0578 Fax
ELP@EstradaLandPlanning.com





B TIMBER CRIB WALL

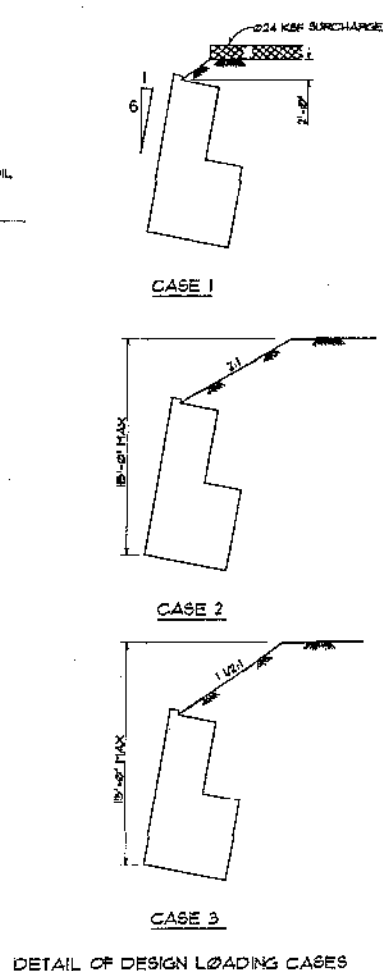


LEGEND FOR GRAPH

- A AND B = WALL TYPE
- SOLID LINE INDICATE NORMAL RANGE OF WALL TYPE. UPPER END OF LINE INDICATES MAXIMUM WALL HEIGHT.
- FOR DESCRIPTION OF LOADING CASES SEE DETAIL OF DESIGN LOADING CASES.

DESIGN NOTES:

- WALL BASE IN EMBANKMENT. A MINIMUM DEPTH OF 8' OF EMBANKMENT AT 95% RELATIVE SOIL COMPACTION IS REQUIRED BELOW THE BASE OF ALL WALLS IN ORDER TO CONSTITUTE AN EMBANKMENT CONDITION. WHEN THE FOUNDATION PRESSURE IS BETWEEN 5.0 KSF AND 8.0 KSF EMBANKMENT BELOW THE WALL SHALL CONSIST OF STRUCTURE BACKFILL MATERIAL AS SET FORTH IN SECTION 300-33 OF THE STANDARD SPECIFICATIONS (GREENBOOK). THE LIMITS OF RELATIVE COMPACTION (95%) SHALL BE AS SET FORTH IN SECTION 300-33 OF THE STANDARD SPECIFICATIONS (GREENBOOK).
- WALL BASE IN ORIGINAL GROUND. ALLOWABLE SOIL PRESSURE AT TOE OF WALL SHALL BE DETERMINED BY FOUNDATION SITE INVESTIGATION. WALLS THAT ARE TO RETAIN CUT SLOPES SHALL BE DESIGNED FOR SLOPE WITH WALL IN PLACE MUST BE ANALYZED. IF ORIGINAL GROUND SLOPES AWAY FROM TOE OF WALL, REDUCTION IN ALLOWABLE BEARING CAPACITY DUE TO SLOPE MUST BE CONSIDERED. WALLS SHALL NOT BE FOUND IN ORIGINAL GROUND HAVING AN ALLOWABLE BEARING CAPACITY OF LESS THAN 2.0 KSF. CONSIDERATION SHOULD BE GIVEN TO REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL WITH STRUCTURAL BACKFILL MATERIAL AS SET FORTH IN SECTION 300-33 OF THE STANDARD SPECIFICATIONS (GREENBOOK). THE LIMITS OF RELATIVE COMPACTION (95%) SHALL BE AS SET FORTH IN SECTION 300-33 OF THE STANDARD SPECIFICATIONS.
- SOIL PARAMETERS:
 BACKFILL - $\phi = 34^\circ$, $\gamma = 110$ LB/CF
 FOUNDATION - $\phi = 34^\circ$
 LATERAL EARTH PRESSURE DETERMINED BY RANKINE THEORY.



A TIMBER CRIB WALL - TYPE A and B DESIGN DATA

CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

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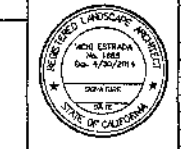
CITY OF SAN DIEGO
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 Urban Design Landscape Architecture Computer Imaging

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 225 Broadway, Suite 1130
 San Diego, California 92101
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 ELP@EstradaLandPlan.com



PLANS FOR SUNSET CLIFFS NATURAL PARK HILLSIDE IMPROVEMENTS IMPROVEMENT DETAILS

CITY OF SAN DIEGO, CALIFORNIA
 ENGINEERING AND CAPITAL PROJECTS DEPARTMENT
 SHEET 38 OF 79 SHEETS

FOR CITY ENGINEER	BY	APPROVED	DATE	FILED	PROJECT MANAGER
ORIGINAL	ELP				PROJECT ENGINEER
					COST COORDINATOR
					COST COORDINATOR

CONTRACTOR: _____ DATE STARTED: _____ DATE COMPLETED: _____

INSPECTOR: _____

36768-38-D

SUNSET CLIFFS NATURAL PARK 100% SUBMITTAL

LD-3