



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: February 20, 2013

REPORT NO. HO 13-015

ATTENTION: Hearing Officer

SUBJECT: T-MOBILE – BETHANY LUTHERAN
PTS PROJECT NUMBER: 289242

LOCATION: 2051 Sunset Cliffs Boulevard

APPLICANT: T-Mobile West Corporation (Permittee)
Bethany Evangelical Lutheran Church (Owner)

SUMMARY

Issue(s): Should the Hearing Officer approve a Conditional Use Permit (CUP) for a Wireless Communication Facility (WCF) in the Ocean Beach community plan area?

Staff Recommendation(s): APPROVE Conditional Use Permit No. 1014968.

Community Planning Group Recommendation: The Ocean Beach Community Planning Group recommended approval of this project at their November 7, 2012 meeting.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(b) (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 17, 2012, and the opportunity to appeal that determination ended January 10, 2013.

BACKGROUND & DISCUSSION

T-Mobile – Bethany Lutheran is an application for a Conditional Use Permit (CUP) for a Wireless Communication Facility (WCF). The project is located in the Ocean Beach community plan area in the RM-1-1 zone at 2051 Sunset Cliffs Boulevard. (Attachments 1, 2, and 3)

WCF's are permitted in residential zones with a non-residential use, where the antennas are located less than 100' from the property line of a residential use, with the processing of a Process 3 CUP.

The existing facility was originally permitted by approval number 400-232-21 which was issued August 3, 2000 and expired September 21, 2010. The current application is for a new permit to continue operation of the wireless facility with some minor changes to the antenna equipment. This application is subject to the current regulations in effect, including applicable zoning regulations, the Wireless Communication Facility Regulations (LDC section 141.0420), and the City's General Plan.

WCF's are required to use the smallest, least visually intrusive antennas, components, and other necessary equipment. Applicants are required to use all reasonable means to conceal or minimize the visual impacts of WCF's through integration. Integration with existing structures or among existing uses shall be accomplished through the use of architecture, landscape, and siting solutions.

In this particular case, the antennas are located within an existing steeple structure on the church, concealed behind radio-frequency transparent material. Equipment associated with the antennas is located in a building adjacent to the parking area. (Attachments 10 and 11)

The City's General Plan addresses Wireless Facilities in Policy UD-A.15. The visual impact of WCF should be minimized by concealing WCF in existing structures, or utilizing camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures. This project complies with the General Plan recommendations by effectively integrating the antennas and equipment in existing structures. These structures are integrated with the property, and respectful of the neighborhood context.

Based on the proposed design, the project complies with the WCF Regulations of the Land Development Code (LDC 141.0420). The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the CUP. Therefore, Staff recommends approval of CUP No. 1014968.

ALTERNATIVES

1. Approve Conditional Use Permit No. 1014968, with modifications.
2. Deny Conditional Use Permit No. 1014968, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

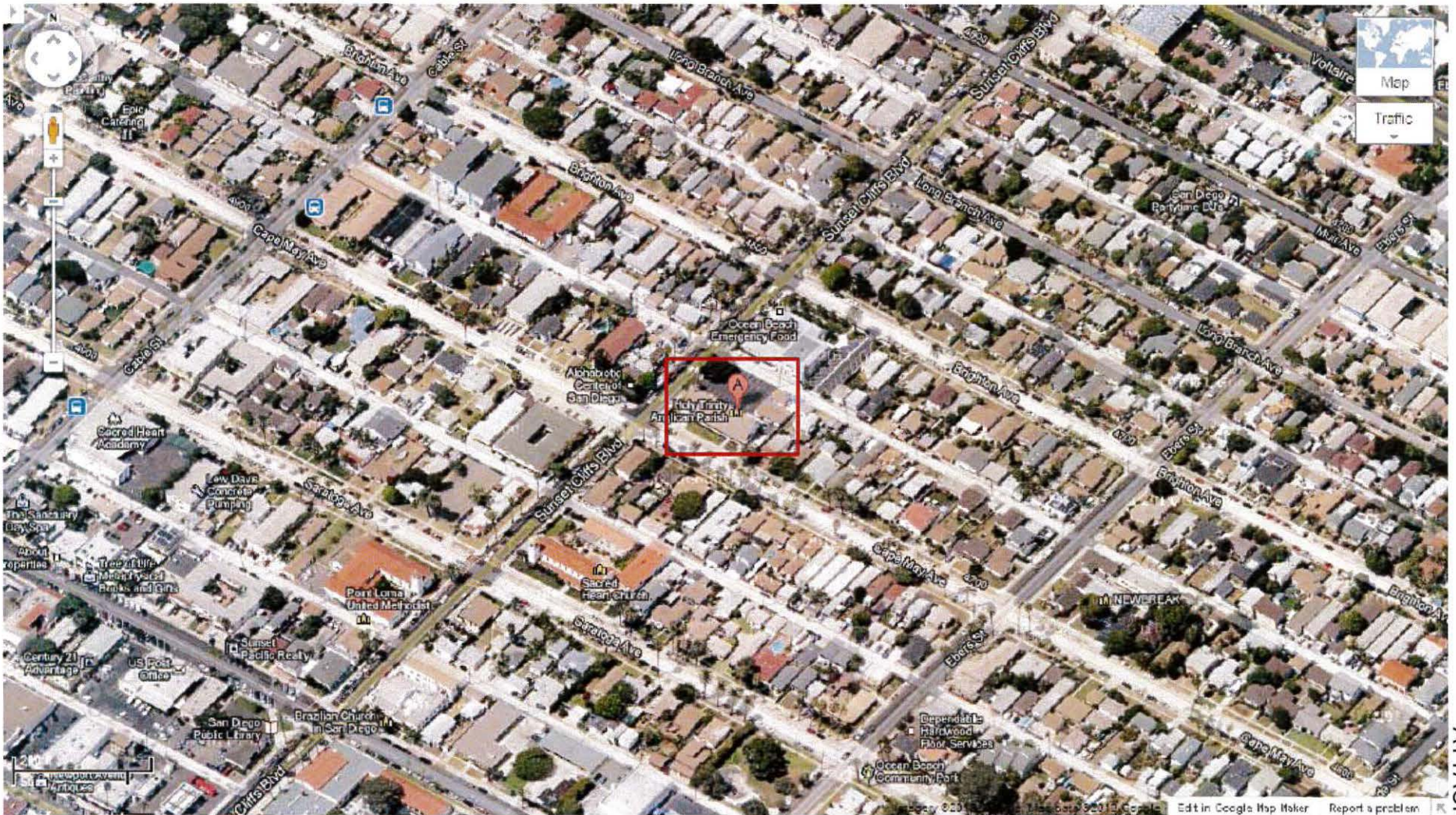


Alex Hempton, AICP
Development Project Manager

Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Photo Simulation
11. Photo Survey
12. Site Justification
13. Coverage Maps
14. Hearing Officer Hearing Public Notice
15. Project Plans

Aerial Photo



Page 1 of 2

T-Mobile – Bethany Lutheran, Project No. 289242
2051 Sunset Cliffs Blvd.

ATTACHMENT 1

Aerial Photo



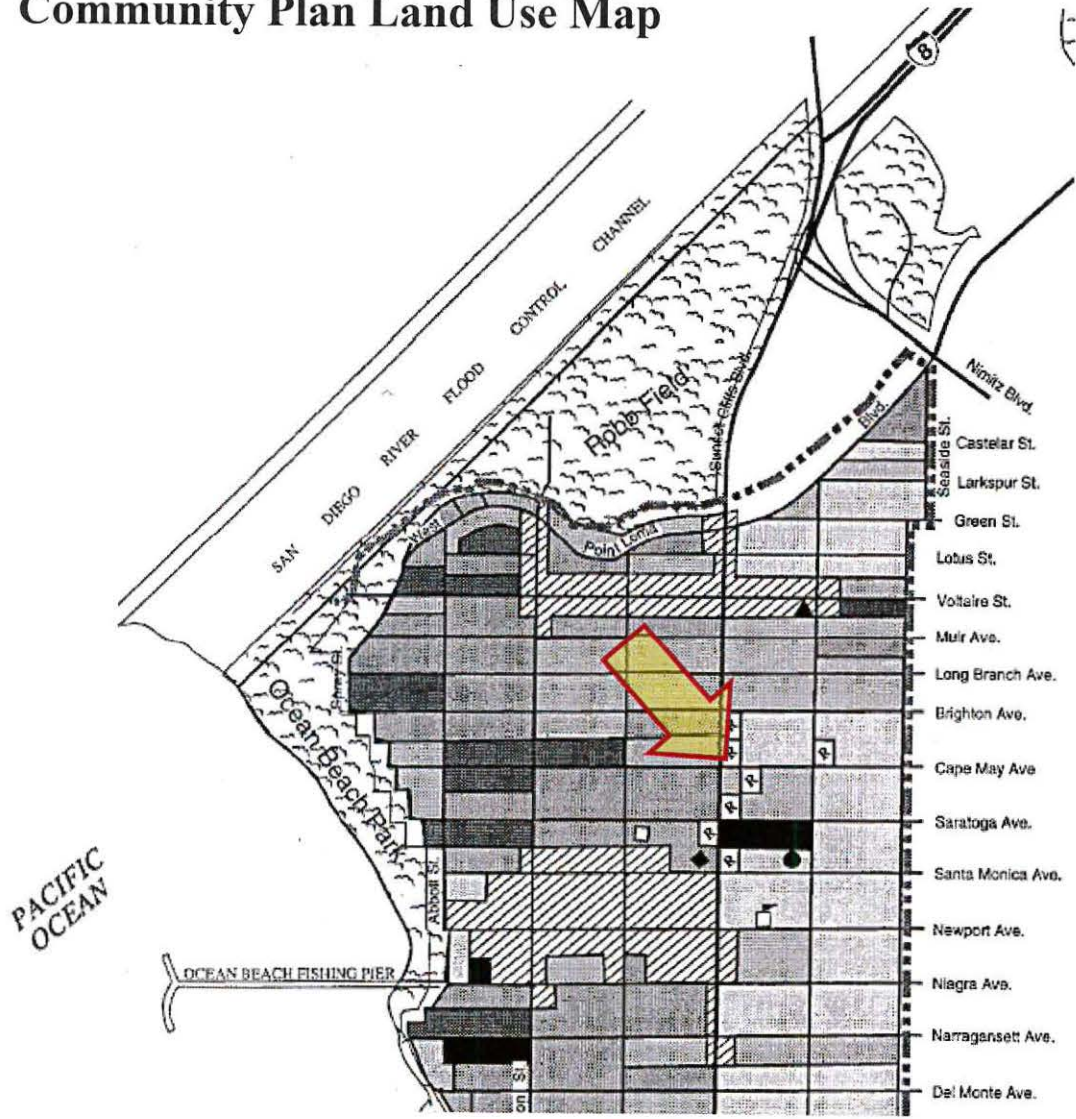
Page 2 of 2

ATTACHMENT 1

T-Mobile – Bethany Lutheran, Project No. 289242
2051 Sunset Cliffs Blvd.

Community Plan Land Use Map

Page 1 of 1



Identified as Church

RESIDENTIAL
(dwelling units/acre for each 1/2 block)

[Lightest shading]	0-14
[Light shading]	15-24
[Medium shading]	25-37
[Dark shading]	38-53
[Darkest shading]	54+

COMMERCIAL
[Hatched shading]

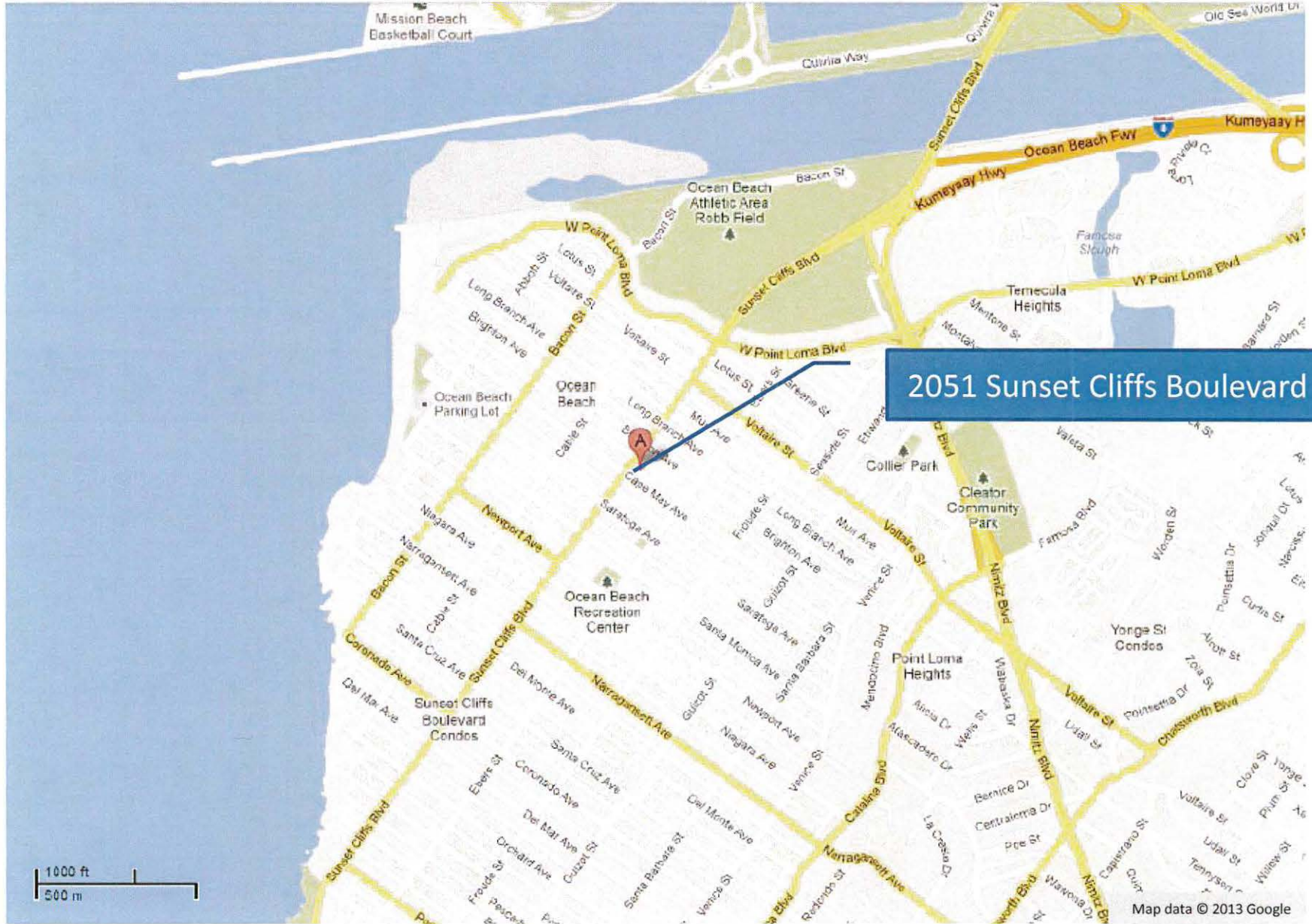
PUBLIC FACILITIES

- [Square with 'S'] Elementary School
- [Square with 'L'] Library
- [Diamond with 'F'] Fire Station
- [Circle with 'R'] Recreation Center
- [Circle with 'P'] Post Office
- [Square with 'C'] Churches
- [Square with 'P'] Parks



T-Mobile – Bethany Lutheran, Project No. 289242
2051 Sunset Cliffs Blvd.

ATTACHMENT 2



PROJECT DATA SHEET		
PROJECT NAME:	T-Mobile – Bethany Lutheran	
PROJECT DESCRIPTION:	Conditional Use Permit (CUP), Process 3, for three panel antennas mounted within an existing steeple structure and equipment located within an equipment room.	
COMMUNITY PLAN:	Ocean Beach	
DISCRETIONARY ACTIONS:	Conditional Use Permit, Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Church	
<u>ZONING INFORMATION:</u>		
ZONE: RM-1-1		
HEIGHT LIMIT: 30'		
LOT SIZE: -		
FLOOR AREA RATIO: 0.75		
FRONT SETBACK: 15'/20'		
SIDE SETBACK: 5'/8'		
STREETSIDE SETBACK: 10'		
REAR SETBACK: 15'		
PARKING: -		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, RM-2-4	Residential
SOUTH:	Residential, RM-1-1	Residential
EAST:	Residential, RM-1-1	Residential
WEST:	Residential, RM-2-4	Residential
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Ocean Beach community planning group voted to recommend approval of this project at their 11/7/12 meeting.	

HEARING OFFICER RESOLUTION NO. HO-XXXX
CONDITIONAL USE PERMIT NO. 1014968
T-MOBILE – BETHANY LUTHERAN, PROJECT NO. 289242

WHEREAS, BETHANY EVANGELICAL LUTHERAN CHURCH, Owner, and T-MOBILE WEST CORPORATION, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1014968);

WHEREAS, the project site is located at 2051 Sunset Cliffs Boulevard in the RM-1-1 zone of the Ocean Beach Community Plan area;

WHEREAS, the project site is legally described as the southwesterly 35 feet of the northwesterly 70 feet, Lots 1-4, Block 22, of the Ocean Beach Subdivision, according to Map 225 of the Office of the County Recorder of San Diego County, dated May 20, 1887;

WHEREAS, on February 20, 2013, the Hearing Officer of the City of San Diego considered CONDITIONAL USE PERMIT NO. 1014968, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 17, 2012, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guidelines Section 15301(b) (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 20, 2013.

FINDINGS:

Conditional Use Permit - Section 126.0305

1. The proposed development will not adversely affect the applicable land use Plan.

The City's General Plan, in Policy UD-A.15, states that the visual impact of wireless facilities should be minimized. This can be achieved by concealing wireless facilities in existing structures when possible, or by using camouflage and screening techniques to hide or blend them into the surrounding area. This project proposes to locate antennas inside an existing church steeple behind radio-frequency transparent screens designed to match the existing church. The General Plan also calls for wireless facilities to be designed to be "aesthetically pleasing and respectful of the neighborhood context." The design of the antenna concealment, utilizing similar materials, colors, and textures as the rest of the church, results in a seamless appearance where the WCF is not noticed. The Plan recommends that equipment associated with the facility should be concealed or located in unobtrusive structures. In this case, the equipment is located in a building adjacent to the parking area. The building matches other adjacent buildings on site and is also

utilized for church storage needs. Based on the proposed design of this project, the development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To ensure that the FCC standards are being met, a condition has been added to the permit that requires that the applicant submit a cumulative RF study to demonstrate compliance with the applicable FCC regulations. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction.

3. The proposed *development* will comply to the maximum extent feasible with the regulations of the Land Development Code.

The WCF Design Requirements state that the applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or among existing uses shall be accomplished through the use of architecture, landscape, and siting solutions. In this case, the antennas are concealed within an existing steeple structure behind radio-frequency transparent screens. Equipment associated with the antennas is located in a building adjacent to the parking area, which is also utilized for church storage needs, and matches the design of other adjacent buildings. WCF’s are required to utilize the smallest, least visually intrusive antennas and other equipment. The intent of the regulations is to minimize the visibility of these facilities so that they integrate well with the neighborhood and are aesthetically pleasing. Antennas located on this building are completely concealed and well integrated with the design of the building. The equipment associated with the antennas is also located in such a way that allows the facility to integrate effectively with the church use on site as well as with the adjacent residential uses. In this case, the project complies to the maximum extent feasible with the regulations of the Land Development Code, based on the design of the WCF.

4. The proposed use is appropriate at the proposed location.

WCF are permitted in residential zones, with a non-residential use, where the antennas are located less than 100’ from the property line of a residential use, with a Process 3 Conditional Use Permit. Council Policy 600-43 and the WCF regulations, LDC 141.0420, allow WCF in commercial and industrial zones with a lower process level than a residential zone with a residential use. Locating a WCF in a commercial or industrial zone is more preferable than locating a WCF in a residential zone with a residential use. In this case, the WCF is proposed in a residential zone, with a non-residential use. If the antennas were located more than 100’ from the property line of a residential use, the WCF would be permitted with a Process 2 Neighborhood Use Permit. Since the antennas are located less than 100’ from the property line of a residential use, a Process 3 Conditional Use Permit is required. The antennas are concealed within an existing steeple structure behind radio-frequency transparent material and equipment associated

with the antennas is located in an equipment enclosure. The proposed use is appropriate at the proposed location based on the integrated design.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, CONDITIONAL USE PERMIT NO. 1014968 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1014968, a copy of which is attached hereto and made a part hereof.

Alex Hempton, AICP
Development Project Manager
Development Services

Adopted on: February 20, 2013

Internal Order No. 24003034

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003034

CONDITIONAL USE PERMIT NO. 1014968
T-MOBILE – BETHANY LUTHERAN, PROJECT NO. 289242
HEARING OFFICER

This CONDITIONAL USE PERMIT NO. 1014968 is granted by the HEARING OFFICER of the City of San Diego to BETHANY EVANGELICAL LUTHERAN CHURCH, Owner, and T-MOBILE WEST CORPORATION, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420 and 126.0301. The site is located at 2051 Sunset Cliffs Boulevard in the RM-1-1 zone of the Ocean Beach Community Plan area. The project site is legally described as the southwesterly 35 feet of the northwesterly 70 feet, Lots 1-4, Block 22, of the Ocean Beach Subdivision, according to Map 225 of the Office of the County Recorder of San Diego County, dated May 20, 1887.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2013, on file in the Development Services Department.

The project shall include:

- a. Three (3) panel antennas and six (6) tower mounted amplifiers (TMAs) located in an existing church steeple behind radio-frequency transparent material and equipment located within a 135 sq. ft. equipment room;
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 6, 2016.
2. This Conditional Use Permit and corresponding use of this site shall expire on March 6, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

16. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

17. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

18. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

19. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider, or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

20. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

21. No overhead cabling is allowed for this project.

22. The final WCF shall conform to Exhibit "A," which includes plans and photo simulations, prior to final telecom planning inspection approval.

23. Prior to the issuance of a construction permit, the Owner/Permittee shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment shall be considered in the radio frequency model study.

24. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

25. The Owner/Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

26. No visible seam lines are permitted to be visible on church steeple between radio-frequency (RF) transparent and non-RF transparent building materials.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 20, 2013 and HO-XXXX.

Permit Type/PTS Approval No.: CUP/1014968

Date of Approval: 2/20/2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Alex Hempton, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**BETHANY EVANGELICAL
LUTHERAN CHURCH**
Owner

By _____
NAME
TITLE

T-MOBILE WEST CORPORATION
Permittee

By _____
KIRT BABCOCK
NETWORK MANAGER

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: December 17, 2012

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP or WBS No. 24003034

PROJECT NAME/NUMBER: T-Mobile Bethany Lutheran/289242

COMMUNITY PLAN AREA: Ocean Beach

COUNCIL DISTRICT: 2

LOCATION: 2051 Sunset Cliffs Boulevard, San Diego, CA 92107 (Lots 1-4 Block 22 of Map 225)

PROJECT DESCRIPTION: Conditional Use Permit (CUP) for a Wireless Communication Facility (WCF) consisting of three panel antennas concealed within an existing steeple structure with equipment associated with the antennas located within an existing storage room. The project is located at 2051 Sunset Cliffs Boulevard in the RM-1-1 and Coastal Height Limit Overlay (CHLOZ) Zones.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: This project is exempt pursuant to the California Environmental Quality Act Section 15301 (b) – existing facilities, public or private utilities.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: This project is exempt because minimal changes are required to remove and replace antennas and would allow an existing WCF to continue operation. In addition the project is exempt because it meets the criteria set forth in CEQA section 15301(b) – existing facilities, public or private utilities and where the exceptions listed in CEQA section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Alex Hempton

MAILING ADDRESS: 1222 1st Avenue, San Diego, CA 92101

PHONE NUMBER: 619-446-5349

On December 17, 2012 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 15 business days from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Hempton, Alexander

From: Anne Regan [anne.wulftange@gmail.com]
Sent: Wednesday, November 07, 2012 7:13 PM
To: Hempton, Alexander
Cc: Oakley, Jeffrey
Subject: Re: 289242 - T-Mobile Bethany Lutheran CUP

Alex,

I presented this project to the Ocean Beach Planning Group this evening and it was approved unanimously (8-0-0).

Thank you!

Anne Wulftange Regan
Sent from my iPhone

On Nov 7, 2012, at 1:38 PM, "Hempton, Alexander" <AHempton@sandiego.gov> wrote:

Hi Anne,


Please see the attached issues report from the Plan Historic Review and the Submittal Requirements Report to supplement the assessment letter from 10/26/12.

Thanks,
Alex

Alex Hempton, AICP, Associate Planner | Economic Development & Project Management: [Telecom Entitlements](#)
Development Services, City of San Diego | 1222 First Avenue, MS 501, San Diego, CA 92101 | (619) 446-5349

<B Sub.pdf>

<Plan Historic Issues.pdf>

 **City of San Diego
Development Services**
1222 First Ave., MS-302
San Diego, CA 92101
(619) 448-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title **Project No. For City Use Only**
 SD06155 T-Mobile Bethany Lutheran Church 289242

Project Address:
 2051 Sunset Cliffs Blvd, San Diego, CA 92107

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):	Name of Individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Signature : Date:	Signature : Date:
Name of Individual (type or print):	Name of Individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Signature : Date:	Signature : Date:

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
 Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (5-05)

Executive Board

ATTACHMENT 9

Executive Director: Robert Buehler
Assistant Executive Director: Wendy Hintz-Prunty
Secretary: Liz Paz
Treasurer: Elaine Stein

T-Mobile Senior Leadership Team

John Legere
President and CEO

Jim Alling
Chief Operations Officer

Peter Ewens
Chief Strategy Officer

Dave Miller
Chief Legal Officer and General Counsel

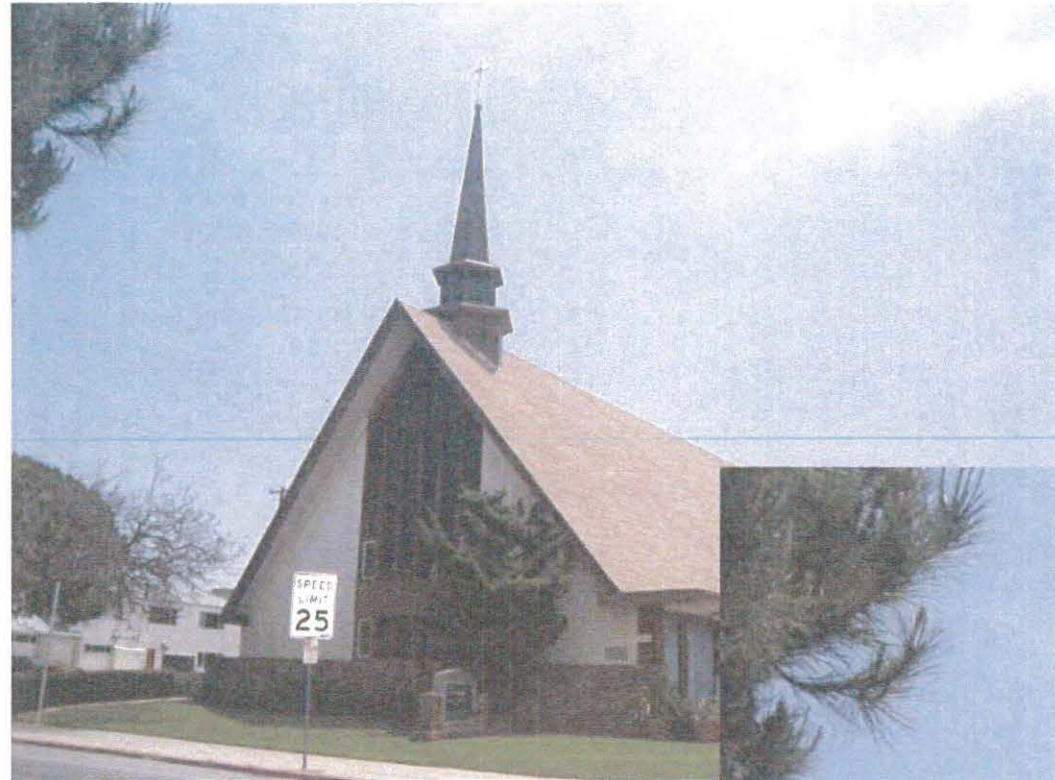
Michael Morgan
Chief Financial Officer

Larry Myers
Chief People Officer

Neville Ray
Chief Technology Officer

Mike Sievert
Chief Marketing Officer

Photo simulation SD06155 Bethany Lutheran Church
View of Southwest Elevation



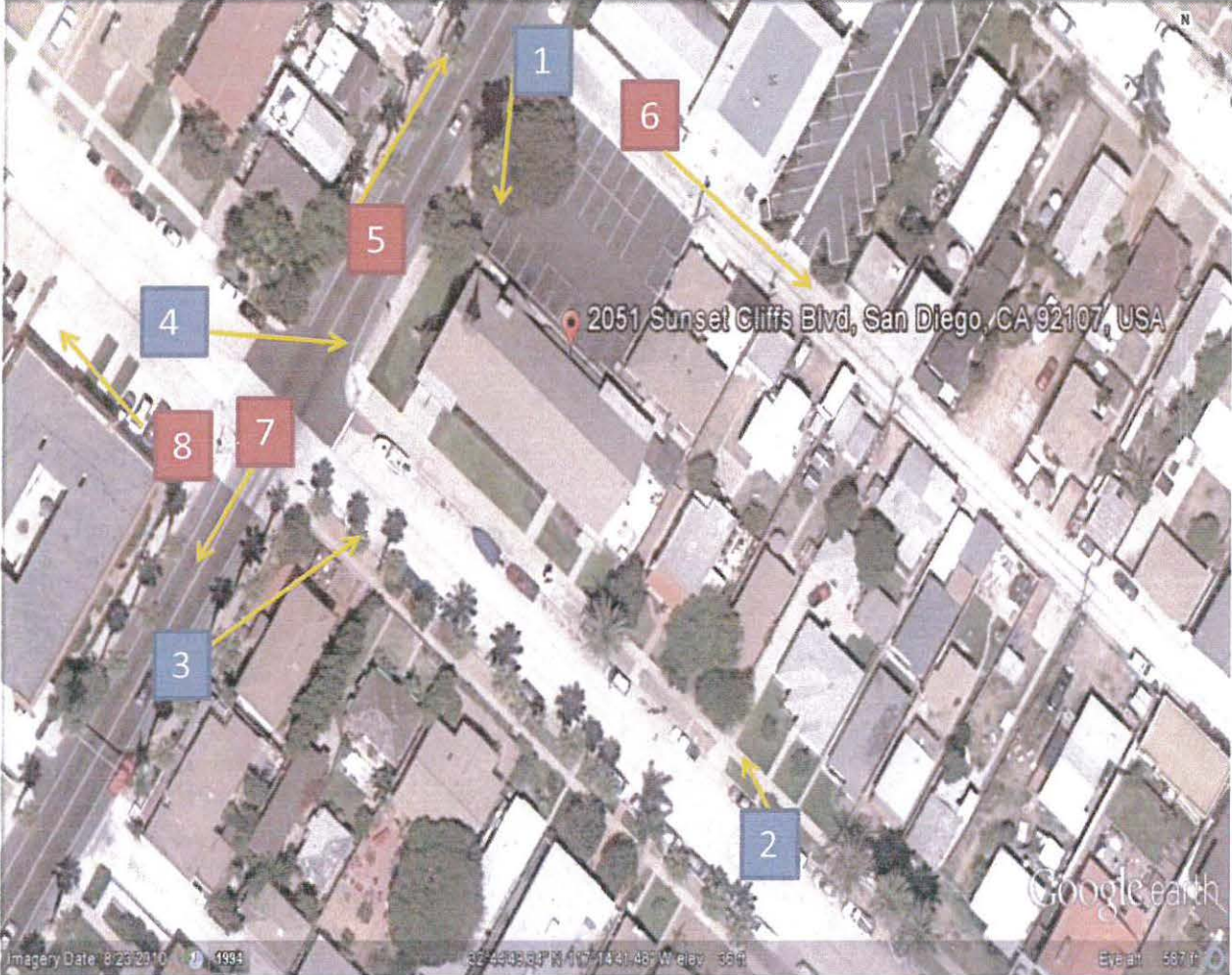
Before



After

There will be no visible changes to the elevation, T Mobile antennas are behind FRP

SD06155
Bethany Luth. Church
Photo Survey
Key Map



SD06155 Bethany Luth. Church Photo Survey



1. View looking south at North Elevation .
2. View looking west at East Elevation .



SD06155 Bethany Luth. Church Photo Survey



- 3. View looking north at South Elevation .
- 4. View looking east at West Elevation.



SD06155 Bethany Luth. Church Photo Survey



5. View looking north from site.
6. View looking east from site.



SD06155 Bethany Luth. Church Photo Survey



7. View looking south from site.
8. View looking west from site.



SD06155 Bethany Luth. Church Photo Survey



9. View of the exterior of the existing equipment enclosure.

**SD06155 – Bethany Lutheran Church
2051 Sunset Cliffs Blvd.
TELECOM SITE JUSTIFICATION REPORT**

1. **Description of the location, type, capacity, field strength or power density, and calculated geographic service area of the proposed antenna or antenna array.**

LOCATION AND TYPE

T-Mobile will continue the operation of an existing communications facility at 2051 Sunset Cliffs Blvd. The project consists of three panel antennas (3 arrays of 1 antennas each) mounted within an existing steeple. All of the equipment is located in an existing storage building. This proposed facility is unmanned, operating 24 hours a day. The only visits to the site will consist of any emergency calls as well as regular maintenance visits once every four to six weeks.

FREQUENCY AND POWER SPECIFICATIONS

The transmitting frequency for the T-Mobile system is 1900 Megahertz and 1700/2100 Megahertz. The receiving frequency is 1900 Megahertz and 1700/2100 Megahertz.

COVERAGE AND CAPACITY

The objective of the existing site is to continue T-Mobile coverage within the residential area to the north, southwest and east of Sunset Cliffs Boulevard and the surrounding community.

2. **Location of all existing, proposed and anticipated wireless communications facilities in the Applicant/Permittee's network located within a 1 mile radius from proposed site.**

Please see refer to justification map and to coverage maps.

3. **A description of how the proposed facility fits into, and is a necessary part of, the Applicant/Permittee's network.**

The objective of the existing site is to continue T-Mobile coverage within the residential area to the north, southwest and east of Sunset Cliffs Boulevard and the surrounding community.

SD06155 Bethany Lutheran Church
Telecom Site Justification

4. **If the proposal does not include co-location, written documentation of all efforts made to co-locate at another site, and a justification for the decision not to co-locate.**

This is an existing T-Mobile site being submitted for a permit renewal. No additions are proposed for this site only swapping out the antennas.

5. **Discuss Alternative Sites and why they were not selected.**

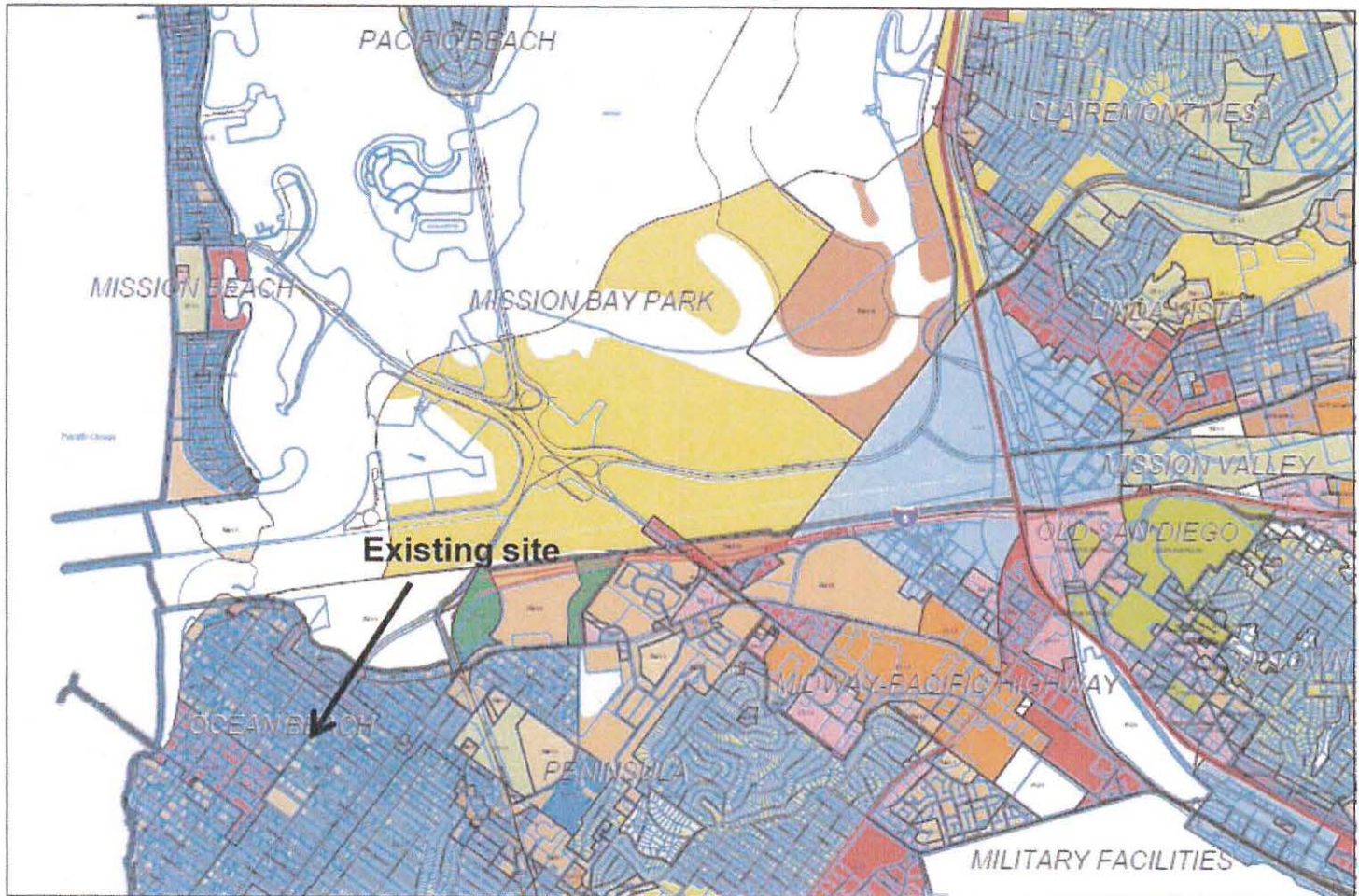
This is an existing T-Mobile site being submitted for a permit renewal. No additions are proposed for this site only swapping out the antennas. In addition, the properties surrounding the existing location are single family residential zoned RM-1-1 and RM-2-4. The surrounding properties do not have the height T-Mobile needs to obtain the needed coverage objective.

6. **Noise Information for sites located near residential**

The existing equipment is located storage building on the property. Therefore, no noise disturbance will be generated for residential neighbors.

Bethany Lutheran Church (SD06155) Justification Maps

Official Zoning Map



Legend

- City of San Diego Building
- Community Area
- Parcel

Zoning Districts

- AB-1
- CC-1
- CC-2
- CC-3
- CC-4
- CC-5
- CC-6
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- CC-100



Page 3 of 3

ATTACHMENT 12

City of San Diego
Development Services Department
Official Zoning Map
Version 1.0
2011

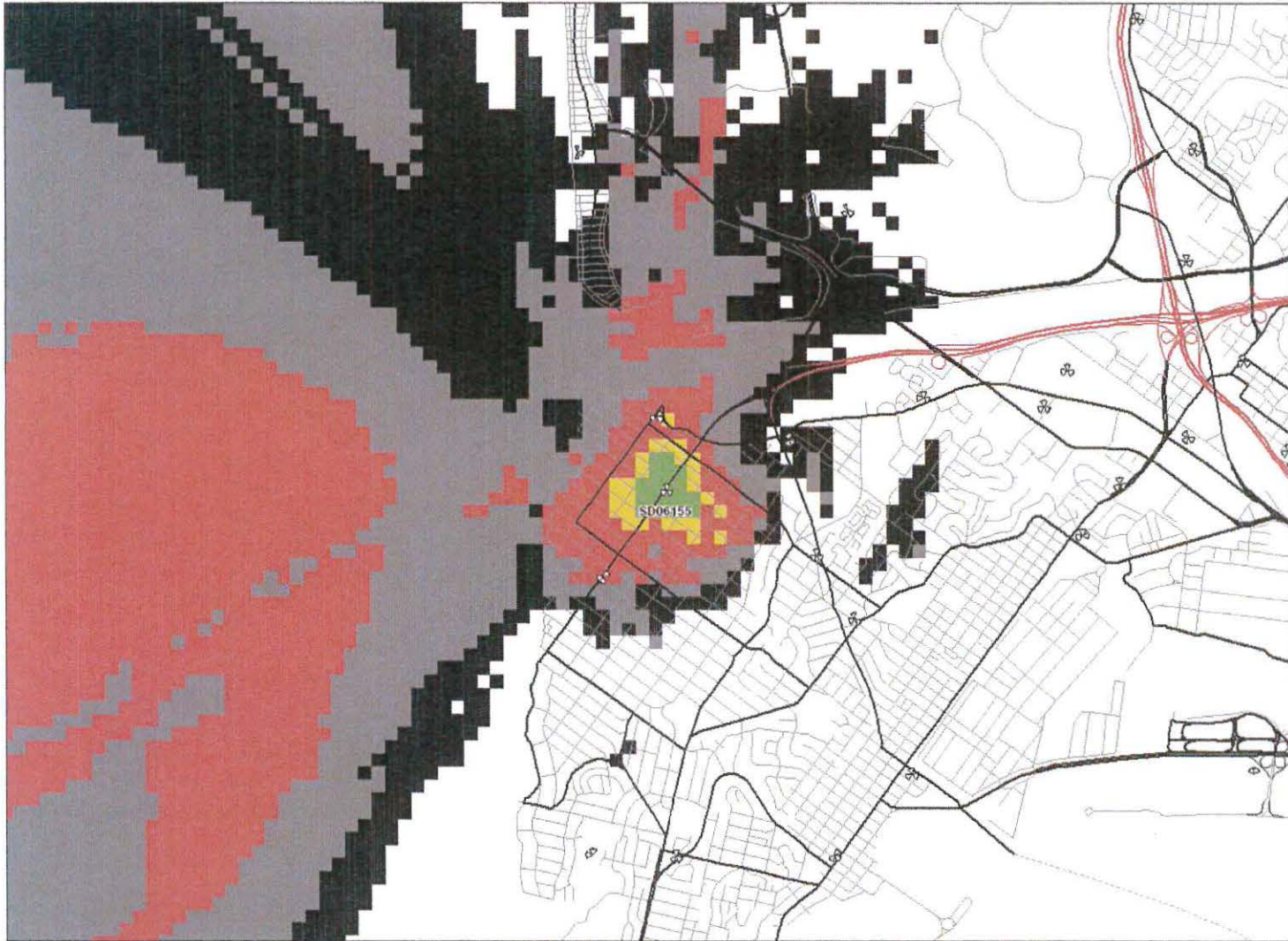
City of San Diego
Development Services Department
Official Zoning Map
Version 1.0
2011



City of San Diego
Development Services Department



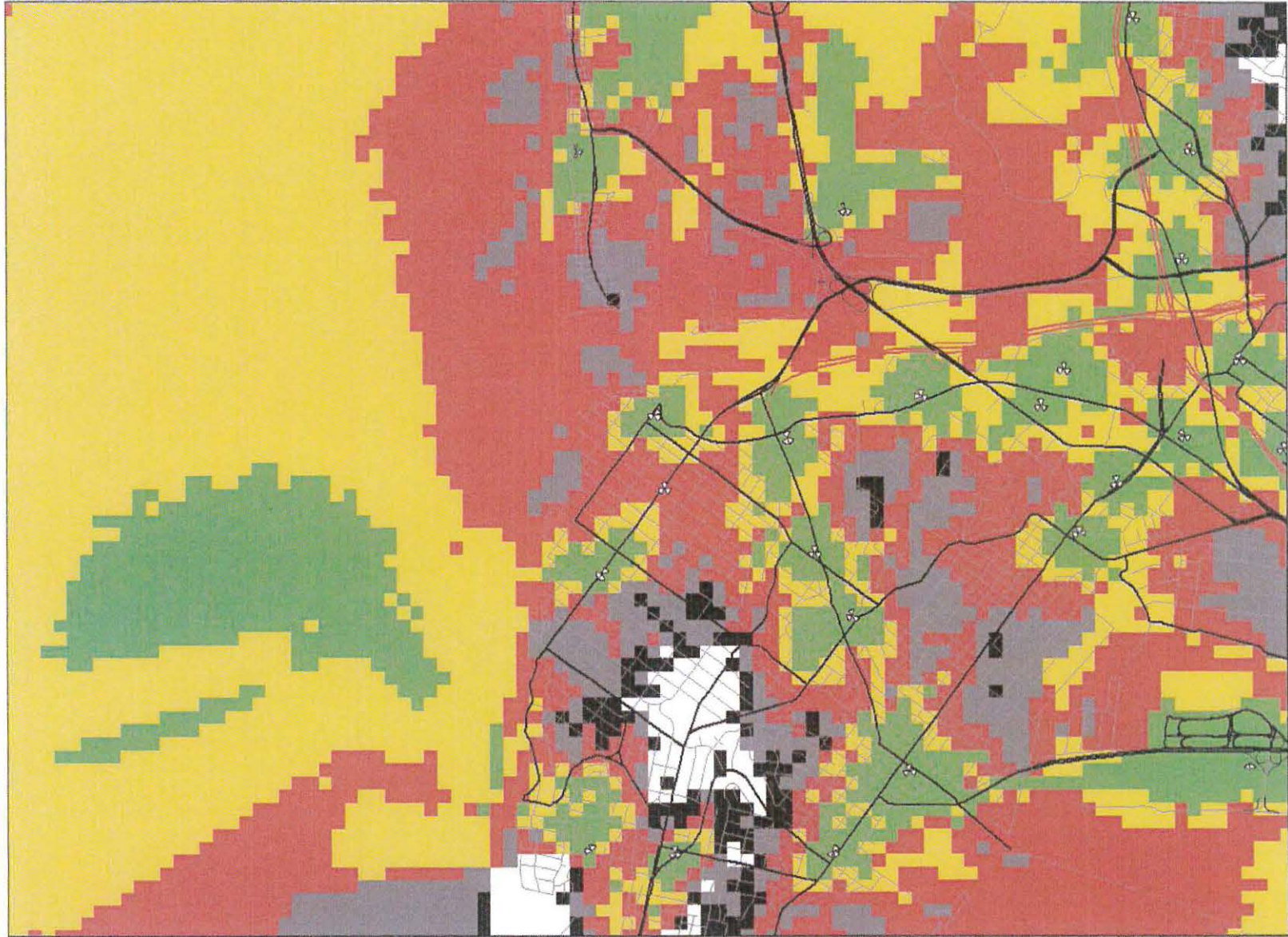
GRID TILE: 18
GRID SCALE: 800
DATE: 8/15/2011 9:49:55 AM



Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |

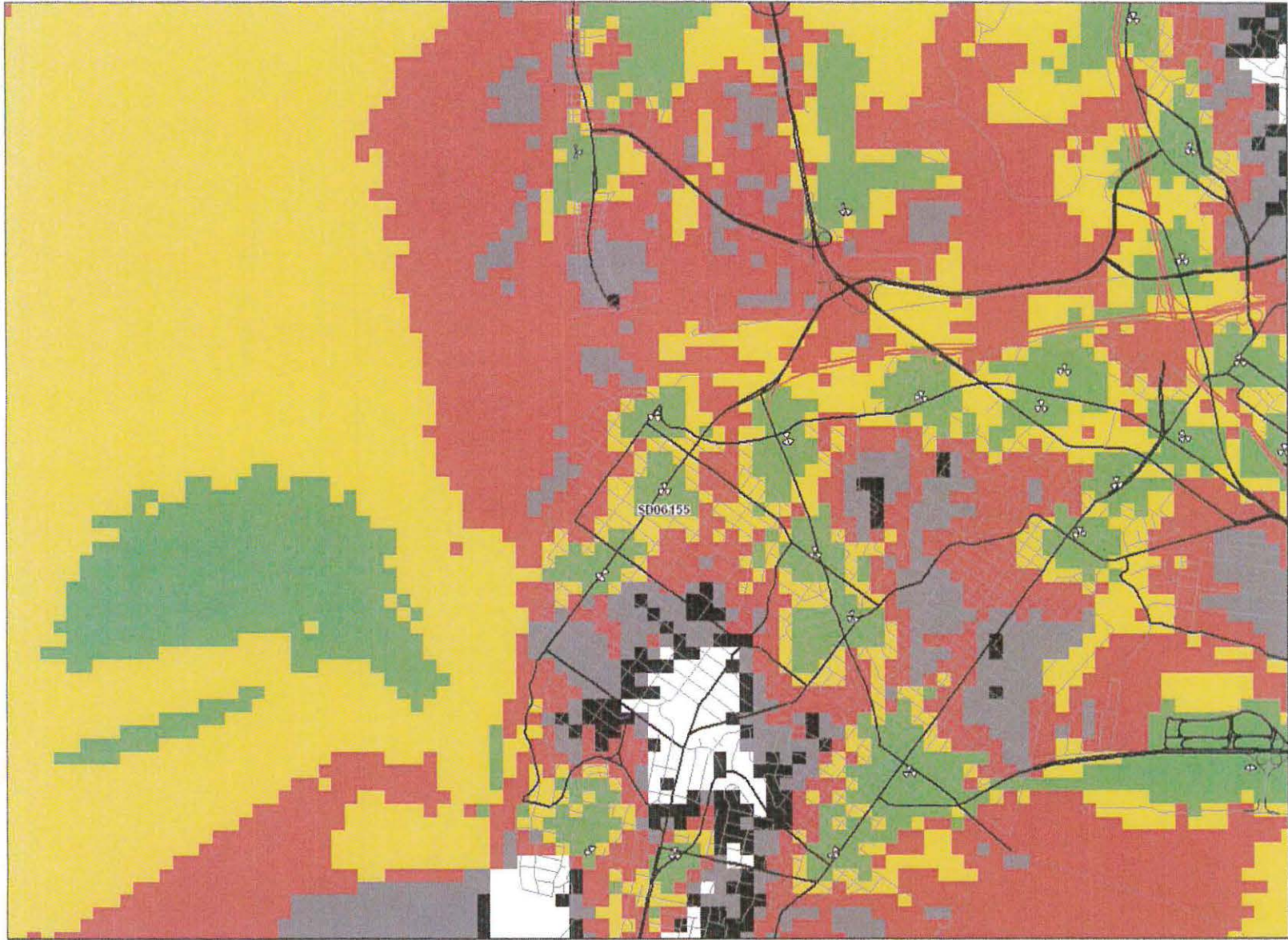




Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |





Legend: Coverage Level

- | | | |
|-------------------------|---------|-------------------|
| In Building Commercial | In Car | Poor to No Signal |
| In Building Residential | Outdoor | No Coverage |





THE CITY OF SAN DIEGO

DATE OF NOTICE: February 5, 2013

NOTICE OF PUBLIC HEARING

HEARING OFFICER

DEVELOPMENT SERVICES DEPARTMENT

DATE OF HEARING:	February 20, 2013
TIME OF HEARING:	8:30 A.M.
LOCATION OF HEARING:	Council Chambers, 12th Floor, City Administration Building, 202 C Street, San Diego, California 92101
PROJECT TYPE:	CONDITIONAL USE PERMIT, PROCESS 3
PROJECT NO:	<u>289242</u>
PROJECT NAME:	<u>T-MOBILE – BETHANY LUTHERAN</u>
APPLICANT:	ANNE REGAN, DEPRATTI, INC., AGENTS REPRESENTING T-MOBILE WEST CORP.
COMMUNITY PLAN AREA:	OCEAN BEACH
COUNCIL DISTRICT:	District 2
CITY PROJECT MANAGER:	Alex Hempton, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant, or person who has requested notice, please be advised that the Hearing Officer will hold a public hearing to approve, conditionally approve, or deny an application for a Conditional Use Permit (CUP) for a Wireless Communication Facility (WCF) consisting of three panel antennas mounted within an existing steeple structure with equipment associated with the antennas located in a storage room. The project is located at 2051 Sunset Cliffs Blvd.

The decision of the Hearing Officer is final unless appealed to the Planning Commission. In order to appeal the decision you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Hearing Officer before the close of the public hearing. The appeal must be made within 10 working days of the Hearing Officer's decision. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101

The decision made by the Planning Commission is the final decision by the City.

This project was determined to be categorically exempt from the California Environmental Quality Act on 12/17/12 and the opportunity to appeal that determination ended 1/10/13.

If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing. If you have any questions after reviewing this notice, you can call the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003034

Revised 04/08/10 HRD

T-Mobile®

BETHANY LUTHERAN CHURCH

SD06155

2051 SUNSET CLIFFS BLVD,
SAN DIEGO, CA 92107

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

PLOT PLAN NUMBER:

T-Mobile
10500 VISTA SORRENTO PKWY, SUITE 205
SAN DIEGO, CA 92121

Deprattinc.
13948 CALLE BUENO GARDEN
JANULA, CA 92107

PTS
PACIFIC TELECOM SERVICES, LLC
3199 C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 444-4444

PROJECT INFORMATION

PROJECT DESCRIPTION:
T-MOBILE PROPOSES TO MODIFY AN EXISTING UNLICENSED TELECOMMUNICATION FACILITY BY ADDING REPLACING (8) TMA'S (2 PER SECTOR) WITH NEW (6) TMA'S (2 PER SECTOR), ALL EXISTING T-MOBILE CABINETS AND COAX TO REMAIN IN EXISTING EQUIPMENT AREA OF 136 SQ FT LOCATED IN ADJACENT BUILDING OF ANTENNA EQUIPMENT. THIS IS A NEW PERMIT FOR AN EXPIRED PERMIT.

APPLICANT:
T-MOBILE USA
10500 VISTA SORRENTO PKWY, SUITE 205
SAN DIEGO, CA 92121
CONTACT: ANNE WULFSTANGE REGAN
PHONE: (609) 602-0522

PROPERTY OWNER:
BETHANY LUTHERAN CHURCH
2051 SUNSET CLIFFS BLVD
SAN DIEGO, CA 92107
CONTACT: PAUL HOKENESS
PH: TBD

PROJECT MANAGER:
PAUL HOKENESS, DEPRATTI, INC.
13948 CALLE BUENO
GARDEN JANULA, CA 92107
EMAIL: PAUL.HOKENESS@SAN.RR.COM
PH: (609) 231-8889

CONSTRUCTION MANAGER:
PAUL HOKENESS, DEPRATTI, INC.
13948 CALLE BUENO
GARDEN JANULA, CA 92107
EMAIL: PAUL.HOKENESS@SAN.RR.COM
PH: (609) 231-8889

LEASING AND PLANNING:
ANNE WULFSTANGE REGAN, DEPRATTI, INC.
13948 CALLE BUENO
GARDEN JANULA, CA 92107
EMAIL: ANNE.WULFSTANGE@SAN.RR.COM
PH: (609) 602-0522

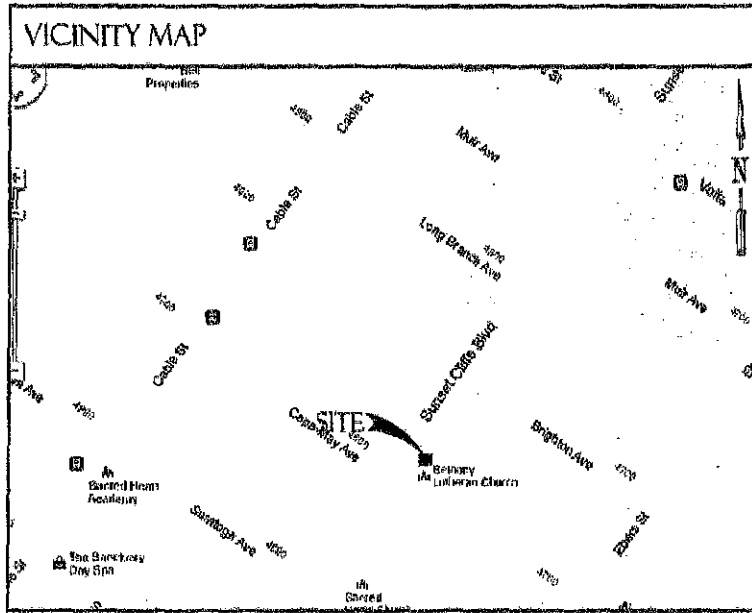
CODE INFORMATION:
ZONING CLASSIFICATION: T80
BUILDING CODES: 2010 CBC
CONSTRUCTION TYPE: V-N
OCCUPANCY: U-2
JURISDICTION: COUNTY OF SAN DIEGO
CURRENT USE: TELECOMMUNICATIONS FACILITY
PROPOSED USE: TELECOMMUNICATIONS FACILITY

TELECOM COMPANY:
AT&T

POWER COMPANY:
SDG&E

SITE LOCATION: (BASED ON NAD 83):
LATITUDE: 32° 44' 50.43" N
LONGITUDE: 117° 14' 41.79" W
TOP OF STRUCTURE AGL: 70'-0"
BASE OF STRUCTURE AML: TBD

PARCEL NUMBER(S):
448-412-36-00



DRAWING INDEX

SHEET DESCRIPTION

T-1	TITLE SHEET
G-1	GENERAL NOTES & RF BIONAGE
G-2	LESSER'S CERTIFICATE
A-1	SITE PLAN
A-2	EXISTING & PROPOSED ANTENNA PLAN
A-3	EXISTING & PROPOSED SOUTH ELEVATION
A-4	EXISTING & PROPOSED WEST ELEVATION
A-5	CONSTRUCTION DETAILS
E-1	GROUNDING LAYOUT, SCHEMATIC, & NOTES
E-2	GROUNDING DETAILS

LEGAL DESCRIPTION

SOUTHWESTERLY 30' OF THE NORTHWESTERLY 70' LOTS
1-4 BLOCK 22' OF OCEAN BEACH SUBDIVISION
ACCORDING TO MAP 225 FIELD OF THE OFFICE OF
COUNTRY RECORDER MAY 20, 1987.

DRIVING DIRECTIONS

FROM T-MOBILE OFFICE, CONCORD, CA:

HEAD NORTH-WEST ON VISTA SORRENTO PKWY TOWARDS LUSH BLVD 0.8 MI
TURN LEFT ONTO SORRENTO VALLEY BLVD 0.2 MI
TURN RIGHT ONTO ROSELLE ST 459 FT
TURN LEFT TO MERGE ONTO I-5 S 0.3 MI
TAKE EXIT 21 TO MERGE ONTO SEA WORLD DR/TECOCOTE RD, CONTINUE TO FOLLOW SEA WORLD DR 2.1 MI
CONTINUE ONTO SUNSET CLIFFS BLVD, DESTINATION WILL BE ON THE LEFT 1.1 MI

2051 SUNSET CLIFFS BLVD, SAN DIEGO, CA 92107, USA

ANTENNA INFORMATION

EXISTING RF & COAX CHART									
SECTOR	AZIMUTH	RAD CENTER	# OF ANTENNAS	ANTENNA MODEL	ANTENNA HEIGHT	TMA	COAX	COAX LENGTH	
ALPHA	0°	41'-4"	1	EXISTING	27.50'	SEE PERMITS	EXISTING	TBD	
BETA	120°	41'-4"	1	EXISTING	27.50'	SEE PERMITS	EXISTING	TBD	
GAMMA	240°	41'-4"	1	EXISTING	27.50'	SEE PERMITS	EXISTING	TBD	

NOTE: VERIFY WITH FINAL RF DESIGN.

PROPOSED RF & COAX CHART									
SECTOR	AZIMUTH	RAD CENTER	# OF ANTENNAS	ANTENNA MODEL	ANTENNA HEIGHT	TMA	COAX	COAX LENGTH	
ALPHA	0°	41'-4"	1	EXISTING	27.50'	SEE PERMITS	EXISTING	TBD	
BETA	120°	41'-4"	1	EXISTING	27.50'	SEE PERMITS	EXISTING	TBD	
GAMMA	240°	41'-4"	1	EXISTING	27.50'	SEE PERMITS	EXISTING	TBD	

NOTE: VERIFY WITH FINAL RF DESIGN.

PROJECT TEAM

PROJECT ARCHITECT:
THOMAS HOLLAND
PACIFIC TELECOM SERVICES, LLC
3199 C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
CONTACT: ROBERT LEIGHTON
PH: (209) 484-4402
EMAIL: RLEIGHTON@PTSVA.COM

PROJECT CONSULTANT:
DEPRATTI, INC.
13948 CALLE BUENO GARDEN
JANULA, CA 92107
CONTACT: PAUL HOKENESS
PH: (609) 231-8889

APPROVAL	DATE	SIGNATURE
LANDLORD:		
CONSTR:		
S/A:		
R/F:		
ZONING:		
AGC:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

BETHANY LUTHERAN CHURCH
SD06155
2051 SUNSET CLIFFS BLVD,
SAN DIEGO, CA 92107

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK
A	10/14/18	PERMIT DRAWINGS	JCP	
B	10/15/18	PERMIT DRAWINGS	JCP	
C	10/22/18	PERMIT DRAWINGS	CBK	

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, 2010 AND CITY CODE, SHALL MEET OR EXCEED THE STRICTER OF APPLICABLE COUNTY CODES AND REGULATIONS, LATEST EDITIONS.
- ANTENNAS, CABINETS AND JUMPERS SHALL BE PROVIDED BY CLIENT. CONTRACTOR SHALL COORDINATE SCHEDULE OF DELIVERY TO AVOID DELAYS.
- DAMAGE TO ALL UTILITIES, LAND, DRIVEWAY AREAS, AND PROPERTY OF OTHERS, DISTURBED DURING CONSTRUCTION, SHALL BE RETURNED TO THE ORIGINAL CONDITION AT THE COMPLETION OF WORK.
- CONTRACTOR SHALL COORDINATE WITH THE LOCAL POWER, TELEPHONE UTILITIES, AND THE CONSTRUCTION MANAGER TO CONFIRM THE SOURCE OF SERVICE PRIOR TO INSTALLATION OF CONDUITS.
- EXISTING VEGETATION AND ORGANIC MATERIALS SHALL BE REMOVED FROM THE CONCRETE PAD AREA, FILL SITE TO DESIGN ELEVATION WITH CLEAN, SANDY SOIL. COMPACT UNDER CONCRETE PAD TO OBTAIN NOT LESS THAN 95% OF THE MOIST PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D697.
- REGRADE AROUND PAD AS REQUIRED TO ALLOW MAXIMUM 3" OF PAD THICKNESS, EXTENDING ABOVE GRADE.
- ALL WORK SHALL BE DONE SATISFACTORY IN A PROFESSIONAL WORKMANLIKE MANNER, SUBJECT TO INSPECTION DURING THE CONSTRUCTION AND FINAL APPROVAL BY THE CONSTRUCTION MANAGER.
- ANY SUBSTITUTIONS OF MATERIALS, EQUIPMENT OR ALTERATIONS FROM THE PLANS AND/OR SPECIFICATIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER.
- COLOR SELECTION SHALL BE COORDINATED WITH CONSTRUCTION MANAGER.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS, AND BOUND DISCREPANCIES TO THE ATTENTION OF THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL CONTACT SUBSURFACE UTILITY LOCATION FOR EXACT LOCATION OF EXISTING UTILITIES, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT, AS NECESSARY. LOCATION OF UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY.
- CONTRACTOR SHALL SECURE THE NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- TOWER AND TOWER FOUNDATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
- CONTRACTOR SHALL VISIT THE PROJECT SITE TO VIEW ALL CONDITIONS PRIOR TO SUBMITTING BID. ANY CHANGES DURING CONSTRUCTION VISUALLY ASCERTAINABLE PRIOR TO SUBMITTING BID, CANNOT BE THE BASIS FOR A CHANGE ORDER.
- COAT ALL SURFACES WITH NO-OX WHERE DISSIMILAR METALS CONTACT.
- CONTRACTOR SHALL REMOVE ALL DEBRIS AND EMPTY DRUMS FROM THE SITE UPON COMPLETION OF THE PROJECT.

PROJECT NOTES:

- REINFORCED CONCRETE:**
- R-1. CONCRETE: ALL CONCRETE SHALL BE $f'_c = 3,000$ PSI AT AGE OF 28 DAYS AS DETERMINED BY ASTM C31 AND C39 AND SHALL BE NORMAL WEIGHT.
 - R-2. PREPARATION, TESTING AND PLACING OF CONCRETE AND REINFORCEMENT SHALL BE PER ACI-318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, LATEST EDITION.
 - R-3. REINFORCING BARS SHALL HAVE A MINIMUM YIELD STRENGTH OF $f_y = 60,000$ PSI AND SHALL COMPLY WITH ASTM A616.
 - R-4. PROVIDE MINIMUM CONCRETE COVERAGE FOR REINFORCING STEEL OF 3".
- DESIGN:**
- D-1. DESIGN IS IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE 2010.
 - D-2. EQUIPMENT CABINET LOADING PER T-MOBILE STANDARD EQUIPMENT.
 - D-3. DESIGN LOADS: CALIFORNIA
 - A. 100 MPH WIND SPEED
 - B. SECOND GUST
 - CATEGORY 2 IMPORTANCE FACTOR 1.0
 - EXPOSURE CATEGORY C
 - E. ALL OTHER LOADS ARE PER ASCE 7-02
- STRUCTURAL:**
- S-1. DETAIL, FABRICATE, AND ERECT ALL STRUCTURAL STEEL IN ACCORDANCE WITH ALSO SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURE STEEL FOR BUILDINGS.
 - S-2. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE ALSO SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN, 8th EDITION.
 - S-3. STRUCTURAL PIPE COLUMNS SHALL COMPLY WITH ASTM A53, TYPE S DR 5, GRADE B, $f_y = 36$ KSI. ALL WIDE FLANGE SHAPES SHALL BE ASTM A992, GRADE 50. ALL STRUCTURAL SHAPES AND PLATE SHALL COMPLY WITH ASTM A36.
 - S-4. WELDING: ALL WELDING IS TO BE DONE BY PRE-QUALIFIED WELDERS HOLDING CURRENT CERTIFICATE FROM A RECOGNIZED TESTING LABORATORY. ALL WELDS SHALL BE 3/16" MINIMUM FILLET WELDS U.O.N. ELECTRODES SHALL BE E70XX.
 - S-5. THERE SHALL BE NO FIELD WELDING.
 - S-6. STRUCTURAL GROUT SHALL BE SHRINKAGE RESISTANT NON-EXPANSIVE, NONMETALLIC GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 6,000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM CODE C109. FORMS SHALL BE PLACED AROUND BASE PLATE, AND THE STRUCTURAL GROUT SHALL BE Poured NO DRY-DAMP PACKING.
 - S-7. ANCHOR BOLTS AND ALL-THREAD RODS SHALL COMPLY WITH ASTM A36, UNLESS OTHERWISE NOTED. ALL OTHER BOLTS AND NUTS SHALL COMPLY WITH ASTM A307. ALL BOLTS SHALL BE HOT-DIPPED GALVANIZED.
 - S-8. ALL EXPOSED STEEL SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A153 OR A152.
 - S-9. APPLY TWO COATS OF ZINC-RICH RUST-OLEUM #2188 PAINT TO ALL FIELD DRILLED HOLES AND CUTS. GROUND-GUARD EPOXY #4668 COATING SHALL BE APPLIED TO ALL AREAS WHERE GALVANIZED SURFACES NEED TO BE RECONDITIONED, INCLUDING ALL WELD AREAS.

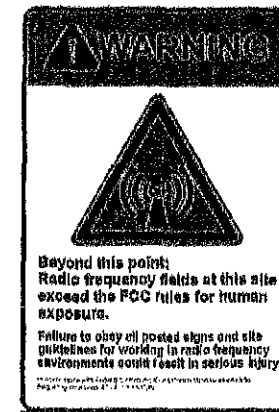
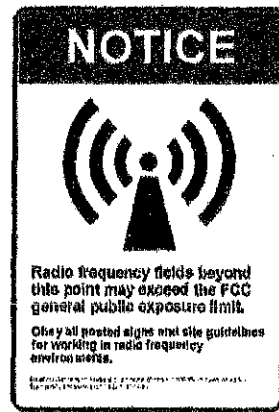
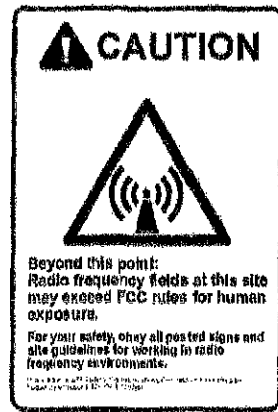
ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
- ALL ELECTRICAL ITEMS SHALL BE UL APPROVED OR LISTED AND PRODUCED PER SPECIFICATION REQUIREMENTS.
- THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATIONS, INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE, OPERATING AND APPROVED ELECTRICAL SYSTEM.
- GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS, AND COORDINATION OF INSPECTIONS.
- ELECTRICAL AND TELCO WIRING BETWEEN CABINETS SHALL RUN IN EMT OR SCHEDULE 40 PVC (AS PERMITTED BY CODE).
- ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR PVC WHERE LOCAL CODES AND SITE CONDITIONS PERMIT.
- ELECTRICAL WORK SHALL BE COPPER WITH TYPE XHHW, THWN, OR THHN INSULATION.
- RUN ELECTRICAL CONDUIT BETWEEN ELECTRICAL UTILITY DEMARICATION POINT AND EXISTING METER SOCKET AS LOCATED ON THIS DRAWING IN PVC, PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
- RUN TELCO CONDUITS BETWEEN TELEPHONE UTILITY DEMARICATION POINT AND EXISTING TELCO CABINET AND T-MOBILE CABINET(S) AS INDICATED ON THIS DRAWING IN PVC, PROVIDE FULL LENGTH PULL ROPE IN TELCO CONDUIT.
- ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO APPLY FOR COMMERCIAL POWER IMMEDIATELY UPON RECEIVING AWARD OF BID. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL RECEIPTS FROM THE POWER COMPANY ACKNOWLEDGING APPLICATION FOR POWER AND THOROUGH DOCUMENTATION OF ANY DECISIONS WITH THE POWER COMPANY THEREAFTER. ALSO, THE GENERAL CONTRACTOR SHALL RECEIVE IN WRITING FROM THE POWER COMPANY AS TO WHEN THE ANTICIPATED POWER CONNECTION WILL BE COMPLETE. IF COMMERCIAL POWER IS NOT AVAILABLE BY THE "POWER COMPLETE" DATE AS CALLED OUT IN THE SPECIFICATIONS, A GENERATOR SHALL BE SUPPLIED AND MAINTAINED BY THE GENERAL CONTRACTOR UNTIL COMMERCIAL IS OBTAINED. ALL COSTS ASSOCIATED WITH THE GENERATOR WILL BE MUTUALLY AGREED UPON BETWEEN THE OWNER AND GENERAL CONTRACTOR. IN THE EVENT THAT THE GENERAL CONTRACTOR FAILS TO TAKE THE NECESSARY MEASURES AS DESCRIBED HEREIN TO SECURE POWER BY THE POWER COMPLETION DATE, THEN ALL COSTS ASSOCIATED WITH THE GENERATOR SHALL BE BORNE BY THE CONTRACTOR.

GROUNDING NOTES:

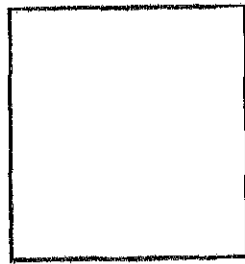
- AN ANTI-OXIDANT COMPOUND SHALL BE APPLIED TO ALL EXTERIOR, ABOVE GRADE, MECHANICAL GROUND CONNECTIONS.
- CONTRACTOR SHALL SUPPLY ALL MATERIAL, LABOR, AND EQUIPMENT NECESSARY FOR A COMPLETE SYSTEM AS INTENDED HEREIN UNLESS OTHERWISE NOTED.
- ALL EXTERNAL GROUND CONDUCTORS SHALL BE #2 AWG, BARE, SOLID, TINNED COPPER UNLESS OTHERWISE NOTED.
- ALL GROUND CONNECTIONS SHALL BE MADE WITH EXOTHERMIC WELD PROCESS UNLESS OTHERWISE NOTED OR APPROVED. ALL CONNECTIONS SHALL BE MADE AT DESIGNATED LOCATIONS ON THE EQUIPMENT.
- EXACT LOCATION OF GROUND RODS AND GROUND CONNECTION POINTS SHALL BE DETERMINED IN THE FIELD, ADJUST LOCATIONS AS REQUIRED TO KEEP GROUND CONNECTIONS AS SHORT AS POSSIBLE (9" MIN. BEND RADIUS AND 90 DEGREE MAX BEND ANGLE). ALL BELOW GRADE GROUNDING SHALL BE INSPECTED AND APPROVED BY CONSTRUCTION MANAGER PRIOR TO BACKFILLING.
- ALL GROUND COMPONENTS SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE FRAMED AREA. ANY METALLIC ITEMS WITHIN 6' OF THE GROUND RING SHALL BE BONDED TO THE GROUND RING. GROUNDING REQUIREMENT NOT SHOWN ON PLANS ARE WAVEGUIDE HATCH COVER / PLATE, CABLE TRAYS, SUPPORTS, SERVICE PANELS, DISCONNECT SWITCHES, HVAC UNITS ETC. THESE ITEMS MUST BE GROUNDING.
- ALL EXTERIOR EXPOSED GROUND CONDUCTORS LONGER THAN 18" SHALL BE PROTECTED AND SUPPORTED BY A 3/4" PVC SCHEDULE 80 CONDUIT SLEEVE MOUNTED WITH CLIP-STRAP SUPPORTS FROM 8" BELOW FINISHED GRADE TO 6" FROM FINAL CONNECTION.
- ALL GROUND RODS SHALL BE DRIVEN STRAIGHT DOWN, PERPENDICULAR TO FINISHED GRADE. SUITABLE PROTECTION SHALL BE PROVIDED ON END OF RODS TO PREVENT RUBBING/DAMAGING WITH GROUND DURING INSTALLATION.
- GROUND CONDUCTORS SHALL NOT COME IN CONTACT WITH THE SLAB OR TOWER EXCEPT AS DESIGNATED.
- THE UTILITY NEUTRAL / GROUND BOND IS TO BE MADE IN THE METER OR MAIN DISCONNECT SWITCH, NOT IN ATS.
- ALL EQUIPMENT SURFACES TO BE BONDED TO GROUNDING SYSTEM SHALL BE STRIPPED OF ALL PAINT AND OILY CONNECTIONS TO UNIFORM METALS SHALL BE A TYPE AS TO NOT CAUSE A GALVANIC OR CORROSIIVE REACTION AREA SHALL BE REPAIRED FOLLOWING BONDING.

RF SIGNAGE



ABBREVIATIONS

A/C	AIR CONDITIONING	CC	GENERAL CONTRACTOR	PLYWD	PLYWOOD
ADL	ABOVE GROUND LEVEL	GPS	POSITIONING SYSTEM	PROP	PROPERTY
APPROX	APPROXIMATELY	GRND	GROUND	PT	PRESSURE TREATED
BLDG	BUILDING	HORIZ	HORIZONTAL	REQ	REQUIRED
BLK	BLOCKING	HR	HEIGHT	RF	RADIO FREQUENCY
CLG	CLEAR	HWAC	HEATING	RM	ROOM
CLR	CLEAR	VENT	VENTILATION	RO	ROUGH OPENING
COAX	COAXIAL CABLE	COND	AIR CONDITIONING	RHH	REMOTE RADIO HEAD
CONC	CONCRETE	CONT	CONTINUOUS	RHU	REMOTE RADIO UNIT
CONSTR	CONSTRUCTION	ID	INSIDE DIAMETER	SHT	SHEET
CONT	CONTINUOUS	IN	INCH	SIM	SIMILAR
DBL	DOUBLE	INFO	INFORMATION	SPEC	SPECIFICATION
DIAM	DIAMETER	INT	INTERIOR	SQ FT	SQUARE FOOT
DIAG	DIAGONAL	INTL	INTERNATIONAL	SS	STAINLESS STEEL
DN	DOWN	IBC	INTERNATIONAL BUILDING CODE	STL	STEEL
DET	DETAIL	LBS	POUNDS	STRUCT	STRUCTURAL
DWG	DRAWING	LMU	LOCATION MEASUREMENT UNIT	STD	STUD
EA	EACH	LTE	LONG TERM EVOLUTION	SUSP	SUSPENDED
ELEV	ELEVATION	MAX	MAXIMUM	THRU	THROUGH
ELEC	ELECTRICAL	MECH	MECHANICAL	TMA	TOWER MOUNTED AMPLIFIER
EQ	EQUAL	MET	METAL	TINN	TINNED
EQUIP	EQUIPMENT	MFG	MANUFACTURE	TYP	TYPICAL
EXT	EXTERIOR	MGR	MANAGER	UNO	UNLESS NOTED OTHERWISE
FIN	FINISH	MIN	MINIMUM	VERT	VERTICAL
FLUOR	FLUORESCENT	MISC	MISCELLANEOUS	VF	VERIFY IN FIELD
FUR	FLOOR	NA	NOT APPLICABLE	W/	WITH
FT	FOOT	NIC	NOT IN CONTRACT	W/O	WITHOUT
FRP	FIBER-REINFORCED POLYMER	NIS	NOT TO SCALE	WP	WATER PROOF
GA	GALVE	OC	ON CENTER		
GALV	GALVANIZED	OD	OUTSIDE DIAMETER		



BETHANY LUTHERAN CHURCH
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 SAN DIEGO, CA 92107

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	1/15/15	PERMIT DRAWINGS	RF
2	1/20/15	PERMIT DRAWINGS	JGP
3	1/20/15	PERMIT DRAWINGS	ONE

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
GENERAL NOTES & RF SIGNAGE

SHEET NUMBER
G-1

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

**Lessee's Certificate
Standard Wireless Facility Project
for Post Construction BMPs**

I / we the undersigned as Lessee(s) of the property described as _____
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will;

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee _____ Company Name _____

Lessee _____ Date _____
(signature)



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 SAN DIEGO, CA 92107

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	8/13/11	PERMIT DRAWINGS	PC
2	8/22/11	REVISION TO PERMIT DRAWINGS	PC
3	8/23/11	PERMIT DRAWINGS	GR

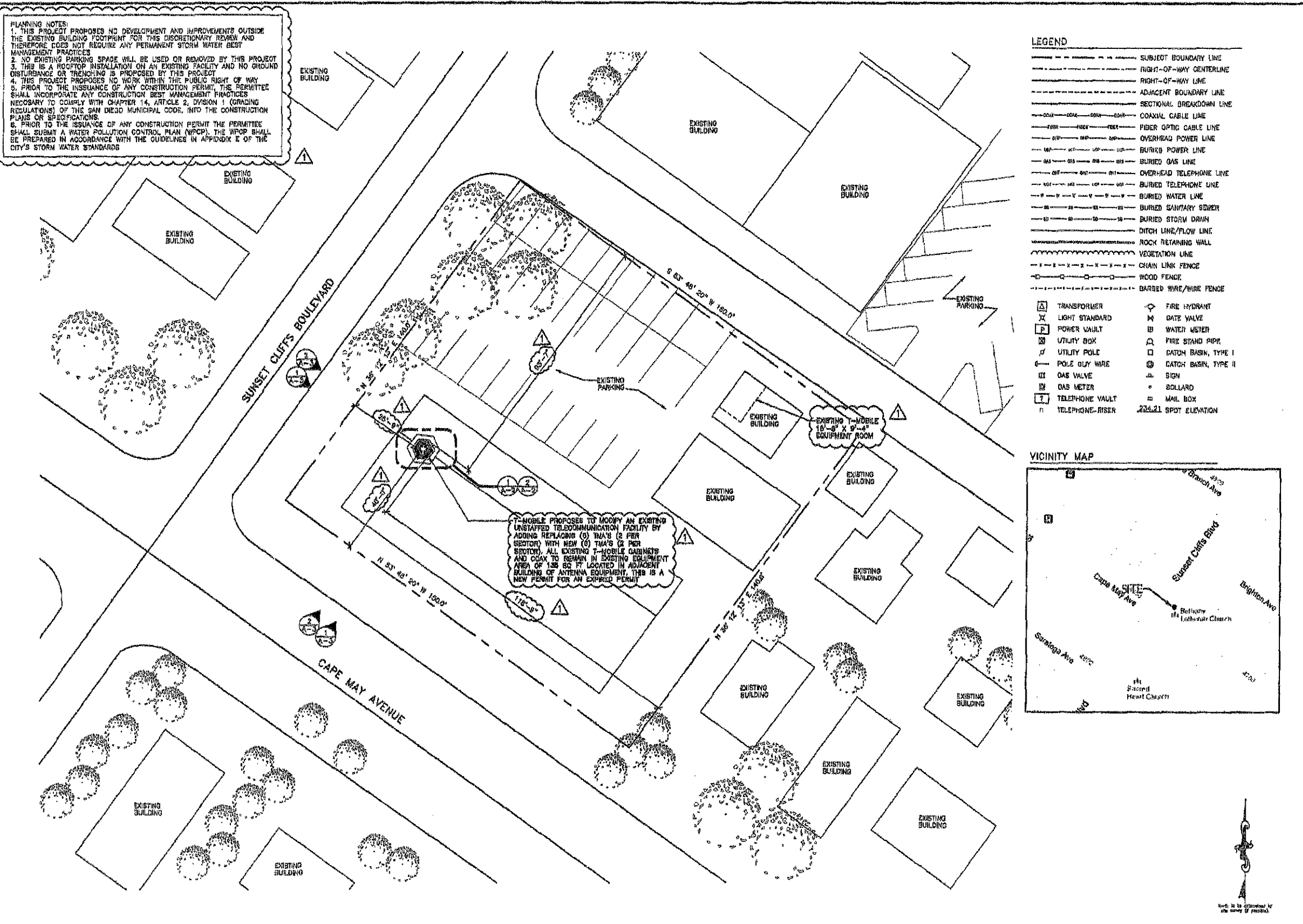
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SHEET TITLE
LESSEE'S CERTIFICATE

SHEET NUMBER
G-2

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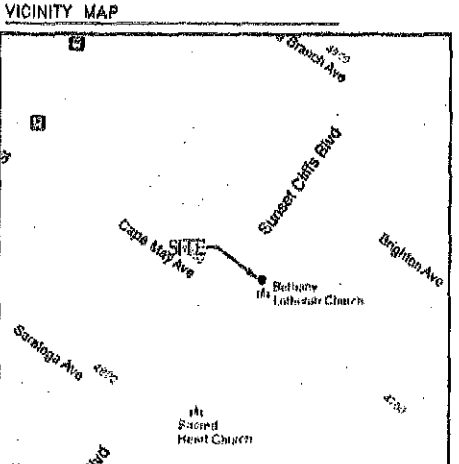
PLANNING NOTES
 1. THIS PROJECT PROPOSES NO DEVELOPMENT AND IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES
 2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT
 3. THIS IS A ROOFTOP INSTALLATION ON AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT
 4. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY
 5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
 6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS



T-MOBILE PROPOSES TO MODIFY AN EXISTING UNSTAFFED TELECOMMUNICATION FACILITY BY ADDING REPLACING (0) TMA'S (2 PER SECTOR) WITH NEW (0) TMA'S (2 PER SECTOR). ALL EXISTING T-MOBILE CABINETS AND COAX TO REMAIN IN EXISTING EQUIPMENT AREA OF 188 SQ. FT. LOCATED IN ADJACENT BUILDING OF ANTENNA EQUIPMENT. THIS IS A NEW PERMIT FOR AN EXPRESS PERMIT

LEGEND

---	SUBJECT BOUNDARY LINE	---	FIRE HYDRANT
---	RIGHT-OF-WAY CENTERLINE	---	WATER METER
---	RIGHT-OF-WAY LINE	---	FIRE STAND PIPE
---	ADJACENT BOUNDARY LINE	---	CATCH BASIN, TYPE I
---	SECTIONAL BREAKDOWN LINE	---	CATCH BASIN, TYPE II
---	COAXIAL CABLE LINE	---	SIGN
---	FIBER OPTIC CABLE LINE	---	BOLLARD
---	OVERHEAD POWER LINE	---	MAIL BOX
---	BURIED POWER LINE	---	224.21 SPOT ELEVATION
---	BURIED GAS LINE		
---	OVERHEAD TELEPHONE LINE		
---	BURIED TELEPHONE LINE		
---	BURIED WATER LINE		
---	BURIED SANITARY SEWER		
---	BURIED STORM DRAIN		
---	DITCH LINE/FLOW LINE		
---	ROCK RETAINING WALL		
---	VEGETATION LINE		
---	CHAIN LINK FENCE		
---	WOOD FENCE		
---	BARBED WIRE/WIRE FENCE		



T-Mobile
 15000 VIA VALERIO PUEBLO, SUITE 204
 SAN DIEGO, CA 92128

Deprattinc.
 15548 GALLE BLVD. SUITE 200
 JOLIET, IL 61781

PTS
 PACIFIC TELECOM SERVICES, L.P.
 3800 AIRPORT LOOP DRIVE
 SANTA ROSA, CA 95405
 PHONE: (714) 464-0855

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REVISIONS

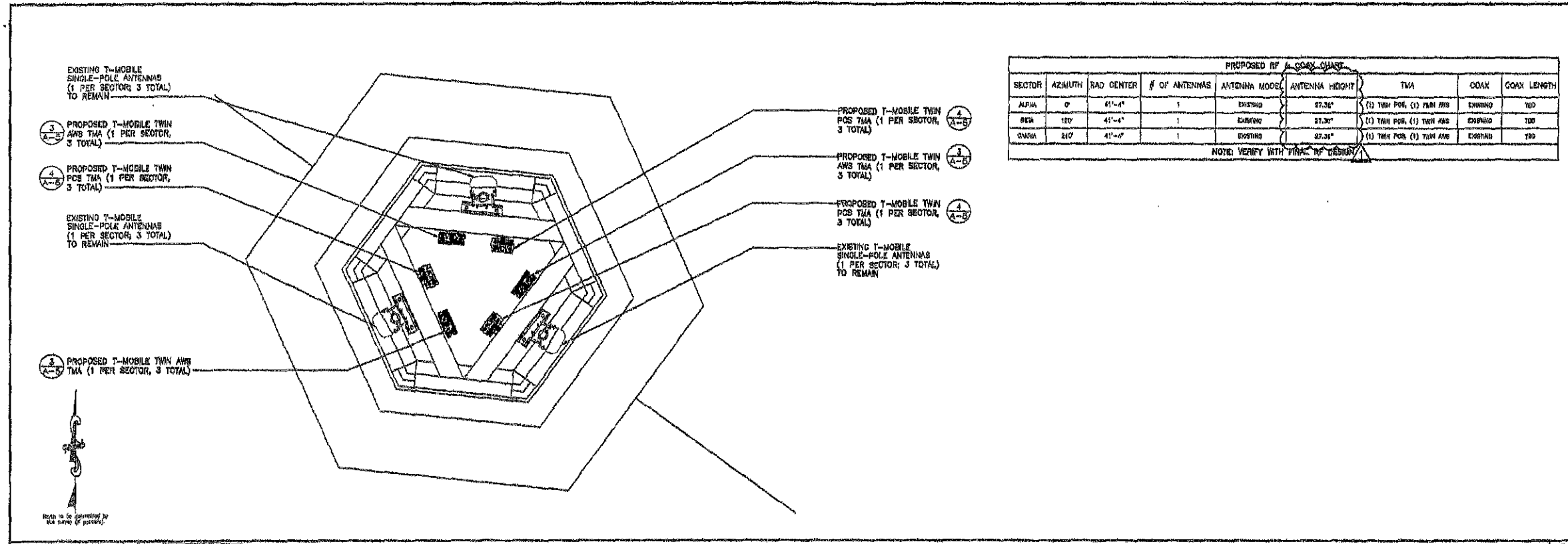
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B	01/17/17	PERMIT DRAWINGS	JCP
C	01/17/17	PERMIT DRAWINGS	SOX

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SHEET TITLE
 SITE PLAN

SHEET NUMBER
A-1

24"x36" SCALE: 1/16" = 1'-0"
 11"x17" SCALE: 1/32" = 1'-0"
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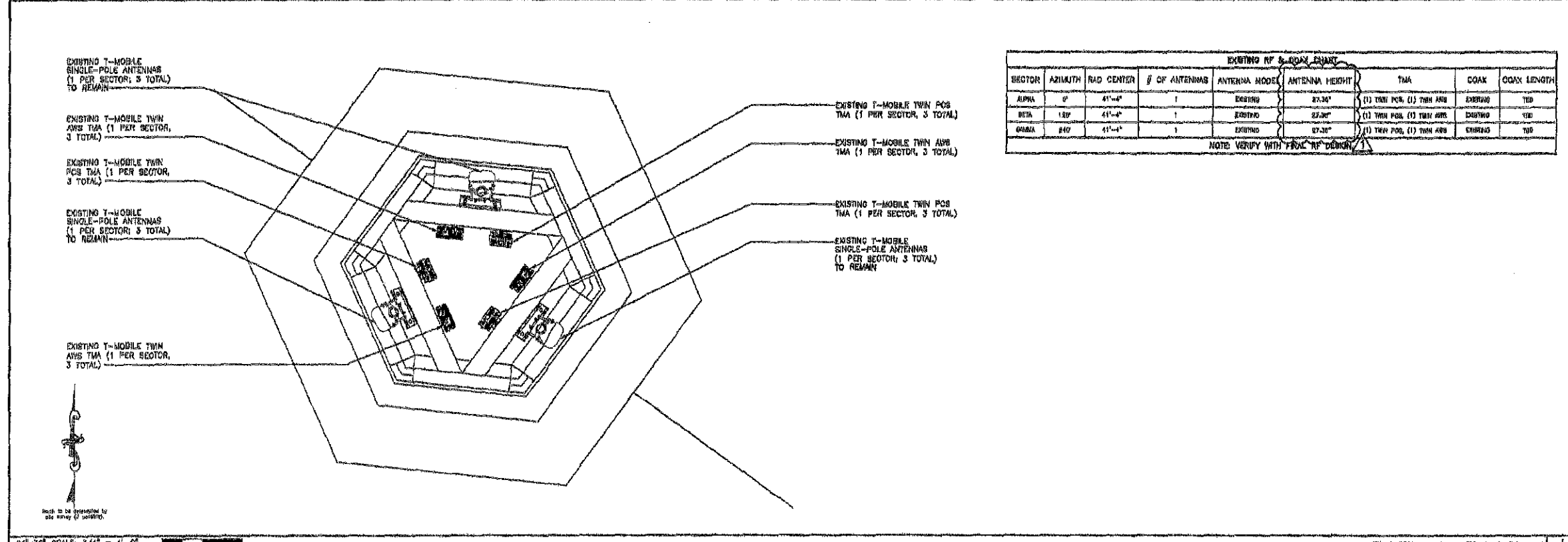
PROPOSED RF & COAX CHART

SECTOR	AZIMUTH	RAD CENTER	# OF ANTENNAS	ANTENNA MODEL	ANTENNA HEIGHT	TMA	COAX	COAX LENGTH
ALPHA	0°	41'-4"	1	EXISTING	27.30'	(1) TWIN PCS, (1) TWIN AHS	EXISTING	TBD
BETA	120°	41'-4"	1	EXISTING	27.30'	(1) TWIN PCS, (1) TWIN AHS	EXISTING	TBD
GAMMA	240°	41'-4"	1	EXISTING	27.30'	(1) TWIN PCS, (1) TWIN AHS	EXISTING	TBD

NOTE: VERIFY WITH FINAL RF DESIGN

24"x36" SCALE: 3/4" = 1'-0"
 11"x17" SCALE: 3/8" = 1'-0"

PROPOSED ANTENNA PLAN | 2



EXISTING RF & COAX CHART

SECTOR	AZIMUTH	RAD CENTER	# OF ANTENNAS	ANTENNA MODEL	ANTENNA HEIGHT	TMA	COAX	COAX LENGTH
ALPHA	0°	41'-4"	1	EXISTING	27.30'	(1) TWIN PCS, (1) TWIN AHS	EXISTING	TBD
BETA	120°	41'-4"	1	EXISTING	27.30'	(1) TWIN PCS, (1) TWIN AHS	EXISTING	TBD
GAMMA	240°	41'-4"	1	EXISTING	27.30'	(1) TWIN PCS, (1) TWIN AHS	EXISTING	TBD

NOTE: VERIFY WITH FINAL RF DESIGN

24"x36" SCALE: 3/4" = 1'-0"
 11"x17" SCALE: 3/8" = 1'-0"

EXISTING ANTENNA PLAN | 1



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 SD006155
 2051 SUNSET CLIFFS BLVD.
 SAN DIEGO, CA 92107

REVISIONS

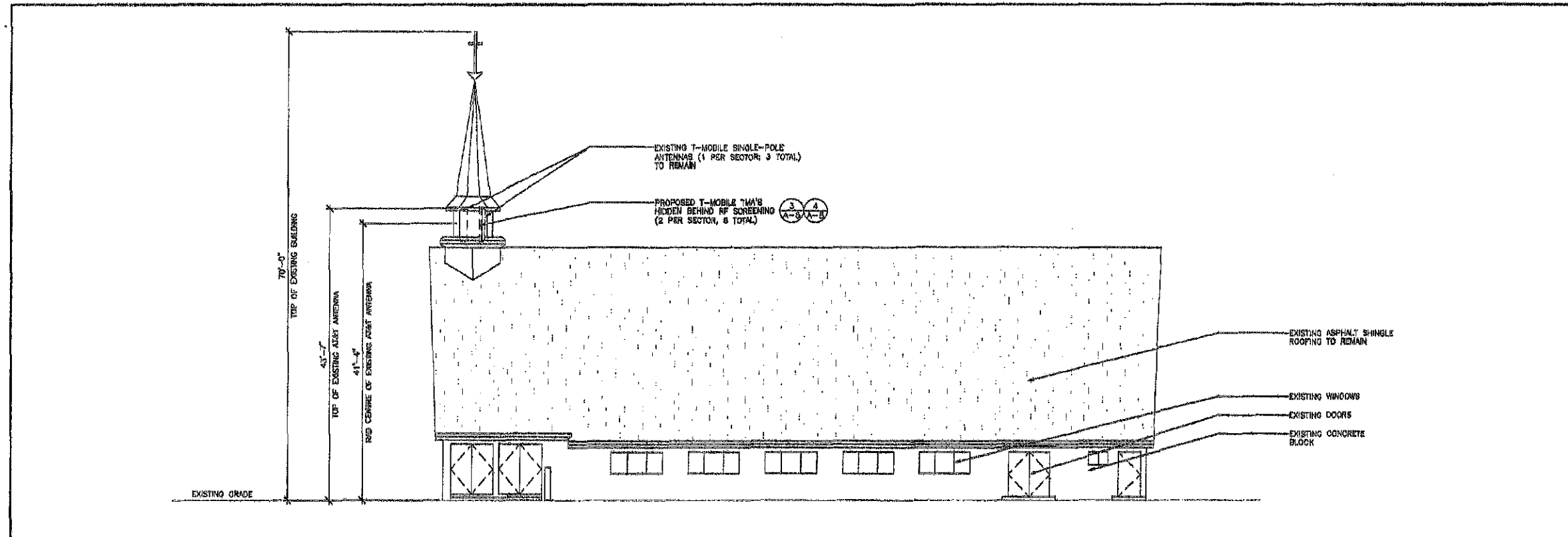
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B	02/17/18	REVISED PER PERMITS	JOP
C	04/02/18	PERMIT DRAWINGS	CEK

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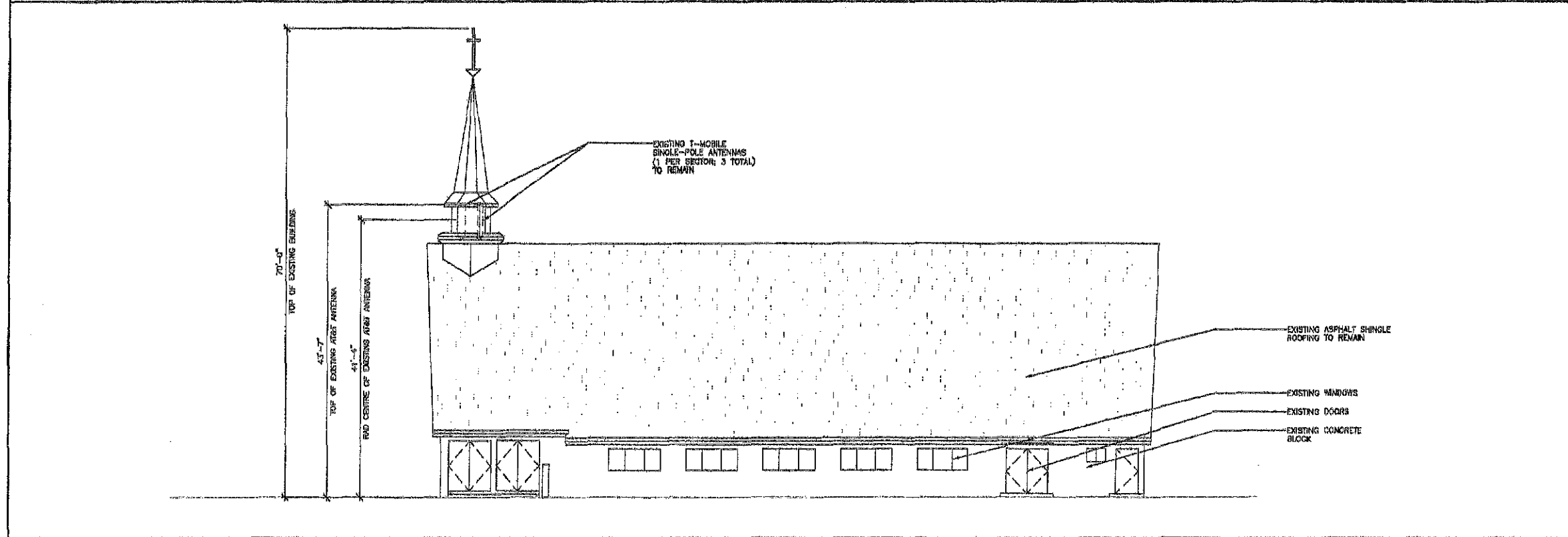
SHEET TITLE
 EXISTING & PROPOSED
 ANTENNA PLAN

SHEET NUMBER
A-2

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PROPOSED SOUTH ELEVATION | 2



EXISTING SOUTH ELEVATION | 1

T-Mobile
 10000 VISTA BUREAU PARK, SUITE 204,
 SAN DIEGO, CA 92121

Deprattinc.
 12046 GALLIE BURNS GARDEN
 LANSING, CA 91505

PTS
 PACIFIC TELECOM SERVICES, LLP
 3100 AIRPORT LOOP DRIVE
 COSTA MESA, CA 92626
 PHONE (714) 442-0883

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 2051 SUNSET CLIFFS BLVD,
 SAN DIEGO, CA 92107

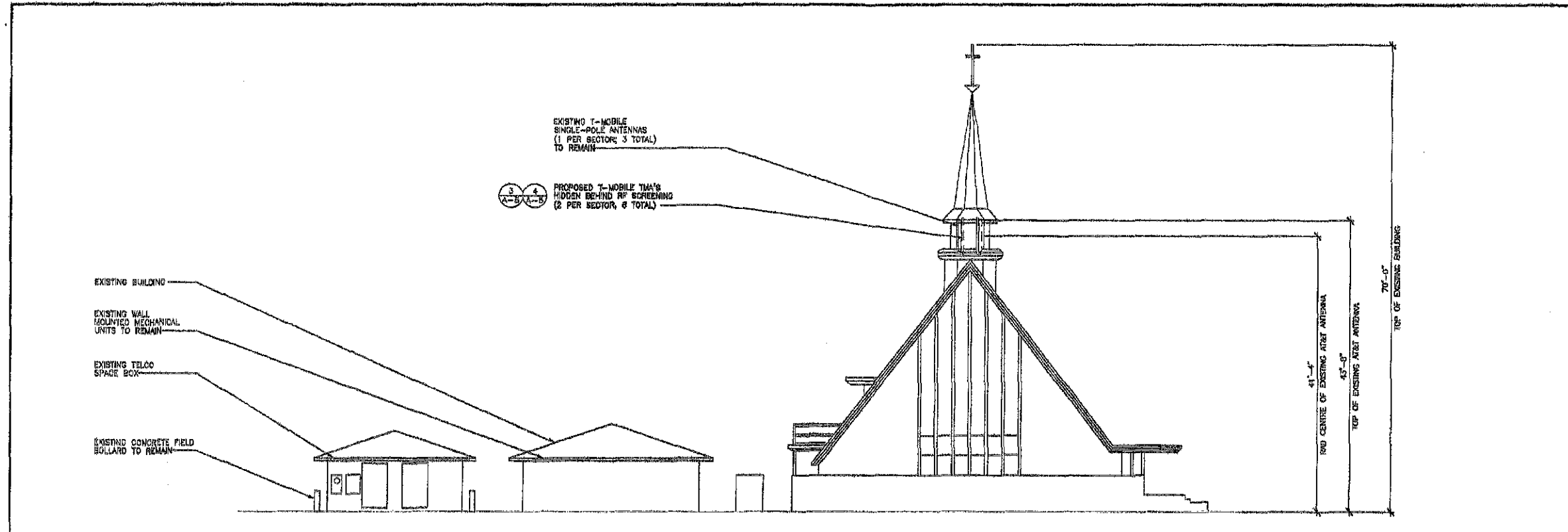
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A	11/15/12	PERMIT DRAWINGS	RC
B	11/27/12	REVISIONS FOR COMMENTS	JCP
C	12/17/12	PERMIT DRAWINGS	GSK

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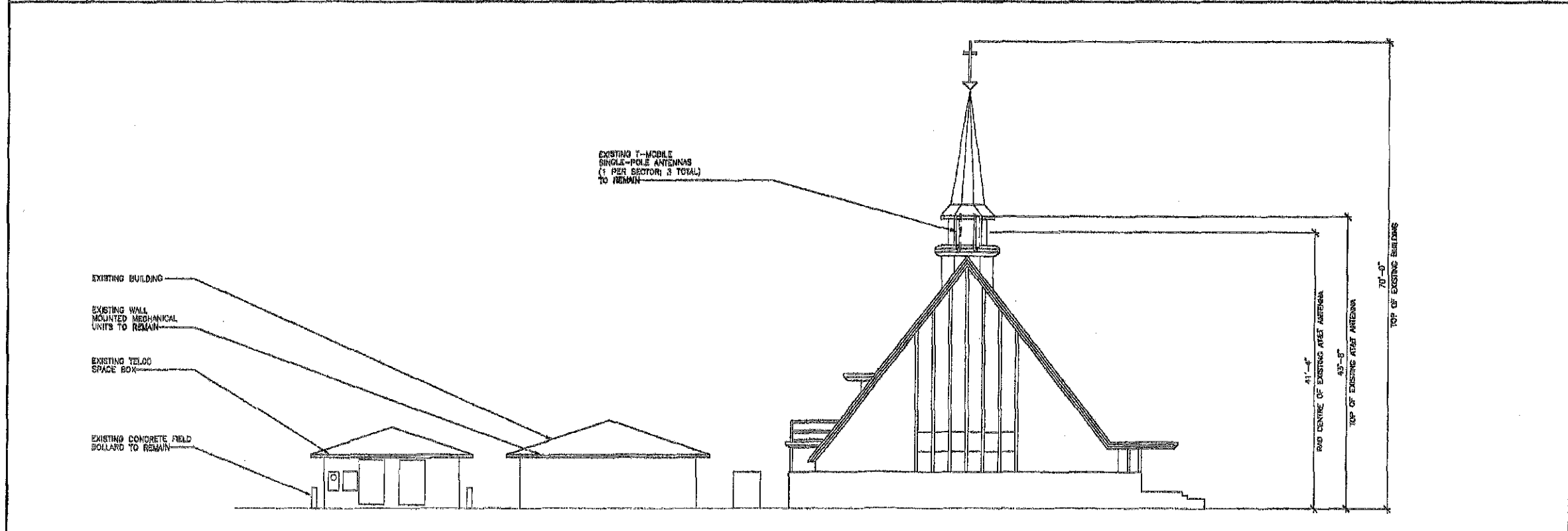
SHEET TITLE
 EXISTING & PROPOSED
 SOUTH ELEVATION

SHEET NUMBER
A-3

24'-3 3/8" SCALE: 1/8" = 1'-0"
 11'-1 1/2" SCALE: 1/16" = 1'-0"
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PROPOSED WEST ELEVATION | 2

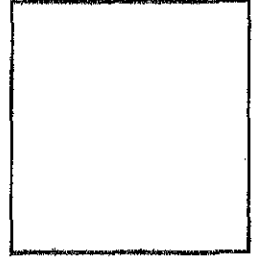


EXISTING WEST ELEVATION | 1

T-Mobile
 10500 VIEJA, SAN DIEGO, CA 92124
 SAN DIEGO, CA 92124

Deprattinc.
 15880 GALE STREET, SAN DIEGO, CA 92128

PTS
 PACIFIC TELEPHONE SERVICES, LLC
 8100 AIRPORT LOOP DRIVE
 SUITE 100, SAN DIEGO, CA 92126
 PHONE (714) 464-0284



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 SD06155
 2051 SUNSET CLIFFS BLVD.
 SAN DIEGO, CA 92107

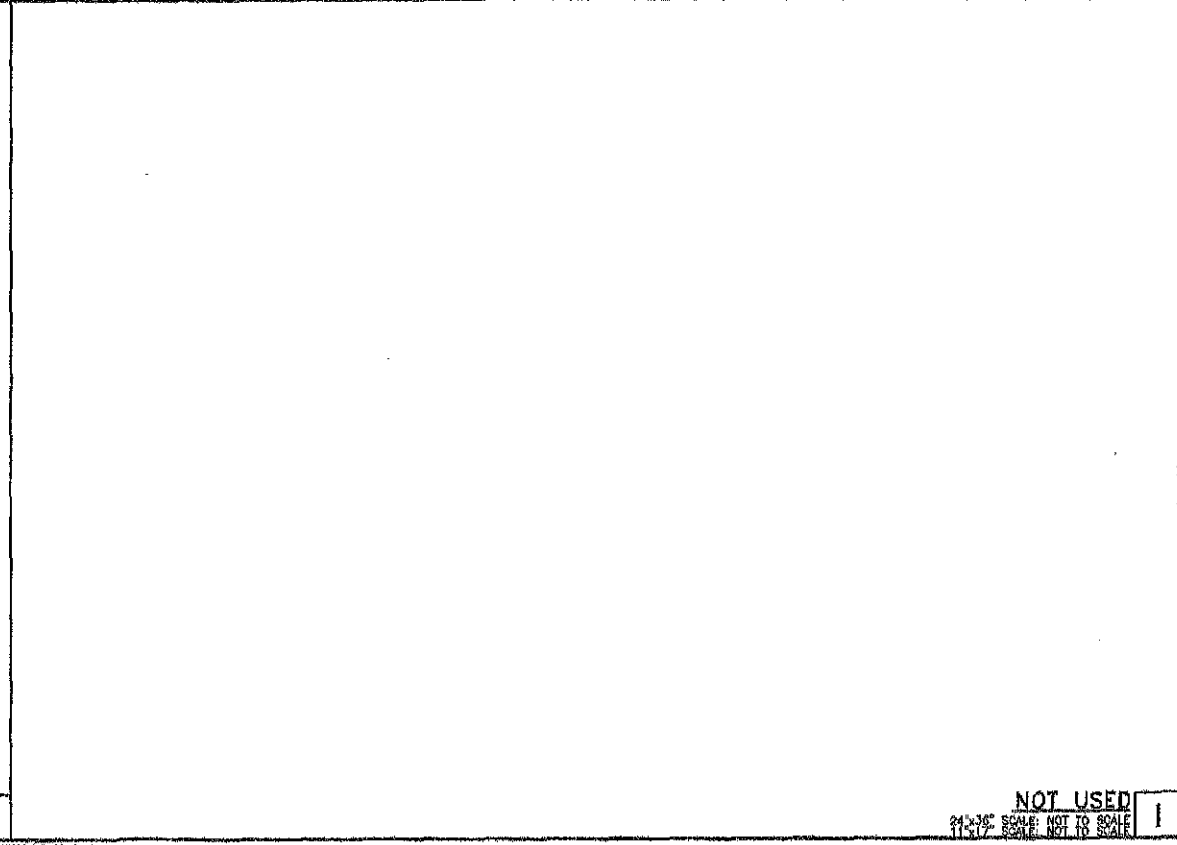
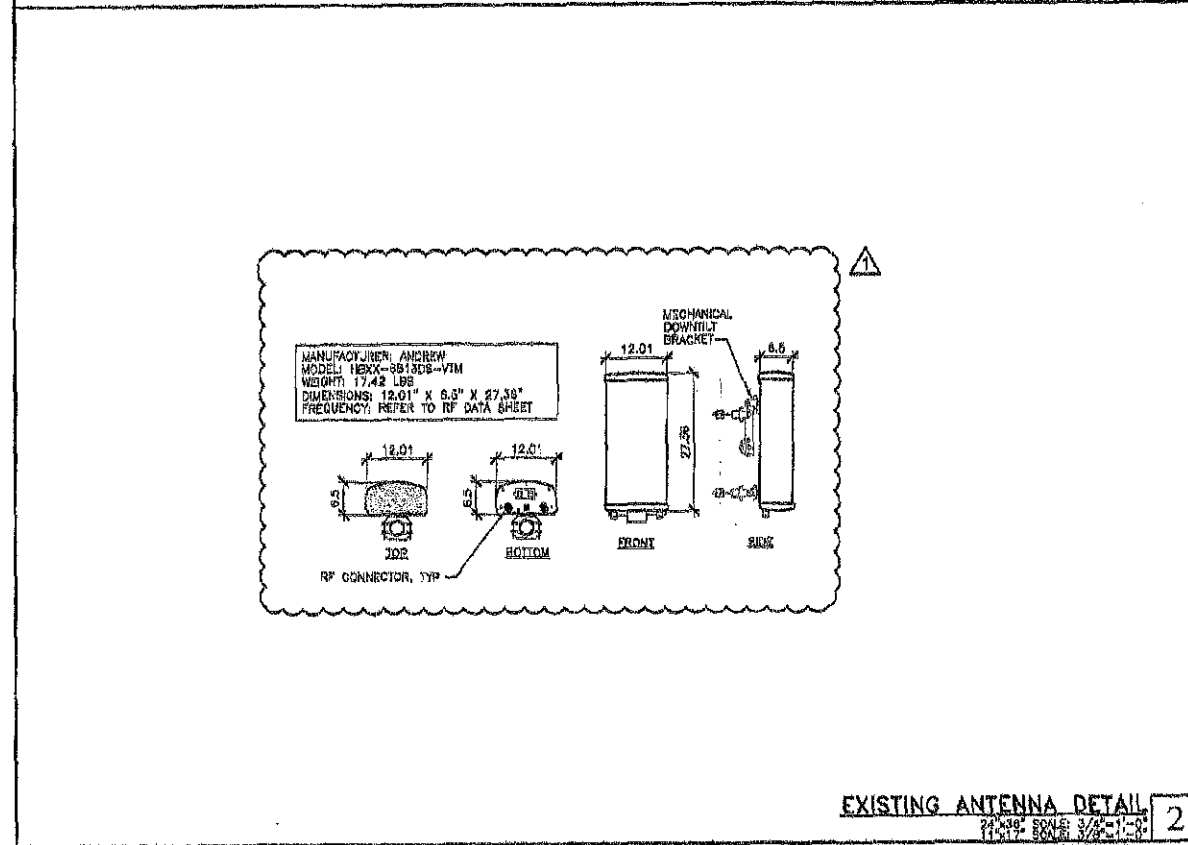
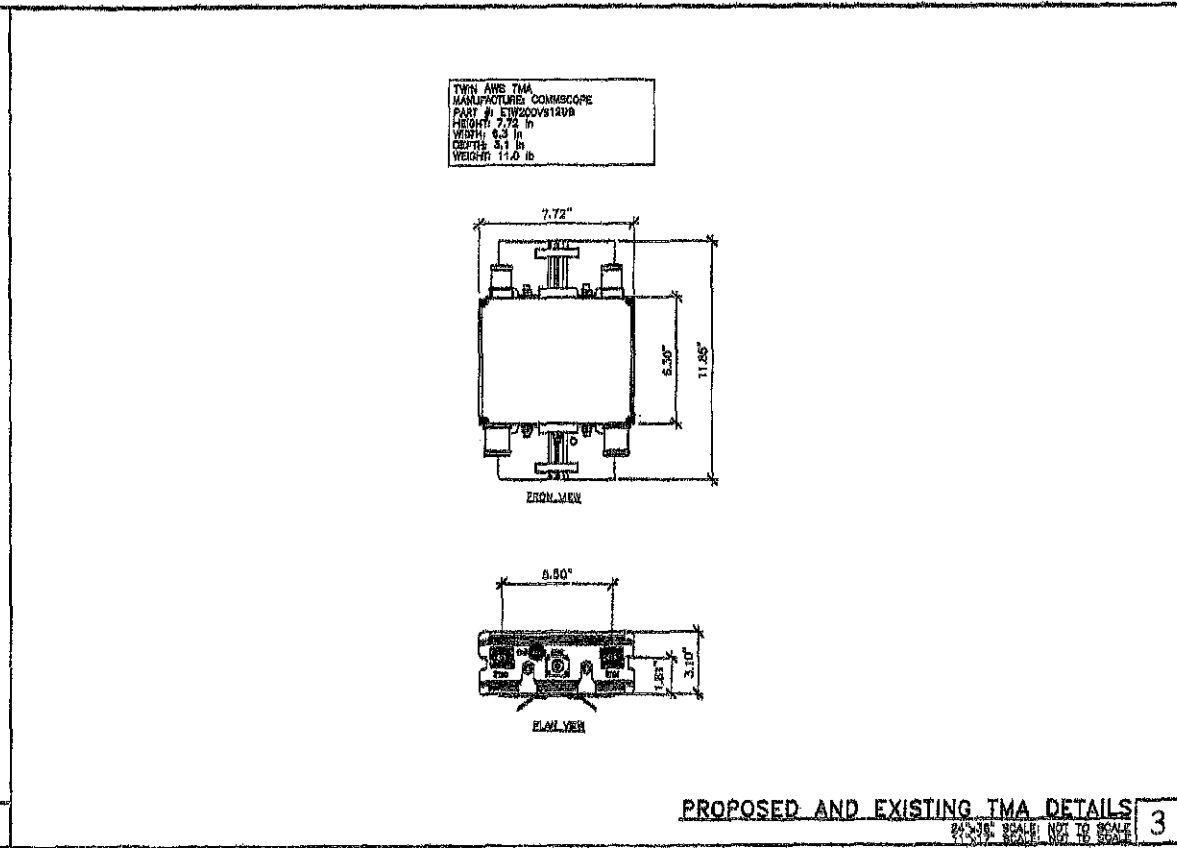
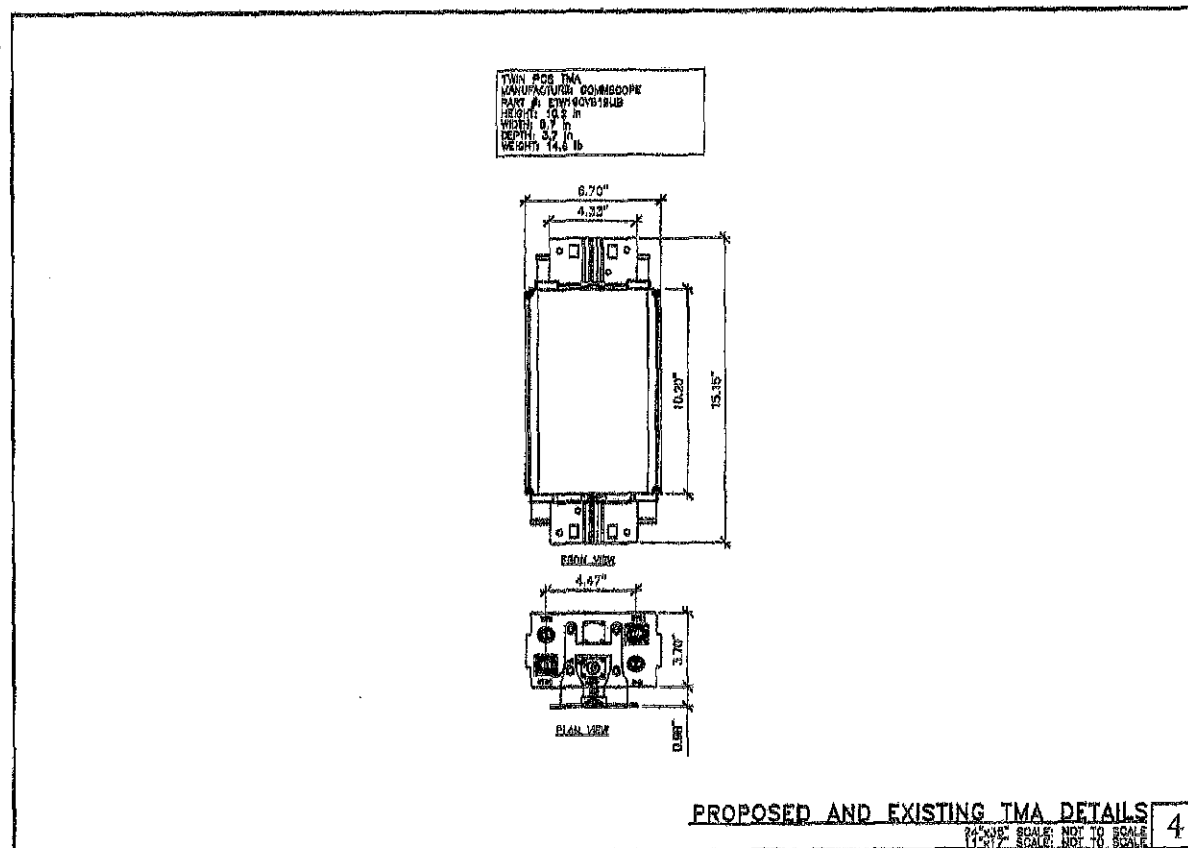
REVISIONS				
NO.	DATE	DESCRIPTION	INITIAL	
1	08/18/18	PERMIT DRAWINGS	RC	
2	09/27/18	REVISED PERMIT DRAWINGS	RC	
3	08/27/18	PERMIT DRAWINGS	RC	

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SHEET TITLE
 EXISTING & PROPOSED WEST ELEVATION

SHEET NUMBER
A-4

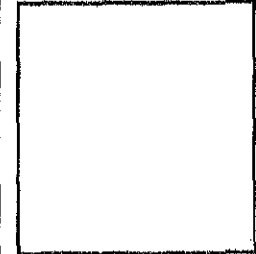
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 1628 WEST SHERBORN PKWY, SUITE 204
 SAN DIEGO, CA 92161

Deprattinc.
 12244 CALLE EVANS DRIVE
 SAN DIEGO, CA 92130

PTS
 PACIFIC TELECOM SERVICES, LLC
 8190 AIRPORT LOOP DRIVE
 SAN DIEGO, CA 92123
 PHONE (714) 484-0983



BETHANY LUTHERAN CHURCH
 SD06155
 2061 SUNSET CLIFFS BLVD.
 SAN DIEGO, CA 92107

REVISIONS			
NO.	DATE	DESCRIPTION	INITIALS
A	10/10/11	PERMIT DRAWINGS	RC
B	10/27/11	REVISION FOR PERMIT	JCF
C	10/27/11	PERMIT DRAWINGS	CM

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 LABELED AS CONSTRUCTION SET

SHEET TITLE
 CONSTRUCTION DETAILS

SHEET NUMBER
A-5

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KEY NOTES

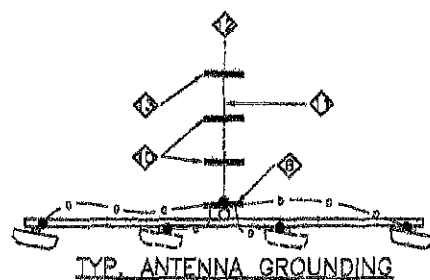
- ① PROPOSED T-MOBILE EQUIPMENT CABINETS (X CURRENT, X FUTURE)
- ② (N) GROUND RING AND #2 INSULATED COPPER GROUND WIRE BURIED 30" BELOW GRADE
- ③ TELCO BOX
- ④ PFC CABINET
- ⑤ GPS ANTENNA (TYP. OF 2)
- ⑥ ANTENNA GROUND BUS BAR @ E/OH SECTOR
- ⑦ EQUIPMENT PAD
- ⑧ GROUND ROD $\frac{3}{4} \times 2$
- ⑨ EMERGENCY GENERATOR RECEPTACLE
- ⑩ ANTENNA GROUND BUS BAR AT BOTTOM OF (N) POLE
- ⑪ ANY 2 INSULATED COPPER GROUND WIRE TO ANTENNA GROUND BUS BAR AT LEASE AREA. (FOLLOW O&A ROUTING)
- ⑫ MASTER GROUND BUS @ EQUIPMENT $\frac{3}{4} \times 2$
- ⑬ ANTENNA GROUND BUS BAR IN LEASE AREA

LEGEND

- MECHANICAL CONNECTION
- EXOTHERMIC WELD (COLDWELD/THERMOWELD) CONNECTION.
- ⊗ 5/8" x 10'-0" COPPER, OR COPPER GLAD STEEL GROUND ROD AT 10'-0" O.C. (MAX)
- #2 AWG INSULATED COPPER WIRE (UNLESS OTHERWISE SPECIFIED).
- S.O.H. S.O.H. SECONDARY OVERHEAD

GENERAL NOTES:

1. PLAN DRAWINGS SHOWN HEREIN ARE DIAGRAMMATIC AND DOES NOT NECESSARILY DEPICT THE EXACT EQUIPMENT QUANTITIES, LOCATION, LAYOUT AND CONFIGURATION. REFER TO ARCHITECTURAL PLANS FOR EXACT EQUIPMENT LOCATION, LAYOUT AND CONFIGURATION.
2. PLAN DRAWINGS SHOWN HEREIN DOES NOT NECESSARILY DEPICT ELECTRICAL REQUIREMENTS OF INDIVIDUAL EQUIPMENT AND DEVICES SUCH AS THE EQUIPMENT GROUNDING REQUIREMENTS, POWER REQUIREMENTS AND TELCO RACEWAY REQUIREMENTS.
3. REFER TO ARCHITECTURAL PLANS FOR THE LOCATION OF POWER AND TELCO POINT OF CONNECTIONS. THE DISTANCE OF THE RUN AND THE SUGGESTED CONDUIT ROUTING. FIELD VERIFY EXISTING CONDITIONS SPECIFICALLY FOR CONDUIT ROUTING PRIOR TO BID.



1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.
3. ALL GROUND CONNECTIONS SHALL BE #2 AWG U.N.O. ALL WIRES SHALL BE COPPER THIN/TWIN. ALL GROUND WIRE SHALL BE SOLID TIN COATED OR STRANDED GREEN INSULATED WIRE.
4. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 5 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE T-MOBILE REPRESENTATIVE.
5. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
6. BARE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SIZES AS NOTED ON PLAN.
7. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 12" BELOW GRADE/FROST-LINE IN TRENCH, U.N.O., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
8. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 18" BENDING RADIUS NOT LESS THAN 90 DEGREES.
9. ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "MGB" (OR DIRECTLY TO GROUND-RING).
10. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - a. BURIED, HY-GRADE U.L. LISTED CONNECTORS FOR INDOOR USE OR AS APPROVED BY T-MOBILE PROJECT MANAGER.
 - b. COLDWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - c. TWO (2) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS (BUS BAR CONNECTIONS).
11. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES).
12. PRIOR TO ANY LUG-BUSBAR CONNECTIONS, THE BUSBAR SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR FLAM STEEL WOOL AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "NO-OX-ID" SHALL BE APPLIED TO THE CONNECTION SURFACES.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACTED TO MAGNETS).
14. THE GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.
15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC ARTICLE 250-82 AND SHALL BOND ALL EXISTING AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIO EQUIPMENT LOCATION, BUILDING STEEL IF APPLICABLE. COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

GROUNDING NOTES | 3

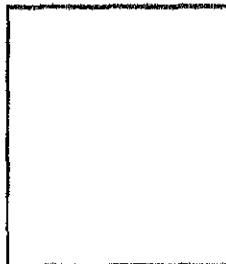
GROUNDING LAYOUT | 2

NOT USED | 1

T-Mobile
10500 VISTA SORRENTO HWY, SUITE 250,
SAN DIEGO, CA 92121

Deprattinc.
12648 CALLE BUENO ENANO
JANU, CA 91905

PTS
PACIFIC TELECOM SERVICES, LLC
3150 AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
PHONE: (714) 444-9985



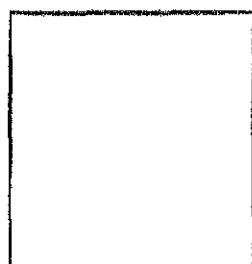
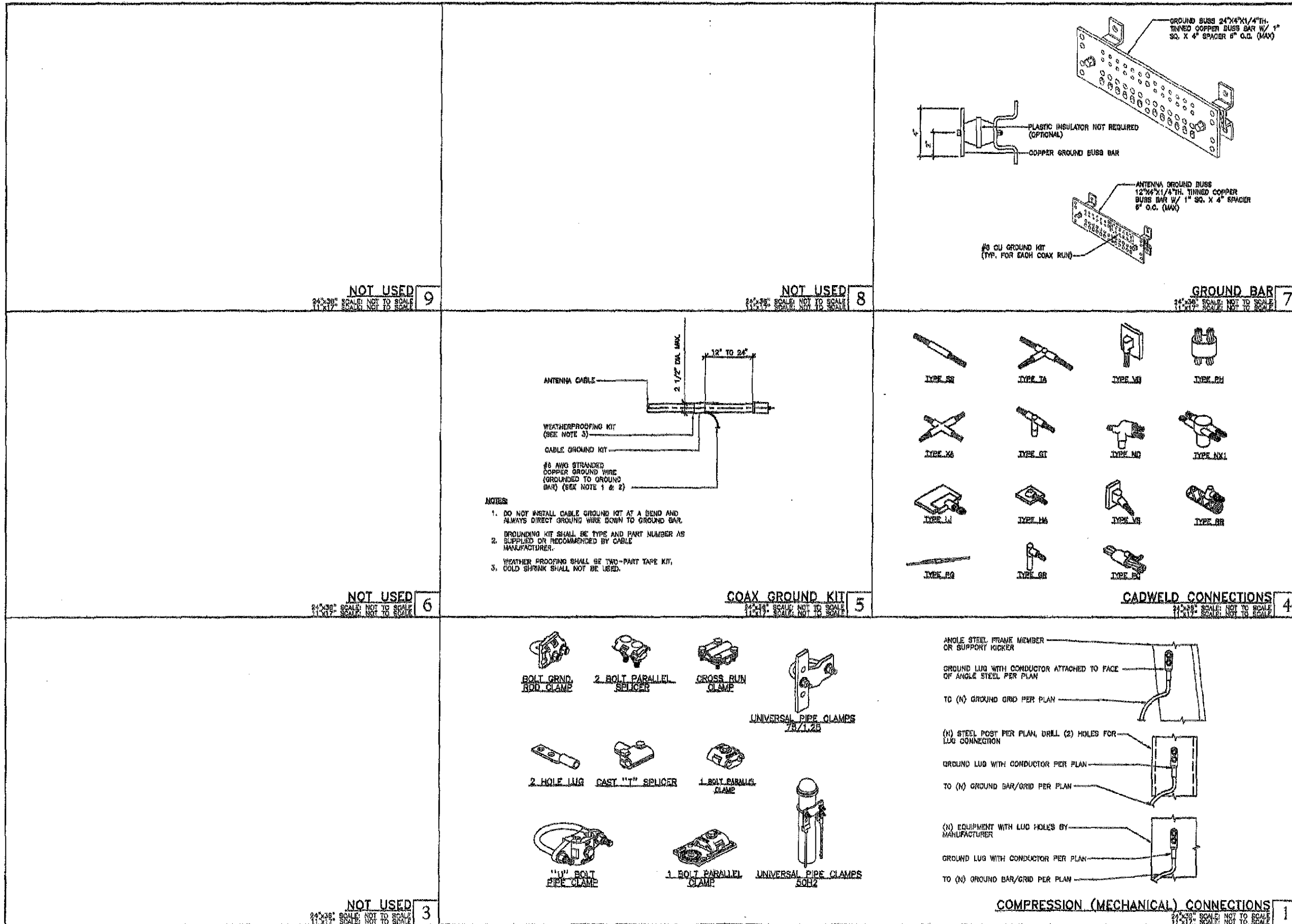
BETHANY LUTHERAN CHURCH
SD06155
2051 SUNSET CLIFFS BLVD,
SAN DIEGO, CA 92107

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	04/20/18	PERMIT DRAWING	PC
2	05/11/18	REVISED PER O&A	JCF
3	05/24/18	PERMIT DRAWING	CB

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
GROUNDING LAYOUT,
SCHEMATIC, & NOTES

SHEET NUMBER
E-1



BETHANY LUTHERAN CHURCH
 SD06155
 2051 SUNSET CLIFFS BLVD,
 SAN DIEGO, CA 92107

REVISIONS				
NO.	DATE	DESCRIPTION	INITIAL	
A	10/20/15	PERMIT DRAWINGS	TC	
B	10/20/15	RENO PER PLAN	TC	
C	10/20/15	PERMIT DRAWINGS	TC	

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
 GROUNDING DETAILS

SHEET NUMBER
E-2

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