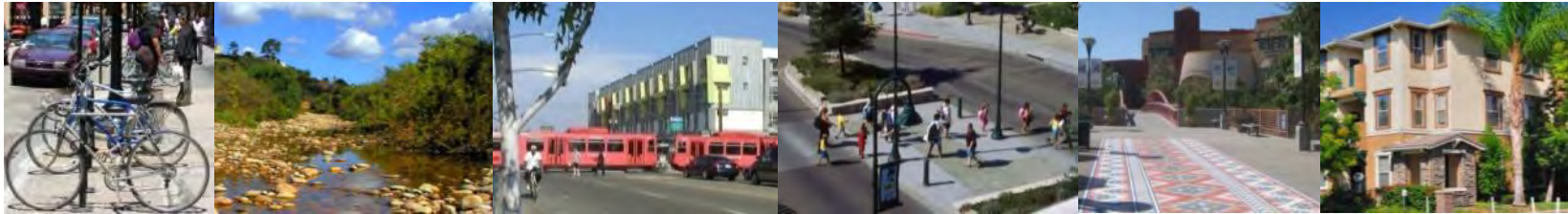


# Euclid + Market

LAND USE AND MOBILITY PLAN



## Working Group Meeting #3

April 26, 2012

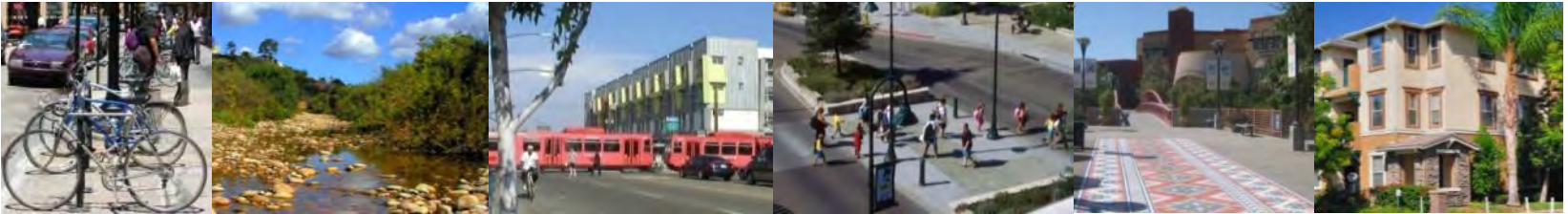
Presented By  
The City of San Diego  
Wallace Roberts & Todd, LLC  
MW Steele Group

# PLAN PROGRESS

- Working Group Meeting #1
  - *Vision, Issues, Process Refined*
  
- Community Workshop #1
  - *Identify key goals, principles, existing conditions, & opportunity areas*
  
- Existing Conditions Report
  
- Working Group Meeting #2
  - *Land Use, Urban Form, and Mobility Principles and Concepts*
  
- Working Group Meeting #3 
  
- Community Workshop #2 (July 2012)
  
- Working Group Meeting #4



Euclid + Market  
LAND USE AND MOBILITY PLAN



# SURVEY RESULTS

# SURVEY OVERVIEW

❑ **Survey Period:** July - October 2011

❑ **Number of Questions:** 6

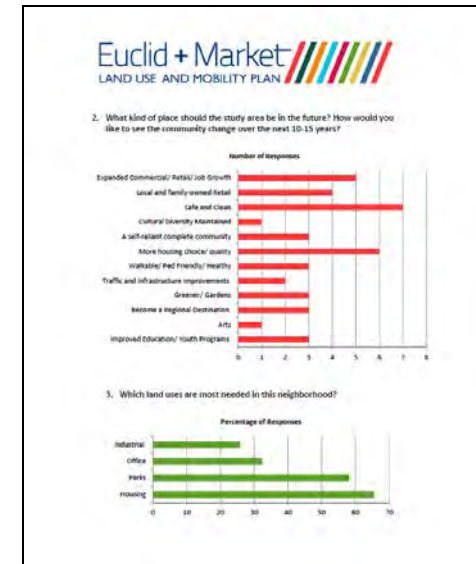
❑ **Number of Surveys Received:** 31

❑ **Methodology:**

- Community Workshops
- Online Survey
- Frequency of responses coded/ tallied

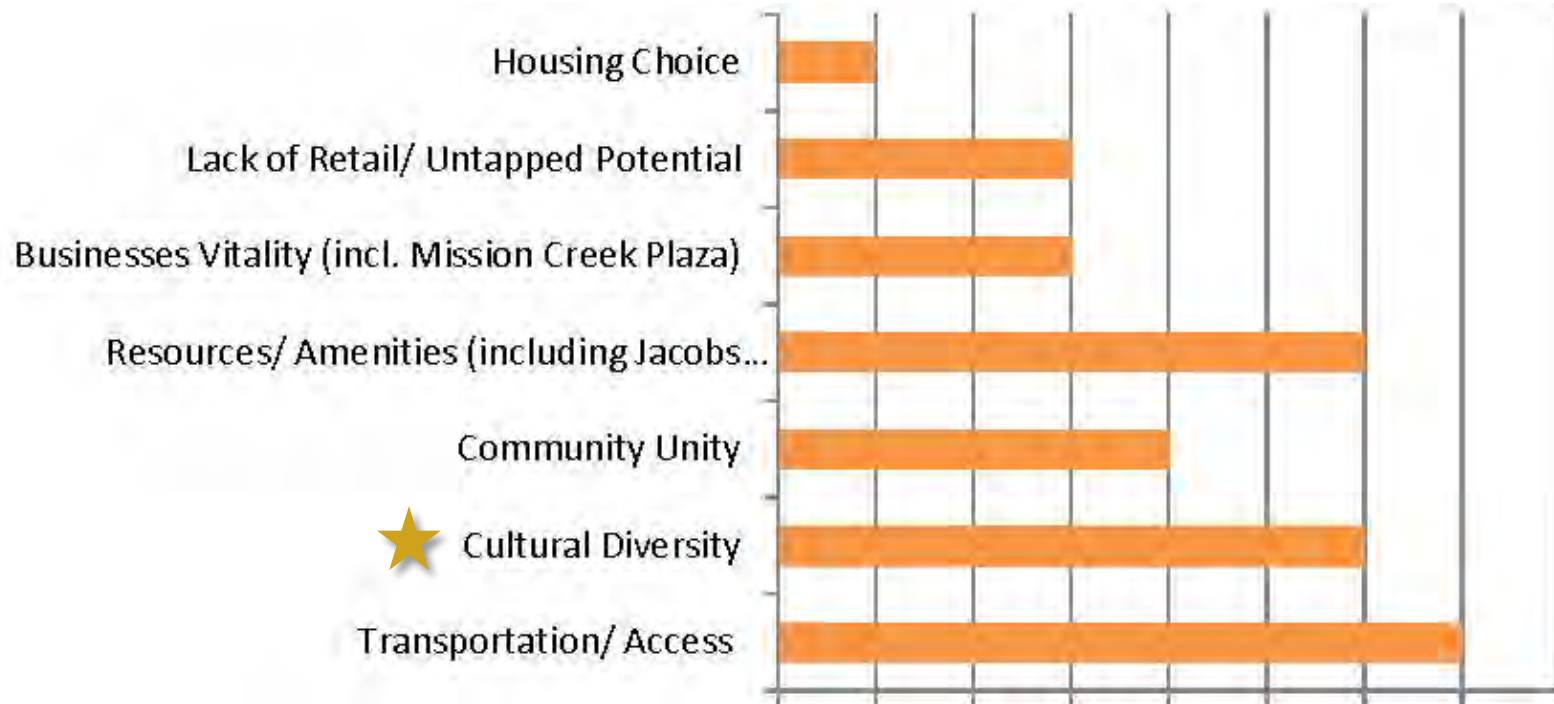
❑ **Intent:**

- Provide rationale/ input for physical improvements and land use recommendations.
- Capture community desires.



# SURVEY QUESTION 1:

*What is Special About this Area Today? Why is it special to you?*





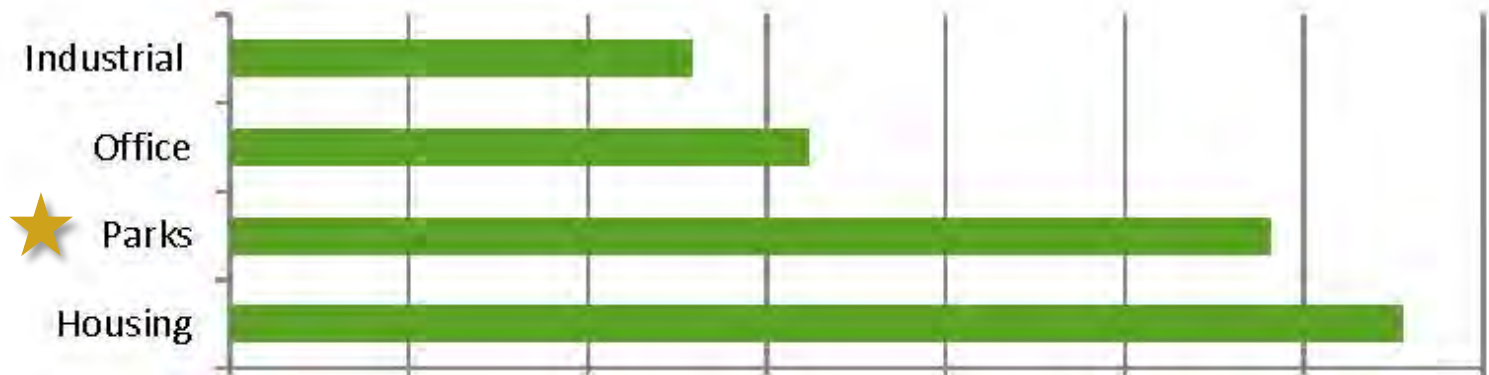
# SURVEY QUESTION 2:

*What kind of place should the study area be in the future?*



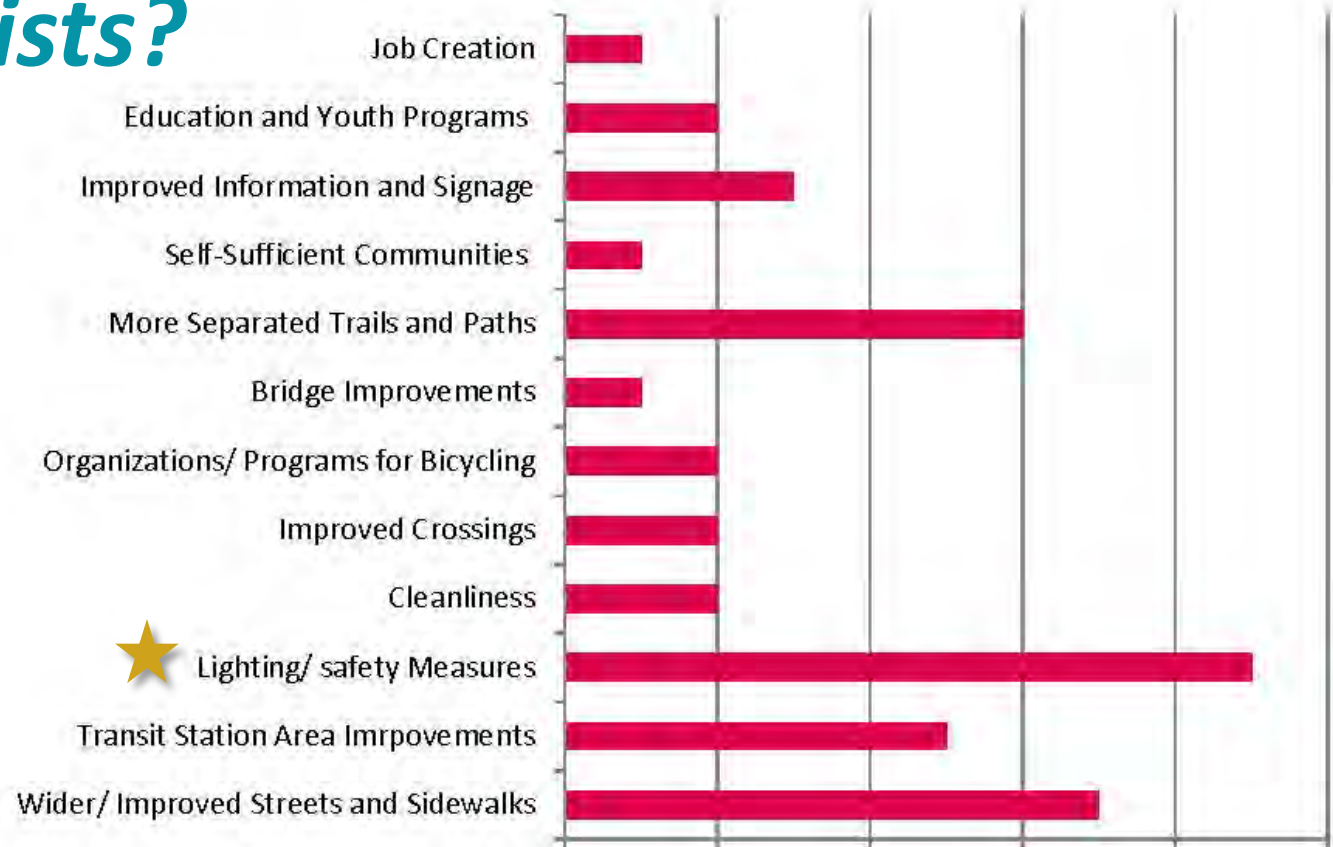
# SURVEY QUESTION 3:

*Which land uses are most needed in this neighborhood?*



# SURVEY QUESTION 4:

## *What improvements would improve safety/ convenience for pedestrians and bicyclists?*

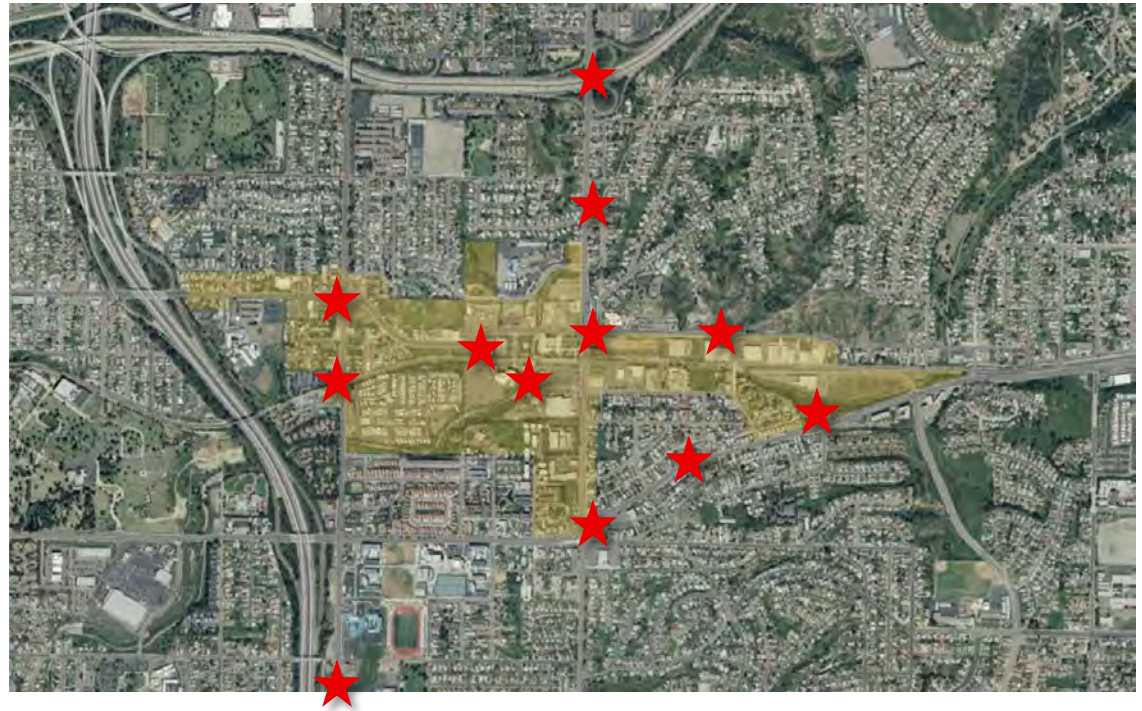




# SURVEY QUESTION 4:

## *Specific locations for bicycle and pedestrian improvements:*

- *Imperial Avenue*
- *Euclid Avenue*
- *Market Street*
- *SR-94 Interchange area*
- *Intersection of 47<sup>th</sup> Street*
- *47<sup>th</sup> and Logan*
- *50<sup>th</sup> Street Sidewalk*
- *Chollas Creek Bridge*



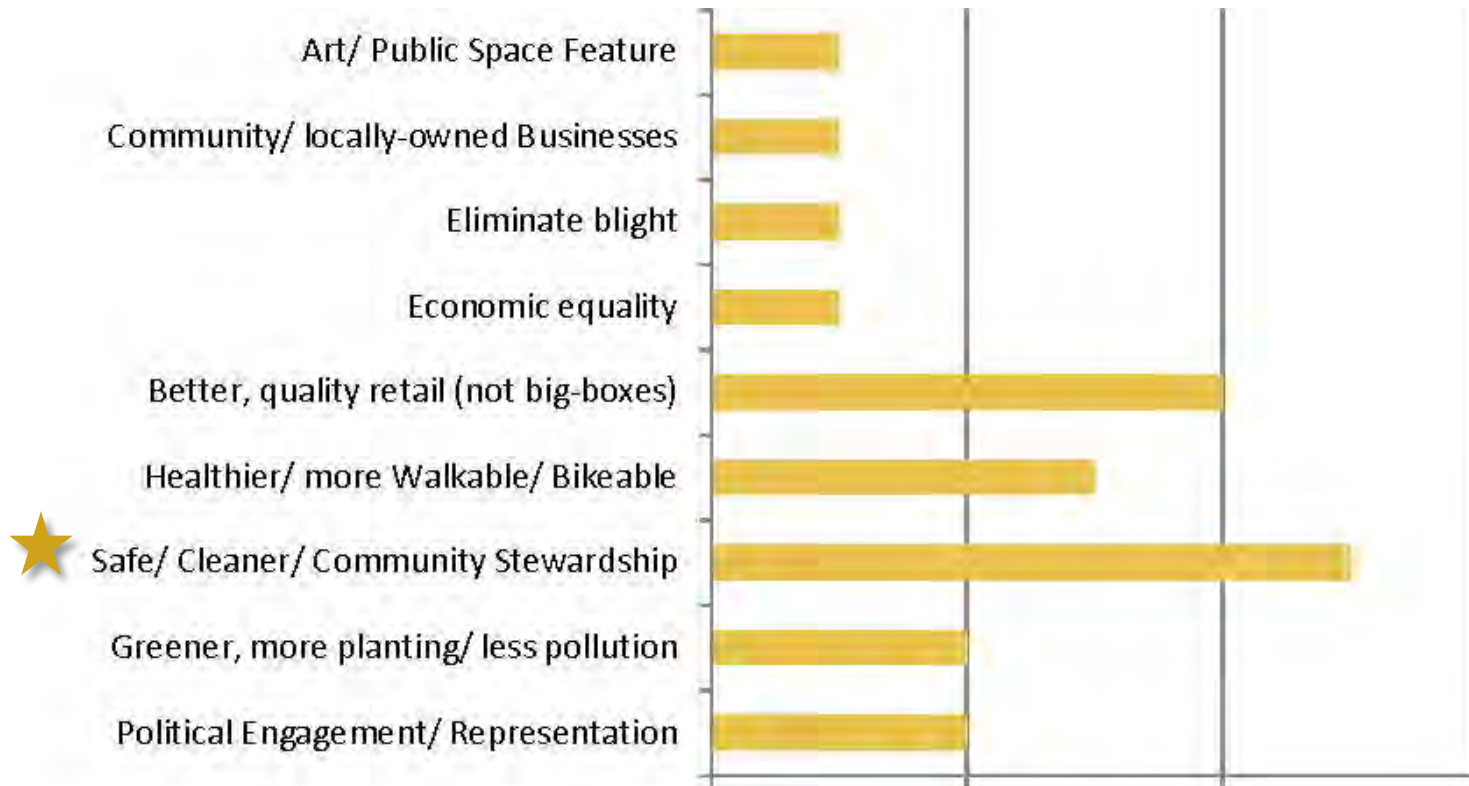
# SURVEY QUESTION 5:

*What new park improvements or recreational facilities would you most like to have in the area?*

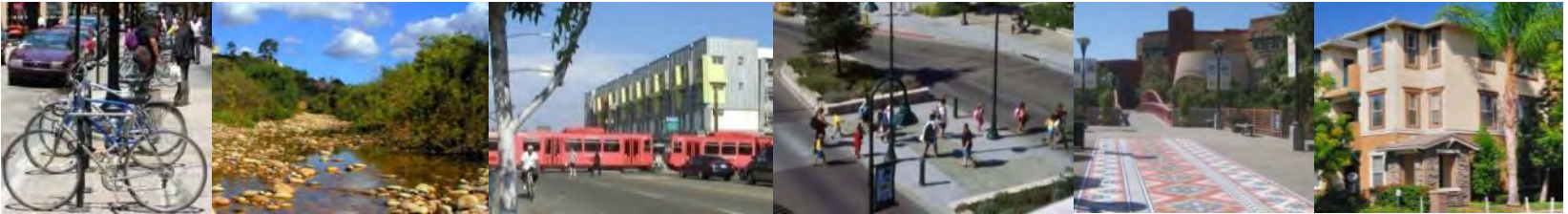


# SURVEY QUESTION 6:

*What changes could be made that would improve the quality of life in the neighborhood?*



Euclid + Market  
LAND USE AND MOBILITY PLAN



# LAND USE PLAN

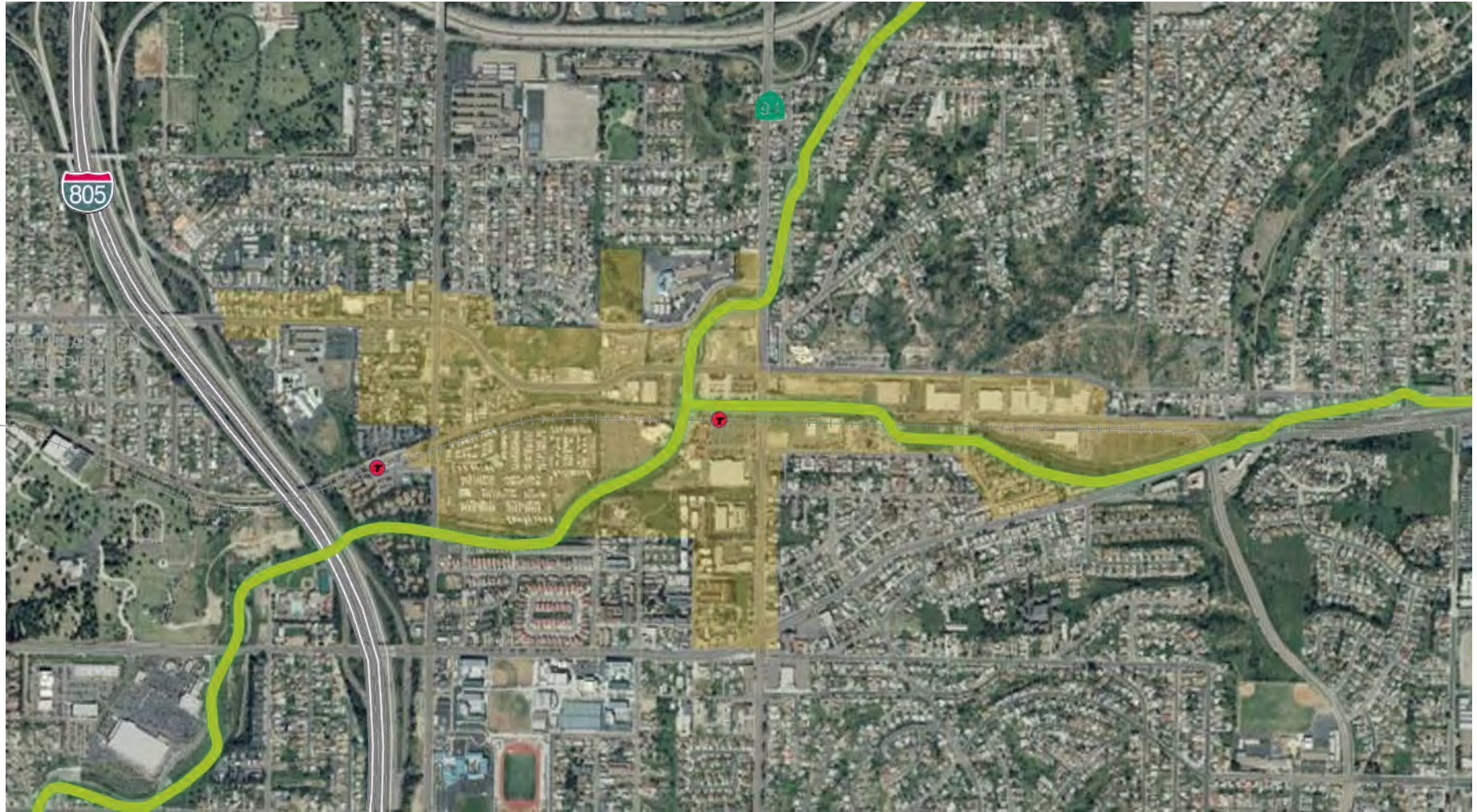


# LAND USE OVERVIEW

- ❑ **Goals:** A mix of land uses that accommodates the development of:
  - A diverse mix of high quality housing
  - Compatible employment-generating uses
  - Retail and service uses that support community needs
  - Attractive parks and open spaces
- ❑ **Input:**
  - Community Stakeholders
  - Jacobs Center/ Foundation
  - SEDC
  - Consultants/ City staff collaboration



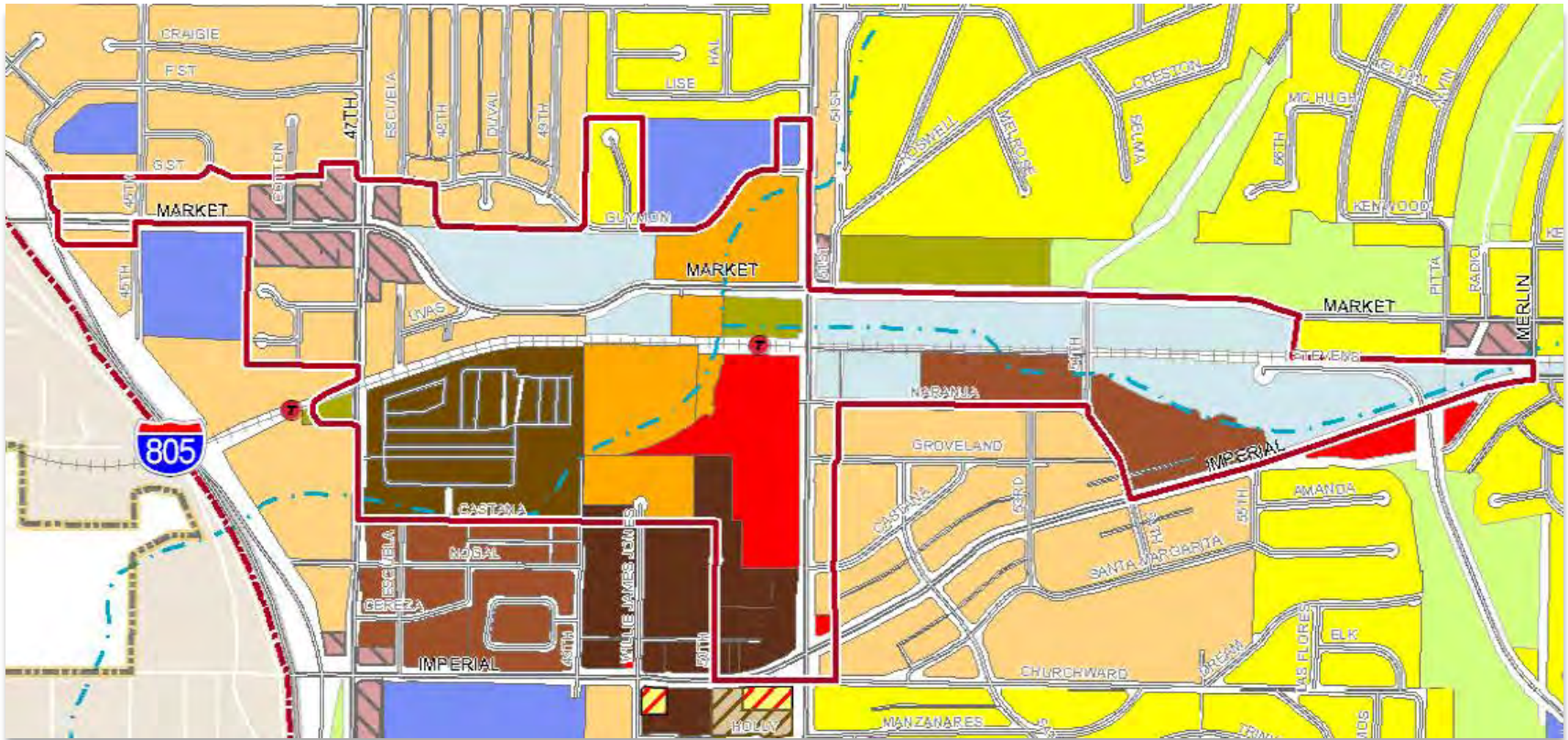
# LAND USES OVERVIEW



**Site Area**



# LAND USES OVERVIEW



**LEGEND**

- Euclid & Market Village Master Plan Project Area Boundary
- Community Plan Boundary
- City of San Diego Boundary
- Trolley Stop
- Light Rail
- Chollas Creek
- Single Family Res. (0-2 du/ac)
- Single Family Res. (0-5 du/ac)
- Single Family Res. (5-10 du/ac)
- Single Family Res. (10-15 du/ac)
- Single Family Res. (10-15 du/ac); Mob. Home
- Multi-Family Res. (15-17 du/ac)
- Multi-Family Res. (15-30 du/ac)
- Multi-Family Res. (30-44 du/ac)
- Neighborhood Village
- Neighborhood Commercial-
- Multiple Use
- General Commercial
- Community Commercial
- Neighborhood Commercial
- Specialized Commercial
- Business Park / Office Commercial
- Industrial
- Park
- Open Space
- Cemetery
- Institutional
- Schools/Public Facilities

## Adopted Community Plan Land Use

# LAND USES OVERVIEW

## Low - Medium Residential (10 - 14 du/ac)

Low-Medium Residential allows for an almost equal mix of single-family townhomes and multi-family units. This combination of residential types supports a fine-grain, pedestrian scale. Townhomes or rowhomes may be clustered in groups of 4 to 6 units. Townhomes may range from 2 to 3 stories in height and from 10 to 14 units per acre. Parking should be integrated into the ground-floor of the units in individually secured garages. Garages should be accessed from the rear of the site.



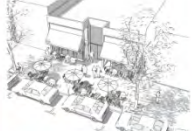
## Medium Residential (15-25 du/ac)

Multi-family residential buildings may be 3 to 8 stories in height and organized around a central courtyard. The courtyard may contain individual or collective open space amenities for building residents to use. They are typically designed with double-loaded corridors, and may range between 15 to 35 units per acre. Parking for Multi-Family may include a mixture of garages and surface spaces, accessed from a central landscaped drive court. Garage spaces should be integrated into the ground level of the development or below grade, in individually secured garages.



## Neighborhood Commercial (0-25 du/ac)

Provide local convenience shopping, civic uses, and commercial services serving an approximate three-mile radius. Preserves small-scale fine-grain character in neighborhoods where single-family residential and townhomes are predominant. This designation promotes primarily 1 to 2 story retail with moderate office and multi-family as support uses. A traditional "Main Street" character is encouraged with active storefronts, outdoor seating and pedestrian-oriented design.



## Community Commercial (0-44 du/ac)

Provides for small-scale, pedestrian-oriented commercial development that primarily serves local neighborhood uses, such as retail, service, civic, and office uses. Horizontal or vertical residential mixed-use is also permitted and retail typically occurs at key street corners within a predominantly residential area. Buildings up to 3 stories in height are supported by this designation.



## Community Village (30-74 du/ac)

Encourage community-wide retail and mixed-use development that occurs at critical activity centers. Buildings are typically medium-scaled and integrated into a mixed-use development, ranging from 3 to 5 stories in height. The type of development accommodates medium-scale retail, housing, office, civic and entertainment uses, grocery stores, drug stores and supporting uses, such as small-scale hotels, assembly spaces and office.



## Business Park

Intended for research and development uses and office use space in well-lighted areas. These uses accommodate environmental uses in medium shops and also include light manufacturing, warehousing, storage, distribution, research and development enterprises as well as secondary office space with limited customer service and supporting commercial uses for employees etc.



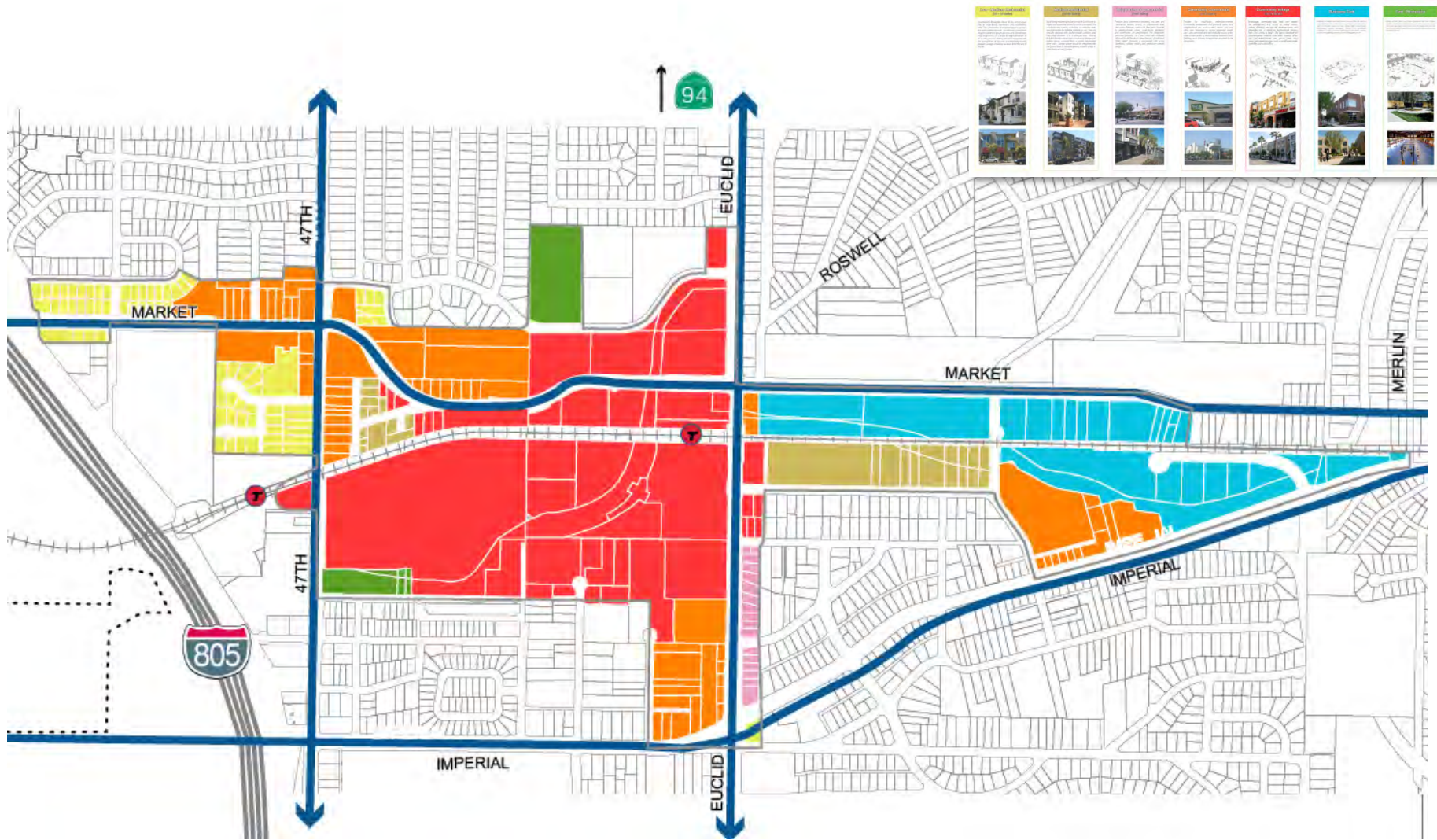
## Park / Recreation

Applies to both public and private recreational sites and facilities. In building-provided parks, are regional centers, and other areas used as the open space areas. It will allow for facilities and services to meet the recreational needs of the community as defined by the Local Recreation Element.





# LAND USE PLAN OVERVIEW



*Draft Land Uses*

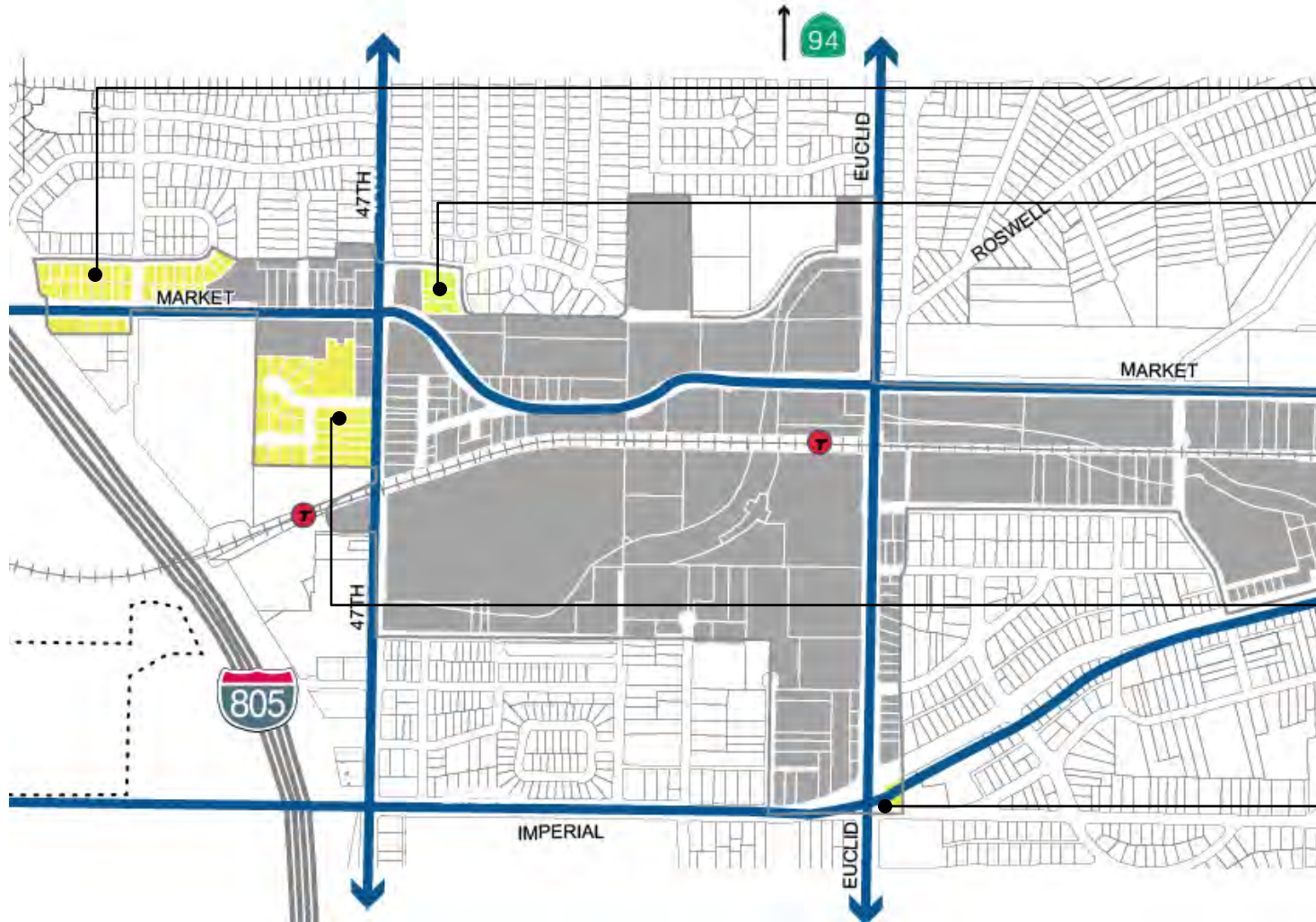
# LAND USE PLAN OVERVIEW



## *Draft Land Use + Chollas Creek*



# LOW-MEDIUM RESIDENTIAL



## Low - Medium Residential (10 - 14 du/acre)

Low-Medium Residential allows for an almost equal mix of single-family, townhome and multi-family units. This combination of residential types supports a fine-grain, pedestrian scale. Townhomes or rowhomes may be clustered in groups of 4 to 6 units. Townhomes may range from 2 to 3 stories in height and from 10 to 14 units per acre. Parking should be integrated into the ground-floor of the units in individually secured garages. Garages should be accessed from the rear of the site.



## Location



# LOW-MED. DENSITY RESIDENTIAL

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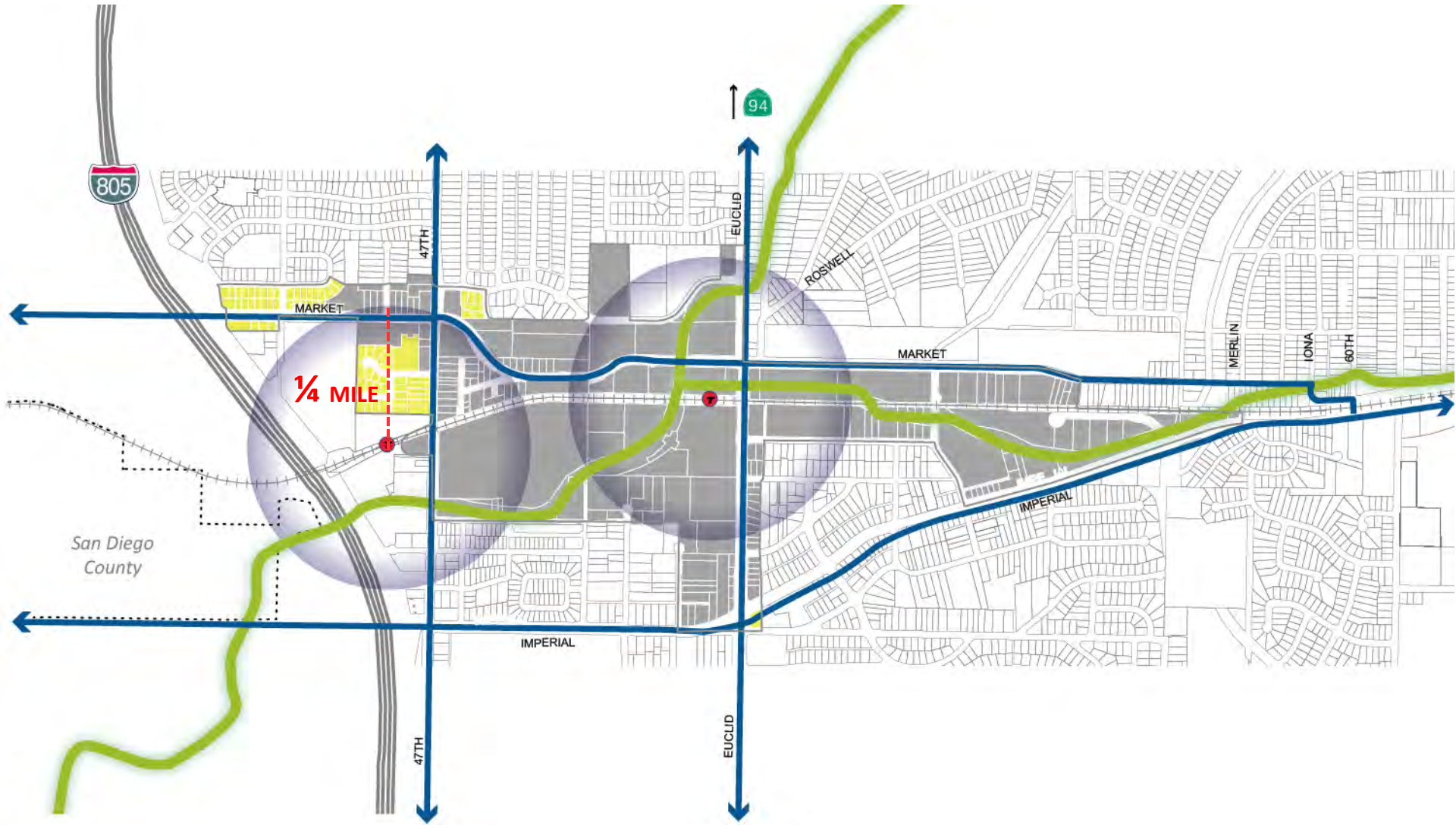


## Low-Medium Density Residential

- *Height: 2-3 stories*
- *Density: 10-14 du/acre*
- *Typologies: Single-family homes, Townhomes (4-6 units), Multi-family*
- *Parking: Ground level*

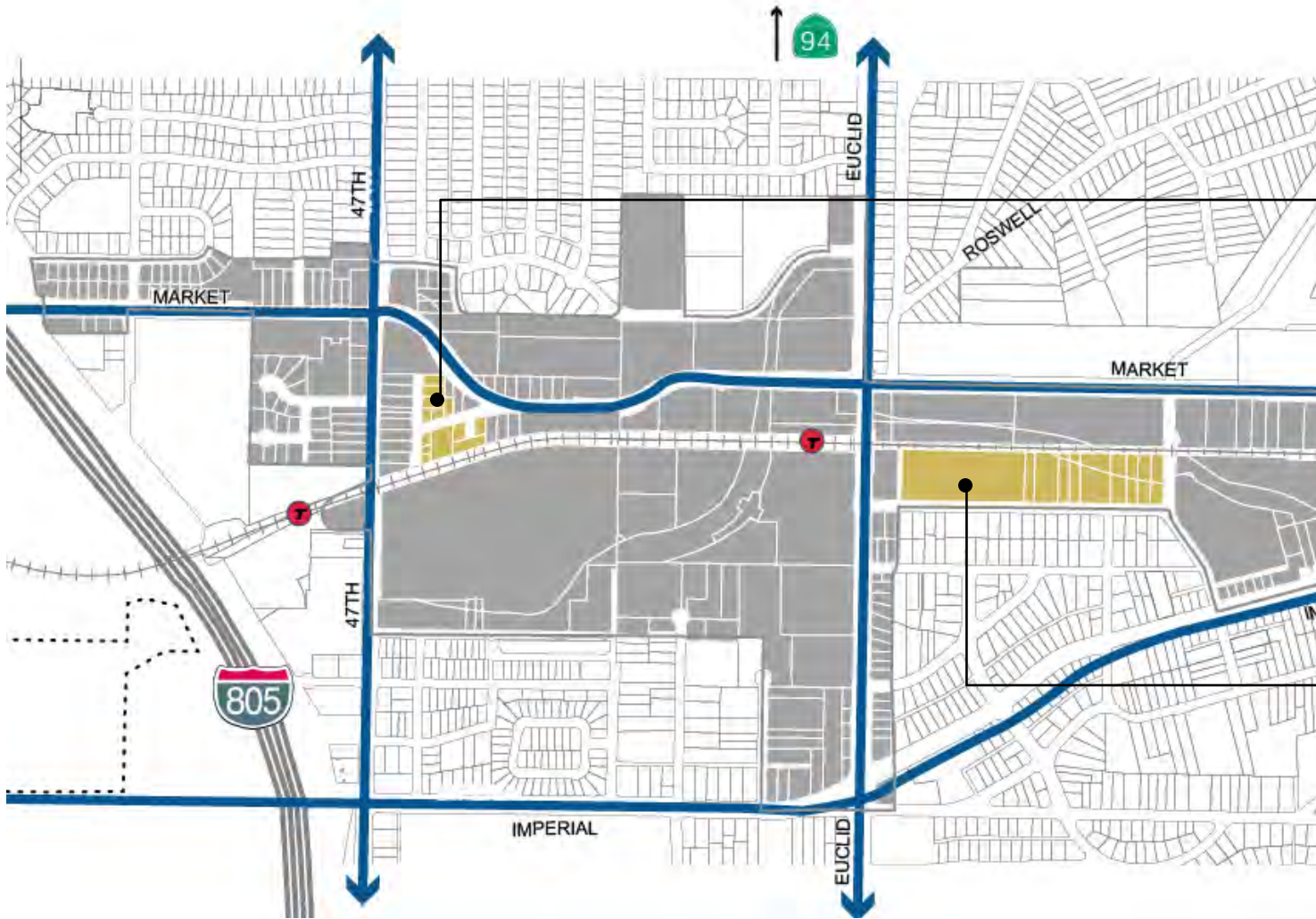


# LOW-MED. DENSITY RESIDENTIAL



*Proximity to Transit & Creek*

# MEDIUM DENSITY RESIDENTIAL



## Medium Residential (15-29 du/ac)

Multi-family residential buildings may be 3 to 8 stories in height and organized around a central courtyard. The courtyard may contain individual or collective open space amenities for building residents to use. They are typically designed with double-loaded corridors, and may range between 15 to 35 units per acre. Parking for Multi-Family may include a mixture of garages and surface spaces, accessed from a central, landscaped drive court. Garage spaces should be integrated into the ground level of the development or below grade, in individually secured garages.



## Location



# MEDIUM DENSITY RESIDENTIAL

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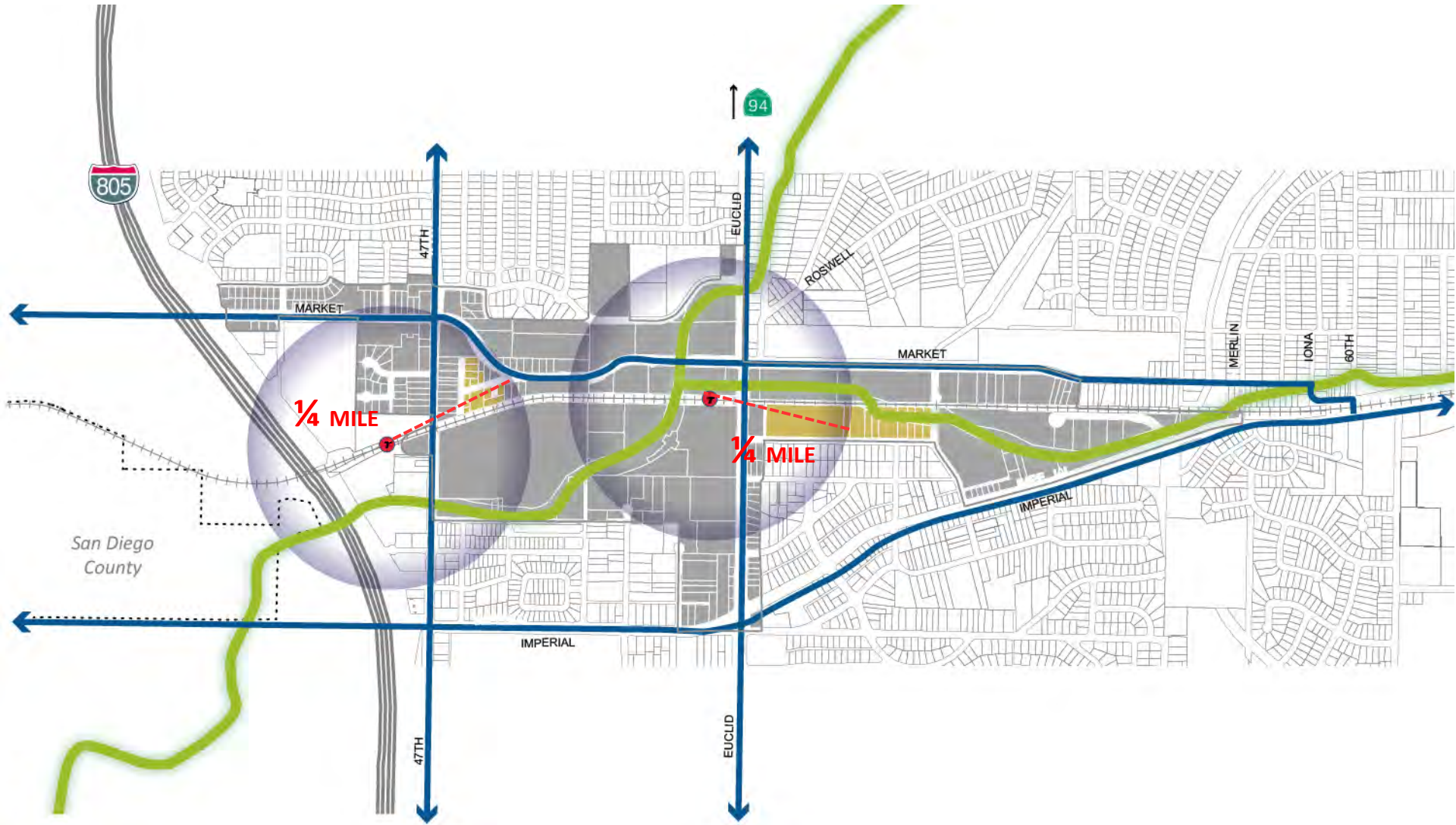


## Medium-Density Residential

- *Height: 3-5 stories*
- *Density: 15-35 du/acre*
- *Typologies: Multi-family units arranged around courtyards*
- *Parking: Ground level/ below grade*

**Character**

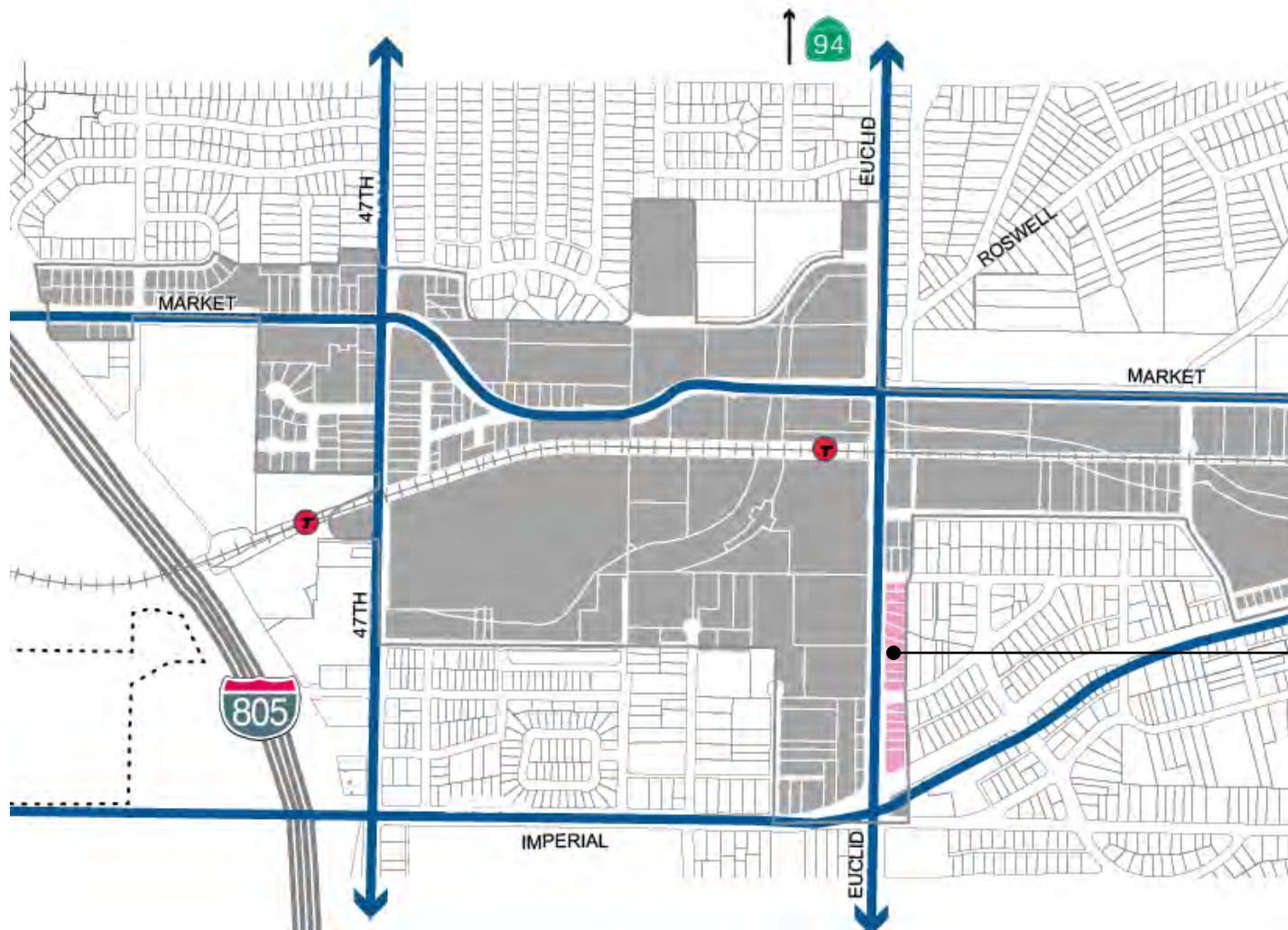
# MEDIUM DENSITY RESIDENTIAL



*Proximity to Transit & Creek*



# NEIGHBORHOOD COMMERCIAL



## Neighborhood Commercial (0-29 du/ac)

Provides local convenience shopping, civic uses, and commercial services serving an approximate three mile radius. Preserves small-scale, fine-grain character in neighborhoods where single-family residential and townhomes are predominant. This designation promotes primarily 1 to 2 story retail with moderate office and multi-family as supportive uses. A traditional "Main Street" character is encouraged with active storefronts, outdoor seating and pedestrian-oriented design.



**Location**

# NEIGHBORHOOD COMMERCIAL

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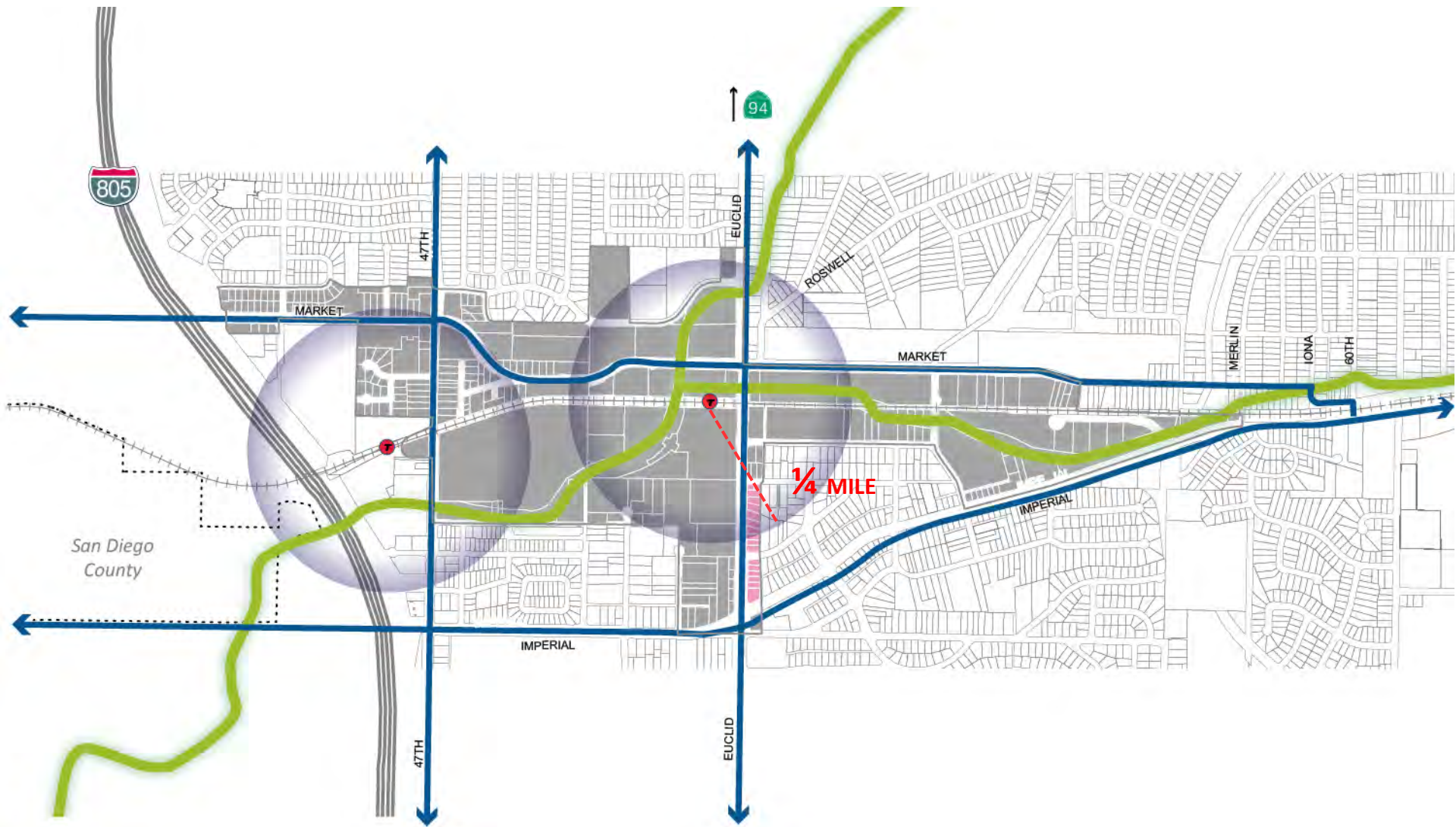
## Neighborhood Commercial

- Height: 1- 2 stories
- Typologies: Pedestrian-scaled retail, active storefronts, smaller, locally-owned businesses
- Residential Density: 0-29 du/ac

**Character**

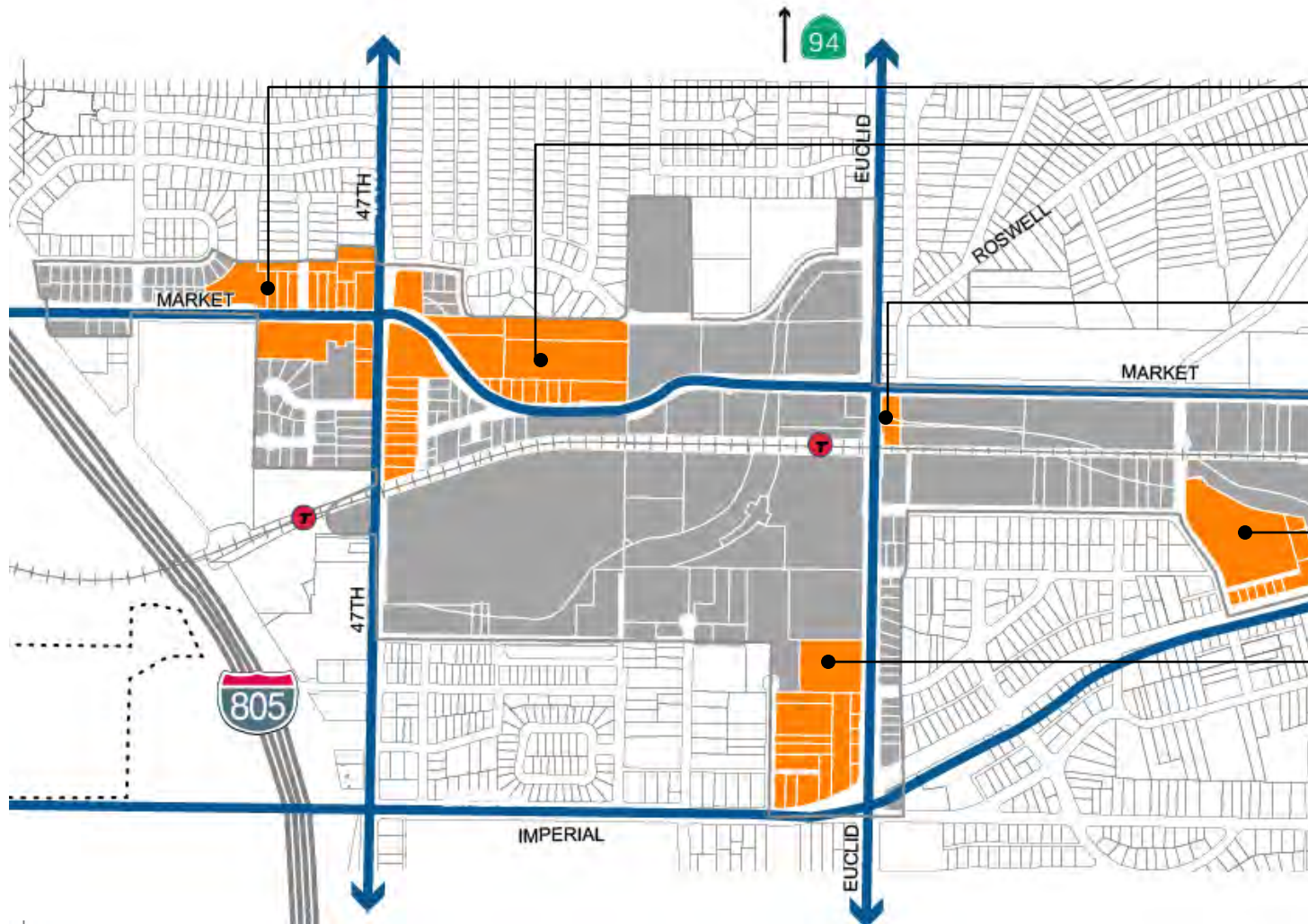


# NEIGHBORHOOD COMMERCIAL



*Proximity to Transit & Creek*

# COMMUNITY COMMERCIAL



## Community Commercial (0-44 du/ac)

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## Location



# COMMUNITY COMMERCIAL

## Community Commercial (0-44 du/ac)

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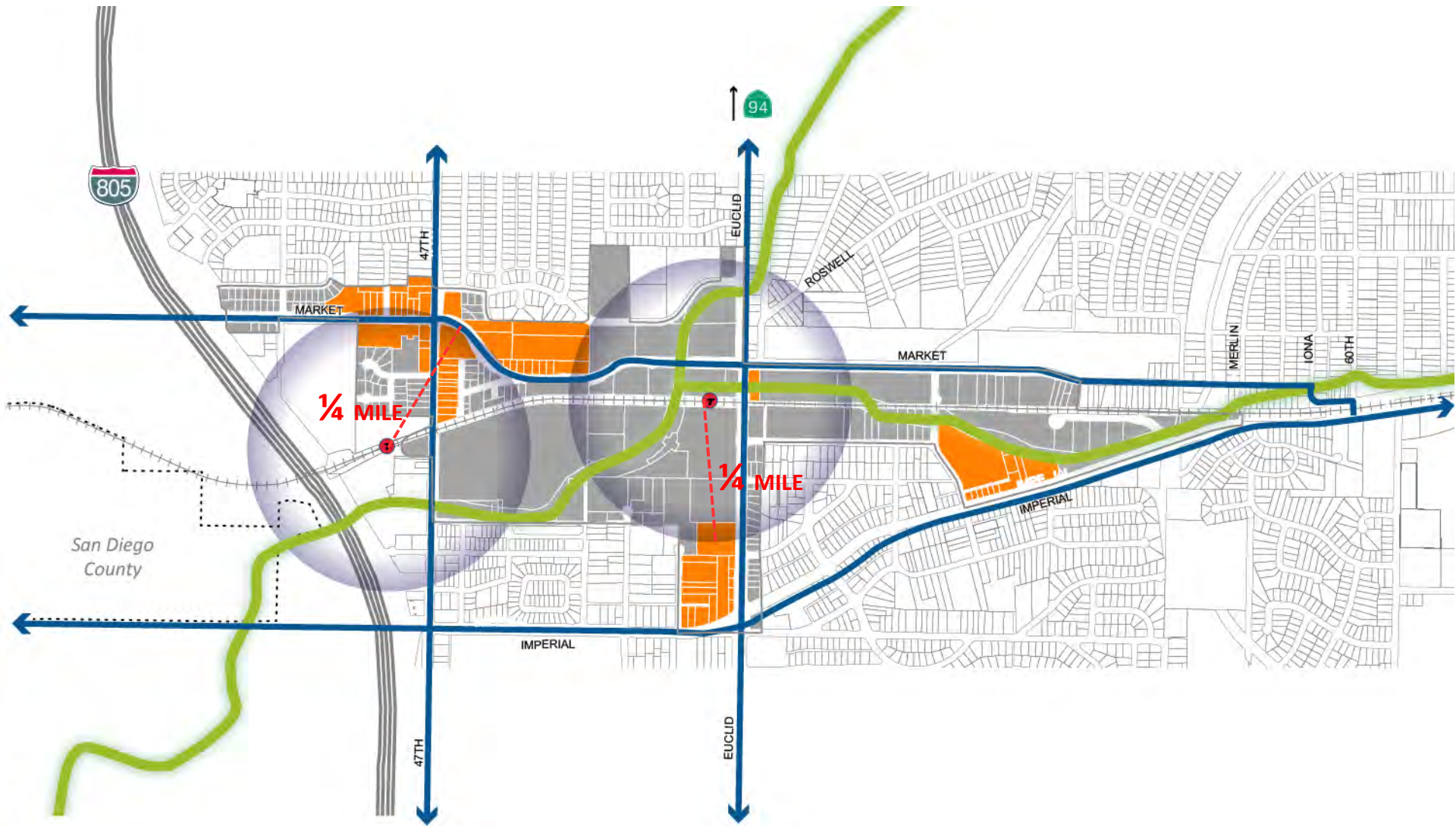


## Community Commercial

- Height: 3 stories
- Typologies: Pedestrian-scaled retail, smaller, locally-owned businesses
- Residential Density: 0-44 du/ac

**Character**

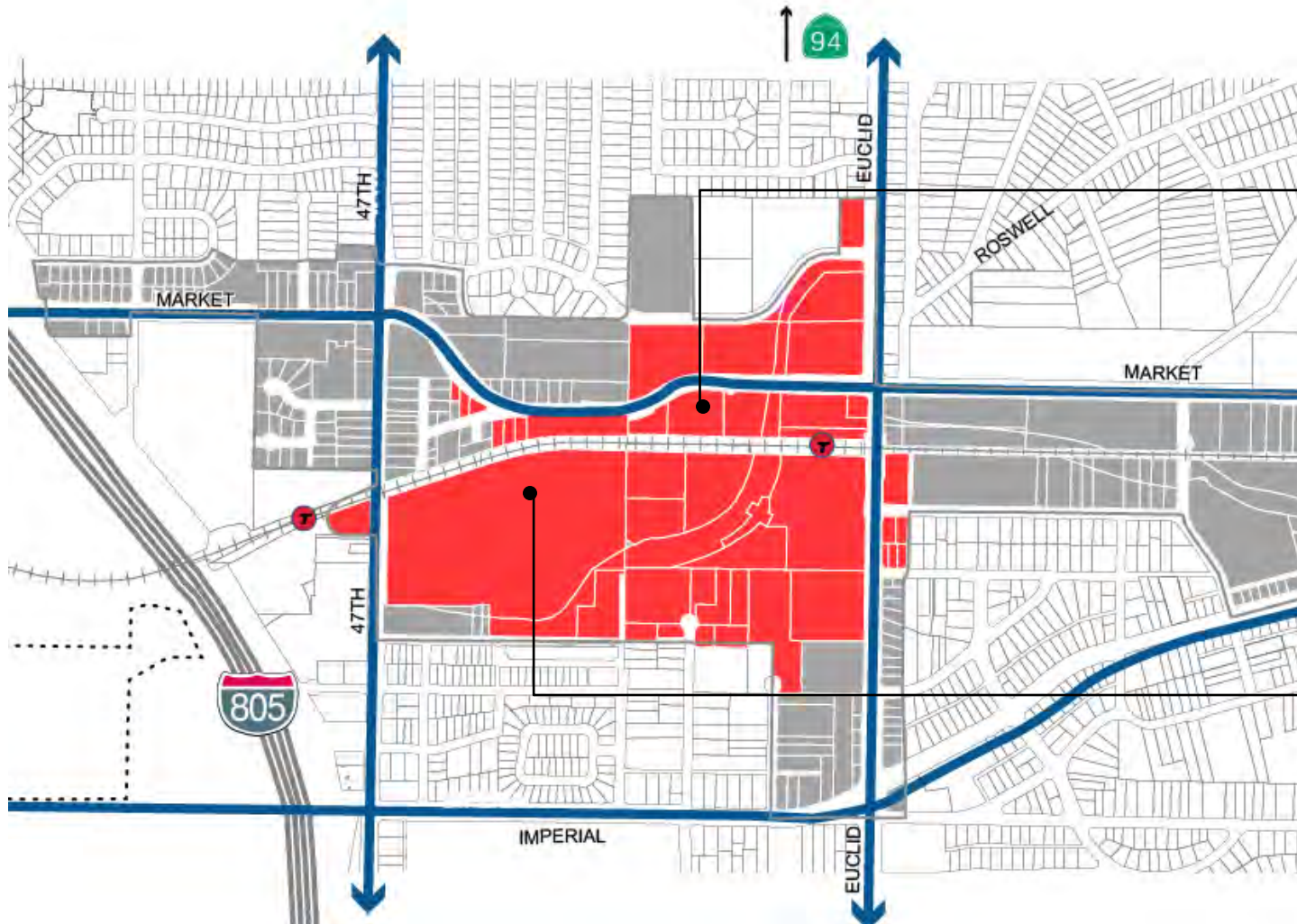
# COMMUNITY COMMERCIAL



*Proximity to Transit & Creek*



# COMMUNITY VILLAGE



## Community Village (30-74 du/ac)

Encourages community-wide retail and mixed-use development that occurs at critical activity centers. Buildings are typically medium-scaled and integrated into a mixed-use development; ranging from 3 to 5 stories in height. This type of development accommodates medium-scale retail, housing, office, civic and entertainment uses, grocery stores, drug stores and supporting uses, such as small-scale hotels, assembly spaces and office.



## Location

# COMMUNITY VILLAGE

## Community Village (30-74 du/ac)

Encourages community-wide retail and mixed-use development that occurs at critical activity centers. Buildings are typically medium-scaled and integrated into a mixed-use development; ranging from 3 to 5 stories in height. This type of development accommodates medium-scale retail, housing, office, civic and entertainment uses, grocery stores, drug stores and supporting uses, such as small-scale hotels, assembly spaces and office.



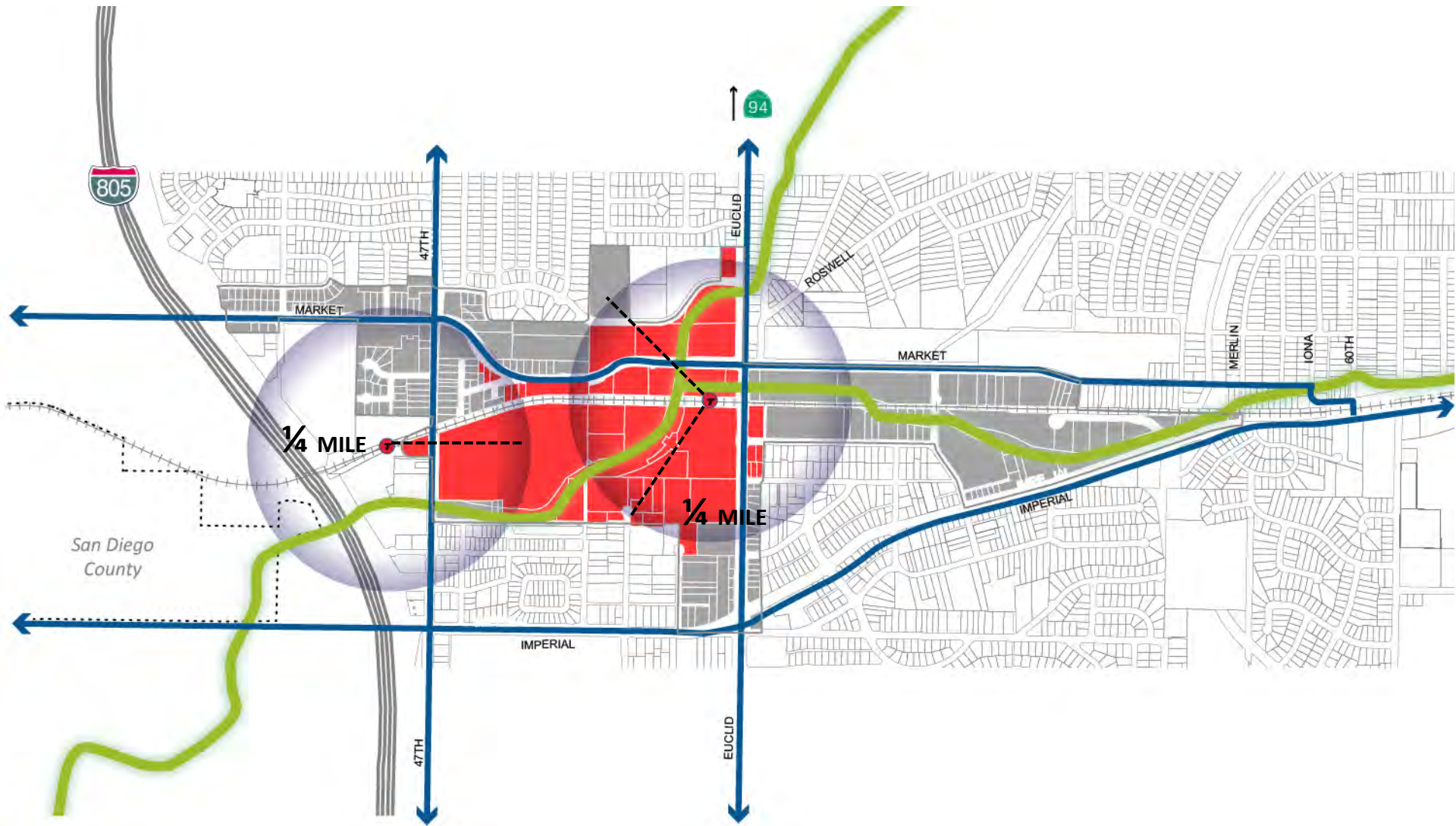
## Community Village

- Height: 3-5 stories
- Typologies: Community-wide retail and mixed-use development; Grocery Stores; Drug Stores; Office
- Residential Density: 30-74 du/ac

**Character**



# COMMUNITY VILLAGE

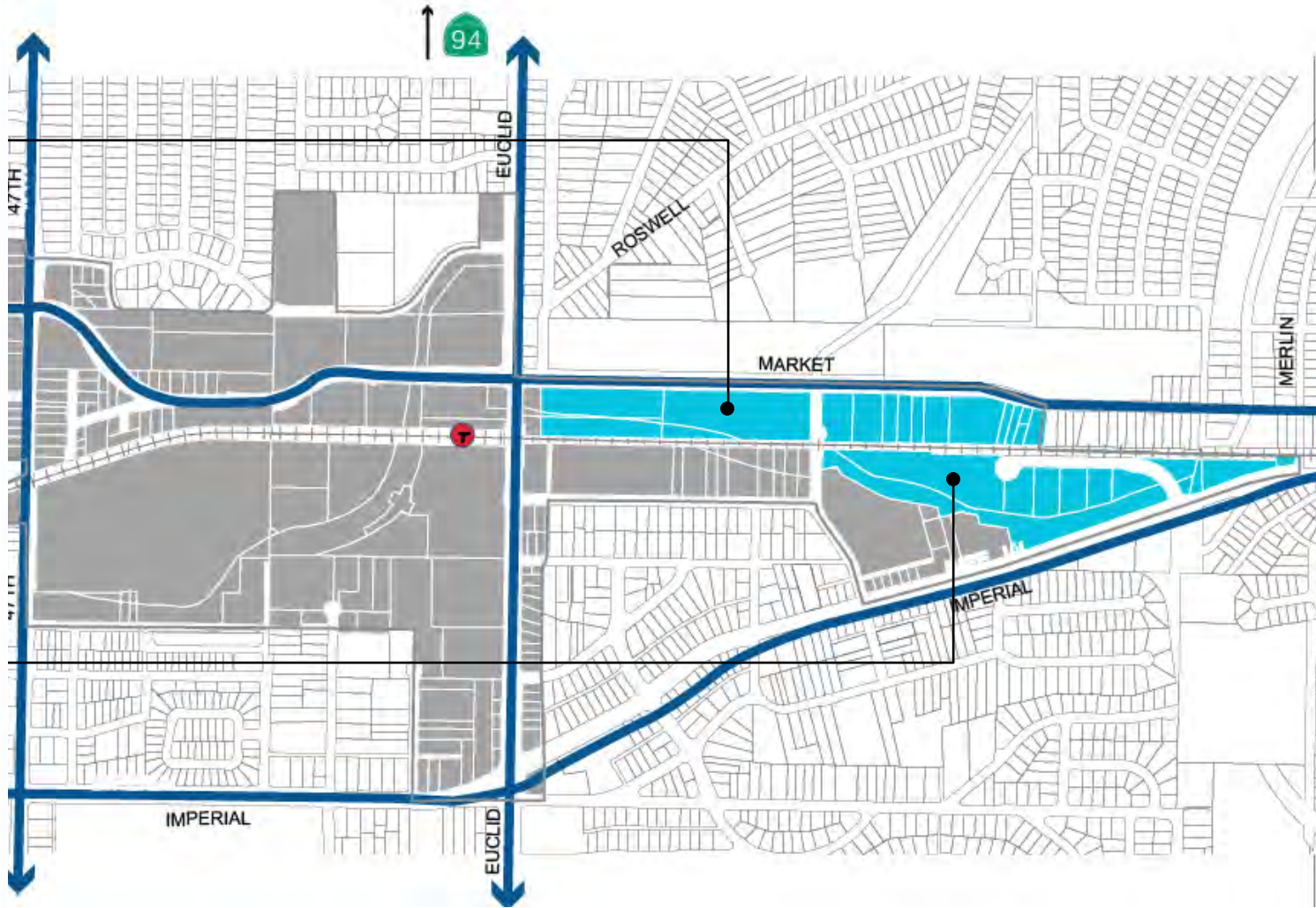


*Proximity to Transit & Creek*

# BUSINESS PARK

## Business Park

Intended for research and development uses and office flex space, as well as light industrial uses. This use accommodates service commercial, such as mechanic shops and also includes light manufacturing, warehousing, storage, distribution, research and development enterprises as well as secondary office space (with limited customer access) and supporting commercial uses for employees on-site.



## Location



# BUSINESS PARK

## Business Park

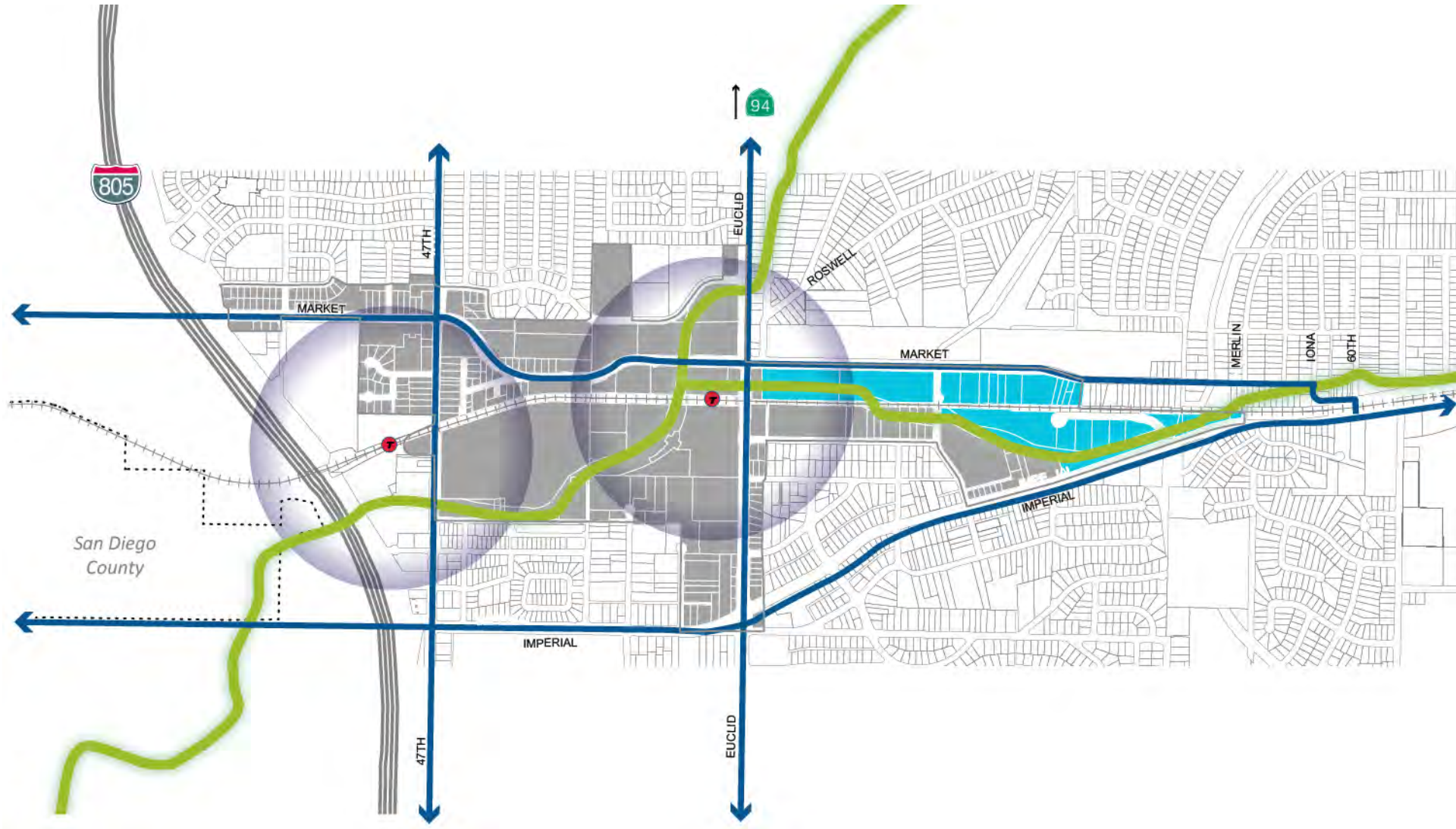
Intended for research and development uses and office flex space, as well as light industrial uses. This use accommodates service commercial, such as mechanic shops and also includes light manufacturing, warehousing, storage, distribution, research and development enterprises as well as secondary office space (with limited customer access) and supporting commercial uses for employees on-site.



## Business Park

- *Height: 1-2 stories*
- *Typologies: Research and development; flex office space; supporting retail*

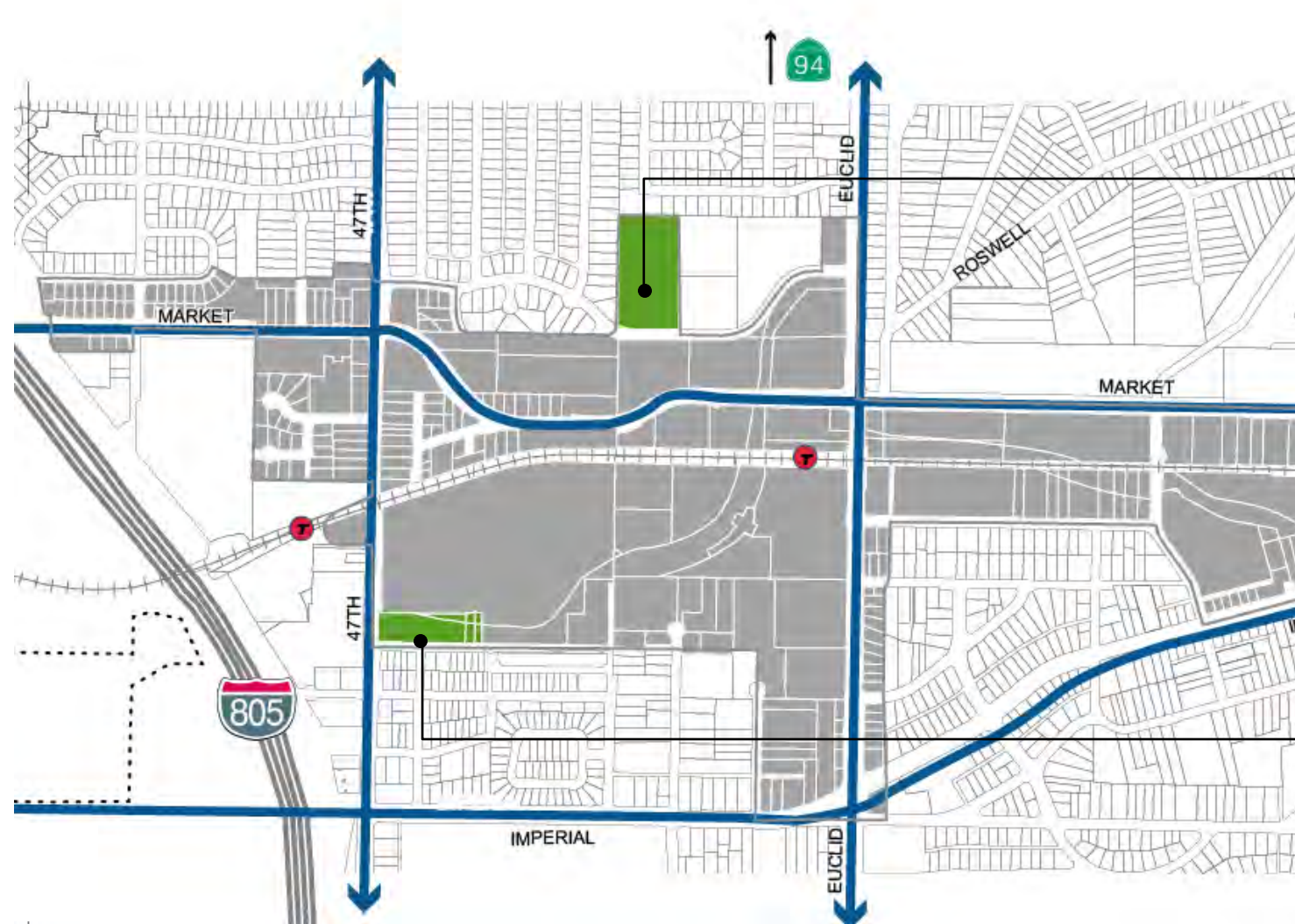
# BUSINESS PARK



*Proximity to Transit & Creek*



# PARKS



## Park / Recreation

Applies to both public and private recreational sites and facilities, including neighborhood parks, recreational centers, and other passive and active open space areas. It will allow for facilities and services to meet the recreational needs of the community as defined by the future Recreation Element.



**Location**

# PARKS

## Park / Recreation

Applies to both public and private recreational sites and facilities, including neighborhood parks, recreational centers, and other passive and active open space areas. It will allow for facilities and services to meet the recreational needs of the community as defined by the future Recreation Element.

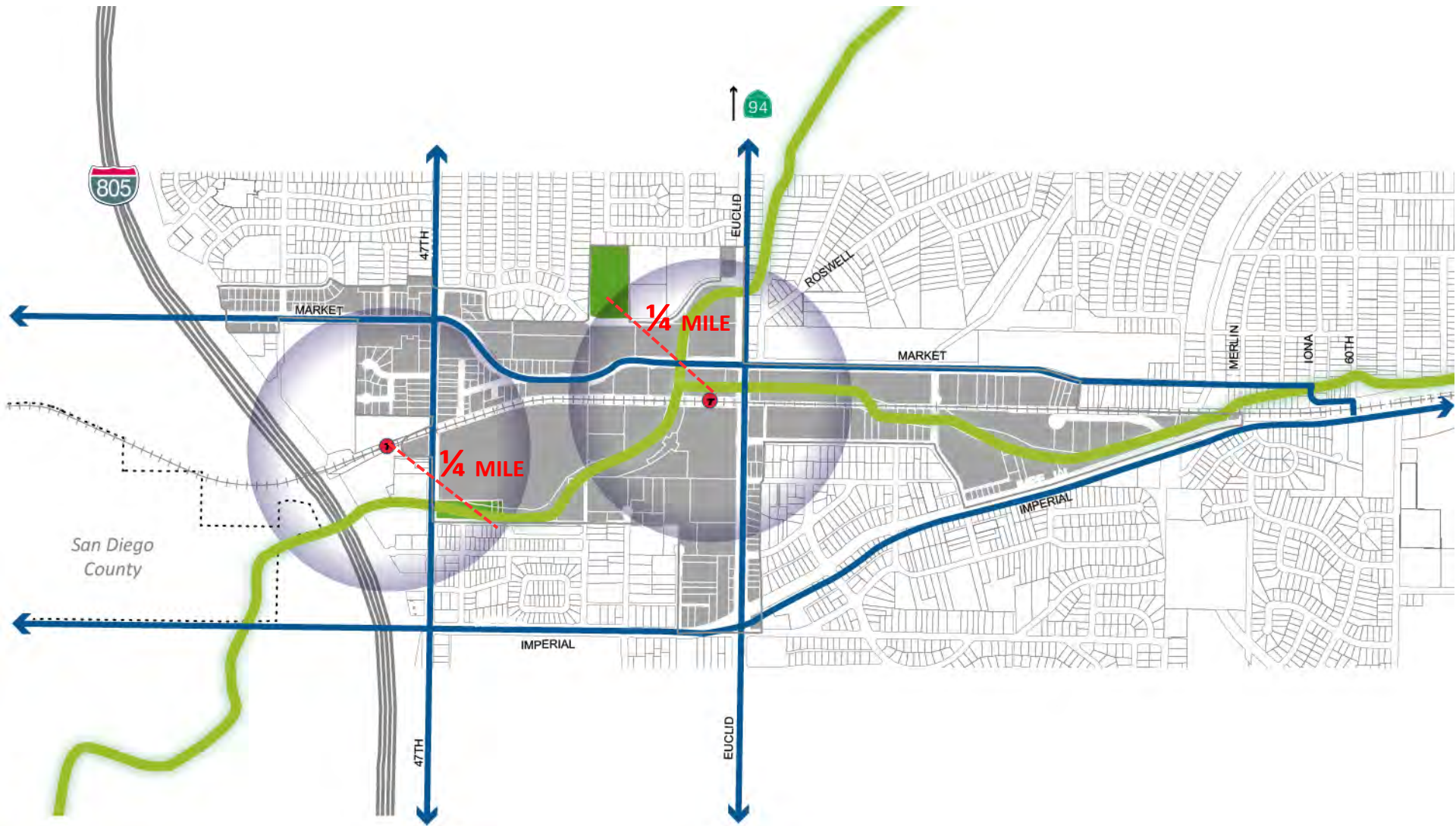


## Park/ Recreation

- *Typologies: Passive and active recreation; sports fields; neighborhood parks and play areas; community gardens*



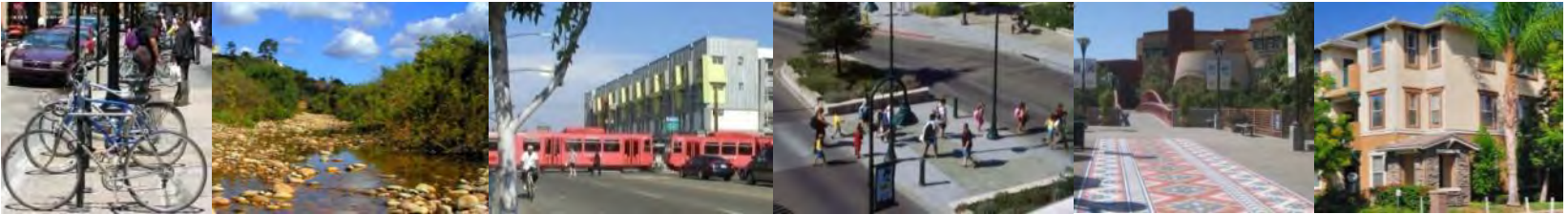
# PARKS + OPEN SPACE



*Proximity of Transit to Creek/ Parks*



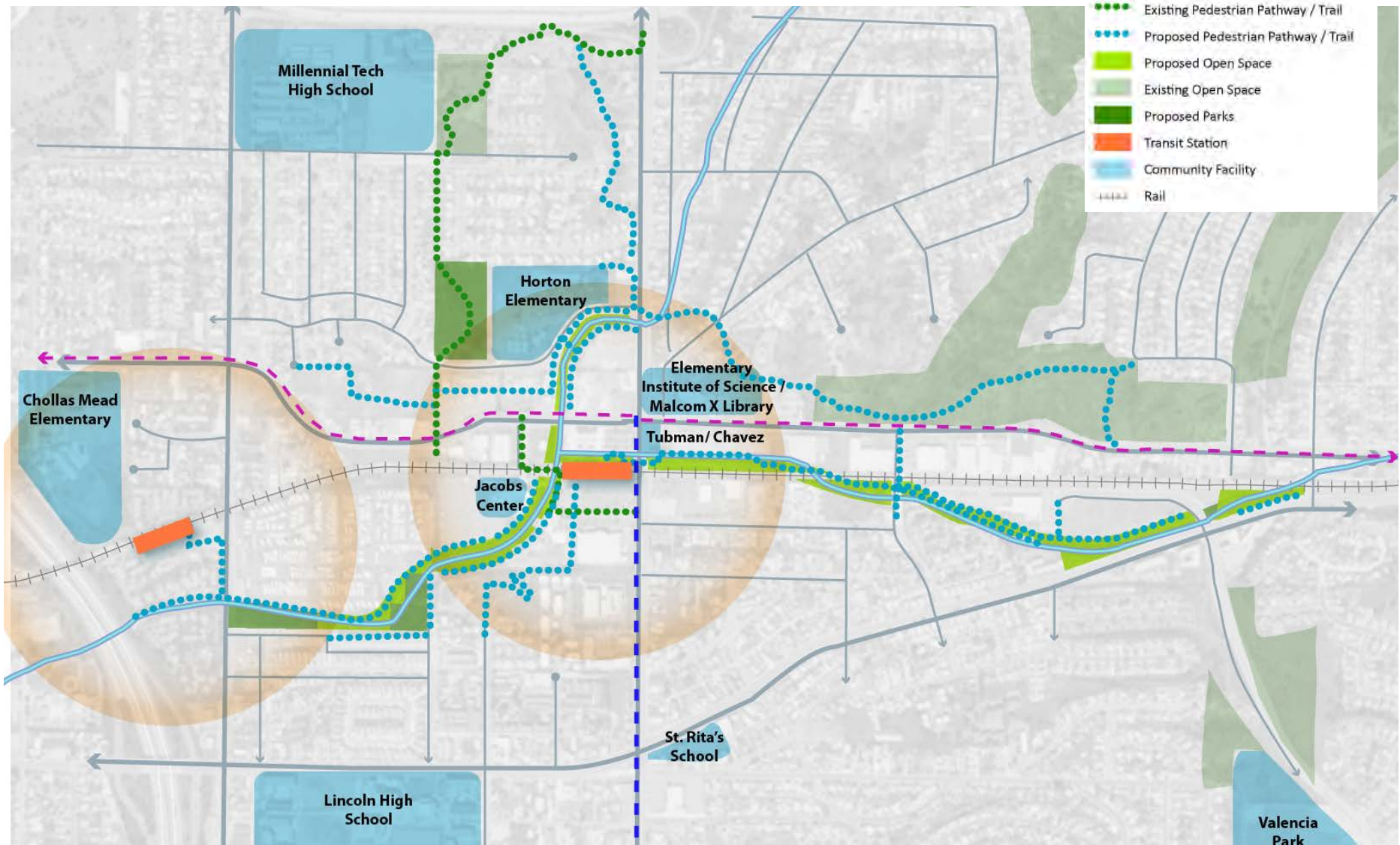
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# CHOLLAS CREEK

# MOBILITY AND THE CREEK

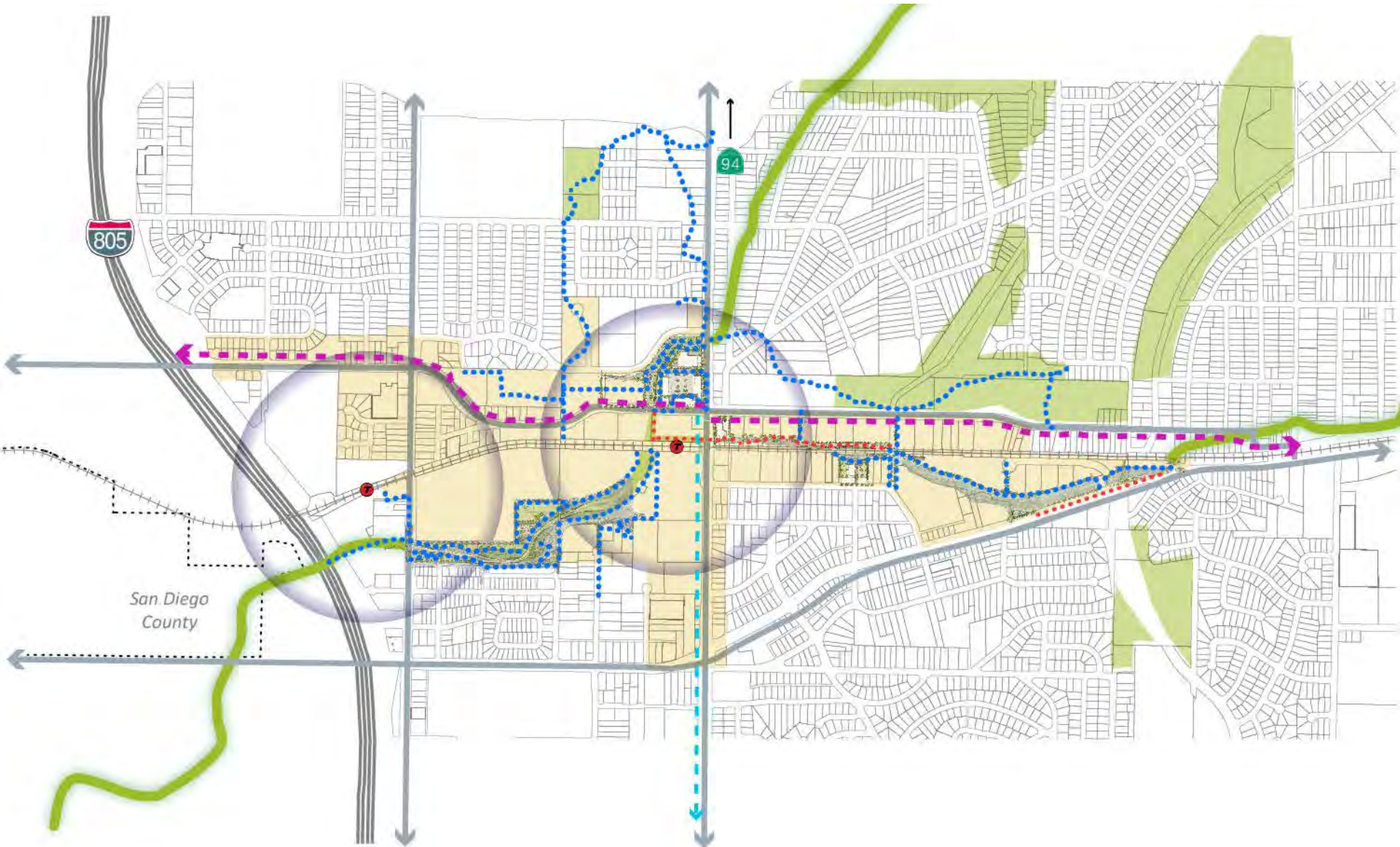
- Chollas Creek
- Streets
- Proposed Class II Bike Lane
- Proposed Class III Bike Lane (Sharrow)
- Existing Pedestrian Pathway / Trail
- Proposed Pedestrian Pathway / Trail
- Proposed Open Space
- Existing Open Space
- Proposed Parks
- Transit Station
- Community Facility
- Rail



*Proposed Mobility Network*



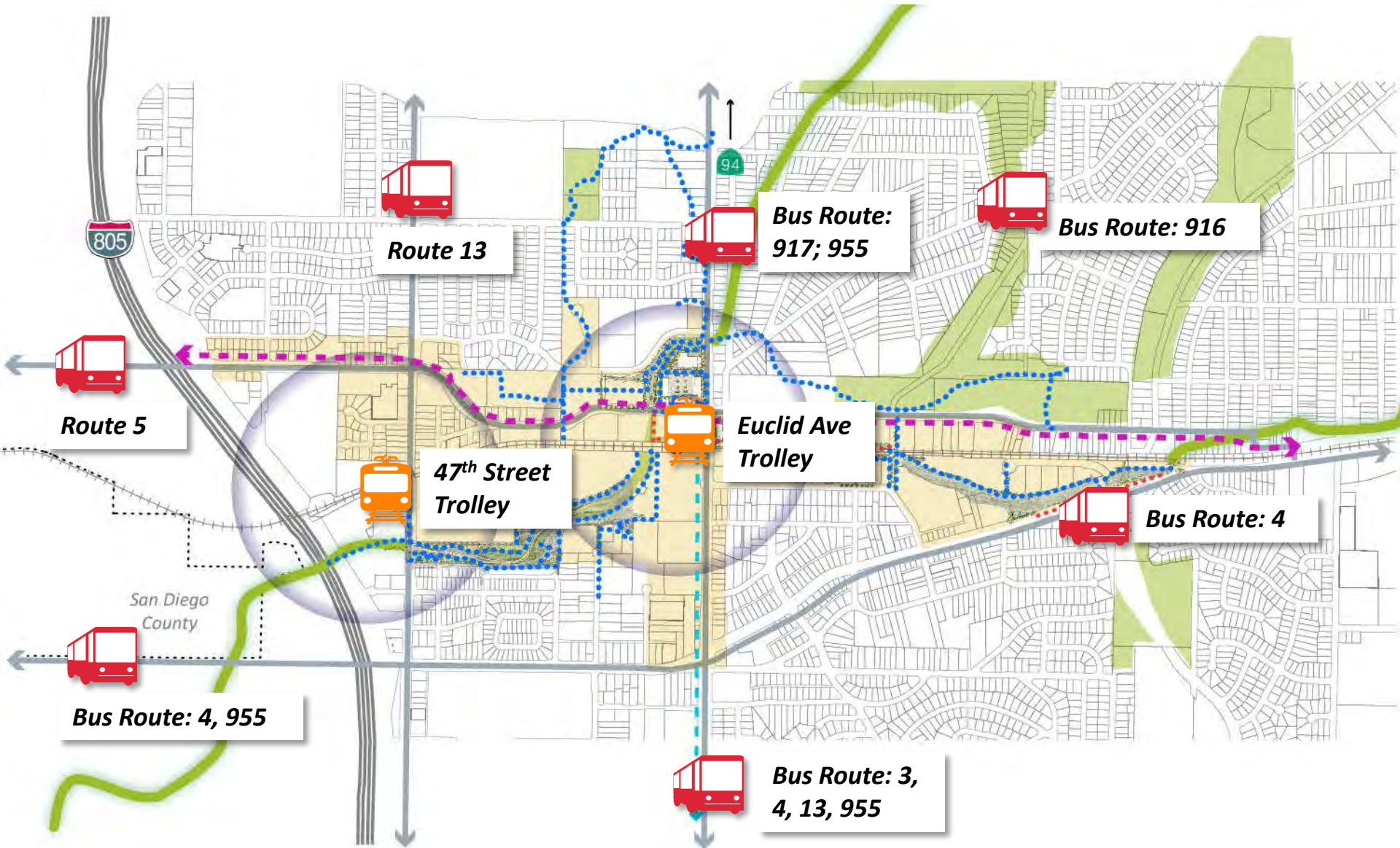
# CHOLLAS CREEK



*Enhanced Open Space Network*



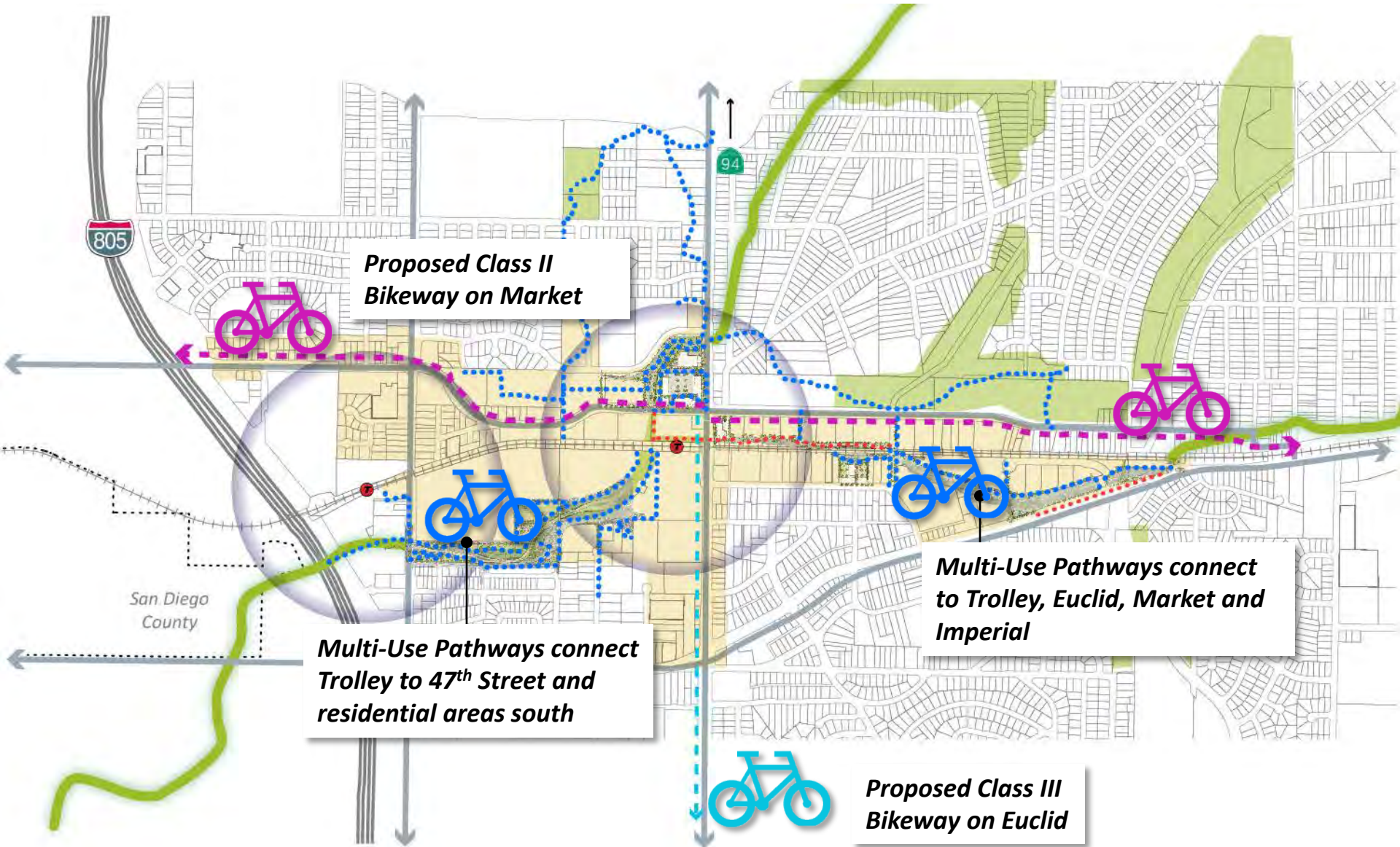
# CHOLLAS CREEK



**Enhanced Mobility Network**



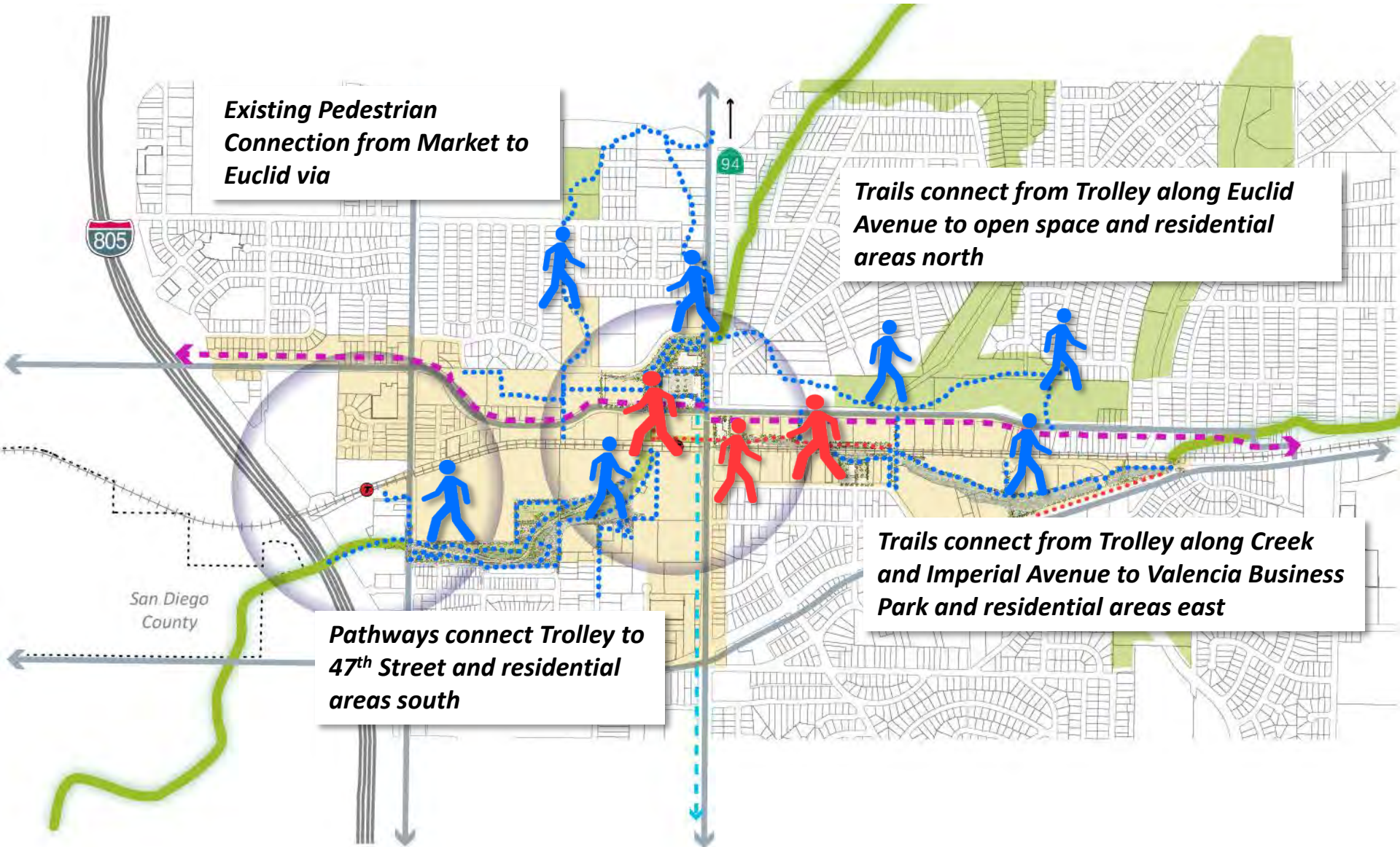
# CHOLLAS CREEK



## Enhanced Bicycle Connections

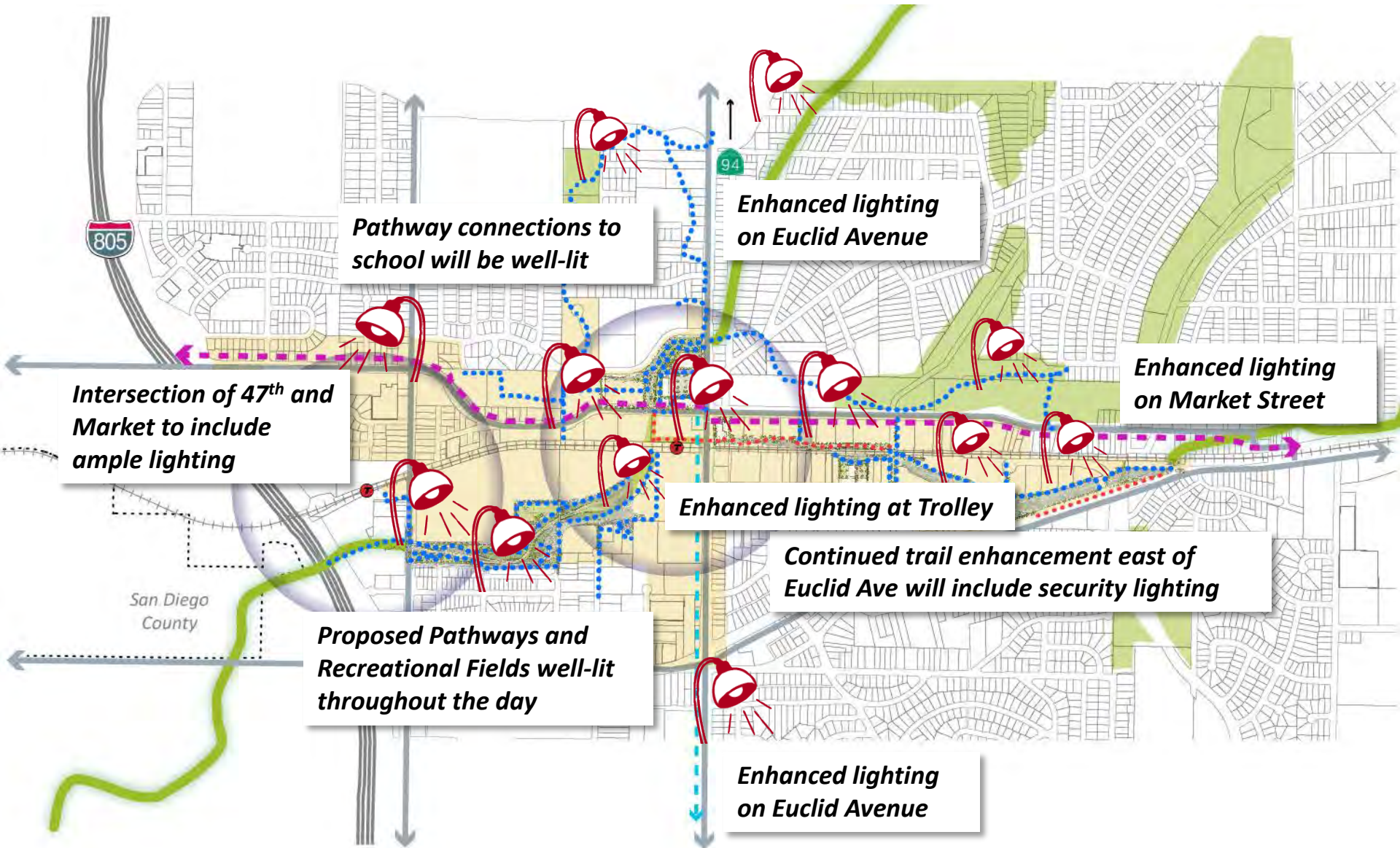


# CHOLLAS CREEK



## Enhanced Pedestrian Connections

# CHOLLAS CREEK



## *Enhanced Security and Lighting*



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LAND USE AND MOBILITY PLAN



# NEXT STEPS

## Community Workshop #2 July 2012

- *Mobility Recommendations*
- *Design Guidelines*
- *Final Plan*

Euclid + Market  
LAND USE AND MOBILITY PLAN



# FEEDBACK/Q&A