



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: September 26, 2018 REPORT NO. HO-18-086

HEARING DATE: October 3, 2018

SUBJECT: MPF 9212 Mira Este Ct. Process Three Decision

PROJECT NUMBER: [585617](#)

OWNER/APPLICANT: Mira Este Properties, LLC, Owner / Applicant

### SUMMARY

Issue: Should the Hearing Officer approve two Marijuana Production Facilities within an existing 15,950 square foot, two-story building located 9212 Mira Este Court in the IL-3-1 Zone within the Mira Mesa Community Plan area?

Staff Recommendation: Approve Conditional Use Permit No. 2065281.

Community Planning Group Recommendation: At the August 20, 2018 meeting of the Mira Mesa Community Planning Group, the Group voted 12-1-0 to recommend approval of the proposed project, provided that more information is given on butane safety (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 10, 2018, and the opportunity to appeal that determination ended July 24, 2018.

### BACKGROUND

The 0.60-acre site of the proposed project is located at 9212 Mira Este Court, in the IL-3-1 Zone of the Mira Mesa Community Plan (Attachment 1). The project site is designated Light Industrial within the Miramar Subarea of the Mira Mesa Community Plan (Attachment 2). The building was constructed in 1989 and is currently being used for light industrial and office use (Attachment 3). The purpose and intent of the IL-3-1 Zone is to accommodate a range of light industrial, office and commercial activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive

environment free from adverse impacts associated with some heavy industrial uses. The IL Zones are intended to permit a range of uses, including non-industrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

Marijuana Production Facilities (MPFs) are restricted to forty City-wide, within light and heavy industrial zones. MPFs require compliance with San Diego Municipal Code (SDMC) Section 141.1004, which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPFs also require a minimum distance requirement of 100 feet from a residential zone. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPFs must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

## DISCUSSION

### Project Description

A Conditional Use Permit is required pursuant to SDMC Section 126.0303 for a MPF. The project proposes a Conditional Use Permit for two MPFs to operate within Suite 100 and Suite 101. Suite 100 to comprise an operational area of 14,715 square feet and Suite 101 to comprise an operational area of 1,235 square feet. The facilities will be contained within an existing 15,950 square-foot industrial building located at 9212 Mira Este Court, in the Mira Mesa Community Plan area. The project proposes tenant improvements to the existing building to organize the interior spaces to facilitate operations including the manufacturing, storage, packaging and distribution of cannabis products. The 0.60-acre site is designated Light Industrial within the Miramar Subarea of the Mira Mesa Community Plan and subject to the IL-3-1 Zone requirements.

The project proposes interior improvements alterations that include non-load bearing partitions, doors, lighting, security cameras and system, millwork, finishes throughout and associated mechanical, electrical and plumbing improvements. Other minor site improvements are proposed consistent with the City of San Diego requirements. Minor exterior building alterations to remove storefront windows and infill opening with exterior wall finish will occur. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Public improvements would include reconstruction of an existing driveway along Mira Este Court per current City Standards, satisfactory to the City Engineer.

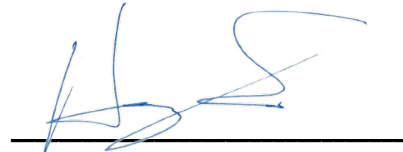
### Conclusion

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project complies with all development regulations of the IL-3-1 Zone and no deviations are required to approve the project. Staff has provided draft findings (Attachment 4) to support the proposed development and draft conditions of approval (Attachment 5). Staff is recommending the Hearing Officer approve the Project as presented.

ALTERNATIVES

1. Approve Conditional Use Permit No. 2065281, with modifications.
2. Deny Conditional Use Permit No. 2065281, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

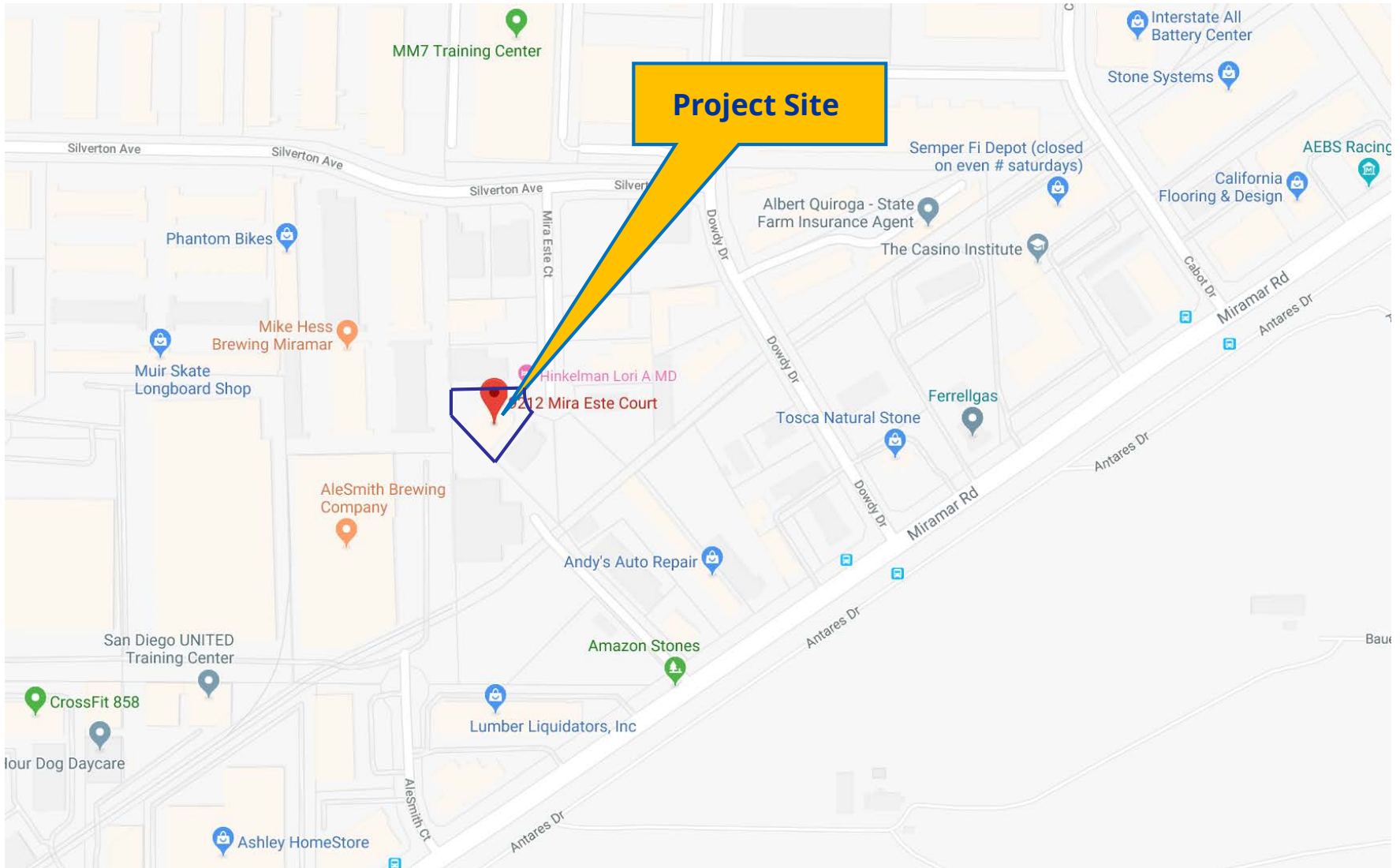


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Hugo Castaneda  
Development Project Manager

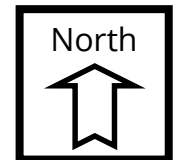
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption and Notice of Right to Appeal Environmental Determination
7. Ownership Disclosure Statement
8. Community Planning Group Recommendation
9. Project Plans

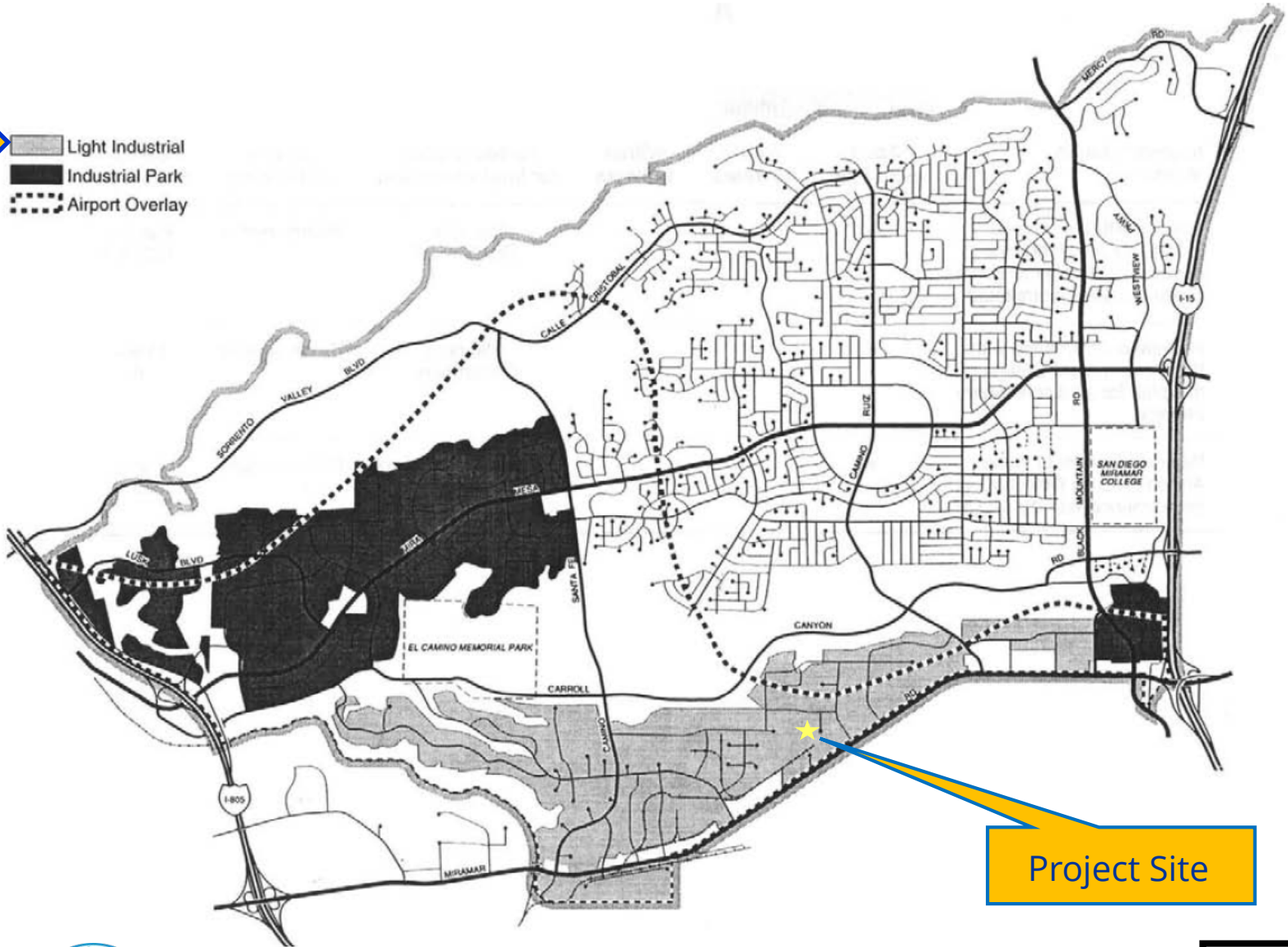


## Project Location Map

MPF 9212 Mira Este Court / 9212 Mira Este Court  
PROJECT NO. 585617



-  Light Industrial
-  Industrial Park
-  Airport Overlay

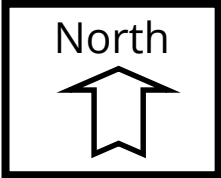


Project Site

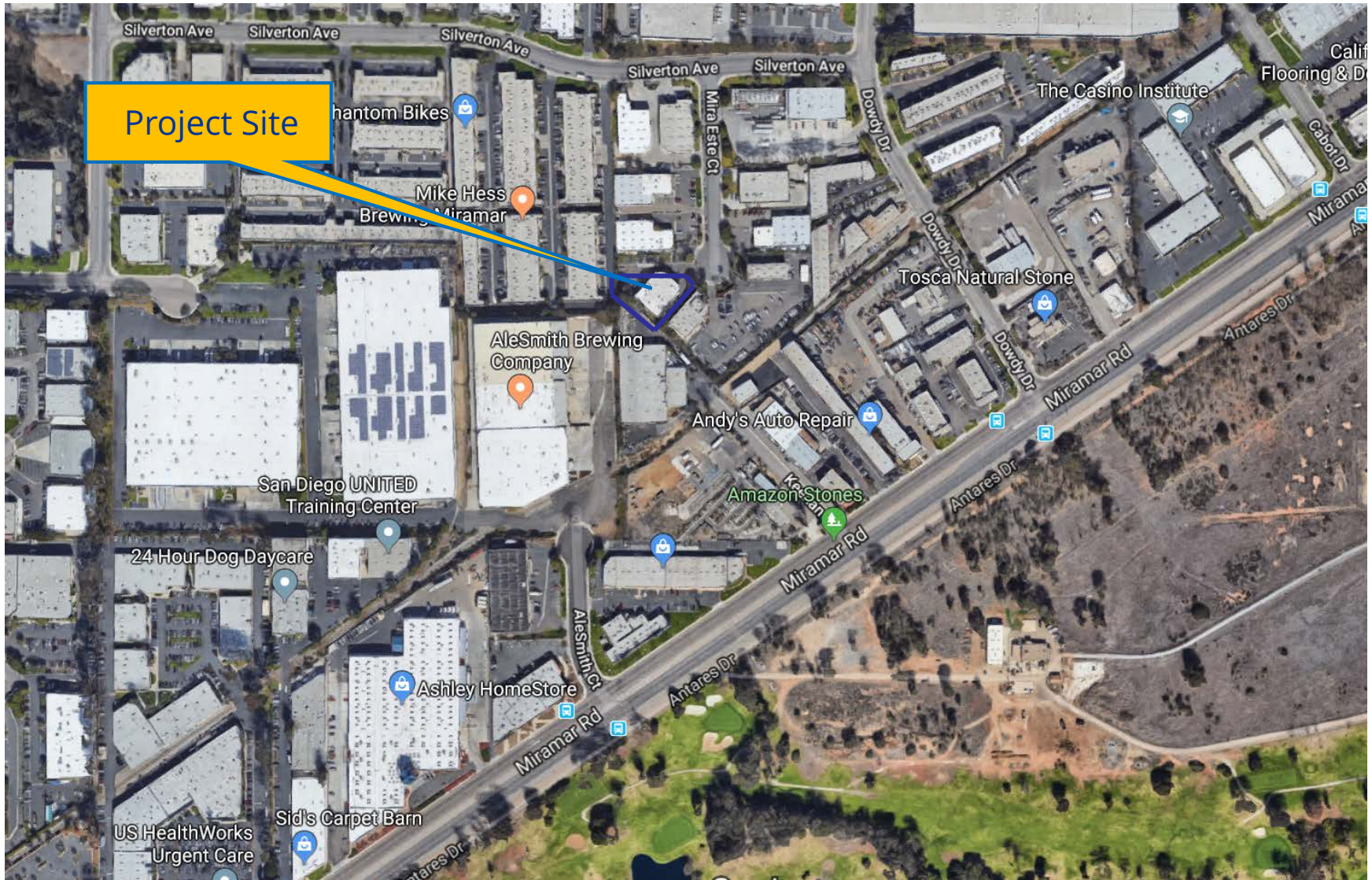


# Community Land Use Map

MPF 9212 Mira Este Court / 9212 Mira Este Court  
 PROJECT NO. 585617

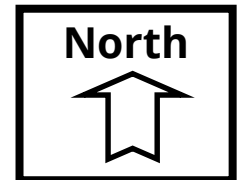






## Aerial Photograph

MPF 9212 Mira Este Court / 9212 Mira Este Court  
PROJECT NO. 585617



HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
CONDITIONAL USE PERMIT NO. 2065281  
**MPF 9212 MIRA ESTE CT PROJECT NO. 585617**

WHEREAS, MIRA ESTE PROPERTIES, LLC, a California limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to operate two Marijuana Production Facilities within an existing building, Suite 100 to comprise of an operational area of 14,715 square feet and Suite 101 to comprise of an operational area of 1,235 square feet within an existing 15,950 square-foot, two-story building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2065281), on portions of a 0.60-acre site;

WHEREAS, the project site is located at 9212 Mira Este Court in the IL-3-1 zone within the Mira Mesa Community Plan area;

WHEREAS, the project site is legally described as Lot 14 of Mira Este Business Park, in the City of San Diego, County of San Diego, State of California, according to Map No. 11683, filed in the office of the County Recorder of San Diego County, December 17, 1986.

WHEREAS, on July 10, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 3, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2065281 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 3, 2018.

**A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]**

**1. Findings for all Conditional Use Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The proposed project requests a Conditional Use Permit to operate two Marijuana Production Facilities (MPF's) within an existing 15,950 square-foot, two-story building located 9212 Mira Este Court. Suite 100 will comprise an operational area of 14,715 square feet and Suite 101 will comprise an operational area of 1,235 square feet. The 0.60-acre site is located within the IL-3-1 Zone within the Mira Mesa Community Plan.

The site is within the Light Industrial Land Use Area and the Miramar Subarea of the Mira Mesa Community Plan. The Light Industrial designation is intended to accommodate manufacturing, storage, warehousing, distribution and similar uses. The IL-3-1 Zone allows a mix of light industrial, office, and commercial uses. The proposed MPF's, and industrial use category, is a compatible use for this location with the Conditional Use Permit and is consistent with the community plan. Therefore, the proposed MPF's will not adversely affect the applicable land use.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project requests a Conditional Use Permit to operate two MPF's within an existing 15,950 square-foot, two-story building located at 9212 Mira Este Court. The 0.60-acre site is located within the IL-3-1 Zone within the Mira Mesa Community Plan. The building is currently being used for light industrial uses. The project proposes minor exterior alterations and interior improvements to include manufacturing, storage, packaging and distribution of cannabis products to State of California License outlets. No cultivation or retail sales are proposed. The proposed improvement will require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permits, satisfactory to the Building Official. Public improvements will include the removal and replacement of the existing driveway, adjacent to the site on Mira Este Court, per current City Standards.



MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC) Section 141.1004, which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance of 100 feet from a residential zone. The proposed MPF's comply with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed project will be required to comply with the development conditions as described in the Conditional Use Permit No. 2065281. The Conditional Use Permit No. 2065281 will be valid for five years and may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in the Conditional Use Permit No. 2065281. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area. Therefore, the proposed MPF's will not be detrimental to the public health, safety and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed project requests a Conditional Use Permit to operate two MPF's within an existing 15,950 square-foot, two-story building located at 9212 Mira Este Court. The 0.60-acre site is located within the IL-3-1 Zone within the Mira Mesa Community Plan. The site was developed on 1989. The project proposes minor exterior alterations and interior improvements, to include locker rooms, employee lounge, cleaning storage, solvent recovery area, solvent storage, butane extraction area, manufacturing area, dry storage, distribution area and packaging area.

MPF's are allowed in the IL-3-1 Zone of the Mira Mesa Community Plan with a Conditional Use Permit. The proposed use requires compliance with SDMC, Section 141.1004 and SDMC Chapter 4, Article 2, Division 15. SDMC Section 141.1004 requires a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. The proposed

MPF's comply with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements, expressed as conditions in the Permit, include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours.

The proposed MPF's are consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. Therefore, the proposed MPF's will comply with the regulations of the Land Development Code.

**d. The proposed use is appropriate at the proposed location.**

The project proposes to operate two MPF's within an existing 15,950 square-foot, two-story building located at 9212 Mira Este Court. The site and the surrounding parcels are located in the IL-2-1 and IL-3-1 Zones and is within the Light Industrial Land Use Area and the Miramar Subarea of the Mira Mesa Community Plan. The Light Industrial designation is intended to accommodate manufacturing, storage, warehousing, distribution and similar uses. The IL-3-1 Zone allows a mix of light industrial and office, and commercial uses. The proposed MPF's, classified as industrial, is consistent with the community plan designation.

The proposed MPF's are consistent with all land development regulations relevant for the site and use. No deviations are required or requested to approve the Conditional Use Permit. The proposed MPF's are a compatible use for this location with a Conditional Use Permit. Therefore, the proposed MPF's are an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2065281 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2065281, a copy of which is attached hereto and made a part hereof.

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Hugo Castaneda  
Development Project Manager  
Development Services

Adopted on: October 3, 2018

IO#: 24007599

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007599

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2065281  
**MPF 9212 MIRA ESTE CT., PROJECT NO. 585617**  
HEARING OFFICER

This Conditional Use Permit No. 2065281 ("Permit") is granted by the Hearing Officer of the City of San Diego to Mira Este Properties, LLC, a California limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0305. The 0.60-acre site is located at 9212 Mira Este Court in the IL-3-1 zone, within the Mira Mesa Community Plan area. The project site is legally described as Lot 14 of Mira Este Business Park, Map No. 11683, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 11683, filed in the office of County Recorder of San Diego County on December 17, 1986.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate two Marijuana Production Facilities within an existing 15,950 square-foot, two-story building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 3, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of two Marijuana Production Facilities within existing 15,950 square-foot, two-story building. Suite 100 comprise of an operational area of 14,715 square feet and Suite 101 comprise of an operational area of 1,235 square feet within an existing 15,950 square-foot building. Suite 100 and 101 operations shall include the storage, manufacturing and distribution of marijuana consistent with the requirements of State of California statues and California Departments of Food and Agriculture, Consumer Affairs and Public Health regulations; and the wholesale distribution and storage of marijuana products;
- b. Suite 100, Marijuana Production Facility operations within the 14,715 square feet area will include locker rooms, employee lounge, cleaning storage, solvent recovery area, solvent storage, butane extraction area, manufacturing area, dry storage, distribution area and packaging area for distribution of marijuana to State of California licensed marijuana outlets;



- c. Suite 101, Marijuana Production Facility operations within the 1,235 square feet area will include receiving area, butane extraction area, solvent recovery area and manufacturing area for distribution of marijuana to State of California licensed marijuana outlets;
- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 17, 2021.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on October 17, 2023. Upon expiration of this Permit, the facilities and improvements described herein, except for the public improvements, shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**BUILDING OFFICIAL REQUIREMENTS:**

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the driveway (24 feet wide), adjacent to the site on Mira Este Court, per current City Standards, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the water meter located within the driveway and for the sidewalk underdrain (D-27) in the Mira Este Court Right-of-Way.

15. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

17. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

18. A maximum of 16 employees shall be allowed on-site at any given time to correspond to the 16 provided parking spaces for the project.

19. All operations shall be conducted indoors within a secured structure. All equipment and storage shall be also located within a secure structure.

20. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.

21. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The

security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.

22. The name and emergency contact phone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public right-of-way to the address.

23. A permit shall be obtained as required pursuant to SDMC Chapter 4, Article 2, Division 15.

24. The sale of marijuana and marijuana products shall only be conducted by a marijuana outlet in accordance with SDMC Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than another marijuana production facility, a testing lab, or a marijuana outlet.

25. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.

26. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

27. The facility shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility to the satisfaction Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.



## ATTACHMENT 5

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 3, 2018 by Resolution No. (to be completed).

DRAFT

**ATTACHMENT 5**

Permit Type/PTS Approval No.: Conditional Use Permit No. 2065281  
Date of Approval: October 3, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Hugo Castaneda  
Development Project Manager

**NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Mira Este Properties, LLC**  
A California Limited Liability Company  
Owner / Permittee

By \_\_\_\_\_  
Name:  
Title:

**NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.**

## NOTICE OF EXEMPTION

*(Check one or both)*

TO:  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Name:** MPF 9212 Mira Este Ct

**Project No. / SCH No.:** 585617 / N/A

**Project Location-Specific:** 9212 Mira Este Court, San Diego CA, 92126

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** The project is requesting a Conditional Use Permit (CUP) for a Marijuana Production Facility (MPF) to operate within an existing 15,950 square foot building located at 9212 Mira Este Court in the Mira Mesa Community Plan area. Project proposes tenant improvements with no proposed development. Operations would include manufacturing, storage, and distribution of cannabis products to State of California licensed outlets. The 0.60-acre site is designated Light Industrial of the Miramar Subarea Plan and is subject to the IL-3-1 zone requirements. The project is also subject to Airport FAA Part 77 Noticing Area - Brown Field 485'-490' (Elevation at approx. 420' ASML), Airport Influence Area - MCAS Miramar Review Area 1, Airport Land Use Compatibility Overlay Zone - MCAS Miramar, and Council District 6.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Ninus Malan  
 9212 Mira Este Court  
 San Diego CA, 92126  
 (858) 373-8781

**Exempt Status:** (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: CEQA State Guidelines Section 15301, Existing Facilities

**Reasons why project is exempt:** The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, as included in the Project Description of this notice, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

**ATTACHMENT 6**


Lead Agency Contact Person: Rachael Lindquist

Telephone: (619) 446-5129

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 **CHRIS TRACY, AICP**  
**SENIOR PLANNER** 7/25/18

---

Signature/Title Date

Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:





THE CITY OF SAN DIEGO

Date of Notice: July 10, 2018

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007599

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**PROJECT NAME / NUMBER: MPF 9212 MIRA ESTE CT / 585617****COMMUNITY PLAN AREA:** MIRA MESA**COUNCIL DISTRICT:** 6**LOCATION:** 9212 MIRA ESTE CT, SAN DIEGO CA, 92126

**PROJECT DESCRIPTION:** The project is requesting a Conditional Use Permit (CUP) for a Marijuana Production Facility (MPF) to operate within an existing 15,950 square foot building located at 9212 Mira Este Court in the Mira Mesa Community Plan area. Project proposes tenant improvements with no proposed development. Operations would include manufacturing, storage, and distribution of cannabis products to State of California licensed outlets. The 0.60-acre site is designated Light Industrial of the Miramar Subarea Plan and is subject to the IL-3-1 zone requirements. The project is also subject to Airport FAA Part 77 Noticing Area - Brown Field 485'-490' (Elevation at approx. 420' ASML), Airport Influence Area - MCAS Miramar Review Area 1, Airport Land Use Compatibility Overlay Zone - MCAS Miramar, and Council District 6.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, Existing Facilities.**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, as included in the Project Description of this notice, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

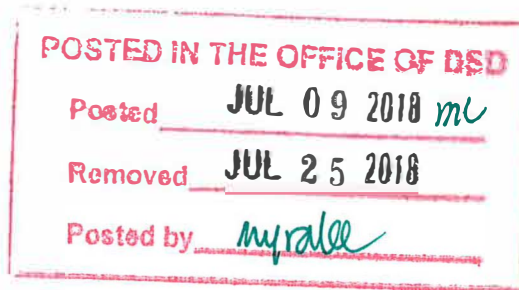
**DEVELOPMENT PROJECT MANAGER:** John Fisher  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER / EMAIL:** (619) 446-5231 / jsfisher@sandiego.gov

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On July 10, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 24, 2018). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





City of San Diego  
**Development Services**  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

THE CITY OF SAN DIEGO

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title**

**Project No. For City Use Only**

Mira Este CUP

**Project Address:**

9212 Mira Este Court, San Diego, CA 92126-6398

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title: Mira Este CUP	Project No. (For City Use Only)
---------------------------------	---------------------------------

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation    Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_

Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.   **Additional pages attached**    Yes    No

Corporate/Partnership Name (type or print):  
Mira Este Properties, LLC

Owner    Tenant/Lessee

Street Address:  
9212 Mira Mesa Court

City/State/Zip:  
San Diego, CA 92126-6398

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
(858) 373-8781

Name of Corporate Officer/Partner (type or print):  
Chris Hakim

Title (type or print):  
Partner

Signature : \_\_\_\_\_ Date: \_\_\_\_\_  
 11/15/2017

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
Mira Este Properties, LLC

Owner    Tenant/Lessee

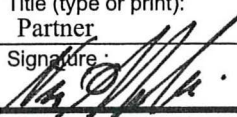
Street Address:  
9212 Mira Mesa Court

City/State/Zip:  
San Diego, CA 92126-6398

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
Ninus Malan

Title (type or print):  
Partner

Signature : \_\_\_\_\_ Date: \_\_\_\_\_  
 11/15/2017

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Mira Mesa Community Planning Group Meeting Minutes

1.	Robert Mixon	6.	Jeff Stevens	11.	Julia Schriber	16.	Bari Vaz
2.	Craig Radke	7.	Ted Brengel	12.	Wayne Cox	17.	Albert Lee
3.	Bruce Brown	8.	Marv Miles	13.	Tom Derr	18.	Chris Morrow
4.	Joe Punsalan	9.	Jon Labaw	14.	Craig Jackson	19.	Justin Mandelbaum
5.	Kent Lee	10.	Ralph Carolin	15.	Michael Linton	20.	

(HIGHLIGHTED INDICATES ATTENDANCE)

**Mira Mesa Community Planning Group Minutes**

Date/Time: Monday, June 18, 2018, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

**Call to Order/Confirm quorum:**

1. Non-Agenda Public Comments: None.
2. Modifications to the Agenda.
  1. City Council report by Luis Pallera moved to first on the agenda.
3. Adopt Previous Meeting Minutes (Action). Approved unanimously.
4. Report of the Chair
  1. All staff reports have been received for MPF's
  2. Community plan update – 3 year process
    1. Existing conditions report – Please take a look
  3. 3 Roots project
    1. Looked at low income housing portion of the project
      1. Due to financial constraints, it was not possible to spread out the low income housing site areas
      2. Will be asking for approval in October
  4. Mira Mesa marketplace signs approved
  5. No environmental review required for any MPF
5. Old Business
  1. Mira Mesa Community Plan Update – Alex Frost
    1. Community workshop on Oct 11
    2. Please see the website for documents and the presentation that was shown Planmiramesa.org
  2. Mesa Rim Climbing Center/Project No. 607546 – Glenn Linthicum (Action)
    1. Built in 2009 – Existing use was 80% gym, 20% office use;
    2. Action: Jon Labaw/Chris Morrow; Approved 13-0-0
  3. 4930 Directors Place Substantial Conformance Review – Michael Asaro (Action)
    1. HCP – Life Science Public traded REIT Life Science focus

## Mira Mesa Community Planning Group Meeting Minutes

2. 600,000 Sorrento Mesa SF
3. 5 story building uses all FAR
4. Ratio of Lab to Office space? Generally speaking 50/50
5. City response to SCR?
  1. Landscaping/Storm Water/Brush Management
6. Concern from Flightpath?
  1. Compatible with 1996 plan (APZ 2)
7. Action: Ted Brengel/Craig Jackson; Approved 13-0-0
4. MPF Subcommittee Report – Craig Jackson
  1. None adequately addressed impacts to community
5. MPF 585533 - 7542 Trade Street (Action) – Jessica McElfresh
  1. Manufacturing/Distribution
  2. Closed loop system/carbon dioxide
  3. 7350 SF, Existing Building
  4. Improve driveway and update parking to current code
  5. Comments
    1. Is the site operational currently?
      1. Not for over a month
    2. Any studies done on volatility/safety issues?
      1. Yes, can provide as requested
    3. Can you have multiple licenses for uses?
      1. Yes
    4. Is same air filtration system going to be in place?
      1. Yes, same method, but needs to be fixed
    5. Ted Brengel/Chris Morrow – Note odors have been reports, condition that odor control be improved. Acceptable subject to odor mitigation control. (As reported by adjacent businesses) 13-0-0 Approved.
6. MPF 585617 - 9212 Mira Este Ct (Action) – Gina Austin
  1. This is an existing location for medical manufacturing/distribution
  2. Adding Production to use type
  3. 15,950 SF
  4. Seeking CUP approval
  5. Will use butane
  6. Craig Jackson - Unacceptable due to inadequate information
    1. Action: Ted Brengel/Chris Morrow move to approve provided that more information is given on butane safety(12-1-0) (Craig Jackson voted against) Approved
7. MPF 585651 - 7755 Arjons Drive (Action) – Marty Reed
  1. Manufacturing
  2. Action: Motion to approve – Jon Labaw/Chris Morrow – 12-0-0 Approved
8. MPF 585503 - 7745 Arjons Drive (Action) - Gina Austin
  1. Cultivation/Distribution
  2. 12,393 SF
  3. No volatile solids
  4. Action: Jon Labaw/Bari Vaz (13-0-0) Approved
9. MPF 585486 - 7740 Formula Place (Action) – Joe Esposito
  1. Use: Bakery
  2. Action: Jon Labaw/Craig Jackson; 12-0-0 Approved

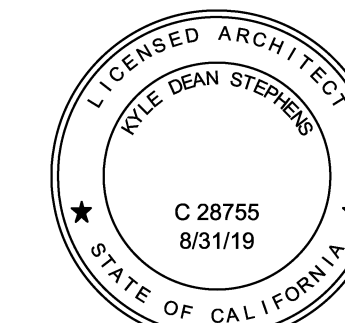


Mira Mesa Community Planning Group Meeting Minutes

10. MPF 585583 – 7830 Trade Street (Action) – Joe Esposito
    1. Use: Bakery
    2. Minor site improvements (screening)
    3. Action: Craig Jackson/Jon Labaw; 12-0-0 Approved
  11. MPF 585509 - 5752 Oberlin Drive Suite #111 (Action) – Bert Telles
    1. CUP permit
    2. 964 SF
    3. Use: Laboratory
    4. Negative pressure design HVAC system
    5. Acceptable with a condition that a minor oriented business is not within the 1000' radius. 5627 Oberlin. Action: Jon Labaw/Craig Radke; 12-0-0 Approved
  12. MPF 585637 – 7540 Trade Street (Action) - Jessica McElfresh
    1. Non volatile manufacturing/distribution
    2. 5,557 SF
    3. Not operating currently
    4. Action: Craig Jackson/Justin Mandelbaum; Motion to approve 13-0-0.
  13. MPF 585402 - 9938 Mesa Rim Road (Action) – Kent Costi
    1. Use: Cultivation/Manufacturing
    2. 14,000 SF
    3. Ethanol Drying system
    4. Action: Ted Brengel/Jon Labaw; 12-0-0 Approved
  14. MPF 585902 – 7720 Kenamar Court (Action) – Jessica McElfresh
    1. Distribution/Cultivation/Manufacturing
    2. 60,431 SF
    3. Minor site improvements
    4. Action: Craig Jackson – Move to defer to next month because of the inadequacy of information provided.
6. New Business - none
  7. Elected Officials/Government Agencies – no reports
8. Announcements: None.
9. Reports: None.
10. Adjourn 9:30 PM.



1350 COLUMBIA ST. SUITE 702 SAN DIEGO, CA 92101 TEL (619) 230-1088 FAX (619) 230-1089



CLIENT:

MIRA ESTE PROPERTIES, LLC

9212 MIRA ESTE COURT SAN DIEGO, CA 92126

PROJECT:

MIRA ESTE CUP

APN: 343-082-49-00 9212 MIRA ESTE COURT SUITES 100 AND 101 SAN DIEGO, CA 92126-6398

REVISION ITEM DATE

Table with 3 columns: REVISION, ITEM, DATE. Contains 6 revision entries with symbols and dates.

THIS SET ISSUE DATE

Table with 2 columns: THIS SET, ISSUE DATE. Contains checkboxes for initial, full, resubmittal, and construction stages.

SHEET TITLE / CONTENTS

INDEX, LEGAL, MAP, DATA, INFO, SCOPE OF WORK, CALCS, TEAM & NOTES

TRH PROJECT#: 286-17 SCALE: AS NOTED DRAWN BY: TRH DATE DRAWN: 10/28/2017 CHECKED BY: KDS

SHEET: 1 OF: 10

A0.1

LEGAL DESCRIPTION

LOT 14 OF MIRA ESTE BUSINESS PARK, MAP NO. 11683, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11683, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 17, 1986.

PROJECT TEAM

Table listing project team members including Owner (Mira Este Properties, LLC), Designer (TRH, Inc.), and various contact information.

SITE DATA

Table containing site data such as General Plan Land Use (Industrial), Zoning (I-3-1), Airport FAA Part 77, and Geologic Hazard Cat. (53).

BUILDING DATA

Table detailing building construction (Type VB), existing buildings (1st and 2nd floor areas), and parking requirements.

BUILDING CODE

Table listing applicable building codes including 2016 California Building Code, Green Building Standards Code, and Fire Code.

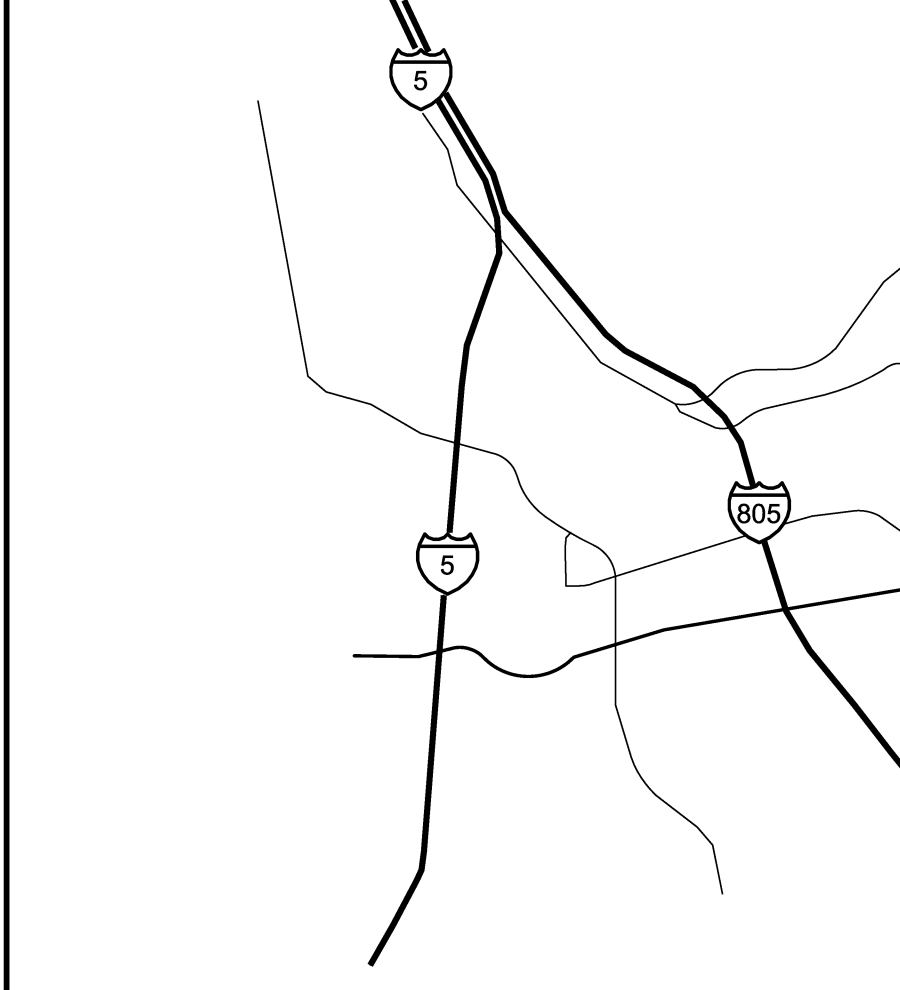
GRADING TABLE

Table showing grading calculations: Total Area to be Disturbed (0.0 S.F.), Total Amount of Cut (0.0 C.Y.), and Total Amount of Fill (0.0 C.Y.).

SETBACKS (TABLE 131-06C)

Table detailing setback requirements for Front Street, Side Yard, and Rear Yard.

VICINITY MAP



PRODUCTION FACILITY INFO

Table providing details for Tenant #1 and Tenant #2, including hours of operation, number of employees, and maximum number of employees onsite.

TYPE AND NUMBER OF DELIVERIES:

CARGO VAN DELIVERIES OF BIOMASS TWICE PER WEEK. US MAIL DELIVERIES OF PACKAGING MATERIAL TWICE PER WEEK. ARMORED VEHICLE DELIVERIES FOR THIS MPF FACILITY ONE PER DAY.

ACTIVITY DESCRIPTION: SEE SHEETS A2.1 & A2.3

Table detailing floor areas for the first and second floors, including security areas, locker rooms, and production/manufacturing space.

PARKING REQUIREMENTS

Table listing parking requirements: Auto Vehicular (15 required, 16 provided), Van Accessible (1 required, 1 provided), Motorcycle (2 required, 2 provided), Short-term Bicycle (2 required, 2 provided), Long-term Bicycle (1 required, 1 provided), and Carpool/Zero Emission (1 required, 1 provided).

CUP CONDITIONS

- List of 20 conditions for Conditional Use Permit (CUP), including security, lighting, signage, and compliance with local and state regulations.

BMP NOTES

- Notes regarding Best Management Practices (BMP) for erosion control, sediment transport, and stormwater management during construction.

SITE NOTES

- List of 22 site notes detailing construction requirements, including building address numbers, parking spaces, signage, and accessibility.

ACCESSIBILITY STATEMENTS

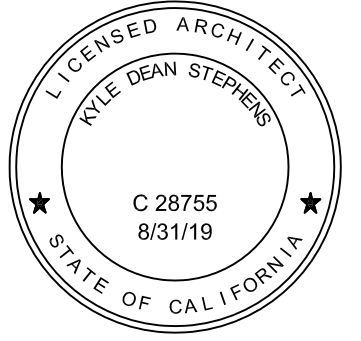
Two statements from the designer (Kyle Stephens) confirming compliance with accessibility requirements for the project.

Vertical text on the far left edge of the page containing a disclaimer about the use of the drawings and the responsibility of the user.





**TRH**  
INC.  
1350 COLUMBIA ST.  
SUITE 702  
SAN DIEGO, CA 92101  
TEL (619) 230-1088  
FAX (619) 230-1089



CLIENT:

**MIRA ESTE PROPERTIES, LLC**

9212 MIRA ESTE COURT  
SAN DIEGO, CA 92126

PROJECT:

**MIRA ESTE CUP**

APN: 343-082-49-00  
9212 MIRA ESTE COURT  
SUITES 100 AND 101  
SAN DIEGO, CA 92126-6398

REVISION ITEM DATE

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
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THIS SET ISSUE DATE

□	INITIAL SUBMITTAL	11/16/2017
■	FULL SUBMITTAL	11/30/2017
■	RESUBMITTAL 1	02/15/2018
■	RESUBMITTAL 2	05/11/2018
■	RESUBMITTAL 3	06/15/2018
□	CONSTRUCTION	
□	AS-BUILT	

SHEET TITLE / CONTENTS

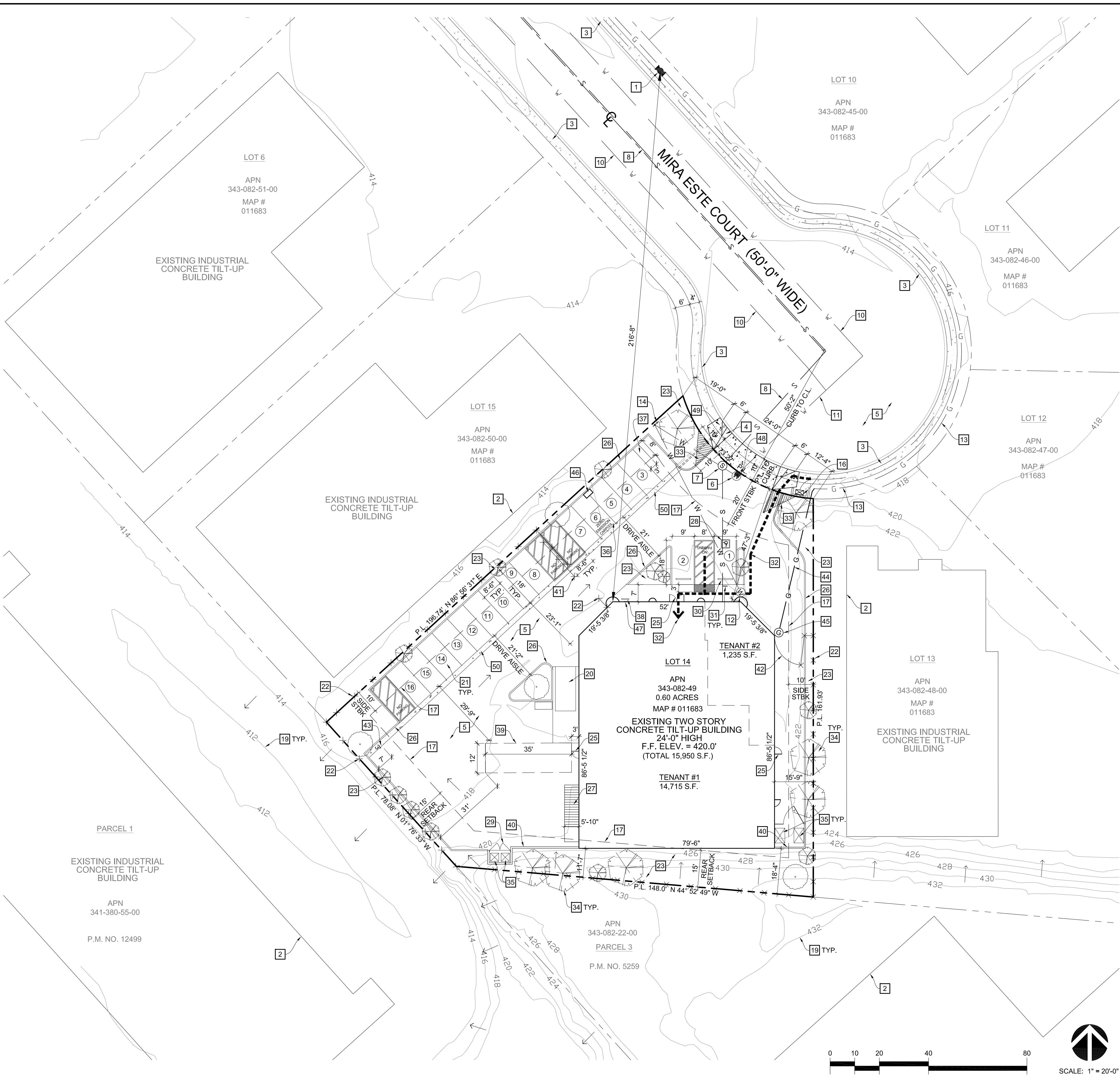
**EXISTING SITE PLAN, LEGEND & KEYNOTES**

TRH PROJECT#: 286-17  
SCALE: AS NOTED  
DRAWN BY: TRH  
DATE DRAWN: 10/28/2017  
CHECKED BY: KDS

SHEET: 2 OF: 10

**A1.1**

**EXISTING SITE PLAN**



**SITE KEYNOTES**

- 1 EXISTING FIRE HYDRANT - V.I.F.
- 2 EXISTING ADJACENT BUILDING - NOT-A-PART
- 3 EXISTING CONCRETE CURB, GUTTER & SIDEWALK TO REMAIN
- 4 RECONSTRUCT EXISTING DRIVEWAY WITH NEW 24'-0" WIDE CITY STANDARD DRIVEWAY PER SDG-163
- 5 EXISTING ASPHALT PAVEMENT TO REMAIN
- 6 EXISTING WATER METER LOCATION - V.I.F.
- 7 EXISTING SEWER P.O.C. - V.I.F.
- 8 EXISTING SEWER MAIN - V.I.F.
- 9 EXISTING SEWER LATERAL - V.I.F.
- 10 EXISTING WATER MAIN - V.I.F.
- 11 EXISTING WATER LATERAL - V.I.F.
- 12 EXISTING WATER METER - V.I.F.
- 13 EXISTING 2" PX GAS LINE PER SDG&E - V.I.F.
- 14 EXISTING BACKFLOW PREVENTER - V.I.F.
- 15 EXISTING ELECTRICAL METERS TO REMAIN - V.I.F.
- 16 EXISTING SDG&E ELECTRICAL TRANSFORMER - V.I.F.
- 17 EXISTING SETBACK LINE
- 18 EXISTING CONCRETE PAVEMENT TO REMAIN
- 19 EXISTING TOPOGRAPHIC CONTOUR LINES - FOR REFERENCE ONLY
- 20 EXISTING RAMP TO REMAIN
- 21 EXISTING CONFORMING STANDARD VEHICULAR PARKING SPACE TO REMAIN
- 22 EXISTING FENCE TO REMAIN
- 23 EXISTING CONFORMING LANDSCAPE AND IRRIGATION TO REMAIN
- 24 EXISTING CONFORMING BUILDING CONCRETE COLUMN TO REMAIN
- 25 EXISTING CONFORMING EXTERIOR DOOR TO REMAIN
- 26 EXISTING CONFORMING 6" HIGH CURB TO REMAIN
- 27 EXISTING CONFORMING EXTERIOR STAIRS TO REMAIN
- 28 EXISTING CONFORMING 9' x 18' VAN ACCESSIBLE PARKING SPACES PER CBC 11B-208, 11-B-208.2 & 11B-208.2.4
- 29 EXISTING CONFORMING TRASH ENCLOSURE WITH METAL DOORS
- 30 EXISTING CONFORMING 6" CONCRETE WHEELSTOP
- 31 EXISTING CONFORMING ACCESSIBLE SIGNS TO REMAIN
- 32 EXISTING CONFORMING ACCESSIBLE PATH OF TRAVEL PER LEGEND
- 33 PROPOSED VISIBILITY TRIANGLES PER LEGEND
- 34 EXISTING CONFORMING TREES TO REMAIN PER LEGEND - V.I.F.
- 35 EXISTING CONFORMING REFUSE AND RECYCLABLES STORAGE CONTAINERS TO REMAIN
- 36 EXISTING DESIGNATED ZERO EMISSION/CARPOOL PARKING SPACE
- 37 PROPOSED (2) 3' x 8' MOTORCYCLE PARKING SPACES PER SDMC SECTION 142.0530(f)(g)
- 38 EXISTING SHORT-TERM BICYCLE RACK
- 39 PROPOSED 12' X 35' LOADING/UNLOADING AREA WITH MINIMUM 14' VERTICAL CLEARANCE
- 40 EXISTING RETAINING WALL TO REMAIN
- 41 EXISTING SLIDING GATE WITH KNOX BOX TO REMAIN OPEN DURING BUSINESS HOURS
- 42 EXISTING SWINGING GATE WITH KNOX BOX TO REMAIN OPEN DURING BUSINESS HOURS
- 43 PROPOSED (2) LONG-TERM BICYCLE SPACE PERMANENT ENCLOSURES PER SDMC SECTION 142.0530(e)(2)(b)
- 44 PROPOSED GAS LINE
- 45 PROPOSED GAS METER PER SDG&E
- 46 PROPOSED ELECTRIC VEHICLE CHARGING STATION
- 47 PROPOSED BICYCLE PARKING SIGN CONFORMING TO CRITERIA #5
- 48 PROPOSED TRAFFIC GRATE COVER PER CITY STANDARDS
- 49 PROPOSED NEW SIDEWALK UNDERDRAIN (D-27) - PROVIDE REQUIRED EMRA PER CITY OF SAN DIEGO
- 50 EXISTING RAINBOW GUTTER DRAINING TO THE NEW SIDEWALK UNDERDRAIN

**SITE LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING SETBACK LINE
- ⊙ EXISTING LIGHT POLE & FIXTURE
- ⊕ EXISTING FIRE HYDRANT
- # KEYNOTE SYMBOL THIS SHEET
- # VEHICULAR PARKING SPACE PER CITY STANDARDS
- ⊕ EXISTING GAS METER TO REMAIN - V.I.F.
- ⊕ EXISTING WATER METER TO REMAIN - V.I.F.
- ⊕ EXISTING SEWER POINT OF CONNECTION - V.I.F.
- ACCESSIBLE ROUTE OF TRAVEL - MAXIMUM 2.1% CROSS SLOPE PER CBC 11B - 403.3. SURFACES SHALL BE STABLE, FIRM & RESISTANT MATERIAL (CBC 11B - 302.1)
- 10' x 10' VISIBILITY TRIANGLES. NO FENCES/SHRUBS HIGHER THAN 24" ARE PERMITTED IN THIS AREA
- EXISTING CONCRETE PAVEMENT PER CITY STANDARDS
- NEW CONCRETE DRIVEWAY PER SDG-163 - SEE SHEET A1.2
- EXISTING DIRECTION OF DRAINAGE
- ⊕ EXISTING CANOPY TREE TO REMAIN
- ⊕ EXISTING PALM TREE TO REMAIN
- EXISTING CONTOUR LINE NOT TO BE DISTURBED
- EXISTING FENCE TO REMAIN

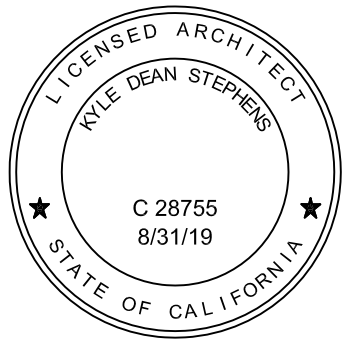


All ideas, designs, arrangements, and plans indicated on these drawings are owned by, and property of, TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



I N C.

1350 COLUMBIA ST.  
SUITE 702  
SAN DIEGO, CA 92101  
TEL (619) 230-1088  
FAX (619) 230-1089



CLIENT:

**MIRA ESTE PROPERTIES, LLC**

9212 MIRA ESTE COURT  
SAN DIEGO, CA 92126

PROJECT:

**MIRA ESTE CUP**

APN: 343-082-49-00  
9212 MIRA ESTE COURT  
SUITES 100 AND 101  
SAN DIEGO, CA 92126-6398

REVISION ITEM DATE

REVISION	ITEM	DATE
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<input type="checkbox"/>	INITIAL SUBMITTAL	11/16/2017
<input checked="" type="checkbox"/>	FULL SUBMITTAL	11/30/2017
<input checked="" type="checkbox"/>	RESUBMITTAL 1	02/15/2018
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<input checked="" type="checkbox"/>	RESUBMITTAL 3	06/15/2018
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	AS-BUILT	

SHEET TITLE / CONTENTS

**EXISTING SITE PLAN, LEGEND & KEYNOTES**

TRH PROJECT#: 286-17  
SCALE: AS NOTED  
DRAWN BY: TRH  
DATE DRAWN: 10/28/2017  
CHECKED BY: KDS

SHEET: 3 OF: 10

**A1.2**

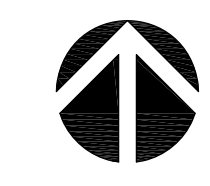
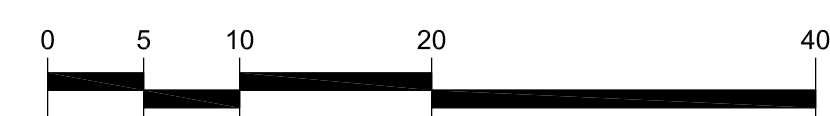
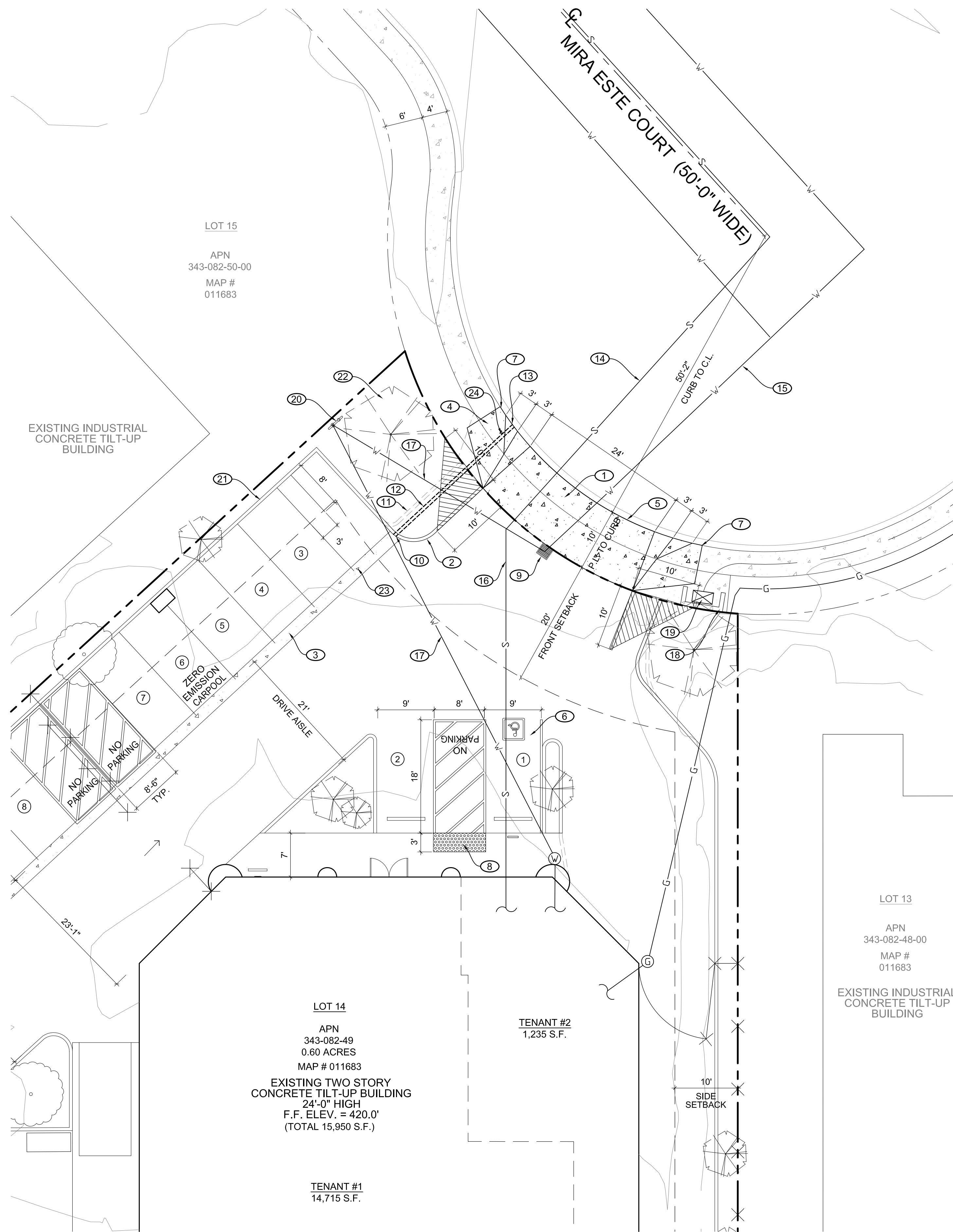
**SITE KEYNOTES**

- 1 PROPOSED 24' COMMERCIAL DRIVEWAY PER SDG-163
- 2 PROPOSED 6" CURB PER SDG-150
- 3 EXISTING CONCRETE SWALE TO REMAIN
- 4 PROPOSED 4' WIDE (MIN.) SIDEWALK PER SDG-155
- 5 PROPOSED 0" CURB
- 6 EXISTING ACCESSIBLE PARKING PER SDM-117
- 7 PROPOSED 6" CURB & GUTTER PER SDRSD G-2
- 8 PROPOSED TRUNCATED DOMES PER SDRSD G-30
- 9 PROPOSED TRAFFIC GRATE COVER FOR EXISTING WATER METER
- 10 PROPOSED SWALE INLET BELOW CURB
- 11 REMOVED EXISTING ASPHALT CURB
- 12 PROPOSED DRAINS BELOW GRADE
- 13 PROPOSED DRAINS OUTLET BELOW CURB
- 14 EXISTING SEWER LINE
- 15 EXISTING WATER LINE
- 16 EXISTING PRIVATE SEWER LINE
- 17 EXISTING PRIVATE WATER LINE
- 18 EXISTING RETAINING WALL
- 19 EXISTING SDG&E TRANSFORMER
- 20 EXISTING BACKFLOW TO REMAIN
- 21 EXISTING ASPHALT CURB TO REMAIN
- 22 EXISTING TREE TO REMAIN
- 23 EXISTING RAINBOW GUTTER DRAINING TO THE NEW SIDEWALK UNDERDRAIN
- 24 PROPOSED NEW SIDEWALK UNDERDRAIN (D-27) - PROVIDE REQUIRED EMRA PER CITY OF SAN DIEGO

**SITE LEGEND**

SEE SHEET A1.1

**PARTIAL SITE PLAN**



SCALE: 1" = 10'-0"

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INC.  
1350 COLUMBIA ST.  
SUITE 702  
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TEL (619) 230-1088  
FAX (619) 230-1089



CLIENT:

**MIRA ESTE PROPERTIES, LLC**

9212 MIRA ESTE COURT  
SAN DIEGO, CA 92126

PROJECT:

**MIRA ESTE CUP**

APN: 343-082-49-00  
9212 MIRA ESTE COURT  
SUITES 100 AND 101  
SAN DIEGO, CA 92126-6398

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<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

SHEET TITLE / CONTENTS

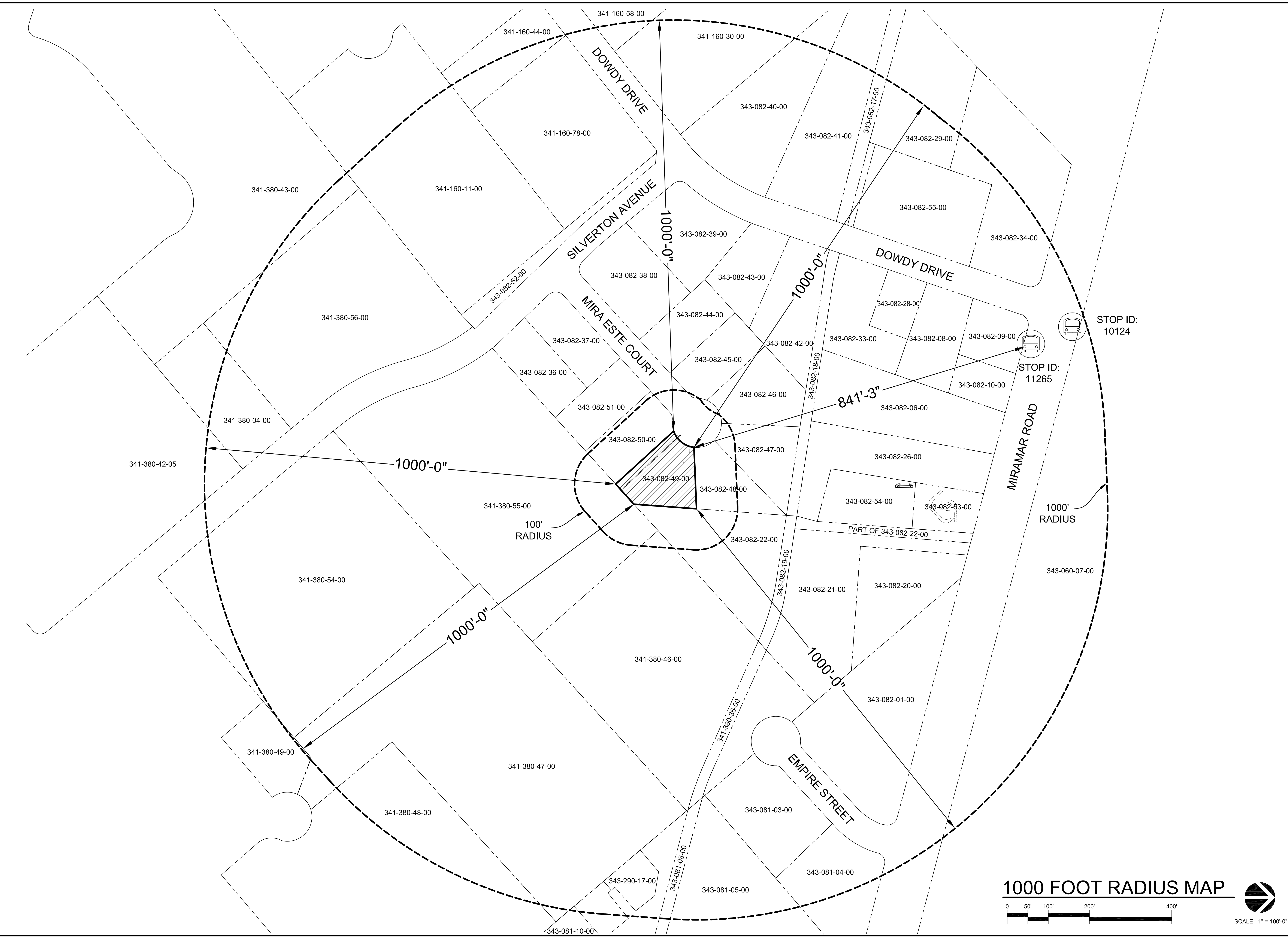
**1000 FOOT RADIUS MAP**

TRH PROJECT#: 286-17  
SCALE: AS NOTED  
DRAWN BY: TRH  
DATE DRAWN: 10/28/2017  
CHECKED BY: KDS

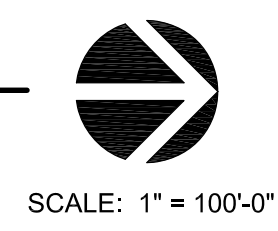
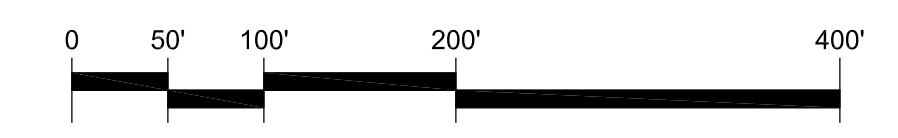
SHEET: 4 OF: 10

**A1.3**

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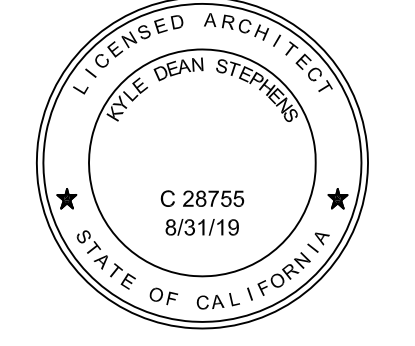
**1000 FOOT RADIUS MAP**







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 SAN DIEGO, CA 92101  
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EXISTING FIRST FLOOR PLAN

EXISTING KEYNOTES

- 1 EXISTING EXTERIOR CONCRETE TILT-UP WALL TO REMAIN
- 2 EXISTING ARCHITECTURAL COLUMN TO REMAIN
- 3 EXISTING INTERIOR 1 HOUR RATED WALL TO REMAIN
- 4 EXISTING INTERIOR WALL TO REMAIN
- 5 EXISTING INTERIOR METAL COLUMNS TO REMAIN
- 6 EXISTING STOREFRONT GLASS WINDOWS TO REMAIN
- 7 EXISTING STOREFRONT GLASS DOORS TO REMAIN
- 8 EXISTING EXTERIOR METAL DOOR TO REMAIN
- 9 EXISTING METAL ROLL-UP DOOR
- 10 EXISTING INTERIOR DOOR TO REMAIN
- 11 EXISTING INTERIOR WINDOWS TO REMAIN
- 12 EXISTING SOFFIT LINE ABOVE
- 13 EXISTING INTERIOR STAIRS WITH HANDRAILS TO REMAIN
- 14 EXISTING RESTROOM TO REMAIN
- 15 EXISTING CONCRETE SLAB
- 16 EXISTING COUNTER TO REMAIN
- 17 EXISTING ACCESSIBLE SIGNS TO REMAIN
- 18 EXISTING EXTERIOR STAIRS TO REMAIN
- 19 EXISTING ACCESSIBLE PATH OF TRAVEL
- 20 EXISTING 3 COMPARTMENT SINK TO REMAIN
- 21 EXISTING MOP SINK TO REMAIN
- 22 EXISTING ELECTRICAL PANEL TO BE UPGRADED
- 23 EXISTING HOT WATER HEATER TO REMAIN

DEMO KEYNOTES

- 1 REMOVE EXISTING INTERIOR PARTITION WALL
- 2 REMOVE EXISTING INTERIOR DOOR
- 3 REMOVE EXISTING EXTERIOR WINDOW
- 4 REMOVE EXISTING INTERIOR WINDOW
- 5 REMOVE EXISTING ROLLUP DOOR

FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- DIMENSION TO FACE OF STUD, COLUMN OR WALL
- ACCESSIBLE PATH OF TRAVEL
- KEYNOTE SYMBOL
- EXTERIOR ELEVATIONS DETAIL NUMBER
- EXTERIOR ELEVATIONS SHEET NUMBER

CLIENT:  
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 SAN DIEGO, CA 92126

PROJECT:  
**MIRA ESTE CUP**

APN: 343-082-49-00  
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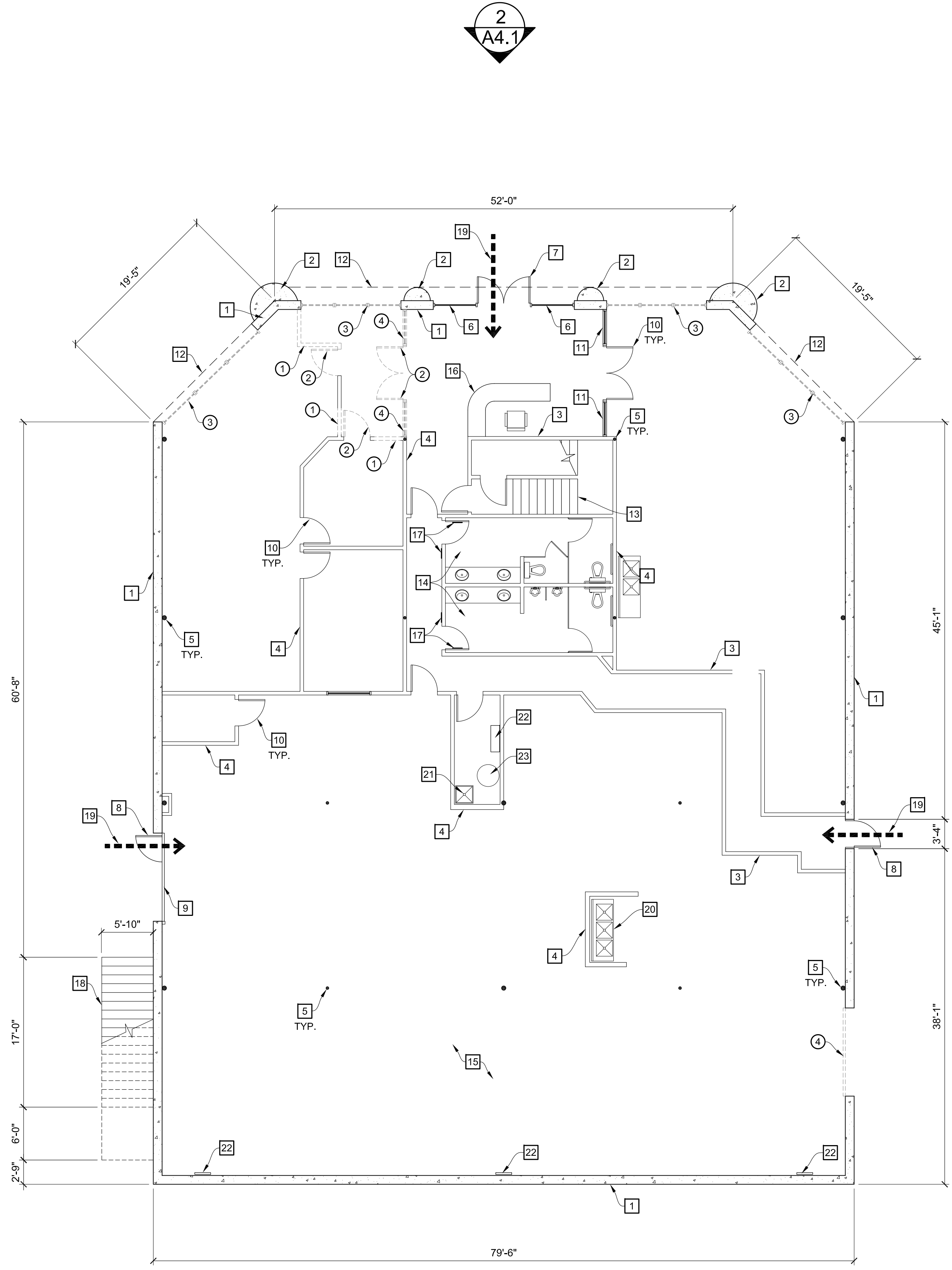
SHEET TITLE / CONTENTS

**EXISTING/DEMO FIRST FLOOR PLAN, KEYNOTES & LEGEND**

TRH PROJECT#: 286-17  
 SCALE: AS NOTED  
 DRAWN BY: TRH  
 DATE DRAWN: 10/28/2017  
 CHECKED BY: KDS

SHEET: 5 OF: 10

**A2.0**

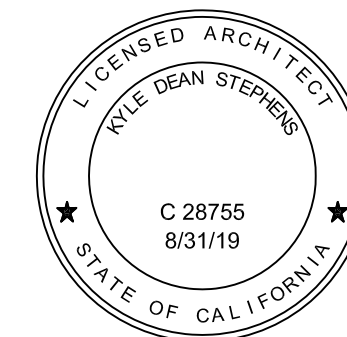


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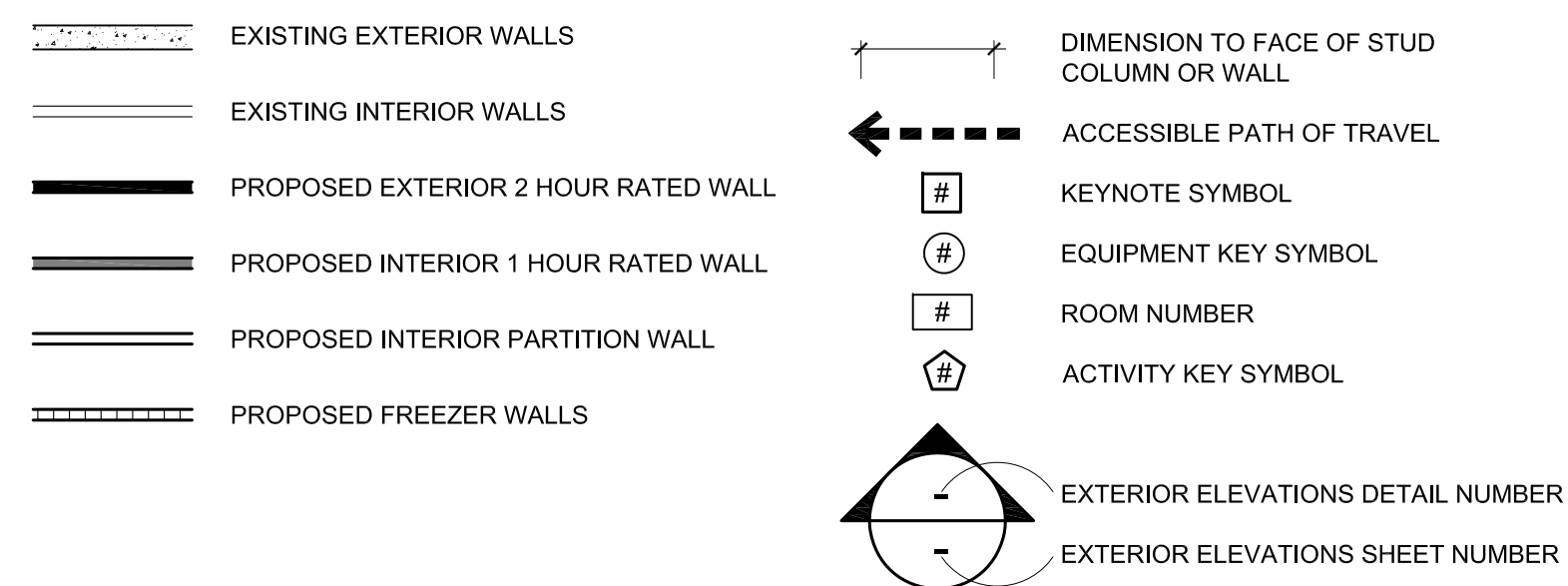
SCALE: 1/8" = 1'-0"



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FLOOR PLAN LEGEND



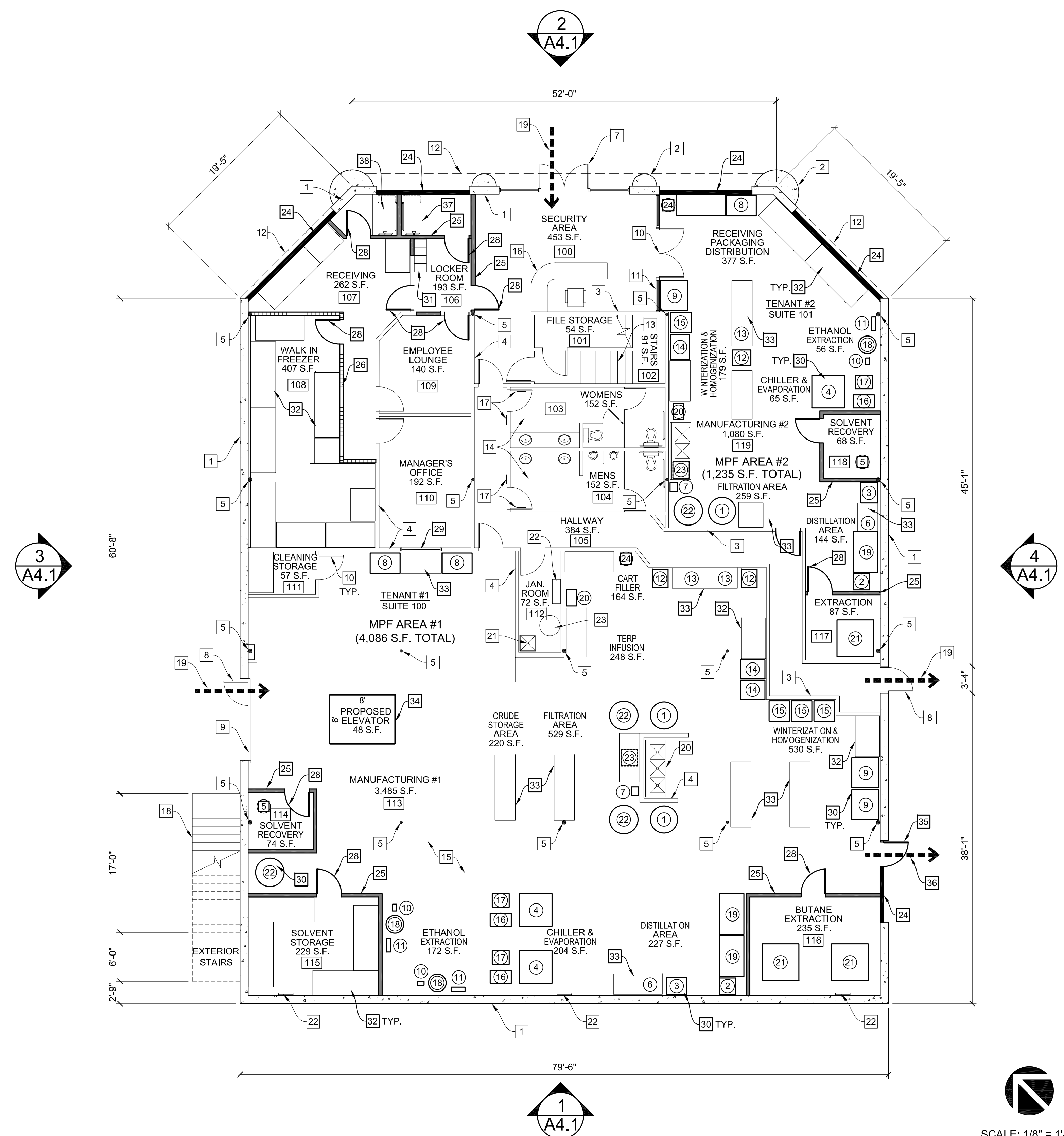
OCCUPANT LOAD CALCULATIONS

ROOM NAME	ROOM NUMBER	TENANT	AREA	OCCUPANCY FACTOR	OCCUPANCY LOAD	OCCUPANCY
SECURITY AREA	100	TENANT #1	453 S.F.	100	5	B
FILE STORAGE	101	TENANT #1	54 S.F.	500	1	S-2
STAIRS	102	TENANTS #1 & #2	91 S.F.	500	1	B
WOMENS	103	TENANT #1	152 S.F.	100	2	B
MENS	104	TENANT #1	152 S.F.	100	2	B
HALLWAY	105	TENANT #1	384 S.F.	100	4	B
LOCKER ROOM	106	TENANT #1	193 S.F.	100	2	B
RECEIVING	107	TENANT #1	262 S.F.	500	1	S-1
WALK-IN-FREEZER	108	TENANT #1	407 S.F.	500	1	S-1
EMPLOYEE LOUNGE	109	TENANT #1	140 S.F.	100	2	B
MANAGER'S OFFICE	110	TENANT #1	192 S.F.	100	2	B
CLEANING STORAGE	111	TENANT #1	57 S.F.	500	1	S-1
JANITOR'S ROOM	112	TENANT #1	72 S.F.	500	1	S-1
MANUFACTURING #1	113	TENANT #1	3,485 S.F.	500	7	F-1
SOLVENT RECOVERY	114	TENANT #1	74 S.F.	500	1	F-1
SOLVENT STORAGE	115	TENANT #1	229 S.F.	500	1	F-1
BUTANE EXTRACTION	116	TENANT #1	235 S.F.	500	1	F-1
BUTANE EXTRACTION	117	TENANT #2	87 S.F.	500	1	F-1
SOLVENT RECOVERY	118	TENANT #2	68 S.F.	500	1	F-1
MANUFACTURING #2	119	TENANT #2	1,080 S.F.	500	2	F-1
<b>TOTAL</b>			<b>7,873 S.F.</b>		<b>39</b>	

EXISTING KEYNOTES

- 1 EXISTING EXTERIOR CONCRETE TILT-UP WALL TO REMAIN
- 2 EXISTING ARCHITECTURAL COLUMN TO REMAIN
- 3 EXISTING INTERIOR 1 HOUR RATED WALL TO REMAIN - V.I.F.
- 4 EXISTING INTERIOR WALL TO REMAIN - V.I.F.
- 5 EXISTING INTERIOR METAL COLUMNS TO REMAIN - V.I.F.
- 6 EXISTING STOREFRONT GLASS WINDOWS TO REMAIN
- 7 EXISTING STOREFRONT GLASS DOORS TO REMAIN
- 8 EXISTING EXTERIOR METAL DOOR TO REMAIN
- 9 EXISTING METAL ROLL-UP DOOR TO REMAIN
- 10 EXISTING INTERIOR DOOR TO REMAIN
- 11 EXISTING INTERIOR WINDOWS TO REMAIN
- 12 EXISTING SOFFIT LINE ABOVE
- 13 EXISTING INTERIOR STAIRS WITH HANDRAILS TO REMAIN
- 14 EXISTING RESTROOM TO REMAIN
- 15 EXISTING CONCRETE SLAB
- 16 EXISTING COUNTER TO REMAIN
- 17 EXISTING ACCESSIBLE SIGNS TO REMAIN
- 18 EXISTING EXTERIOR STAIRS TO REMAIN
- 19 EXISTING ACCESSIBLE PATH OF TRAVEL
- 20 EXISTING 3 COMPARTMENT SINK TO REMAIN
- 21 EXISTING MOP SINK TO REMAIN
- 22 EXISTING ELECTRICAL PANEL TO BE UPGRADED
- 23 EXISTING HOT WATER HEATER TO REMAIN

PROPOSED FIRST FLOOR PLAN - 8,116 S.F.



PROPOSED EQUIPMENT LIST

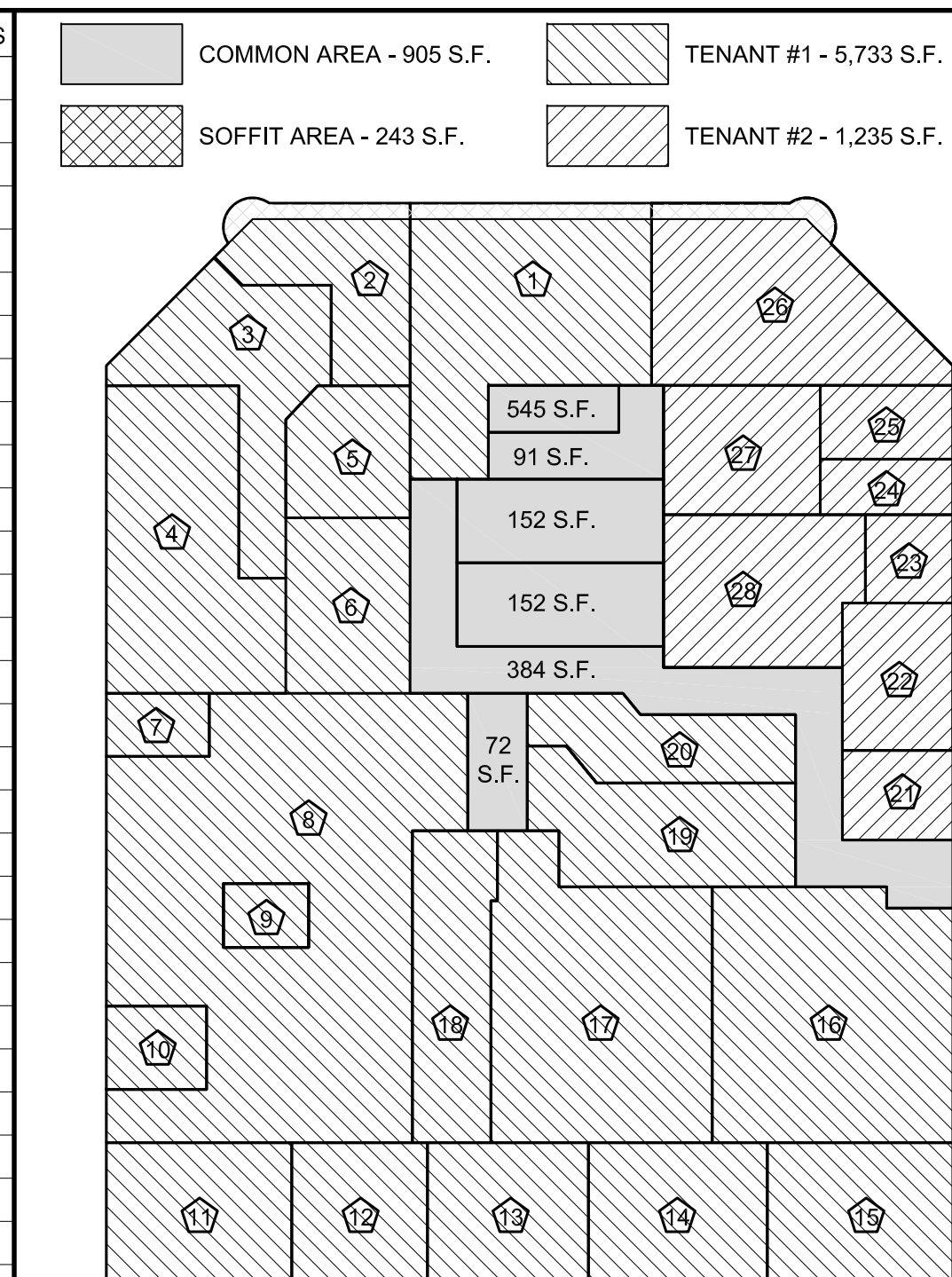
KEY	EQUIPMENT	DESCRIPTION
1	STEAM DISTILLER	STEAM JACKETED KETTLE
2	SPINNING BAND DISTILLATION UNIT	FRACTIONATE CHARGES
3	GLASS REACTOR	PROCESS REACTOR
4	ROTARY EVAPORATOR	REMOVE SOLVENTS BY EVAPORATION
5	SOLVENT RECYCLER	CLEANING & RECYCLING SOLVENTS
6	SHORT PATH DISTILLATION SETUP - ON TABLE	DISTILLED WATER FOR MIXING
7	STEAM DISTILLATION UNIT	PURIFIES WATER FOR DISTILLATION
8	VACUUM OVEN WITH PUMP	COMPOUNDS HEATING BEFORE PRODUCTION
9	CRYO-FREEZER	FROZEN PRODUCT STORAGE
10	CUP 15 FOR ETHANOL EXTRACTION	EXTRACT BOTANICAL COMPOUND FROM PLANTS
11	FILTER RACK	CLEAN AIR FILTRATION
12	CRYO-CENTRIFUGE	FREEZE PRODUCT EXTRACTS
13	CENTRIFUGE ROTOR - ON TABLE	BUCKETS TO HOLD SAMPLE CONTAINERS
14	STANDUP FREEZER	COLD PRODUCT STORAGE
15	DEHYDRATOR	LIQUID EXTRACTION
16	CHILLER	COLD TRAP COOLING
17	PUMP WITH COLDTRAP VACUUM REGULATOR	REDUCED PRESSURE PRODUCT PURIFICATION
18	KEG	LIQUID STORAGE
19	VTA	SEPARATES PRODUCT EXTRACTS TO CONCENTRATES
20	AUTOMATIC CARTRIDGE FILLER	CARTRIDGE FILLING BEFORE PRODUCT CAPPING
21	BUTANE EXTRACTION RIG	PRIMARY BUTANE EXTRACTOR
22	WATER CUBE	WATER TANK FOR COOLING CONDENSERS
23	DISHWASHER	COMMERCIAL LABWARE HIGH PRESSURE SANITIZING
24	CAPPING MACHINE	CARTRIDGE PRODUCT CAPPING BEFORE PACKAGING

PROPOSED KEYNOTES

- 24 PROPOSED EXTERIOR WALL PER LEGEND
- 25 PROPOSED INTERIOR WALL PER LEGEND
- 26 PROPOSED FREEZER WALL PER LEGEND
- 27 PROPOSED FREEZER DOOR
- 28 PROPOSED INTERIOR DOOR
- 29 PROPOSED INTERIOR WINDOW
- 30 PROPOSED MANUFACTURING EQUIPMENT PER LIST - THIS SHEET
- 31 PROPOSED LOCKERS
- 32 PROPOSED STORAGE RACKS
- 33 PROPOSED WORK TABLES
- 34 PROPOSED ACCESSIBLE FREIGHT ELEVATOR
- 35 PROPOSED EXTERIOR EMERGENCY DOOR
- 36 PROPOSED ACCESSIBLE PATH OF TRAVEL
- 37 PROPOSED ACCESSIBLE SHOWER ROOM
- 38 PROPOSED SHOWER ROOM

ACTIVITY AREA DIAGRAM - FIRST FLOOR

KEY	AREA	ACTIVITY DESCRIPTION	EMPLOYEES
1	453 S.F.	SECURITY AREA - 24 HOUR SECURITY GUARDS COUNTER & WAITING AREA	2
2	193 S.F.	LOCKER ROOM - GOWNING AREA BEFORE ENTERING RECEIVING/FREEZER AREAS	-
3	262 S.F.	RECEIVING - STORAGE OF PRODUCT BEFORE PRODUCTION	1
4	407 S.F.	WALK-IN-FREEZER - STORAGE OF FROZEN PRODUCT BEFORE PRODUCTION	-
5	140 S.F.	EMPLOYEE LOUNGE - REST AND DINING AREA WITH REFRIGERATOR & SINK	-
6	192 S.F.	MANAGER'S OFFICE - ADMINISTRATIVE WORK AND OVERSEE OPERATIONS	1
7	57 S.F.	CLEANING STORAGE - MACHINE OIL, HIGH VAC GREASE, AMMONIA, LIMONENE	-
8	1,149 S.F.	MANUFACTURING #1 - PRODUCTION AREA	-
9	48 S.F.	ELEVATOR - ACCESSIBILITY AND FREIGHT ELEVATOR TO 2ND FLOOR	-
10	74 S.F.	SOLVENT RECOVERY - SOLVENT RECYCLER/CLEANER	-
11	229 S.F.	SOLVENT STORAGE - BUTANE, HEXANE, HEPTANE, PENTANE, ETHANOL, PROPANE, ACETONE	-
12	172 S.F.	ETHANOL EXTRACTION - PRIMARY CUP (CENTRIFUGE UTILITY PLATFORM) COMPOUNDS EXTRACT	1
13	204 S.F.	CHILLER & EVAPORATION - COLD TRAP VACUUM APPLICATION TO CONDENSE VAPOR	1
14	227 S.F.	DISTILLATION AREA - REMEDIATION (HEXANE, NITROGEN, HEPTANE, PENTANE)	1
15	235 S.F.	BUTANE EXTRACTION - PRIMARY EXTRACTION OF BUTANE, PROPANE AND ETHANOL	-
16	530 S.F.	WINTERIZATION & HOMOGENIZATION - MIXING TO MANUFACTURE PRODUCTS	-
17	529 S.F.	FILTRATION AREA - CLEANING PRODUCTION GLASSWARE AND LABWARE	-
18	220 S.F.	CRUDE STORAGE - OIL, GREASE IN CANS ON SHELVES/RACKS	-
19	248 S.F.	TERP INFUSION - PRODUCT CONCENTRATE	-
20	164 S.F.	CART FILLER - CARTRIDGE FILLING WITH LIQUID PRODUCT	1
21	87 S.F.	BUTANE EXTRACTION - PRIMARY EXTRACTION OF BUTANE, PROPANE AND ETHANOL	-
22	144 S.F.	DISTILLATION AREA - REMEDIATION (HEXANE, NITROGEN, HEPTANE, PENTANE)	-
23	68 S.F.	SOLVENT RECOVERY - SOLVENT RECYCLER/CLEANER	-
24	65 S.F.	CHILLER & EVAPORATION - COLD TRAP VACUUM APPLICATION TO CONDENSE VAPOR	1
25	56 S.F.	ETHANOL EXTRACTION - PRIMARY CUP (CENTRIFUGE UTILITY PLATFORM) COMPOUNDS EXTRACT	-
26	377 S.F.	RECEIVING, PACKAGING & DISTRIBUTION - STORAGE & PACKAGING BEFORE/AFTER PRODUCTION	1
27	179 S.F.	WINTERIZATION & HOMOGENIZATION - MIXING TO MANUFACTURE PRODUCTS	1
28	259 S.F.	FILTRATION AREA - CLEANING PRODUCTION GLASSWARE AND LABWARE	-
	<b>6,968 S.F.</b>	<b>TOTAL</b>	<b>11</b>



CLIENT:

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PROJECT:

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SHEET TITLE / CONTENTS

PROPOSED 1ST FLOOR PLAN, KEYNOTES & LEGEND

TRH PROJECT#: 286-17  
SCALE: AS NOTED  
DRAWN BY: TRH  
DATE DRAWN: 10/28/2017  
CHECKED BY: KDS

SHEET: 6 OF: 10

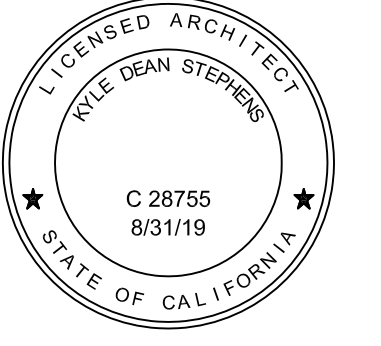
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EXISTING/DEMO SECOND FLOOR PLAN

EXISTING KEYNOTES

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- 2 EXISTING ARCHITECTURAL COLUMN TO REMAIN
- 3 EXISTING INTERIOR 1 HOUR RATED WALL TO REMAIN
- 4 EXISTING INTERIOR WALL TO REMAIN
- 5 EXISTING INTERIOR METAL COLUMNS TO REMAIN
- 6 EXISTING STOREFRONT GLASS WINDOWS TO REMAIN
- 7 EXISTING EXTERIOR STAIRS TO REMAIN
- 8 NOT USED
- 9 EXISTING EXTERIOR METAL DOOR TO REMAIN
- 10 EXISTING INTERIOR DOOR TO REMAIN
- 11 EXISTING ACCESSIBLE RESTROOM SIGNS TO REMAIN
- 12 EXISTING SOFFIT LINE ABOVE
- 13 EXISTING INTERIOR STAIRS WITH HANDRAILS TO REMAIN
- 14 EXISTING RESTROOM TO REMAIN
- 15 EXISTING WOOD FLOOR TO REMAIN
- 16 EXISTING ROOF LADDER TO REMAIN
- 17 EXISTING ROOF HATCH ABOVE

DEMO KEYNOTES

- 1 REMOVE EXISTING INTERIOR PARTITION WALL
- 2 REMOVE EXISTING EXTERIOR STOREFRONT WINDOWS

FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- EXISTING INTERIOR WALLS TO BE REMOVED
- DIMENSION TO FACE OF STUD, COLUMN OR WALL
- KEYNOTE SYMBOL
- EXTERIOR ELEVATIONS DETAIL NUMBER
- EXTERIOR ELEVATIONS SHEET NUMBER

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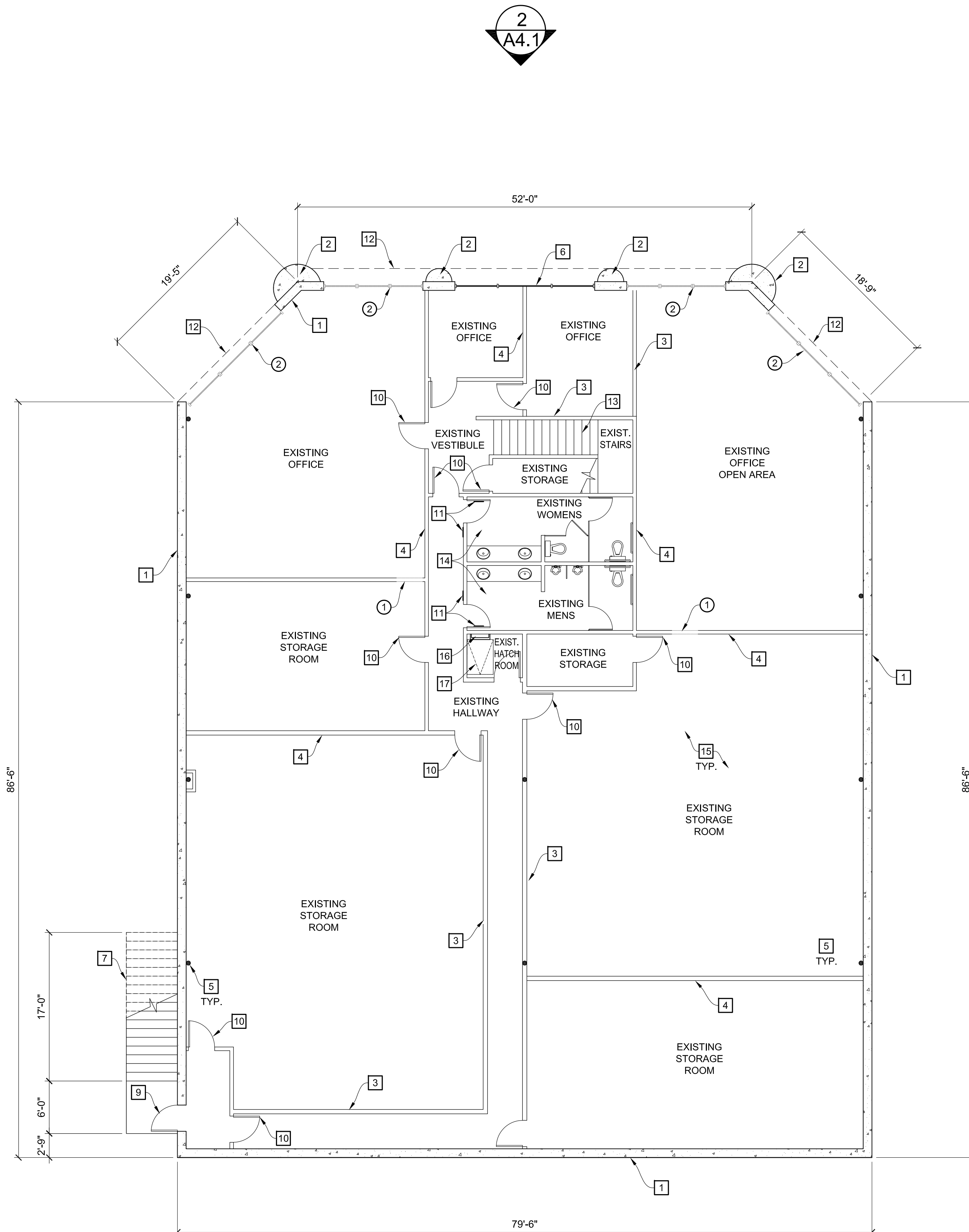
SHEET TITLE / CONTENTS

**EXISTING/DEMO SECOND FLOOR PLAN, KEYNOTES & LEGEND**

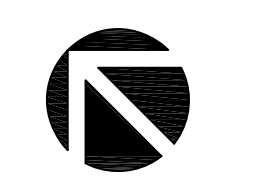
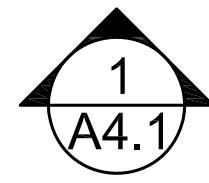
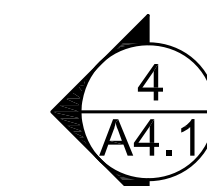
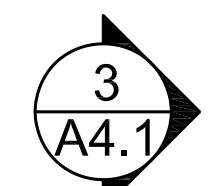
TRH PROJECT#: 286-17  
 SCALE: AS NOTED  
 DRAWN BY: TRH  
 DATE DRAWN: 10/28/2017  
 CHECKED BY: KDS

SHEET: 7 OF: 10

**A2.2**



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SCALE: 1/8" = 1'-0"



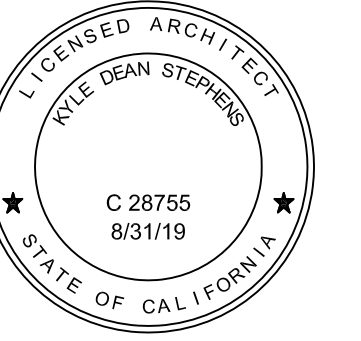


EXISTING ROOF PLAN

ROOF KEYNOTES



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 TEL (619) 230-1088  
 FAX (619) 230-1089



CLIENT:

**MIRA ESTE PROPERTIES, LLC**

9212 MIRA ESTE COURT  
 SAN DIEGO, CA 92126

PROJECT:

**MIRA ESTE CUP**

APN: 343-082-49-00  
 9212 MIRA ESTE COURT  
 SUITES 100 AND 101  
 SAN DIEGO, CA 92126-6398

ROOF PLAN LEGEND

- EXISTING EXTERIOR CONCRETE TILT-UP PARAPET
- DIMENSION TO FACE OF STUD, COLUMN OR WALL
- ROOF KEYNOTE SYMBOL
- H.P. HIGH POINT
- L.P. LOW POINT
- T.O.P. TOP OF PARAPET
- T.O.R. TOP OF ROOF
- DIRECTION OF EXISTING ROOF SLOPE
- EXTERIOR ELEVATIONS DETAIL NUMBER
- EXTERIOR ELEVATIONS SHEET NUMBER

REVISION ITEM DATE


THIS SET ISSUE DATE

<input type="checkbox"/>	INITIAL SUBMITTAL	11/16/2017
<input checked="" type="checkbox"/>	FULL SUBMITTAL	11/30/2017
<input checked="" type="checkbox"/>	RESUBMITTAL 1	02/15/2018
<input checked="" type="checkbox"/>	RESUBMITTAL 2	05/11/2018
<input checked="" type="checkbox"/>	RESUBMITTAL 3	06/15/2018
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	AS-BUILT	

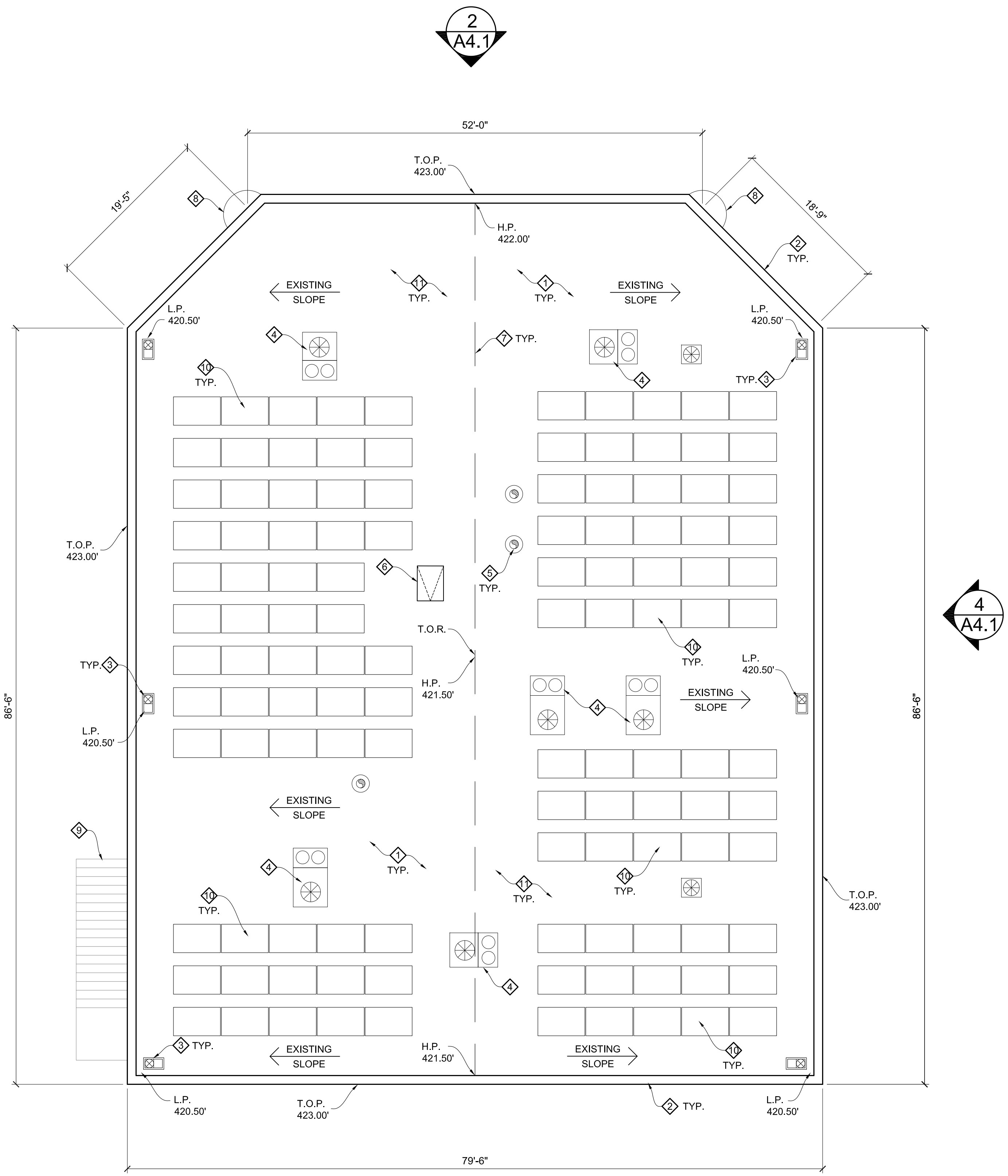
SHEET TITLE / CONTENTS

**EXISTING ROOF PLAN, KEYNOTES & LEGEND**

TRH PROJECT#: 286-17  
 SCALE: AS NOTED  
 DRAWN BY: TRH  
 DATE DRAWN: 10/28/2017  
 CHECKED BY: KDS

SHEET: 9 OF: 10

**A2.5**



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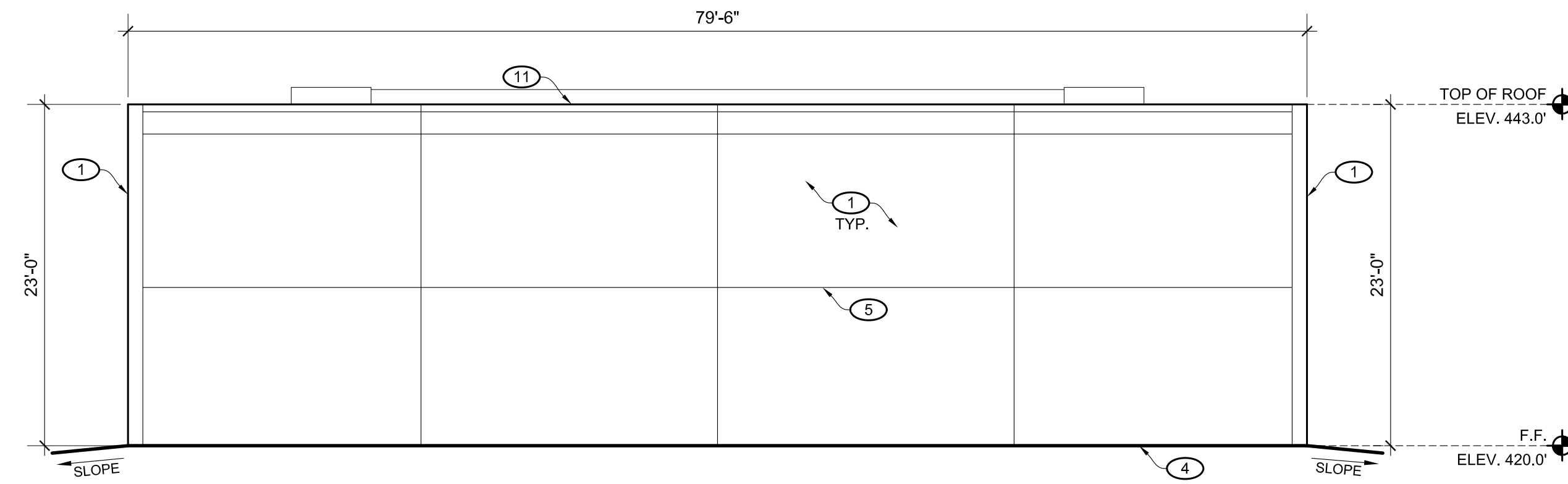
EXISTING SOUTH ELEVATION - FOR REFERENCE ONLY

SCALE: 1/8" = 1'-0"

①

KEYNOTES

- ① EXISTING EXTERIOR CONCRETE TILT-UP WALL SMOOTH FINISH
- ② EXISTING PERSONNEL DOOR
- ③ EXISTING STOREFRONT WINDOWS TO BE REMOVED & REPLACED WITH NEW WALLS TO MATCH EXISTING CONCRETE PANELS.
- ④ EXISTING LINE OF GRADE
- ⑤ EXISTING REVEAL LINES
- ⑥ EXISTING STOREFRONT SYSTEM TO REMAIN
- ⑦ EXISTING STOREFRONT GLASS TEMPERED
- ⑧ EXISTING EXTERIOR STAIRS TO 2ND FLOOR
- ⑨ EXISTING SOFFIT
- ⑩ EXISTING ROLL-UP DOORS
- ⑪ EXISTING TOP OF PARAPET
- ⑫ EXISTING ARCHITECTURAL COLUMN STUCCO FINISH



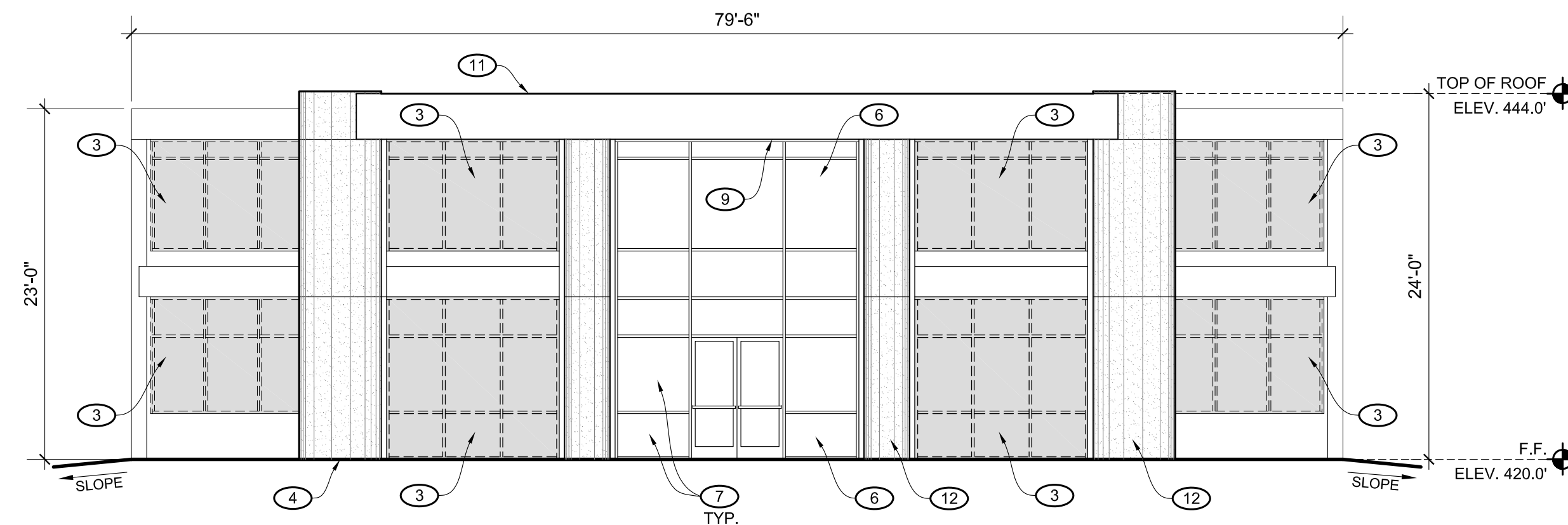
EXISTING NORTH ELEVATION - FOR REFERENCE ONLY

SCALE: 1/8" = 1'-0"

②

LEGEND

- L.P. LOW POINT
- H.P. HIGH POINT
- NEW WALL TO MATCH EXISTING CONCRETE PANELS



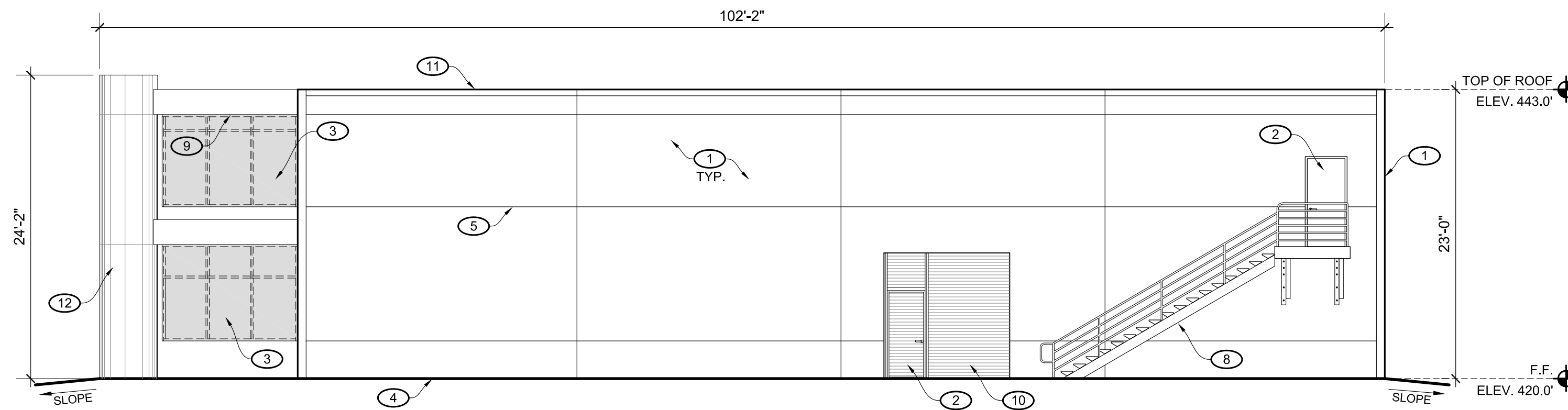
EXISTING WEST ELEVATION - FOR REFERENCE ONLY

SCALE: 1/8" = 1'-0"

③

NOTES

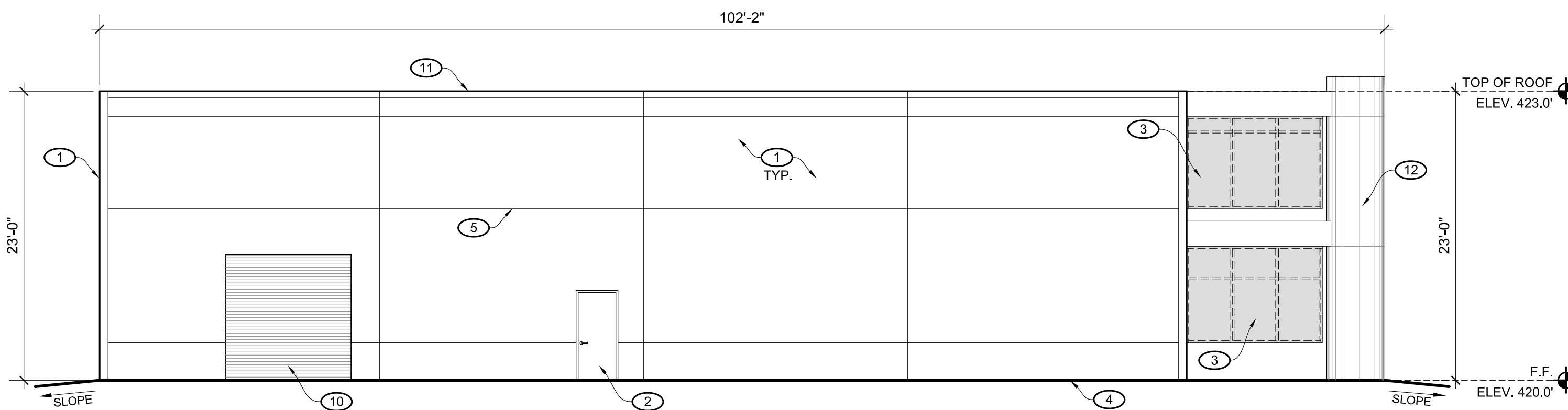
1. NO PROPOSED BUILDING EXTERIOR WORK.
2. CUP FOR INTERIOR WORK ONLY.



EXISTING EAST ELEVATION - FOR REFERENCE ONLY

SCALE: 1/8" = 1'-0"

④



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REVISION	ITEM	DATE

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<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

SHEET TITLE / CONTENTS

**EXISTING ELEVATIONS**

TRH PROJECT#: 286-17  
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CHECKED BY: KDS

SHEET: 10 OF: 10

**A4.1**

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