



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 11, 2018 REPORT NO. HO-18-055

HEARING DATE: July 18, 2018

SUBJECT: Shteremberg Residence CDP/SDP. Process Three Decision

PROJECT NUMBER: [568083](#)

OWNER/APPLICANT: Carlos Shteremberg, Owner/Carlos Wellman, Alta Design, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of a single dwelling unit and the construction of a 5512-square-foot, one-story single dwelling unit located at 8361 Del Oro Court within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area?

Staff Recommendations:

1. Approve Site Development Permit No. 2028978; and
2. Approve Coastal Development Permit No. 2028979.

Community Planning Group Recommendation: On December 7, 2017, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project without conditions or other recommendations.

Other Recommendations: On October 16, 2017, the La Jolla Shores Planned District Advisory Board voted 5-0-0 to recommend approval of the project without conditions or other recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 12, 2018, and the opportunity to appeal that determination ended June 26, 2018.

BACKGROUND/DISCUSSION

The 0.46-acre site contains an existing 2,875-square-foot single dwelling located approximately four blocks from the Pacific Ocean at 8361 Del Oro Court (Attachments 1-3). The site is designated Very Low Density Residential (0 to 5 dwelling units per acre (du/ac)) in the La Jolla Community Plan, zoned Single Family in the La Jolla Shores Planned District, and is within the Coastal (Non-Appealable) Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones. The surrounding properties are fully developed and form an established single-dwelling residential neighborhood. The property was determined to be ineligible for historic designation.

The proposal includes the demolition of the existing single dwelling; however, the foundation and footings will be retained. The construction results in a total living area of 5,512 square feet. The project also proposes a 912-square-foot garage, a pool, spa, landscape, and hardscape.

A Process Two Coastal Development Permit is required by San Diego Municipal Code (SDMC) 126.0702(a) for development within the Coastal (Non-Appealable) Overlay Zone. A Process Three Site Development Permit (SDP) is required SDMC section 151.0201(c) for major development within the La Jolla Shores Planned District. The two processes are consolidated and elevated to an Hearing Officer Process Three decision per SDMC 112.0103.

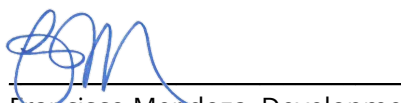
A neighborhood survey of the existing development pattern, bulk and scale was submitted for the analysis of the project. The proposed dwelling was found to be in general conformity with setbacks and bulk and scale, as required by the La Jolla Shores Planned District Ordinance SF Zone, and meets all other applicable regulations.

As the project is consistent with the existing development pattern, staff supports a determination that the project is consistent with the recommended land use, and development standards in effect for this site pursuant to the adopted La Jolla Community Plan, San Diego Municipal Code, and the General Plan. Staff has prepared draft findings and draft conditions of approval and recommends approval of the project as presented.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2028979 and approve Site Development Permit No. 2028978 with modifications.
2. Deny Coastal Development Permit No. 2028979 and Deny Site Development Permit No. 2028978, if the findings required to approve the project cannot be affirmed.

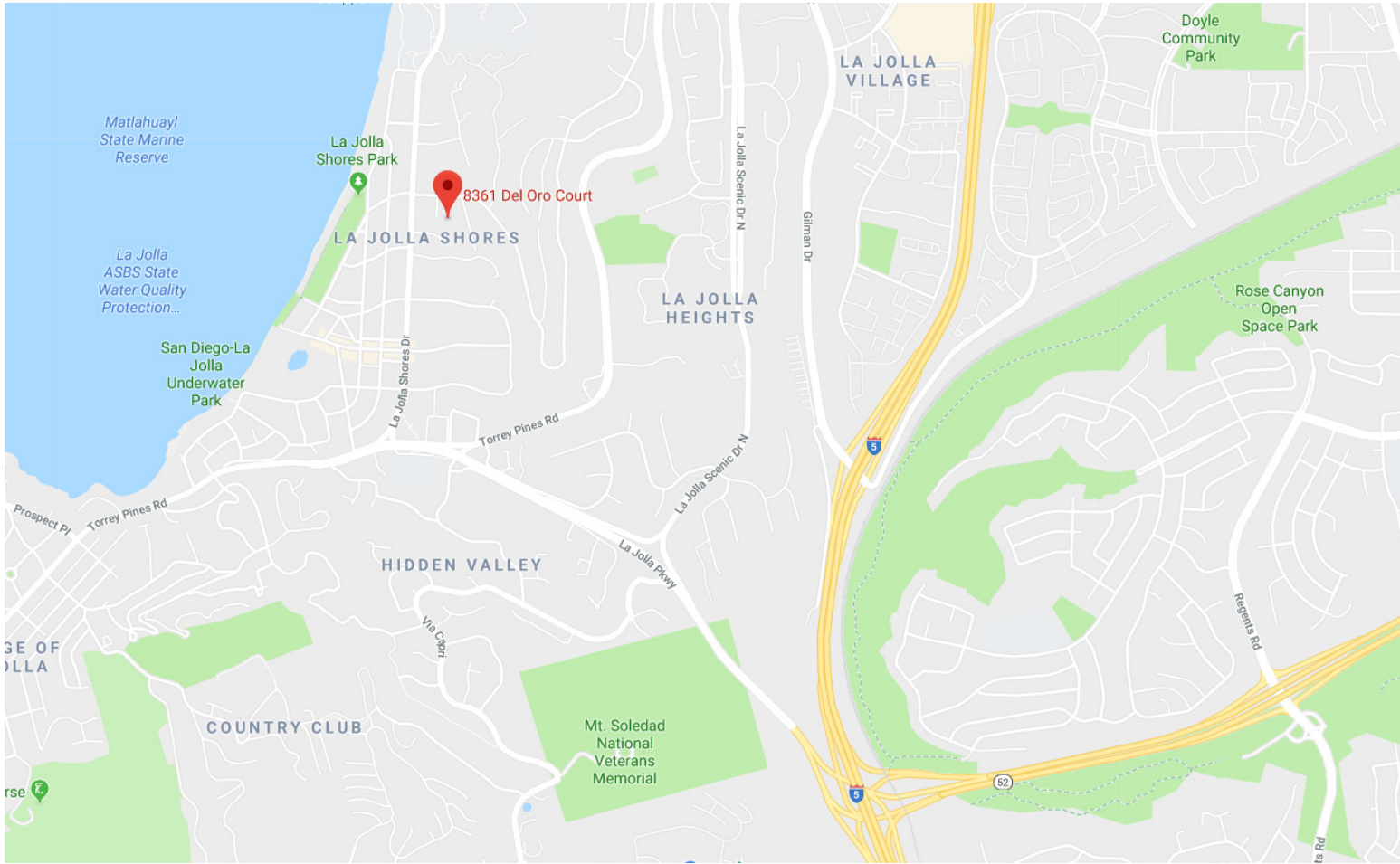
Respectfully submitted,



Francisco Mendoza, Development Project Manager

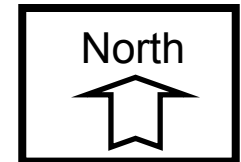
Attachments:

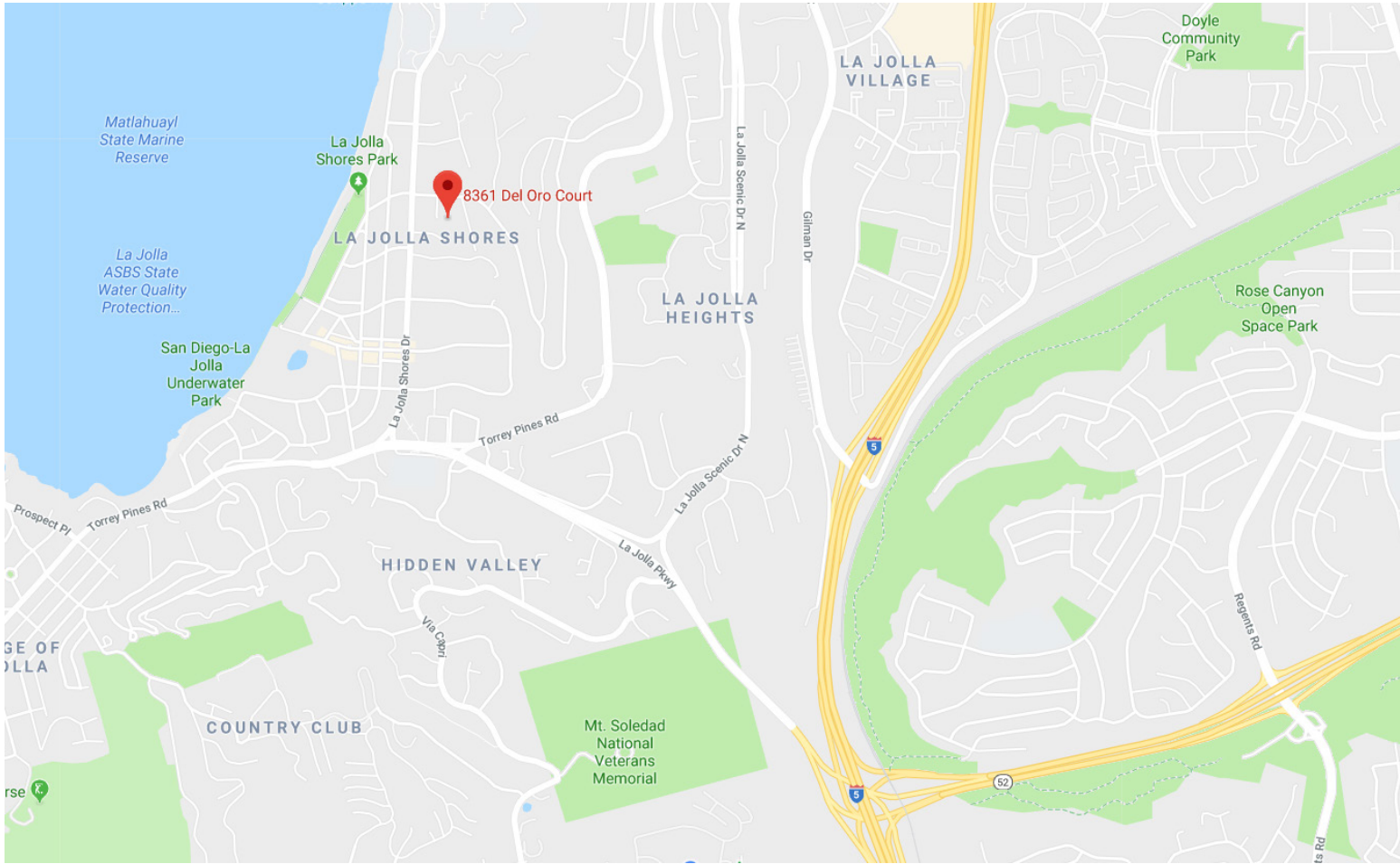
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location

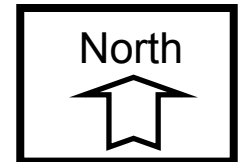
Shteremberg Residence CDP/SDP
Project No. 568083 - 8361 Del Oro Court





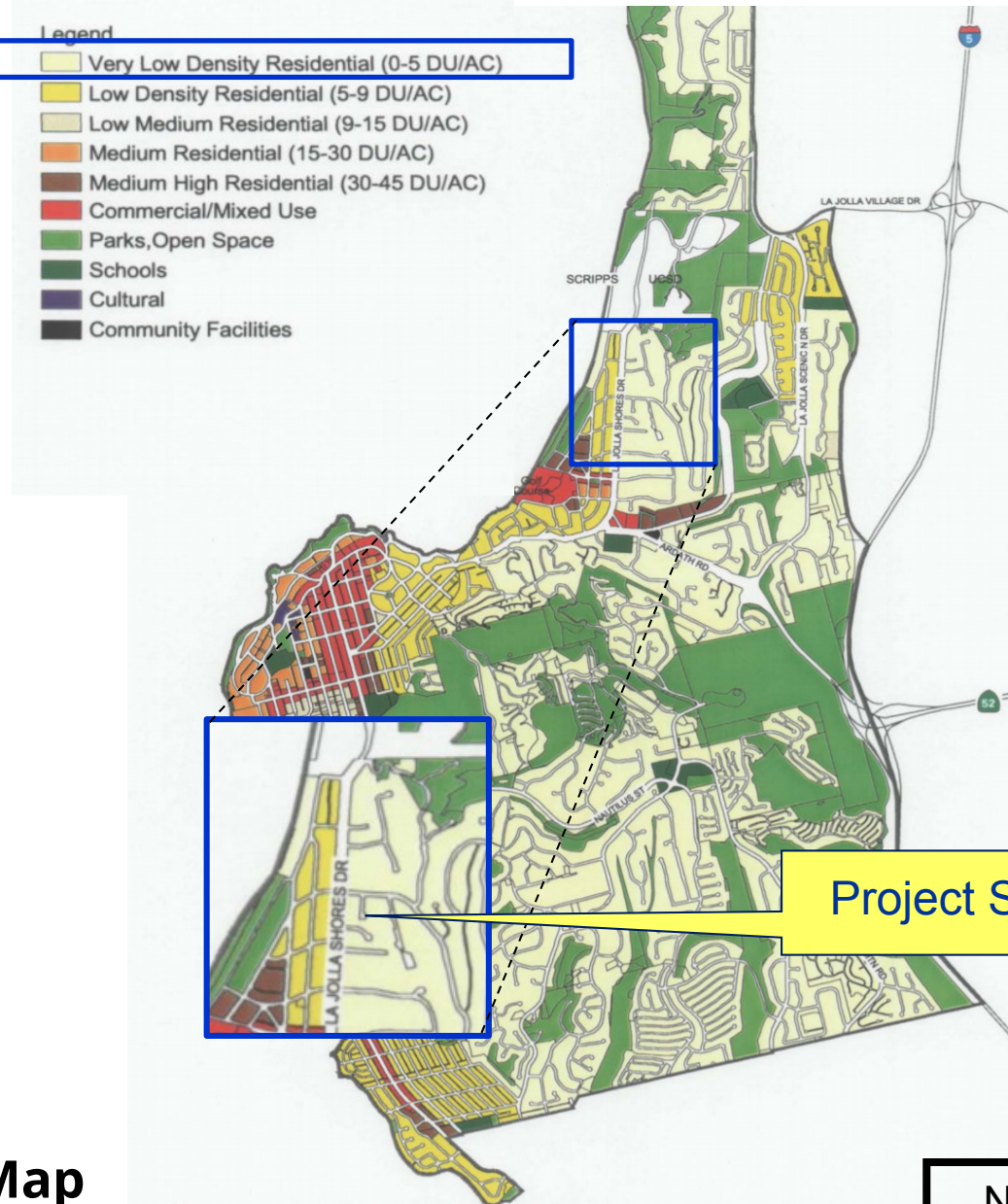
Project Location

Shteremberg Residence CDP/SDP
Project No. 568083 - 8361 Del Oro Court



Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

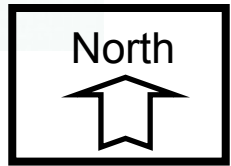


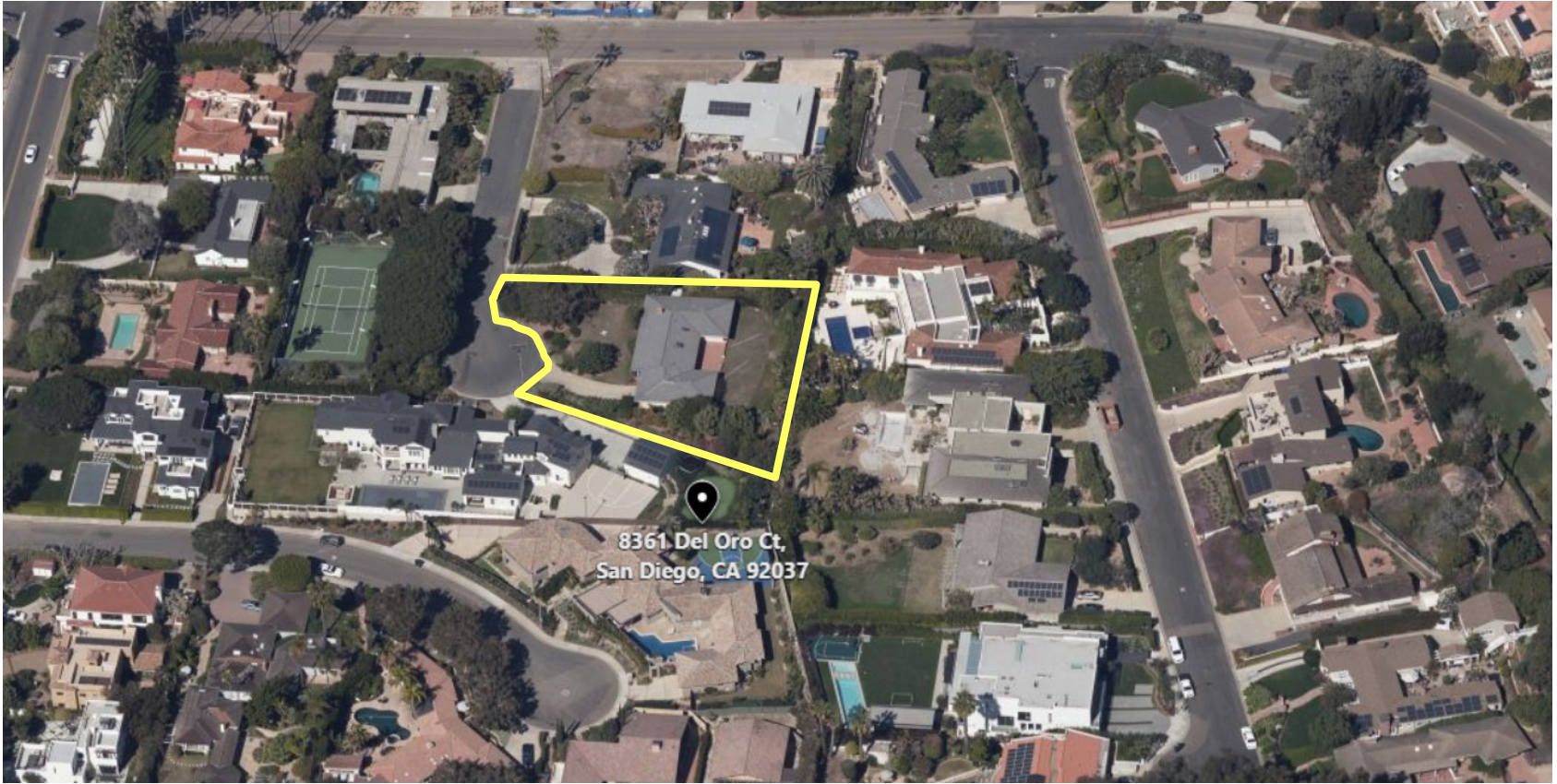
Project Site



Land Use Map

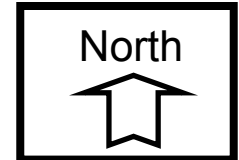
Shteremberg Residence CDP/SDP
Project No. 568083 - 8361 Del Oro Court





Aerial Photograph

Shteremberg Residence CDP/SDP
Project No. 568083 - 8361 Del Oro Court



HEARING OFFICER RESOLUTION NO. HO-XXXX
COASTAL DEVELOPMENT PERMIT NO. 2028979/ SITE DEVELOPMENT PERMIT NO. 2028978
SHTEREMBERG CDP/SDP - PROJECT NO. 568083

WHEREAS, CARLOS SHTEREMBERG, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish and construct a single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2028979 and 2028978), on portions of a 0.46-acre site; and

WHEREAS, the project site is located at 8361 Del Oro Court, in the SF Zone of the La Jolla Shores Planned District, the Coastal (Non-Appealable) Overlay and Coastal Height Limitation Overlay Zones of the La Jolla Community Plan; and

WHEREAS, the project site is legally described as: Lot 4, Chandler Knoll, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 4690, filed in the Office of the County Recorder of San Diego County, January 17, 1961; and

WHEREAS, on June 12, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines section 15301, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on July 18, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2028979 and Site Development Permit No. 2028978 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego adopts the following findings with respect to Coastal Development Permit No. 2028979 and Site Development Permit No.

2028978:

A. Coastal Development Permit [SDMC Section 126.0708]

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed 5,512-square-foot single dwelling unit at 8361 Del Oro Court within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area is not located adjacent to any existing or proposed public accessway as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan, nor is located on or adjacent to any public viewshed as outlined in the Plan. It is located approximately four blocks from the ocean. There is an existing house on the site on a flat, developed residential pad. The project is not located between the first public roadway and the Pacific Ocean.

Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway, and it will enhance and protect public views to and along the ocean and other scenic coastal areas

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

Review of resources maps, and aerial and street level photography shows that the proposed single dwelling unit at 8361 Del Oro Court within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area is not located adjacent to any environmentally sensitive lands. That review also shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. The project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA) designated lands. The project will be required to comply with all local, state, and federal laws related to water quality. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

- 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed single dwelling unit at 8361 Del Oro Court within the SF Zone of the La Jolla Shores Planned District in the La Jolla Community Plan area complies with the land use policies of the Plan. Development regulations within the SF Zone of the La Jolla Shores Planned District are controlled through a survey, which compares the bulk and scale of adjacent properties in the neighborhood. Based on the review of the project plans along with a setback and bulk/scale neighborhood survey of the surrounding development pattern, the project was determined to be in conformity with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone and the Coastal Overlay Zone. No deviations to the development regulations of the Land Development Code are proposed. Therefore, the proposed project is in conformity with the certified La Jolla Community Plan and the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the finding is not applicable.

B. Site Development Permit [SDMC Section 126.0505]

- 1. The proposed development will not adversely affect the applicable land use plan.**

The project site is designated Very Low Density Residential (0 to 5 dwelling units per acre or du/ac). The project is consistent with the use and density range at 2.17 du/ac. A goal of the residential element within the La Jolla Community Plan is to maintain the character of residential areas. Through a La Jolla Planned District survey, the project was found to be consistent with the SF Zone of the La Jolla Shores Planned District, which compares the bulk and scale of adjacent properties. Thus, the proposed development will not adversely affect the applicable land use plan.

- 2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes to demolish the existing dwelling and construct a single-family dwelling unit with an attached garage within a previously disturbed portion of the property. To facilitate public safety, a new City standard driveway will be constructed. Additionally, the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. The construction will be

inspected by certified building and engineering inspectors to assure construction is in accordance with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District. Based on a submitted neighborhood survey of the existing development pattern, bulk and scale comparisons, the proposed single-family dwelling unit was found to be in general conformity with setbacks, bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance's SF Zone and the Coastal Overlay Zone. The project is not requesting any variances or deviations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2028979 and Site Development Permit No. 2028978, are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2028979 and 2028978, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: July 18, 2018

IO#: 24007465

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007465

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2028979
SITE DEVELOPMENT PERMIT NO. 2028978
SHTEREMBERG CDP/SDP - PROJECT NO. 568083
HEARING OFFICER

This Coastal Development Permit No. 2028979 and Site Development Permit No. 2028978 is granted by the Hearing Officer of the City of San Diego to CARLOS SHTEREMBERG, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 126.0505 The 0.46-acre site is located at 8361 Del Oro Court, in the SF Zone of the La Jolla Community Plan. The project site is legally described as: Lot 4, Chandler Knoll, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 4690, filed in the Office of the County Recorder of San Diego County, January 17, 1961.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish and construct a single dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 18, 2018, on file in the Development Services Department.

The project shall include:

- a. Demolition of a single dwelling unit (foundation to remain) and construction of a 5,512-square-foot single dwelling unit with 912-square-foot garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Hardscape, pool, spa, and new exterior finishes; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 3, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains, Private landscaping / irrigation and private walk hardscape within Del Oro Court public right of way.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot-wide driveway per current City Standards, adjacent to the site on Del Oro Court satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

18. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.
22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 18, 2018 and HO-_____.

ATTACHMENT 5

Coastal Development Permit No. 2028979
Site Development Permit No. 2028978
Date of Approval: July 18, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CARLOS SHTEREMBERG
Owner/Permittee

By _____
Carlos Shteremberg

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 12, 2018

NOTICE OF RIGHT TO APPEAL

ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007465

PROJECT NAME / NUMBER: Shteremberg Residence / 568083

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 8361 Del Oro Court, San Diego, California 92037

PROJECT DESCRIPTION: The project proposes COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT for a 2,637-square foot addition and remodel of an existing 2,875 square foot single-dwelling unit. Various site improvements would also be constructed including two decks, a pool, and associated hardscape and landscape. The 0.46-acre project site is located at 8361 Del Oro Court in the single-family zone of the La Jolla Shores Planned District. Additionally, the project site is within the Coastal Zone Boundary, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable 2), Parking Impact Overlay Zone (Coastal). (LEGAL DESCRIPTION: Lot 4 of Cerca De La Playa in the City of San Diego, County of San Diego according to Map No. 7957)

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301 (Existing Facilities) which allows for additions to existing structures provided the addition will not result in an increase of more than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. Furthermore, the exceptions listed in 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER:

Francisco Mendoza

MAILING ADDRESS:

1222 First Avenue, MS 501, San Diego, CA 92101-4153

PHONE NUMBER / EMAIL:

(619) 446-5433 / fmendoza@sandiego.gov

On June 12, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (June 26, 2018). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: www.lajollacpa.org

Voicemail: 858.456.7900

Email: info@lajollacpa.org

President: Bob Steck

Vice President: Helen Boyden

2nd Vice President: Brian Will

Secretary: Dede Donovan

Treasurer: Janie Emerson

MINUTES –

Regular Meeting | Thursday 7 December 2017, 6:00 pm

Trustees Present: Ahern, Boyden, Brady, Collins, Costello, Courtney, Emerson, Gordon, Greatrex, Merten, Palmer, Rasmussen, Shannon, Steck, Weiss and Will

Trustees Absent: Little, Donovan

1.0 Welcome and Call to Order: President Steck called the meeting to order at 6:00 PM

2.0 Adopt the Agenda

Motion Passed: 11-0-1 (Emerson, Boyden)

3.0 Meeting Minutes Review and Approval

Motion Passed 11-0-1 (Boyden, Collins)

4.0 Officer Reports

4.1 Treasurer

| | |
|--|-------------------------|
| Beginning Balance as of 11-1-17: | \$ 100.62 |
| Income – Total (Collections): | \$ 560.00 |
| Expenses – CA bi-annual statement of Information Filing Fee \$20.00; Rec Center rent/overtime Jan-Jun 2018 \$260.00; Agenda Printing \$42.50; AT&T Telephone \$76.67; | |
| Total Expenses: | <u>\$ 399.17</u> |
| Net Income/(Loss) | \$ 160.83 |
| Ending Balance as of 11-30-17 | \$ 261.45 |

4.2 Secretary – Read the customary statement re: Membership

Scheduled Minutes takers: December: Ahern

5.0 Elected Officials – Information Only

5.1 Council District 1: Councilmember Barbara Bry –

Rep: **Mauricio Medina**, 619-236-6611, mauriciom@sandiego.gov.

5.2 78th Assembly District: Assemblymember Todd Gloria

Rep: **Javier Gomez** 619-645-3090 javier.gomez2@asm.ca.gov

5.3 39th Senate District: State Senator Toni Atkins

Rep: **Chevelle Newell Tate**, 619-645-3133, Chevelle.Tate@sen.ca.gov

6.0 President's Report – Information only unless otherwise noted

6.1 Oath of Office: Trustee elected in September Special Election: Cindy Greatrex.

6.2. Project Update: Planning Commission Hearing on Blue Heron held on November 16. LJCPA represented by letters from Janie Emerson and Mike Costello: Unanimous denial of both the LJCPA appeal based on LJ Community Plan and the neighbor appeal on geotechnical grounds.

6.3 The UCSD Draft EIR for the proposed Torrey Pines Living Learning Neighborhood was issued November 1 with a 45-day comment period expiring December 15. A public hearing on the Draft EIR was held on November 29.

6.4 Appoint Election committee for the March election (Janie Emerson, chair, Donna Aprea, Gail Forbes, Joe LaCava. Six seats are available at this time. Trustees up for re-election Patrick Ahern, Tom Brady, Janie Emerson, Dolores Donovan, David Little, and John Shannon. Janie Emerson declared she would not be running.

7.0 Non-Agenda Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

Andrea Slageter – City council hearing on the possible Short Term Vacation Rental (STVR) issues. The Ocean Beach Planning Committee is requesting people attend in order to speak or cede time Tuesday, December 12th, 10am Golden Hall.

Matt Strabone – Running for County Assessor, Recorder and Clerk. Believes in public outreach, and improving customer service.

Steve Rossi – Lives on Bandera. Requested audience input on how to deal with opening up public view corridor at the foot of Bandera to the ocean. He was informed that this issue has been discussed at LJCPA and this is the correct group. Further discussion is in process.

7.1 City of San Diego – Community Planner: Marlon Pangilinan, mpangilinan@sandiego.gov

7.2 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://commplan.ucsd.edu/> - Not present.

7.3 General Public

8.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

Phil Merten – Requests that development projects not be reviewed until affected property owners have been adequately noticed, and that Committee Chairs not review a Development Project sooner than 15 days after the date on the notice of Application or Notice of Future Decision.

Helen Boyden noted that the First project review letter to be received before meeting agenda published should also be added.

Janie Emerson said this issue should be an action item at the next CPA meeting. Dave Gordon agreed that the issue be an action item. Mike Costello, also requested that the City provide notice.

Mike Costello - STVR – Asked people to show up for the December 12th hearing. Also commented the Community Plan isn't always recognized as a valid guideline for development.

Helen Boyden requested that specific elements of the Community Plan be cited in motions.

Patrick Ahern – The Upper reservoir, known as the Country Club Reservoir located at 7269 Encelia Drive off of Upper Hillside Drive may start construction in January. The 3.1 million gallon reservoir In La Jolla Heights Park and the lower reservoir on Soledad and Al Bahr will soon be going through Environmental Review.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

- 9.1 Community Planners Committee** <http://www.sandiego.gov/planning/community/cpc/index.shtml>-
John Shannon, Rep.- Nothing to report.
- 9.2 Coastal Access & Parking Board** <http://www.lajollacpa.org/cap.html> Nothing to report.
- 9.3 UC San Diego Long Range Development Plan CAG** <http://lrdep.ucsd.edu>

10.0 Consent Agenda- Action Items

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm
 DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm
 PRC – La Jolla Shores Permit Review Committee, Chair Dave Gordon 3rd Monday 4:00 pm
 T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

- **See Committee minutes and/or agenda for description of projects, deliberations, and vote.**
 → **Anyone may request a consent item be pulled for full discussion by the LJCPA.**

The DPR Committee met but had no recommendations in November.

- 10.1 Paseo Del Ocaso Residence:** Project No. 556415 8247 Paseo Del Ocaso (Process 3) Coastal Development and Site Development Permit to demolish an existing 1900 sq ft residence and construct a new 4,332 sq ft two-story single family residence including a basement and roof deck. The new home will include 1st floor: 1,492 sq ft, 2nd floor: 1,743 sq ft, Basement: 1,097 sq ft, Roof Deck: 100 sq ft. The 0.12 acre site is located within LJSPD-SF of the Coastal (Non-Appealable) Overlay Zone.
PRC Motion: Finding could be made for an SDP and CDP for Project #556415. 4-2-1

- 10.2 Shteremberg Residence:** Project No. 568083; 8361 Del Oro Court (Process 3) Site Development Permit and Coastal Development Permit for demolition of an existing 2,875 sq ft single story residence (current FAR 0.14) and construction of a new 5,259 sq ft single story residence (proposed FAR 0.26) at 8361 Del Oro Court. The new residence will include 5 bedrooms, 6 bathrooms, 3 car garage, pool, spa with an additional pool bath and a 400 sq ft roof deck. Existing and proposed setbacks are 10 ft side and 20 ft front. Maximum proposed height not to exceed 20 ft. The 0.46 acre site is in the Coastal Overlay Zone (non-appealable area), in the LJSPD-SF zone(s) of the La Jolla Shores Planned District.
PRC Motion: Finding could be made for Project #568083 which include moving of the pool equipment off the property line to plan dated 11/20/2017 6-0-1.

- 10.3 Speed Lumps on Draper Avenue between Westbourne and Genter Streets:** Resident request for City installation of six speed lumps to deter speeding. (Andrea Russell)
T&T Motion: To Approve Six Speed Lumps on Draper Avenue between Westbourne and Genter Sts. 10-0-0

- 10.4 Pedestrian Crossing Controls on La Jolla Mesa at Skylark Drive:** Resident request for City Installation of Controls to assist pedestrians in safe crossing (Antonio Sacido)

T&T Motion: to encourage the City to complete their evaluation study regarding pedestrian crossing controls at the intersection of La Jolla Mesa and Skylark Drive 10-0-0

10.5 Ways and Means at 1251 Prospect Street: PDO zone: Zone 1 and Coastal Overlay Zone Applicant: Parnell Delcham Agent: Rebecca Kerr: Change in building façade, materials, colors, Signage

PDO Motion: Plans as presented conform to the La Jolla Planned District Ordinance. 5-0-0.

Motion to approve Consent Agenda approved (Emerson/Gordon 14-0-1)

The following agenda items are “Action Items” unless otherwise noted and may be *de novo* considerations.

Prior actions by committees/boards are listed for information only

11.0 Robbins Residence CDP [Project No: 521651] 314 Ricardo Place

(Process 3) The project is a Coastal Development Permit for an 807-square-foot second story addition with deck and roof deck to an existing 2,802-square-foot residence at 314 Ricardo Place. The 0.164-acre site is in the RS-1-7 zone, Coastal Appealable and Non-appealable overlay zones Parking Impact Overlay Zone (Coastal and Beach) within the La Jolla Community Plan Area.

DPR Motion: (10/17/2017) Findings CANNOT be made based on impacts to scale and character to the neighborhood. Larger second floor front setback would be consistent with neighborhood character. (Leira/Ragsdale 5-1-1).

Paul Benton representing the applicant noted the home complies with City front, sides and rear-yard setbacks, height, and Floor Area Ratio. The forward placement of the second story addition is evident in the surrounding neighborhood as well as up the street. The angled development of the homes along this block allows views to be retained. The area is in transition and there is a 2-story home across the street. Therefore, it is on compliance in all areas of the City Code and the La Jolla Community Plan.

Ali Simon, a resident of 24 years, and neighbor of the project is concerned about view corridors being protected, preserving the existing streetscape, the negative impacts of this project setting a precedent for future development. Mr. Simon asked that the project be stopped, or the second story stepped back.

Dave Gordon said this project is not affecting a Public View Corridor.

An option for the project would have been to move the garage closer to the street.

Mike Costello said it would be best to retain views, and to step back the 2nd floor to retain community character.

Brian Will noted that the LJ Community Plan indicates the 2nd floor should be stepped back.

LJCPA Motion: Findings CANNOT be made based on impacts to scale and character to the neighborhood. A second floor front setback is needed to be consistent with neighborhood character.[La Jolla Community Plan and Local Coastal Program Land Use Plan - PLAN RECOMMENDATIONS 2e. under Community Character Pg. 76, states in part: "Structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit, in order to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air."] (Emerson/Collins 10-4-1)

12.0 Bollards at the foot of Playa Del Norte. Discuss and vote on an alternative proposal to the bollards (stations) at the foot of Playa Del Norte, for a temporary parking area (probably a “green” zone) to allow for

the checking of surf conditions, in the area where the bollards are now located. Drawings of what City Staff would support in this area will be presented.

Discussion:

Bill Fitzmaurice, Bill's daughter, Melinda Merryweather, and Tim Bessell representing Windansea Surf Club, Friends of Windansea and users of this view point provided support for removing the bollards and providing short term parking. Merryweather showed 120 signatures that were collected also in support for the approach and to protect the surfing community and maintain this historic surf check-out location. Bollards were originally installed due to crime in the area with multiple cars parking for long periods of time. It was suggested that 3 minutes rather than 15 minutes parking be used to prevent people from lingering too long.

Bessell – in favor of the 3rd option, noted there could be flex in the time.

Bill Fitzmaurice – Rep Windansea Surf Club said this benefits many community groups. He said time is needed to wait for a set of waves to come in which can take 15 minutes or longer.

Glen Rasmussen has been working on this project to protect this historic location for checking the surf. Board comments indicated a 15 minutes time frame is understandable. He recommended removing the bollards along Playa del Norte to allow cars to pull up, and retain the bollards along Neptune Place to delineate a crosswalk for safety and prevent people from driving up the wrong way.

Ahern said he believes the proposal is a win-win for surfers who want to view the ocean, and for the neighbors because it limits parking to 2 cars, and there would be no parking from 9PM-6AM to curtail illegal activities and noise. He noted this is also a protected public vantage point as per the LJ Community Plan.

It was also noted this area can to be used as an unloading and loading zone for visitors to the beach.

LJCPA Motion: Finding can be made to accept proposal #3 to retain Public Vantage Point #67 and access by removing northern bollards along Playa del Norte and retaining western bollards along Neptune place, and installing 2 Green 15 minute limit parking spaces at the foot of Playa Norte with no parking from 9PM to 6AM time. Revisit in 9 months to determine if there have been police complaints. (Ahern/Emerson 13/0/2)

13.0 Announcement of the January LJCPA Minutes-Taker

Ray Weiss

14.0 Adjourn (circa *8 PM) to next LJCPA Meeting: January 4, 2017, 6:00 PM



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

Meeting Minutes for October 16th, 2017

615 Prospect Street

La Jolla, CA 92037

| Trustee | Attendance | Trustee | Attendance |
|------------------|------------|------------------|------------|
| Dolores Donovan | Present | Herbert Lazerow | Present |
| Dan Goese, Chair | Present | Jane Potter | Absent |
| Andrea Moser | Present | Susanne Weissman | Present |

1. **Call to Order:** 11:02 a.m.
2. **Approval of the Agenda**
Approval of the agenda with the correction to Item A – Greenberg Residence to add the “I” to “Paseo del Ocaso” and to continue Item D – Moel/Dubin Remodel to the next meeting at the request of the applicant. 4-0-0.
3. **Approval of the Minutes**
Defer approval of September meeting minutes until draft incorporating edits is provided for review. Donovan/Lazerow 5-0-0.
4. **Public Comment:**
None.
5. **Project Review**

ACTION ITEMS

ACTION ITEM A

Project: 556536 – Greenberg Residence SDP/CDP (Continued from 9/18/17)

Location: 8276 Paseo Del Ocaso

APN: 346-180-1100

Presented by: Michael Morton

Description:

Demolish an existing 2,069 sf single-family residence and construct a new two-story 4,364 sf single-family residence with a new two car garage.

Presentation

- Mr. Morton went over changes to the proposed project
- Distance from the sidewalk to the garage is 20 feet

- Side yard setbacks have been increased, rear yard setback is approximately 18 feet, and Front yard setback is approximately 22 feet
- Project reduced by 600 sf and landscaping area is 35% of the lot
- Proposed building height is approximately 29 feet and 5 inches to the top of the chimney
- Photo-voltaic system is still proposed for the roof
- Site drains to the rear with the ability of stormwater to collect at area drains

Comments

- Concerns expressed by Ms. Winner stating that not all neighbors support the project and that there are still concerns over bulk and scale - floor area and the percentage increase in floor area and lot drainage
- Concern expressed by a member of the public regarding existing camphor tree being affected by roof overhang
- Overall concerns expressed by several Board Members related to bulk and scale

1st Motion: Deny project because of issues with bulk and scale. Donovan/Weisman.

Applicant Michael Morton addressed the board to request a continuance of the project's consideration by the Advisory Board, so that he can have more time to address concerns by the neighbors.

Discussion on the motion:

The Advisory Board considered continuance. Weisman indicated that the board has been seeing these large projects "creeping up" in these neighborhoods where small lots exist, creating issues with neighborhood character and that is why they should be denied.

1st Motion Voted upon: Deny project because of bulk and scale. Donovan/Weisman. 2-2-0. Chair abstained. Vote is tied. No action (four affirmative votes are required for an action).

2nd Motion: Continue the project. Lazerow/Moser. 4-1-0. Chair voting. Motion passed.

ACTION ITEM B

Project: 568083 – Shteremberg Residence CDP (Continued from 9/18/17)

Location: 8361 Del Oro Court

APN: 346-180-1300

Presented by: Carlos Wellman

Description:

Proposal to demolish an existing 2,875 sf single-story residence and construct a new 5,259 sf residence with 5 bedrooms, 6 bathrooms, 3-car garage, a pool and spa with pool bath, and 400 sf roof deck on an existing 20,038 sf lot.

Presentation

- Project proposes a 0.26 FAR

Comments

- Preference expressed by the Board for a pitched roof design
- Concern expressed regarding the setback to the south side where the pool equipment is located and where noise could impact the neighbors. Applicant explained that this is not an issue as the adjacent neighbor has located a garage in that location.
- Questions raised about neighbors in support. Advisory Board requested that letters be forwarded to the City Staff.

Motion: Approve as a Major Project - Process 3. Project conforms to the La Jolla Shores Planned District Ordinance, subject to verification of letter(s) of support from adjacent neighbors. Weisman/Moser. 5-0-0.

ACTION ITEM C

Project: 563961 – Adler Residence

Location: 7989 La Jolla Shores Drive

APN: 346-372-0200

Presented by: Brad Swaggerty

Description:

Proposal for a 536 sf addition/remodel to an existing 2,230 sf two-story single family residence consisting of two new bathrooms, minor expansion to the kitchen, new family room, laundry room, and mud room on a 7,863 sf lot.

Presentation:

- Bathroom only added to the 2nd floor
- Materials and colors to match

Comments:

- Concern expressed regarding lack of articulation on the side of the bathroom addition

Motion: Approve as a Minor Project – Process 1. Project conforms to the La Jolla Shores Planned District Ordinance, subject to verification of letter(s) of support from adjacent neighbors. Moser/Lazerow. 5-0-0.

INFORMATION ITEM A

Project: Blaho Residence

Location: 8136 La Jolla Shores Drive

APN: 346-283-1200

Presented by: Kim Grant

Description:

Proposal for a 658 sf addition to an existing 2,632 sf single-story residence consisting of additions to the living room, master bedroom, standard bedroom, guest bedroom, dining room, gym, kitchen, and new deck on a 5,610 sf lot.

Presentation:

- Home built in 1941. Historic Resources Board (HRB) determined that the home has been significantly altered through the years
- Proposed materials have not been determined, but the building will be mostly stucco
- Maintaining same roof pitch
- Existing carport is proposed to be converted to habitable space and accommodate parking on extra-long driveway

Comment:

Advisory Board suggested that the applicant review parking requirements in Chapter 14 of the Municipal Code dealing with parking requirements.

6. Submittal Requirements to the Advisory Board

Submittal items recommended by the Advisory Board:

- Letters from neighbors in support prior to being placed on the agenda
- 1st Assessment Letter/Cycle review in pdf.
- 3D black and white drawings
- Plan set
- Site plan exhibit identifying areas proposed for additions/remodel
- Outline of adjacent buildings, to understand and approximate vicinity of adjacent buildings
- Exhibits showing existing and proposed changes

Staff indicated that assessment letters might not be available for some projects that likely could be processed under Process 1 and that information related to plans/drawings could be difficult to send electronically because of file sizes. Staff will provide follow up regarding any official submittal requirements.

7. Next meeting date: Monday, November 20th, 2017.

8. Adjournment: 1:00 p.m.

Minutes taken by Marlon I. Pangilinan, Senior Planner, City of San Diego



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____


Project Title **Project No. For City Use Only**
 Shteremberg Residence 568083

Project Address:
 8361 Del Oro Ct La Jolla CA 92037 La Jolla CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Carlos Shteremberg
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 8835 Robinhood Lane
 City/State/Zip:
 La Jolla CA 92037
 Phone No: (619) 990-9909 Fax No:
 Signature:  Date: Oct 9 2017

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature : Date:

Shteremberg Home Remodel

SINGLE FAMILY HOME REMODEL 8361 DEL ORO CT. LA JOLLA , CA. 92037

NOTES:

- ALL INDICATED BOUNDARY, EXISTING SITE AND SIDEWALK CONDITIONS WERE OBTAINED FROM SITE PLAN PROVIDED BY OWNER
 - BEFORE COMMENCEMENT OF WORK, CONTRACTOR TO CONTACT AND COORDINATE WITH ALL GOVERNMENT AGENCIES AND UTILITY COMPANIES WHICH MAY HAVE SERVICES IN THE AREA. THE CONTRACTOR SHALL ASSURE HIMSELF THAT HE HAS LOCATED ALL UNDERGROUND SERVICES PRIOR TO ANY SUBSURFACE EXCAVATION. HE SHALL PROTECT ALL EXISTING UNDERGROUND SERVICES.
 - CONTRACTORS TO VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS RELATED TO THEIR SCOPE OF WORK (INCLUDING EXPOSED OR CONCEALED CONDITIONS AND CONDITIONS WHICH ARE SHOWN OR NOT SHOWN ON DRAWINGS) PRIOR TO BID AND CONSTRUCTION.
 - ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING AND DRIVEWAY TO ALLEY OR STREET OR PUBLIC STORM DRAIN SYSTEM.
 - ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED ARE SHOWN ON THIS SITE PLAN
 - CONTRACTOR TO REPAIR AS REQUIRED, ANY DAMAGE TO BUILDING DUE TO DEMOLITION OR NEW CONSTRUCTION WORK.
 - CONTRACTOR TO PATCH-UP ANY UNUSED HOLES OR VOIDS EXISTING OR CAUSED BY DEMOLITION OR NEW CONSTRUCTION WORK.
 - BUILDING CODE:
 - ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AMENDMENTS AND ORDINANCES AS REQUIRED BY CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND ALL OTHERS RECOGNIZED JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.
 - THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE BASED ON 2016 IRC, 2016 CALIFORNIA BUILDING CODE BASED ON 2016 IBC.
 - THIS PROJECT SHALL COMPLY W/ THE 2016 CALIFORNIA ELECTRICAL CODE BASED ON 2016 NEC, 2016 CALIFORNIA PLUMBING CODE BASED ON 2016 UPC BY IAPMO, 2016 CALIFORNIA MECHANICAL CODE BASED ON 2016 UMC BY IAPMO, 2016 CALIFORNIA GREEN BUILDING CODE AND 2016 CALIFORNIA FIRE CODE BASED ON 2016 IFCC.
 - WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEM SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
 - IF THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS, INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.

OWNER SIGNATURE: _____
 - ALL NEW SINGLE-FAMILY DWELLING, DUPLEX AND TOWNHOMES ARE REQUIRED TO HAVE FIRE SPRINKLER SYSTEM INSTALLED.

"THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLAN REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED."
 - TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.
 - AUTOMATIC IRRIGATIONS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (CGBC 4.304.1)
 - A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED.
 - JOINTS AND OPENING, ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH GCMNT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CGBC 4.406.1)
 - BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRM THE DELIVERY OF THE MAINTENANCE MANUAL (CGBC 4.401.1)
 - THE MANUAL SHOULD INCLUDE IN ADDITION TO OTHER ASPECTS THE FOLLOWING:
 - DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEM, HVAC SYSTEMS, WATER HEATING SYSTEMS AND OTHER MAJOR APPLIANCE AND EQUIPMENT.
 - ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - LANDSCAPE IRRIGATION SYSTEMS.
 - WATER RE-USE SYSTEMS.
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60% AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.
 - INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM FOUNDATION.
 - INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 - INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAM AVAILABLE.
 - A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- A COPY OF A COMPLETE OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- AN OWNER MANUAL CERTIFICATE SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVED TO THE BUILDING OWNER.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION (CGBC 4.504.1)
- ADHESIVE SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CGBC 4.504.2.1)
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CGBC 4.504.2.2)
- AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMIST FOR VOC AND OTHER TOXIC COMPOUNDS (CGBC 4.504.2.3)
- A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR, OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN AND ADHESIVES, COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
- CARPET AND CARPET SYSTEM SHALL BE COMPLIANT WITH VOC LIMITS. SECTION 4.504.3) A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE.
- 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOL (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE
 - PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM.
 - CERTIFICATION UNDER RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOC-EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS"
- HARDWOOD PLYWOOD, PARTICLE BOARD, MEDIUM DENSITY FIBER BOARD (MDF), COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.504.5 AND TABLE 4.504.5 OF CALGREEN.
- A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR, OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTE ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.

- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOORS FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- THE MOISTURE CONTENT OF BUILDING MATERIAL USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER.
- EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB, UNLESS FUNCTIONING AS A COMPONENT A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50% TO 80%.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST IN COLOR TO BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 3/8 INCH. CPC SECTION 905.1.
- THE GAS SUPPLY PIPE MUST DELIVER A MINIMUM OF 200,00 BTUH. THE GAS PIPE MUST BE A MINIMUM OF 1/2" I.D.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE (S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATED OF OCCUPANCY WILL NOT BE ISSUED UNIT FORMS CF2R IS REVIEWED AND APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE (S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE (S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATED OF OCCUPANCY WILL NOT BE ISSUED UNIT FORMS CF3R IS REVIEWED AND APPROVED.
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CGBC SEC. 4.303.1
- PER 2016 CGBC SEC 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND TABLE 1401.1 OF THE CPC.
- PER 2016 CGBC SEC 4.503.1, ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- PER 2016 CGBC SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOM SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80%

PROJECT DATA:

PROJECT LOCATION: 8361 DEL ORO CT.
LA JOLLA, CA. 92037

PROJECT OWNER: SHTEREMBERG NATHAN CHILDREN TRUST
8835 ROBIN HOOD LN.
LA JOLLA, CA. 92037

PROJECT DESIGNER: ALTA DESIGN DEVELOPMENT INC.
4445 EASTGATE MALL # 400
SAN DIEGO CA, 92121
TEL 858 442-8009
CONTACT: CARLOS WELLMAN

PROJECT ENGINEER: LOVELACE ENGINEERING.
5930 CORNER STONE # 100
SAN DIEGO CA, 92121
TEL 858 535-9111
CONTACT: OSCAR COVARRUBIAS

CIVIL ENGINEER: COFFEY ENGINEERING INC.
9666 BUSINESSPARK AVENUE, # 210
SAN DIEGO, CA 92131
TEL 858 831-0111
CONTACT: FELICIANO RODRIGUEZ

GEOTECHNICAL ENGINEER: CHRISTIAN WHEELER ENGINEERING
3980 HOME AVENUE
SAN DIEGO, CA 92105
TEL 619 550-1700
CONTACT: DAN ADLER

SCOPE OF WORK: PRELIMINARY REVIEW TO DETERMINE PROCESS ONE TO PARTIALLY DEMOLISH AN ADD 2,600 SF. ADDITION TO AN EXISTING DWELLING UNIT INCLUDING GARAGE.

LEGAL DESCRIPTION: LOT 4 OF CERCA DE LA PLAYA IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING WITH MAP THEREOF No. 7957, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY

A.P.N.: 346-180-1300

YEAR BUILT: 1961

CONSTRUCTION TYPE: V-B

OCCUPANCY: R-3

ZONE: RS 1-2 (SINGLE FAMILY) LUSPD-SF

GEOLOGICAL HAZARD CATEGORY: 26,53

LOT AREA: 0.46 ACRES

BUILDING AREA: EXISTING LIVING SPACE: **2,875.00 SQ. FT.**
ADDITION: **2,600.00 SQ. FT.**

TOTAL LIVING SPACE: **5,475.00 SQ. FT.**

EXISTING GARAGE AREA: **498 SQ. FT.**
NEW GARAGE AREA: **921 SQ. FT.**

MAX. LOT COVERAGE: 0.60
LIVING AREA = 5475 SQ.FT.
5475/20037 SF LOT AREA = 0.27 ok.

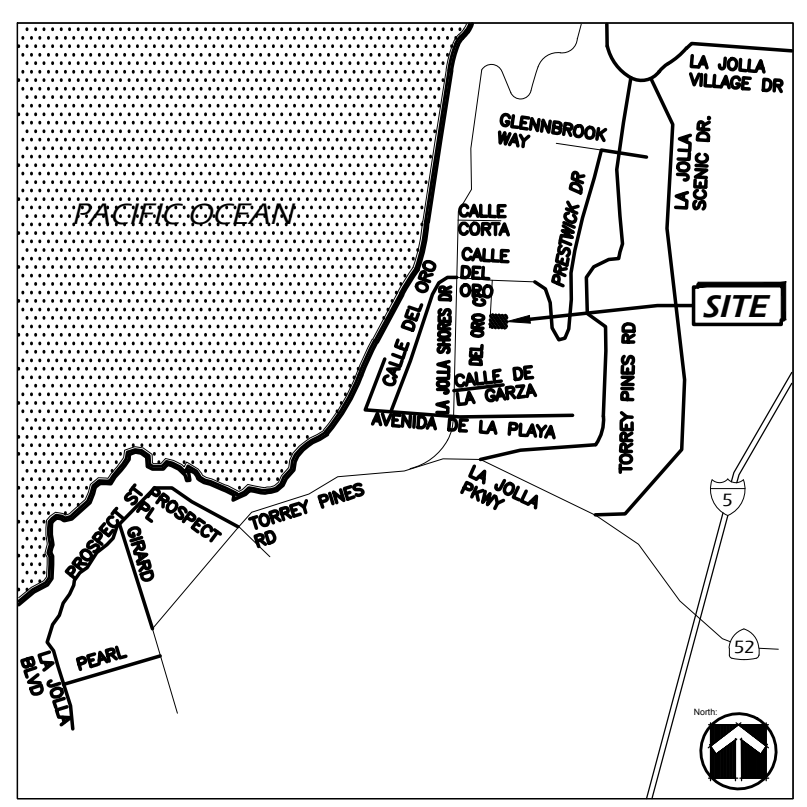
SETBACKS: FRONT 20'-0"
REAR 30'-0"
SIDE 10'-0"

STORM WATER QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND STORM WATER MANUAL.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S) DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET
- ALL STOCK PILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICE SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEED 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
- THE CONTRACTOR SHALL RESTORE ALL EROSION /SEDIMENT CONTROL DEVICE TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

VICINITY MAP N.T.S.



SHEET INDEX :

| ARCHITECTURAL | |
|---------------|---------------------------------|
| A01.1 | TITLE SHEET |
| A01.2 | STORM WATER REQUIREMENTS |
| A01.3 | EXISTING SITE PLAN |
| A01.4 | PROPOSED SITE PLAN |
| A01.5 | SITE SECTIONS |
| A01.6 | PHOTOGRAPHIC SURVEY |
| A01.7 | PHOTOGRAPHIC SURVEY |
| A01.8 | EXISTING SITE PLANS SURVEY |
| A01.9 | EXISTING SITE PLANS SURVEY |
| A02.1 | EXISTING FLOOR PLAN |
| A02.2 | PROPOSED FLOOR PLAN |
| A02.3 | FURNISHED FLOOR PLAN |
| A02.4 | PROPOSED CLEAR STORY FLOOR PLAN |
| A03.1 | ROOF PLAN |
| A04.1 | EXTERIOR ELEVATIONS |
| A04.2 | EXTERIOR ELEVATIONS |
| A04.3 | COLORLED EXTERIOR ELEVATIONS |
| A04.4 | COLORLED EXTERIOR ELEVATIONS |
| A05.1 | BUILDING SECTIONS |
| A05.2 | BUILDING SECTIONS |
| A05.3 | BUILDING SECTIONS |
| A06.1 | EXTERIOR RENDERS |
| A06.2 | EXTERIOR RENDERS |
| CIVIL | |
| C1 | GRADING AND DRAINAGE PLAN |
| LANDSCAPE | |
| L01 | LANDSCAPE PLAN |

Consultants

Scale:
As Shown

Drawn:
E. R.

Checked:
C. Wellman


| Original Date | |
|---------------|---------------|
| 07/14/17 | OWNERS REVIEW |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTEREMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037

Sheet Title:
TITLE SHEET


A01.1

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| | | |
|--|--|---|
|  City of San Diego Development Services 1222 F. First Ave., MS-302 San Diego, CA 92101 (619) 446-5000 The City of San Diego | Storm Water Requirements Applicability Checklist | FORM DS-560 FEBRUARY 2016 |
| | Project Address: <u>8361 DEL ORO CT. LA JOLLA CA 92037</u> | Project Number (for City Use Only): _____ |
| SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the <u>Storm Water Standards Manual</u> . Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board. | | |
| For all project complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B. | | |
| PART A: Determine Construction Phase Storm Water Requirements. | | |
| 1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.) | | |
| <input type="checkbox"/> Yes; SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No; next question | | |
| 2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity that results in ground disturbance and contact with storm water runoff? | | |
| <input type="checkbox"/> Yes; WPCP required, skip 3-4 <input type="checkbox"/> No; next question | | |
| 3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement) | | |
| <input type="checkbox"/> Yes; WPCP required, skip 4 <input checked="" type="checkbox"/> No; next question | | |
| 4. Does the project only include the following Permit types listed below? | | |
| <ul style="list-style-type: none"> • Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit. • Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service. • Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. | | |
| <input type="checkbox"/> Yes; no document required | | |
| Check one of the boxes to the right, and continue to PART B: | | |
| <input type="checkbox"/> If you checked "Yes" for question 1, a SWPPP is REQUIRED . Continue to PART B | | |
| <input checked="" type="checkbox"/> If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED . If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B. | | |
| <input type="checkbox"/> If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2. | | |
| 1. More information on the City's construction BMP requirements as well as CGP requirements can be found at www.sandiego.gov/stormwater/regulation/index.html | | |
| Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (02-16) | | |

| | |
|---|--|
| Page 2 of 4 | City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist |
| PART B: Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff. | |
| Complete PART B and continued to Section 2 | |
| 1. <input checked="" type="checkbox"/> | ASBS a. Projects located in the ASBS watershed. |
| 2. <input type="checkbox"/> | High Priority a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed. |
| 3. <input type="checkbox"/> | Medium Priority a. Projects 1 acre or more but not subject to an ASBS or high priority designation. b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed. |
| 4. <input type="checkbox"/> | Low Priority a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation. |
| SECTION 2. Permanent Storm Water BMP Requirements. Additional information for determining the requirements is found in the <u>Storm Water Standards Manual</u> . | |
| PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the <u>Storm Water Standards Manual</u> are not subject to Permanent Storm Water BMPs. | |
| If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements". | |
| If "no" is checked for all of the numbers in Part C continue to Part D. | |
| 1. <input type="checkbox"/> | Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 2. <input type="checkbox"/> | Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 3. <input type="checkbox"/> | Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| | |
|---|---|
| City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist | Page 3 of 4 |
| PART D: PDP Exempt Requirements. PDP Exempt projects are required to implement site design and source control BMPs. If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt." If "no" was checked for all questions in Part D, continue to Part E. | |
| 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that: | |
| <ul style="list-style-type: none"> • Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or; • Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or; • Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? | |
| <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; next question | |
| 2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the <u>City's Storm Water Standards Manual</u> ? | |
| <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; project not exempt. PDP requirements apply | |
| PART E: Determine if Project is a Priority Development Project (PDP). Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP). | |
| If "yes" is checked for any number in Part E, continue to Part F. If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project". | |
| 1. <input type="checkbox"/> | New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 2. <input type="checkbox"/> | Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 3. <input type="checkbox"/> | New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 4. <input type="checkbox"/> | New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 5. <input type="checkbox"/> | New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| 6. <input type="checkbox"/> | New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

| | |
|---|--|
| Page 4 of 4 | City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist |
| 7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| 8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| 9. New development or redevelopment projects of an automotive repair shops that create and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| 10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface used not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| PART F: Select the appropriate category based on the outcomes of PART C through PART E. | |
| 1. The project is NOT SUBJECT TO STORM WATER REQUIREMENTS. <input type="checkbox"/> | |
| 2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance. <input checked="" type="checkbox"/> | |
| 3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance. <input type="checkbox"/> | |
| 4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance on determining if project requires a hydromodification plan management <input type="checkbox"/> | |
| Name of Owner or Agent (Please Print): CARLOS WELLMAN Title: DESIGNER | |
| Signature:  Date: 12/07/2017 | |

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
 San Diego, California 92121
 T: 858-362-8500

Consultants

Scale:
 As Shown

Drawn:
 E. R.

Checked:
 C. Wellman

Original Date
 07/14/17 OWNERS REVIEW

Revisions:

| | |
|----|----------|
| 01 | |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

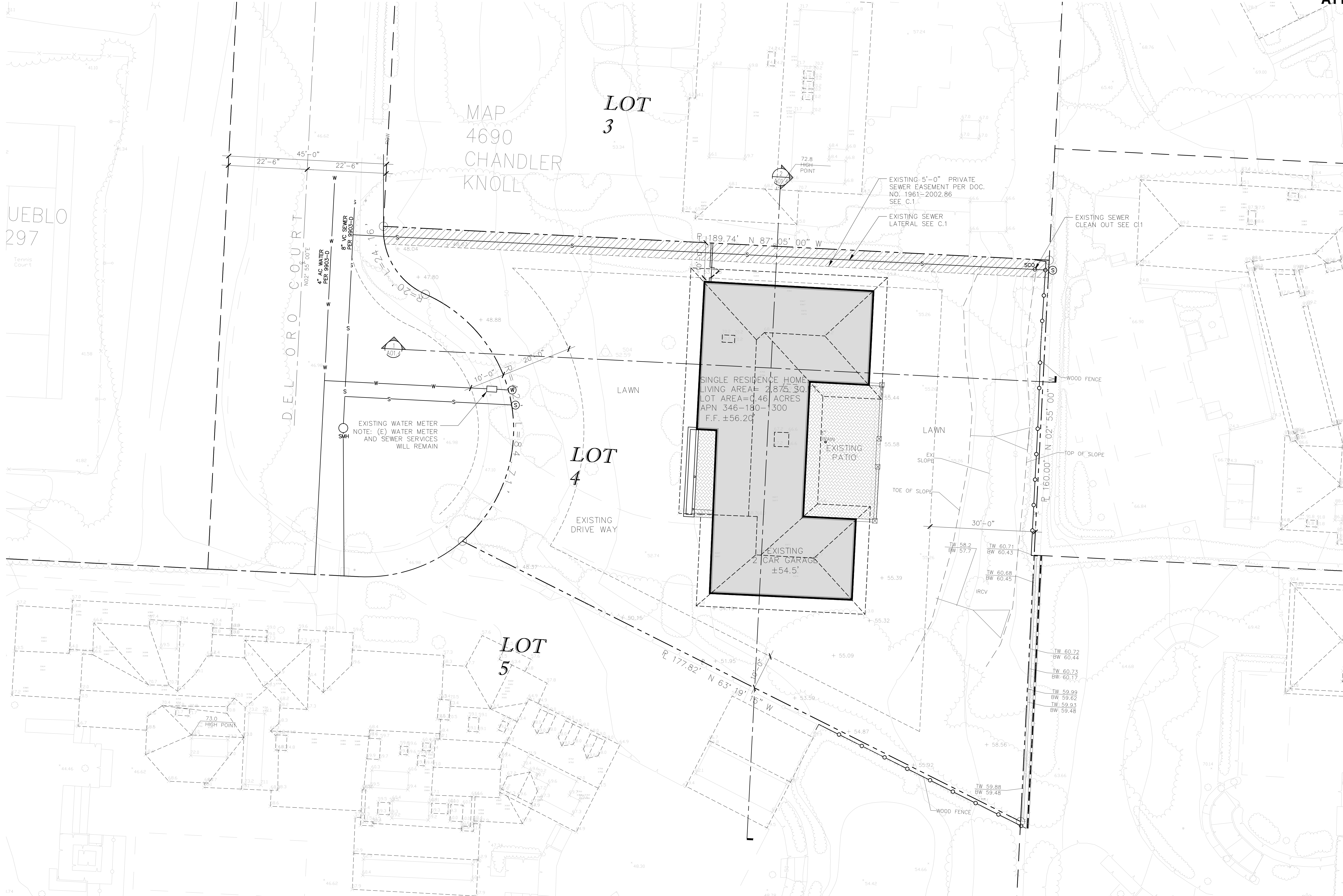
SHTEREMBERG REMODEL
 8361 DEL ORO CT.
 LA JOLLA, CA. 92037

Sheet Title:
 STORM WATER REQUIREMENTS



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



Scale:
As Shown
Drawn:
E. R.
Checked:
C. Wellman

| Original Date |
|---------------|
| 07/14/17 |
| Revisions: |
| 01 12/07/17 |
| 02 04/26/18 |
| 03 |
| 04 |
| 05 |
| 06 |
| 07 |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
EXISTING SITE PLAN

1 EXISTING SITE PLAN
SCALE: 1"=10'-0"



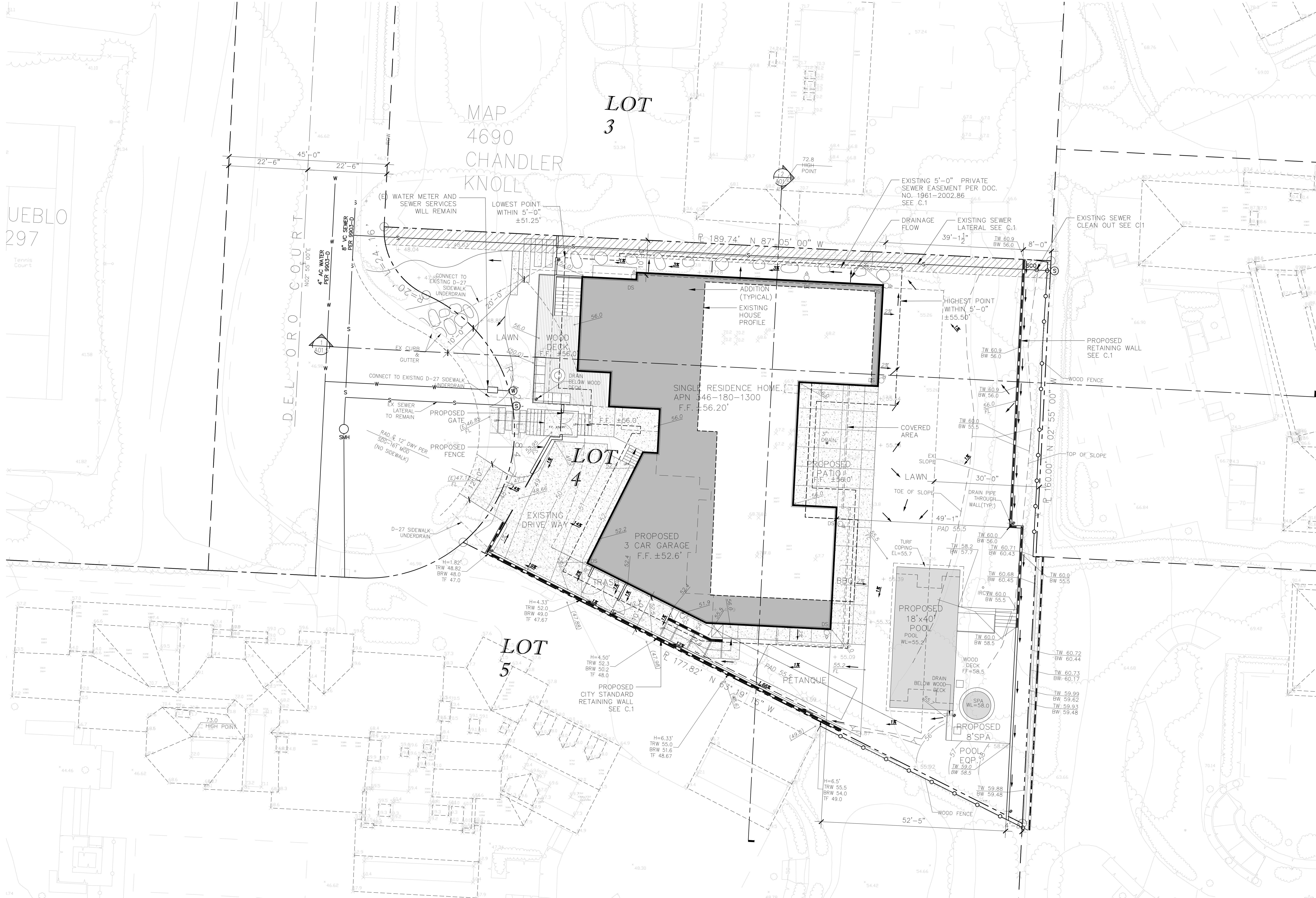
A01.3

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



Scale:
As Shown
Drawn:
E. R.
Checked:
C. Wellman

Original Date
07/14/17 OWNERS REVIEW
Revisions:
12/07/17
04/26/18

SHTERMBERG REMODEL
8361 DELORO CT.
LA JOLLA, CA. 92037
Sheet Title:
PROPOSED SITE PLAN

1 PROPOSED SITE PLAN
SCALE: 1"=10'-0"



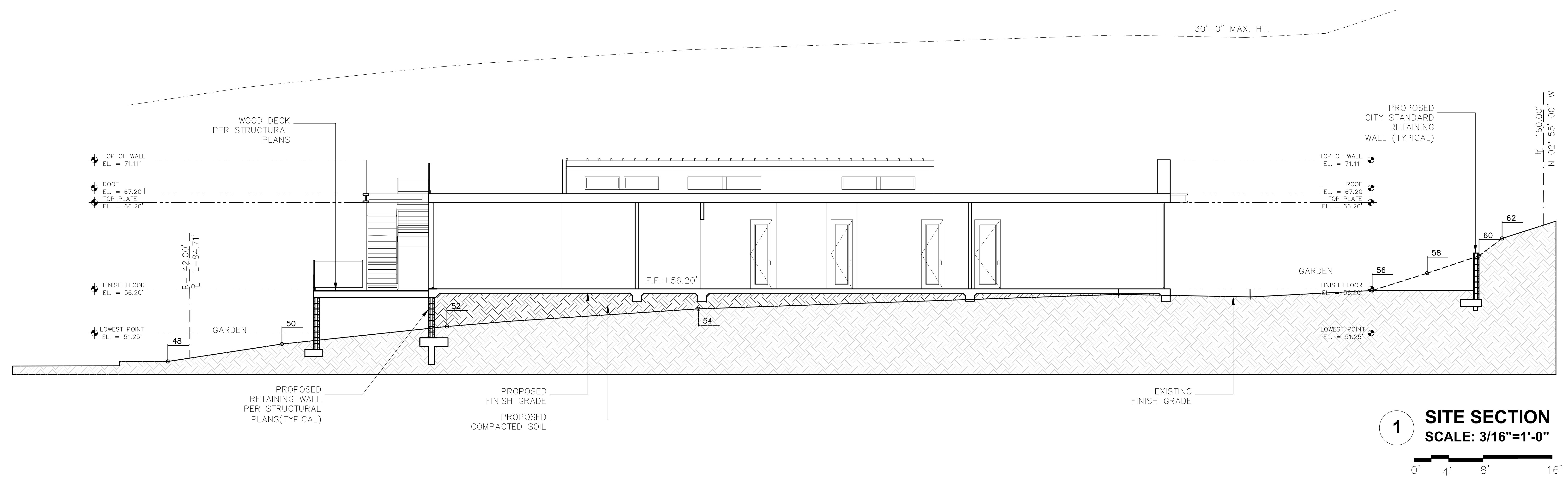
A01.4

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

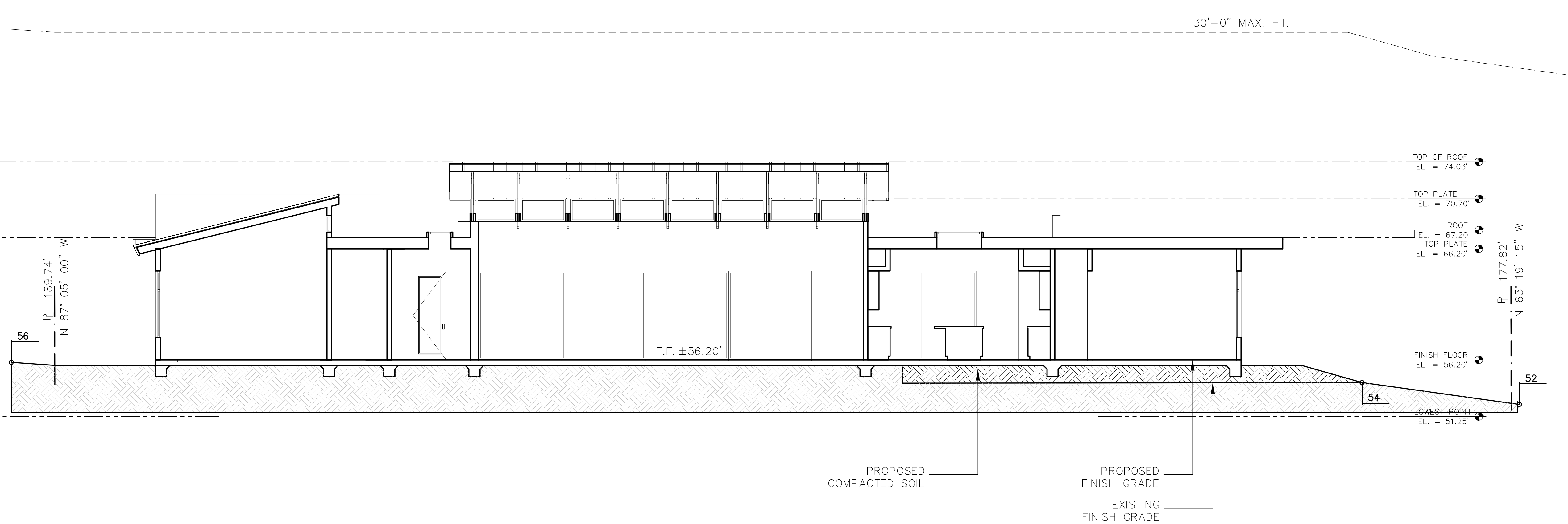


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



1 SITE SECTION
SCALE: 3/16"=1'-0"
0' 4' 8' 16'



2 SITE SECTION
SCALE: 3/16"=1'-0"
0' 4' 8' 16'

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

Scale:
As Shown
Drawn:
E. R.
Checked:
C. Wellman

Original Date
07/14/17 OWNERS REVIEW

| Revisions: | |
|------------|----------|
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
SITE SECTIONS

A01.5

Consultants



PHOTO 11



PHOTO 6



PHOTO 1



PHOTO 12



PHOTO 7



PHOTO 2



PHOTO 13

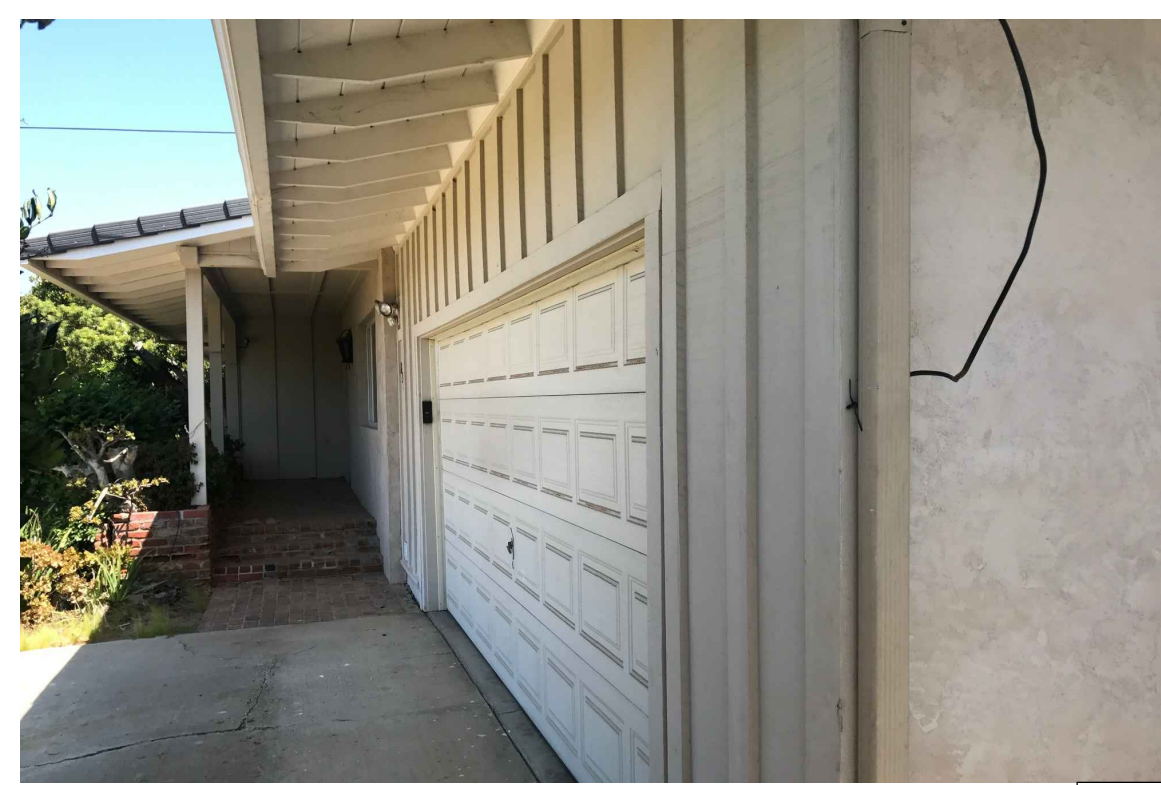


PHOTO 8



PHOTO 3



PHOTO 14



PHOTO 9



PHOTO 4



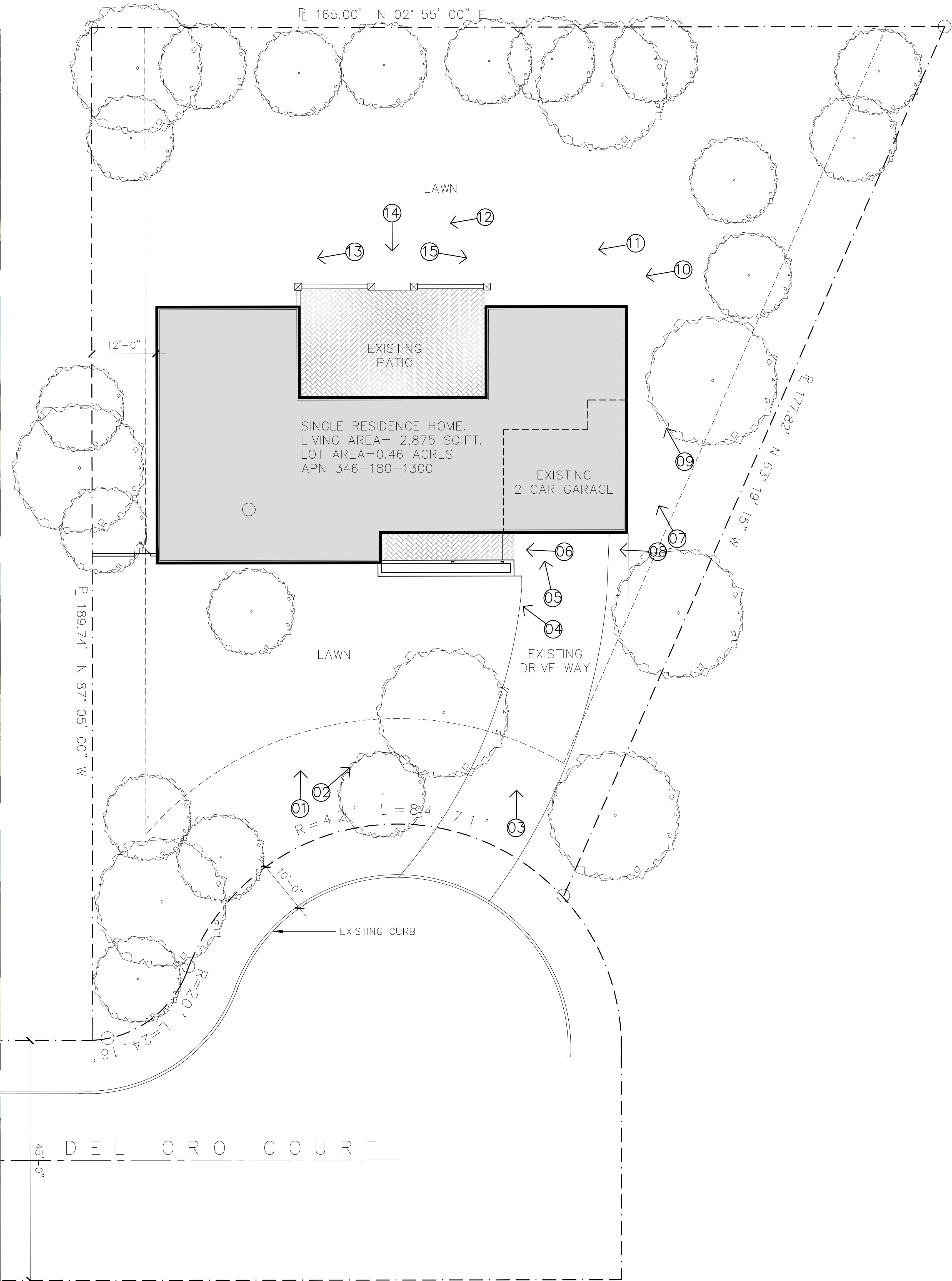
PHOTO 15



PHOTO 10



PHOTO 5



1 PHOTOGRAPHIC SURVEY
SCALE: 1"=10'-0"

0 10' 20' 30'

DISCLAIMER: SITE PLAN DIMENSIONS AREA APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSE ONLY

| | |
|---------------|------------------------|
| Original Date | 07/14/17 OWNERS REVIEW |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037

Sheet Title: PHOTOGRAPHIC SURVEY

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



PHOTO 26



PHOTO 21



PHOTO 16



PHOTO 27



PHOTO 22



PHOTO 17



PHOTO 28



PHOTO 23

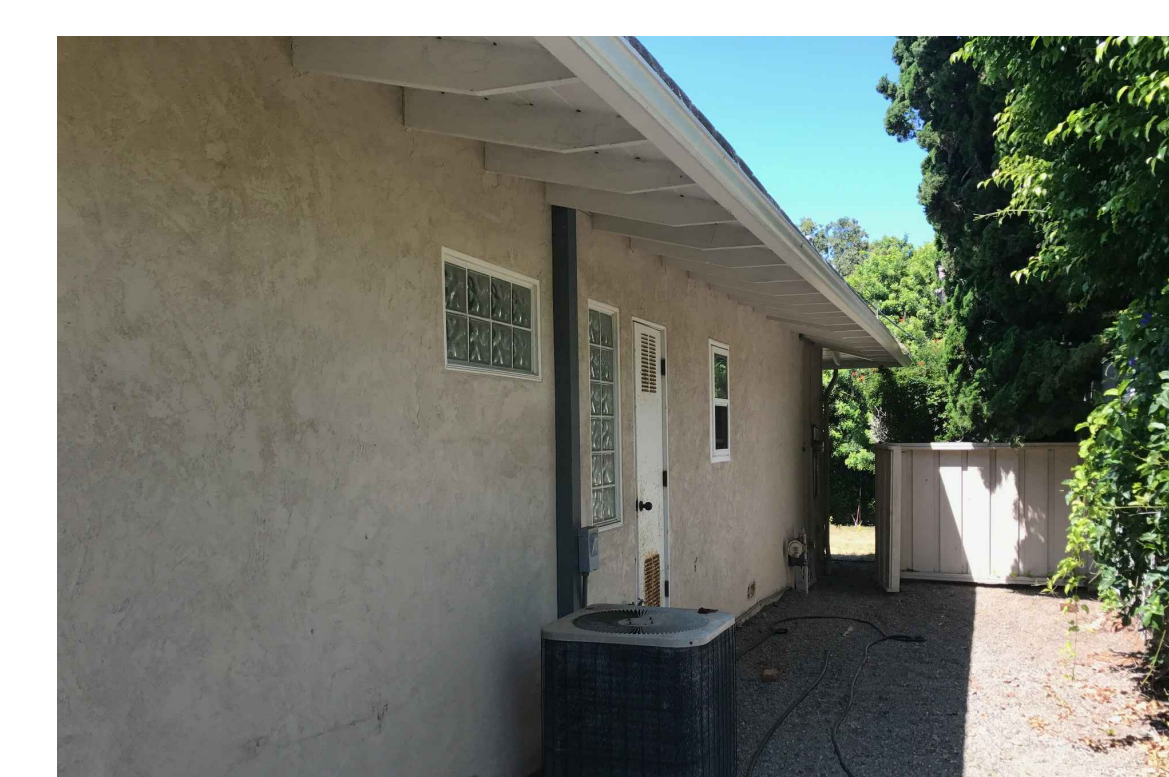


PHOTO 18



PHOTO 29



PHOTO 24

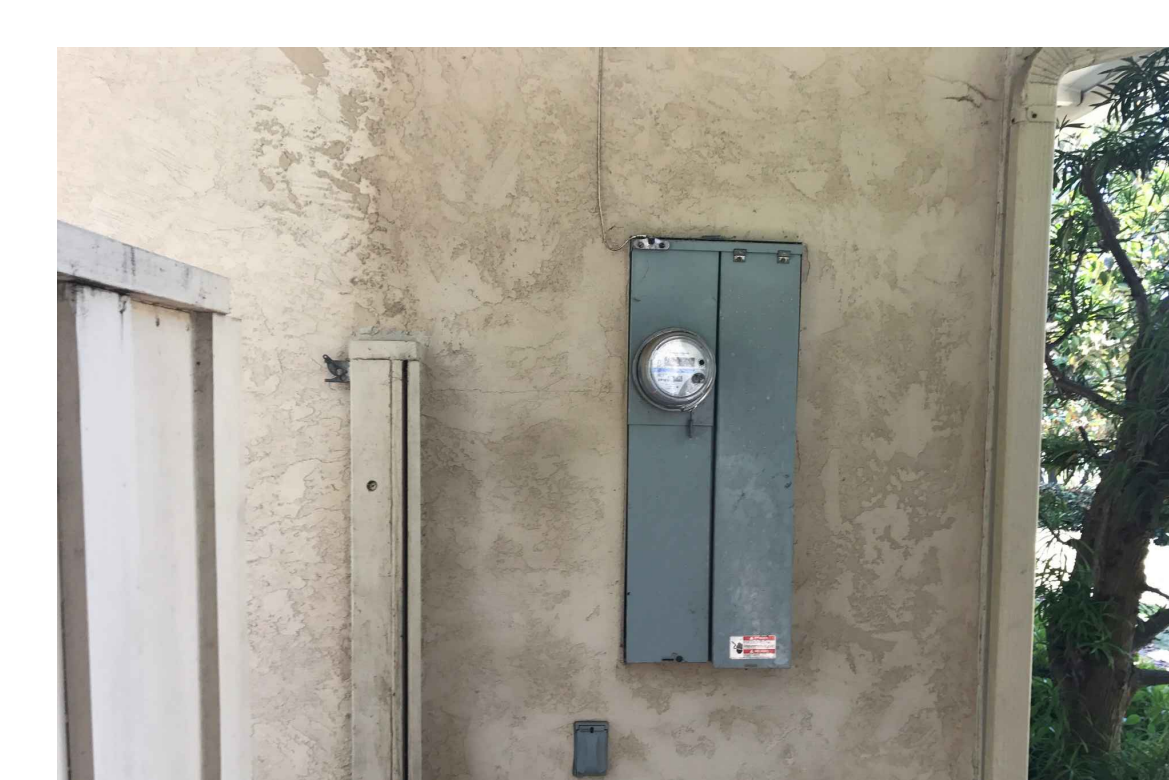


PHOTO 19



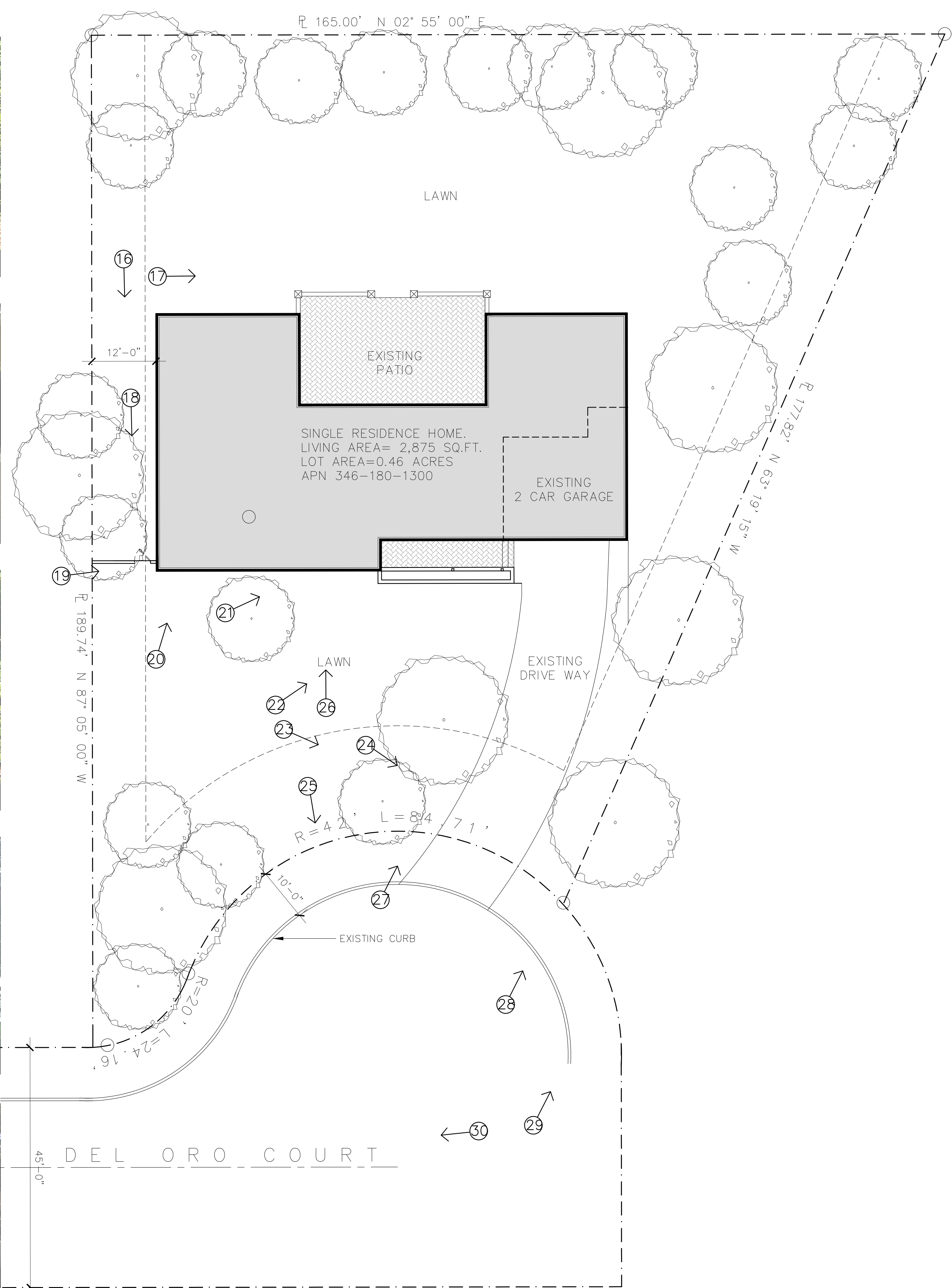
PHOTO 30



PHOTO 25



PHOTO 20



1 PHOTOGRAPHIC SURVEY
SCALE: 1"=10'-0"
0 10' 20' 30'

DISCLAIMER: SITE PLAN DIMENSIONS AREA APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSE ONLY.

Original Date
07/14/17 OWNERS REVIEW

| Revisions: | Date |
|------------|----------|
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: PHOTOGRAPHIC SURVEY

A01.7

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| SURVEY | | | |
|----------------------------|------------|------------------|--------------------------------------|
| ADDRESS | LOT AREA | CROSS FLOOR AREA | SETBACKS |
| 8361 DEL ORO COURT. | 0.46 ACRES | 5,259 SQ. FT. | FRONT= 20' BACK= 30' SIDE= 10' |
| 8371 DEL ORO COURT. | 0.45 ACRES | 2,712 SQ. FT. | FRONT= 65' BACK= 54' SIDE= 7' |
| 8351 DEL ORO COURT. | 0.68 ACRES | 6,786 SQ. FT. | FRONT= 10' BACK= 10' SIDE= 46' |
| 2335 CALLE DEL ORO | 0.48 ACRES | 2,739 SQ. FT. | FRONT= 86' BACK= 25' SIDE= 20' |
| 2323 CALLE DEL ORO | 0.63 ACRES | 4,256 SQ. FT. | FRONT= 75' BACK= 10' SIDE= 10' |
| 2305 CALLE DEL ORO | 0.26 ACRES | 4,623 SQ. FT. | FRONT= 25' BACK= 5' SIDE= 7' |
| 8371 LA JOLLA SHORES DRIVE | 0.23 ACRES | 1,578 SQ. FT. | FRONT= 15' BACK= 15' SIDE= 7' |
| 8355 LA JOLLA SHORES DRIVE | 0.22 ACRES | 2,295 SQ. FT. | FRONT= 25' BACK= 25' SIDE= 5' |
| 2310 CALLE DE LA GARZA | 0.23 ACRES | 5,250 SQ. FT. | FRONT= 15' BACK= 5' SIDE= 10' |
| 2350 CALLE DE LA GARZA | 0.56 ACRES | 7,581 SQ. FT. | FRONT= 10' BACK= 15' SIDE= 10' |
| 8320 CALLE DEL CIELO | 0.45 ACRES | 11,423 SQ. FT. | FRONT= 15' BACK= 10' SIDE= 8' |
| 8332 CALLE DEL CIELO | 0.44 ACRES | 2,807 SQ. FT. | FRONT= 35' BACK= 96' SIDE= 6' |
| 8350 CALLE DEL CIELO | 0.51 ACRES | 9,900 SQ. FT. | FRONT= 10' BACK= 73' SIDE= 7' |
| 8366 CALLE DEL CIELO | 0.40 ACRES | 5,273 SQ. FT. | FRONT= 10' BACK= 25' SIDE= 7' |
| 2385 CALLE DEL ORO | 0.54 ACRES | 3,356 SQ. FT. | FRONT= 20' BACK= 25' SIDE= 17' |



1 EXISTING SITE PLANS SURVEY
SCALE: 1"=30'-0"

0' 30' 60' 90'

DISCLAIMER: SITE PLAN DIMENSIONS AREA APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSE ONLY

| Original Date |
|------------------------|
| 07/14/17 OWNERS REVIEW |
| Revisions: |
| 01 12/07/17 |
| 02 04/26/18 |
| 03 |
| 04 |
| 05 |
| 06 |
| 07 |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: EXISTING SITE PLAN SURVEY

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



PHOTO 41



PHOTO 36



PHOTO 31



PHOTO 42



PHOTO 37



PHOTO 32

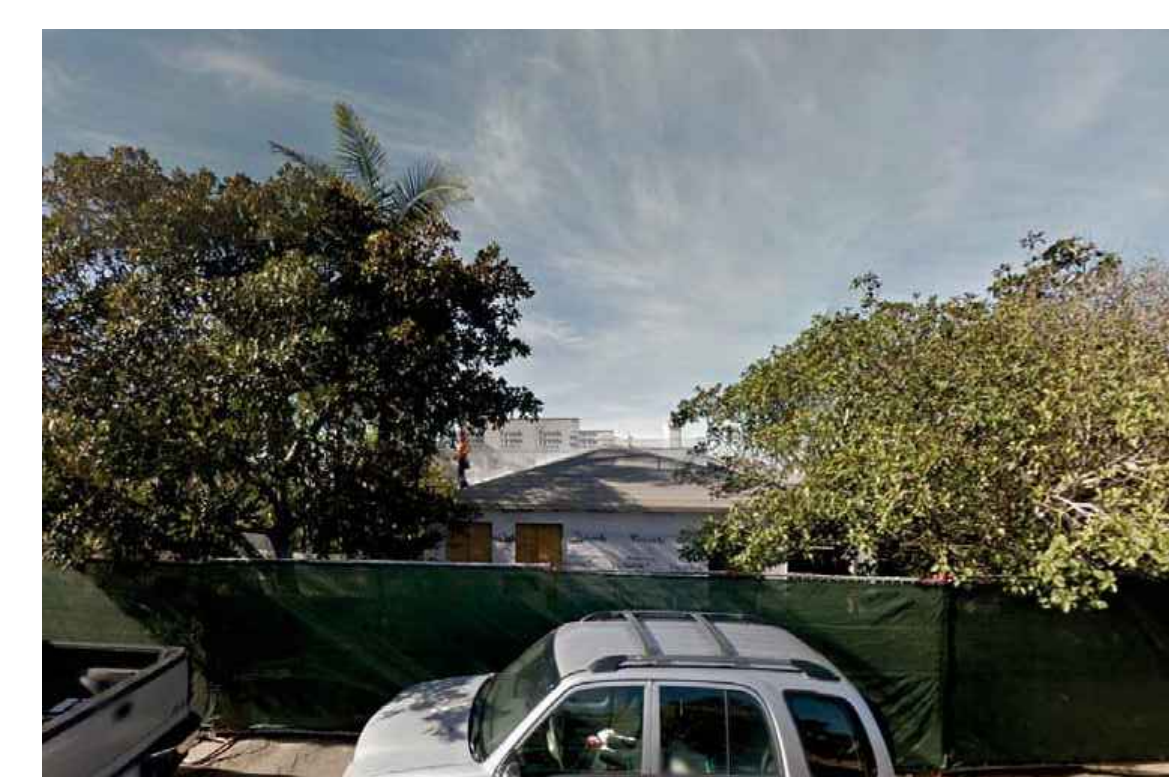


PHOTO 43



PHOTO 38



PHOTO 33



PHOTO 44

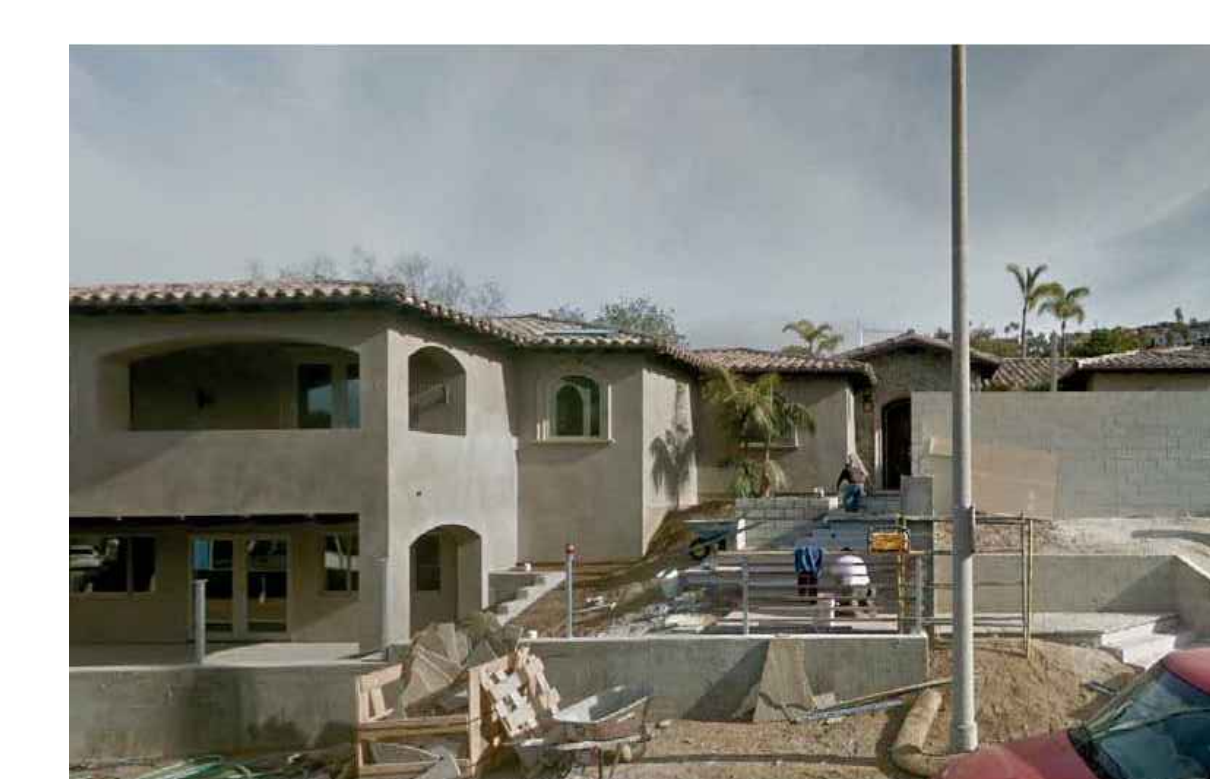


PHOTO 39



PHOTO 34



PHOTO 40



PHOTO 35

1 EXISTING SITE PLANS SURVEY
SCALE: 1"=30'-0"

DISCLAIMER: SITE PLAN DIMENSIONS AREA APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSE ONLY

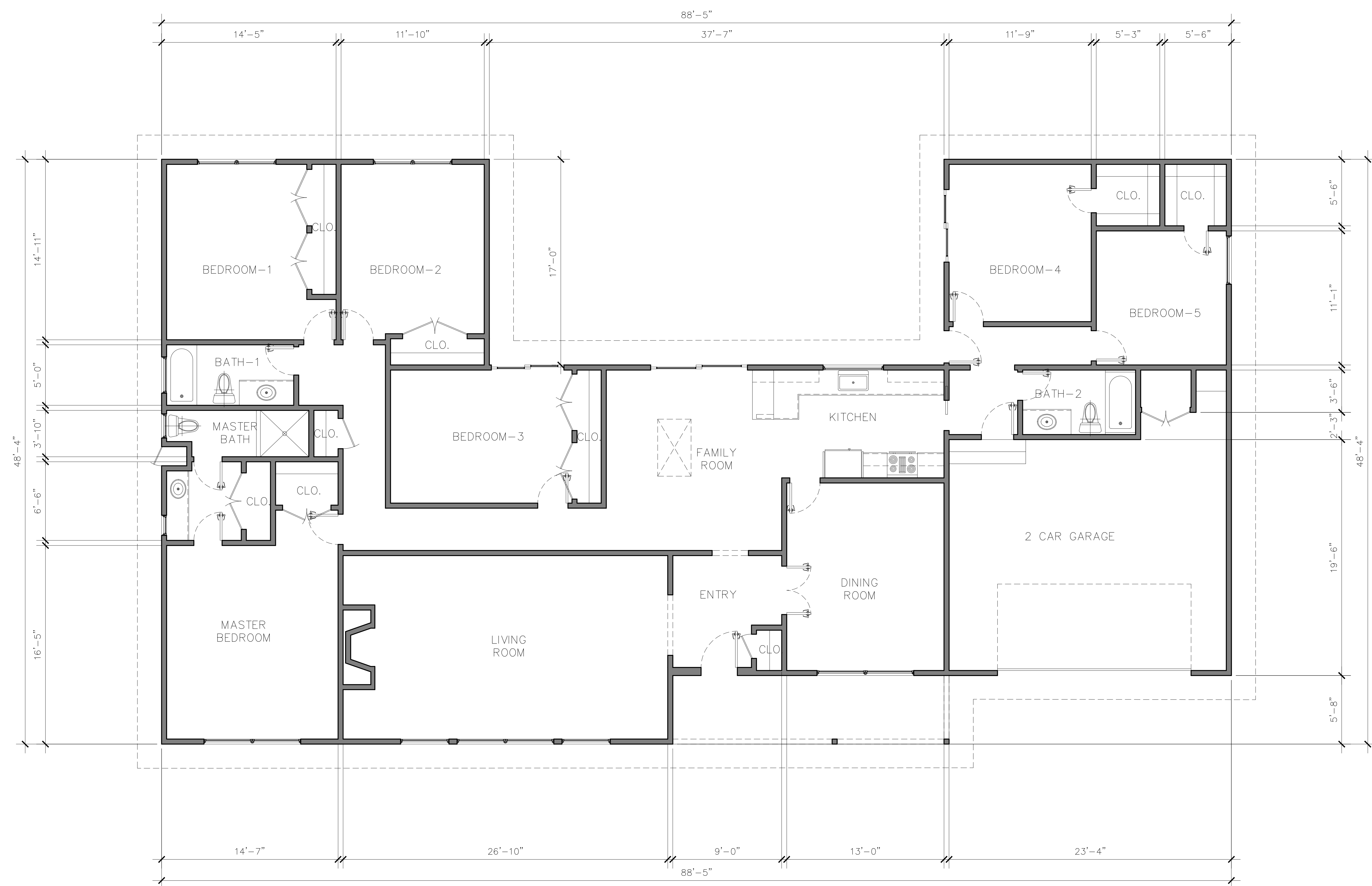
| | |
|---------------|----------|
| Original Date | 07/14/17 |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
EXISTING SITE PLAN SURVEY

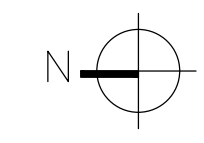
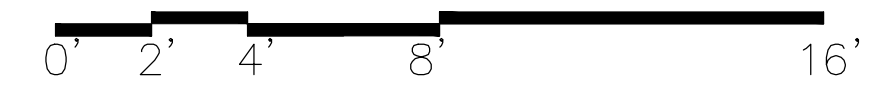
DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500



1 EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

Consultants

Scale:
As Shown

Drawn:
E. R.

Checked:
C. Wellman

Original Date
07/14/17 OWNERS REVIEW

Revisions:
01 12/07/17
02 04/26/18

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037

Sheet Title:
EXISTING FLOOR PLAN

A02.1

10 of 23



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants

FLOOR PLAN NOTES:

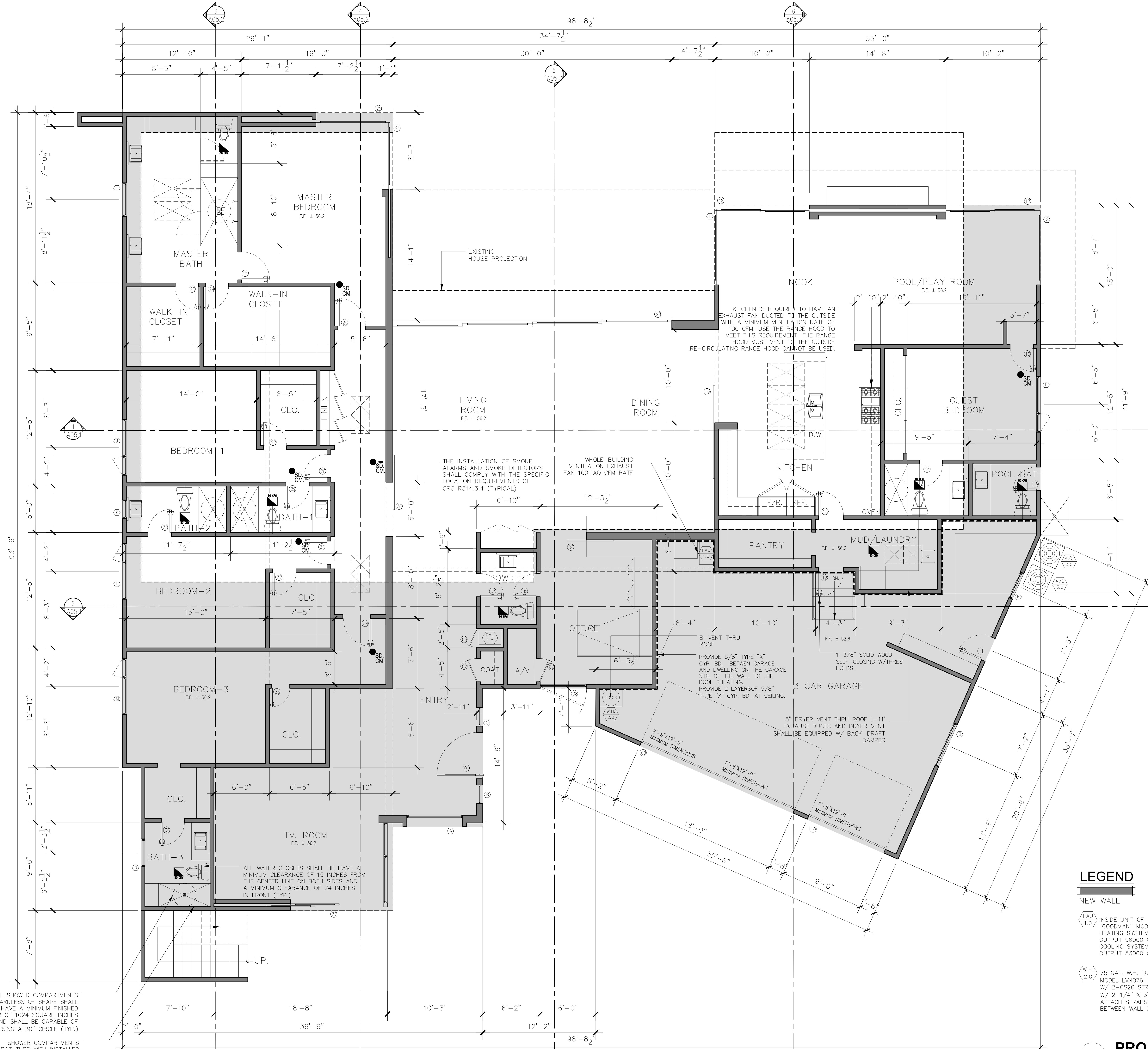
1. ALL DIMENSIONS ARE TO BE FACE OF STUD, U.N.O.
2. PROVIDE A MIN. 18" HIGH PLATFORM (FROM SOURCE OF IGNITION) FOR WATER HEATER AND/OR HEATING OR COOLING EQUIPMENT CAPABLE OF IGNITING FLAMMABLE VAPORS. (UPC 510.1)
3. PROVIDE P&T VALVE, ROUTE DISCHARGE LINE TO EXTERIOR (UPC Sec. 1007.6)
4. FIREPLACES WITH GAS LOG LIGHTERS REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH L.P. LOG LIGHTERS ARE TO HAVE NO "PIT" OR SUMP CONFIGURATIONS. (UMC Sec. 901.1 and Sec. 304.6)
5. PROVIDE PERMANENTLY WIRED SMOKE AND CARBON MONOXIDE DETECTORS WITH BATTERY AS SHOWN.
6. IN NEW CONSTRUCTION, REQUIRED SMOKE AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED W/ A BATTERY BACK-UP. SMOKE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION (Sec. 907.2.10.2)
7. WHERE MORE THAN ONE SMOKE AND CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED (Sec. 907.2.10.3)
8. SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 6'-0" WITH SMOOTH, HARD, NON-ABSORBENT SURFACE.
9. PROVIDE EXHAUST FAN CAPABLE OF 5 AIR CHANGES PER HOUR MINIMUM IN AN INTERIOR BATHROOM, VANITY OR LAUNDRY ROOM VENTED DIRECTLY TO THE EXTERIOR.(UBC SEC. 1205A) RESIDENTIAL BATHROOMS EXHAUST FANS SHALL BE ENERGY STAR RATED, AND SHALL BE CONTROL BY HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50 Y 80% HUMIDITY.CAL.GREEN 4.506.1
10. PROVIDE EGRESS WINDOWS PER (UPC Sec. 310.4)
11. ALL NEW GLAZING (FENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
12. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR WALL OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
13. EXTERIOR WALLS OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED WITH MATERIALS APPROVED FOR A MIN. OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE OR CONSTRUCTED WITH APPROVED NON-COMBUSTIBLE MATERIALS CALL OUT 7/8" STUCCO THICKNESS ON DETAILS, EXCEPTION: WOOD EXTERIOR WALL COVERING OF AT LEAST 3/8" PLYWOOD OR 3/4" DROP SIDING WITH AN UNDERLAYMENT OF 1/2" FIRE-RATED GYPSUM SHEATHING, THAT IS TIGHTLY BUTTED OR TAPED AND MUDDED (SDMC Sec. 145.0504)
14. STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING.
15. EXTERIOR BUILDING WALL COVERING OF BUILDING WALL TO WHICH THE DECK IS ATTACHED AND WITHIN 10' OF THE DECK SHALL NOT BE REQUIRED TO COMPLY WITH SUBSECTION 2(b) IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS B FLAME SPREAD 9CBC Sec. 704A.4.1)
16. THE USE OF PAINTS, COATING, STAINS OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION AS REQUIRED IN THE CHAPTER. 9CBC Sec. 704A.4.1)
17. GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDA
18. WINDOW OPENING CONTROL DEVICES SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090 (CRC R310.1.1)

CALGREEN NOTES:

1. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CGBCS.
2. NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE A112.19.2.
3. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
4. PER 2016 CGBCS SEC. 4.303.2 PLUMBING FIXTURES WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1
5. STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING.
6. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GPM @ 60 PSI. LAVATORY FAUCET SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.
7. PROVIDE SHOWERS HEADS WITH A MAXIMUM FLOW OF 2.0 GPM @ 80 PSI WHEN SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLET CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @80 PSI OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD OUTLET TO BE OPERATION AT A TIME.HANDHELD SHOWERS ARE CONSIDERED SHOWERHEAD CCG 4.303.1.3.2
8. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GPM @ 60 PSI
9. PROVIDE METERING FAUCETS WITH A MAXIMUM FLOW OF 0.25 GALLONS PER CYCLE
10. PER 2016 GREEN CODE SEC. 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE.WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCE.
11. ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING

LEGEND

- NEW WALL
- INSIDE UNIT OF SPLIT SYSTEM "GOODMAN" MODEL GMV961005CNA HEATING SYSTEM OUTPUT 96000 OUTPUT (BTUH/SF.) 18.9 COOLING SYSTEM OUTPUT 53000 OUTPUT (BTUH/SF.) 10.4
- OUTSIDE UNIT OF SPLIT SYSTEM "GOODMAN" MODEL GSXC180481B 4 TONS, NOMINAL COOLING CAPACITY OUTPUT 48000 BTUH 208/230 V, 1 PHASE, 60 Hz
- 75 GAL. W.H. LONCHIVAR MODEL LVN076 INPUT 76000 BTUH W/ 2-CS20 STRAPS W/ 2-1/4" X 3" LAG BOLTS. ATTACH STRAPS TO 2X4 BLOCKING BETWEEN WALL STUDS TOP & BOTTOM.



1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"
N

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

| | |
|---------------|----------|
| Original Date | 07/14/17 |
| Revisions: | 12/07/17 |
| | 04/26/18 |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: PROPOSED FLOOR PLAN

A02.2

ALL SHOWER COMPARTMENTS REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE (TYP.)

SHOWER COMPARTMENTS AND BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR (TYP.)

THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC R314.3.4 (TYPICAL)

WHOLE-BUILDING VENTILATION EXHAUST FAN 100 IAQ CFM RATE

KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. USE THE RANGE HOOD TO MEET THIS REQUIREMENT. THE RANGE HOOD MUST VENT TO THE OUTSIDE HOOD MUST VENT TO THE OUTSIDE .RE-CIRCULATING RANGE HOOD CANNOT BE USED.

PROVIDE 5/8" TYPE "X" GYP. BD. BETWEEN GARAGE AND DWELLING ON THE GARAGE SIDE OF THE WALL TO THE ROOF SHEATHING. PROVIDE 2 LAYERS OF 5/8" TYPE "X" GYP. BD. AT CEILING.

1-3/8" SOLID WOOD SELF-CLOSING W/THRES HOLDS.

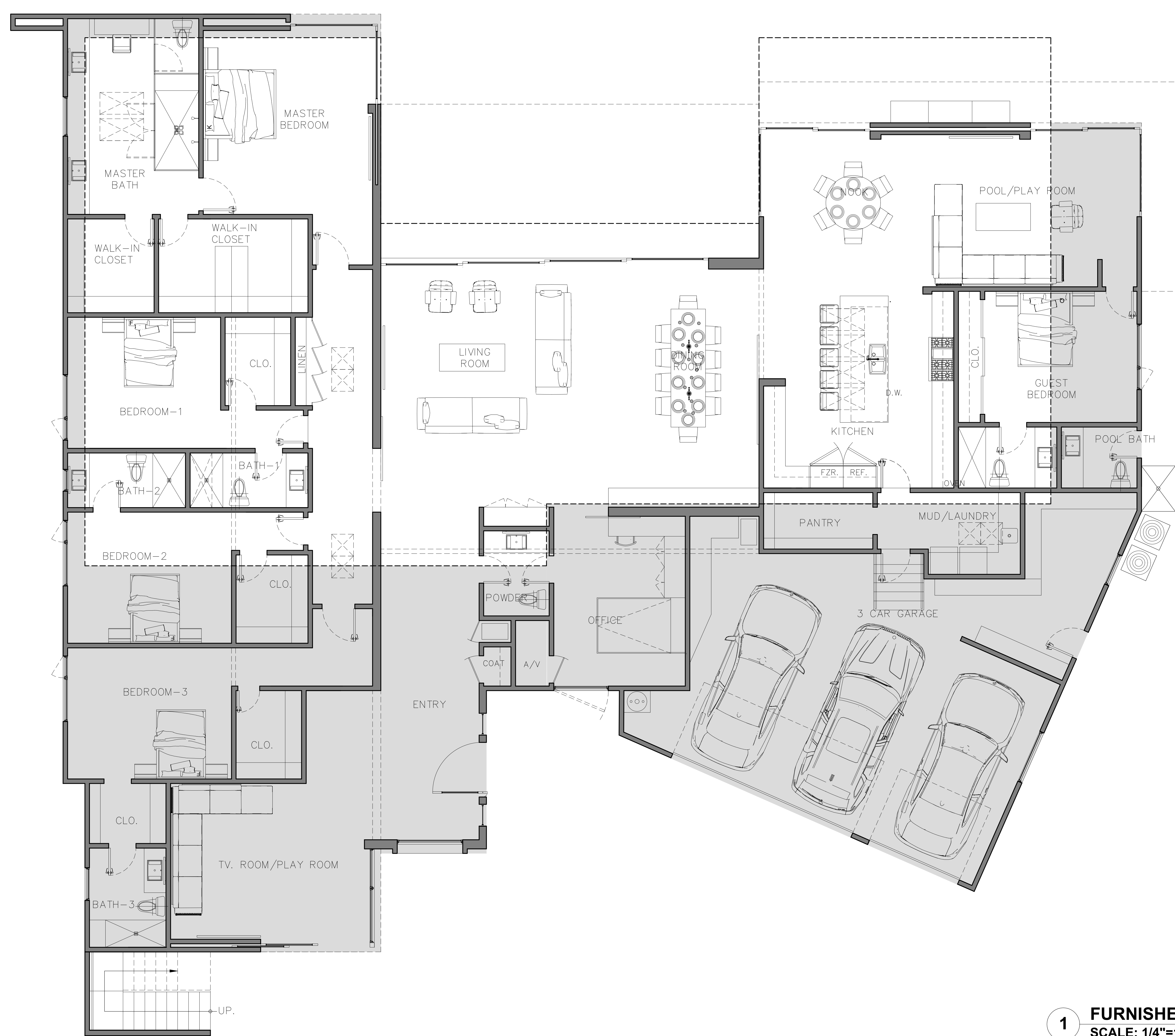
5" DRYER VENT THRU ROOF L=11" EXHAUST DUCTS AND DRYER VENT SHALL BE EQUIPPED W/ BACK-DRAFT DAMPER

ALL WATER CLOSETS SHALL BE HAVE A MINIMUM CLEARANCE OF 15 INCHES FROM THE CENTER LINE ON BOTH SIDES AND A MINIMUM CLEARANCE OF 24 INCHES IN FRONT (TYP.)

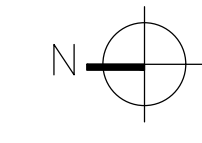
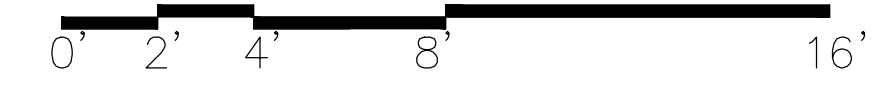


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



1 FURNISHED FLOOR PLAN
SCALE: 1/4"=1'-0"



DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

SHTERMBERG REMODEL

8361 DEL ORO CT.
LA JOLLA, CA. 92037

Sheet Title: FURNISHED FLOOR PLAN

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

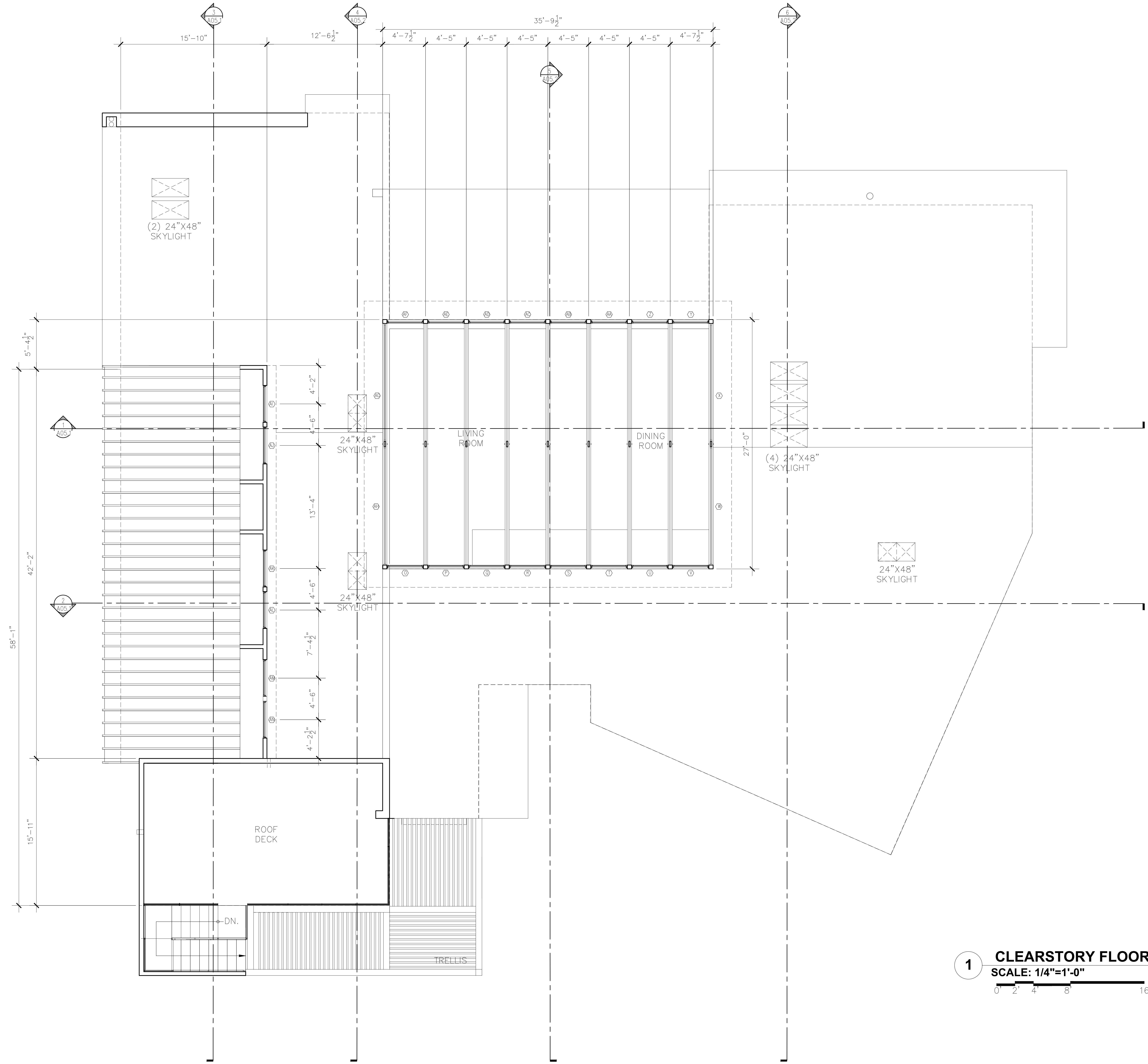
| | |
|---------------|------------------------|
| Original Date | 07/14/17 OWNERS REVIEW |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

A02.3



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



1 CLEARSTORY FLOOR PLAN
SCALE: 1/4"=1'-0"

| Original Date | |
|---------------|---------------|
| 07/14/17 | OWNERS REVIEW |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: CLEARSTORY FLOOR PLAN

A02.4

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

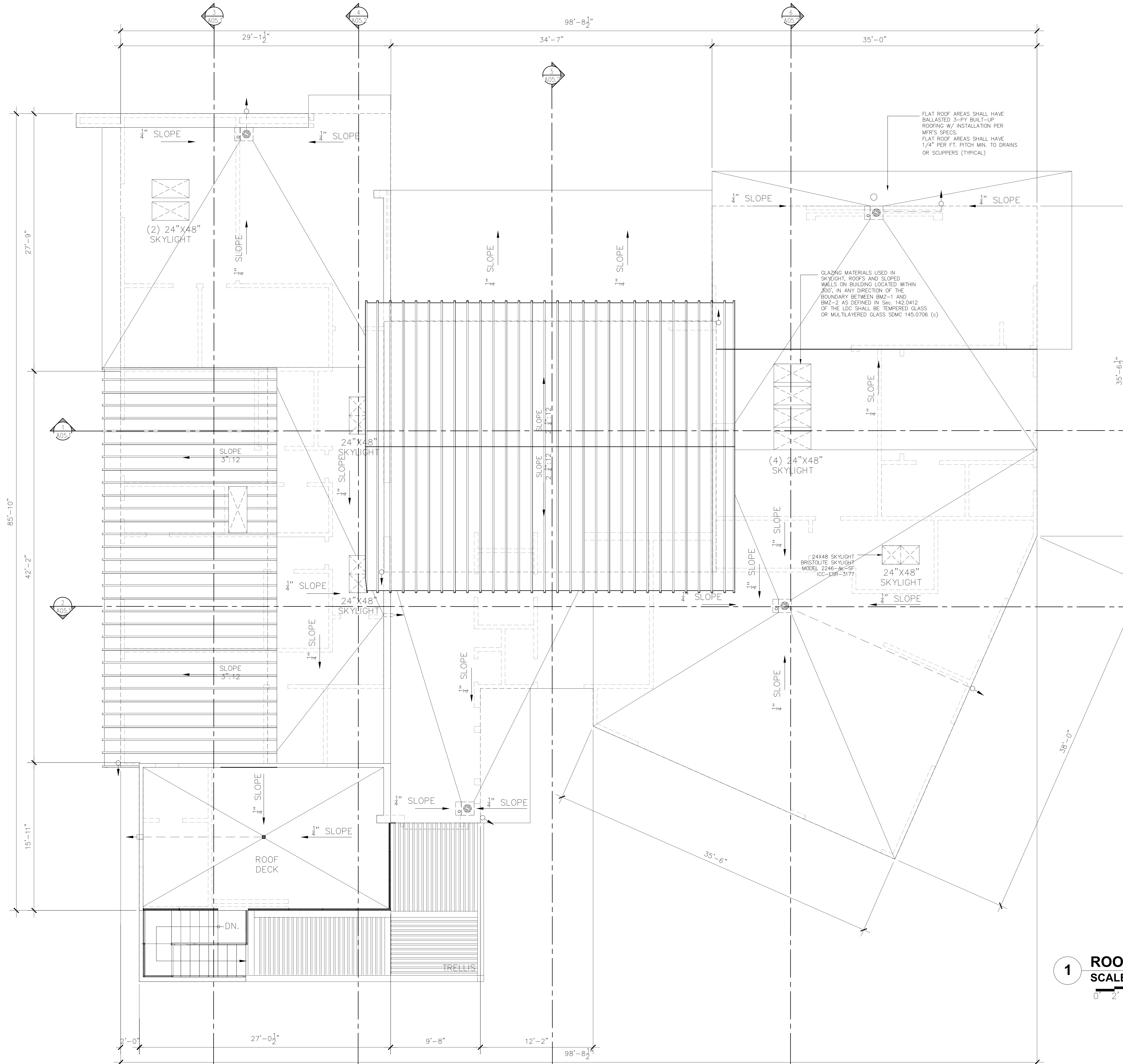


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 619-582-8500

Consultants

ROOF PLAN NOTES:

1. ROOF PENETRATIONS (VENTS, STACKS, ETC.) SHALL BE GROUPED AND OR CLUSTERED WHERE POSSIBLE. LOCATE PENETRATIONS ON NORTH AND SOUTH FACING ROOF SURFACES WHERE POSSIBLE.
2. FLASHING SHALL BE PER SPECIFICATIONS.
3. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11333 NS)
4. APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS. UBC, SECTION 3102.3.6.
5. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUT SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (CRC R327.5.4)
6. VENTILATIONS OPENINGS LOCATED IN EXTERIOR WALLS OF BUILDING PROVIDING VENTILATION TO UNDERFLOOR AND ATTIC SPACES, SHALL COMPLY WITH SECTION 704A.2 AND SDMC Sec. 145.0706.
7. ALL VENTILATION OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTENT MESH. MESH OPENINGS SHALL BE 1/2" (SDMC Sec. 145.0706(a))
8. VENTILATION OPENING ON STRUCTURES LOCATED IMMEDIATELY ADJACENT TO BRUSH MANAGEMENT ZONE 1 SHALL NOT BE DIRECTED TOWARD HAZARDOUS AREAS OF NATIVE OR NATURALIZED VEGETATION. (SDMC Sec. 145.0706 (a))
9. ATTIC VENTILATION OPENINGS SHALL NOT BE LOCATED IN SOFFITS, IN EAVES OVERHANGS, BETWEEN RAFTERS AT EAVES, OR IN OTHER OVERHANG AREA (SDMC Sec. 145.0504.)
10. ROOF VENTS, DORMER VENTS, GABLE VENTS, FOUNDATION VENTILATION OPENINGS, VENTILATION OPENINGS IN VERTICAL WALLS OR OTHER SIMILAR VENTILATION OPENINGS SHALL BE LOUVERED AND COVERED WITH 1/2" NON-COMBUSTIBLE, CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
11. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/2" OPENINGS OR ITS EQUIVALENT (CBC Sec. 704A.2.1)
12. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES UNLESS LISTED EAVE AND CORNICE VENTS THAT ARE TESTED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE (CBC Sec. 704A.2.2)
13. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SPM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE. PROVIDE A BASIS OF APPROVAL FOR EXPOSED EAVES CONSTRUCTION OR PROTECT EAVES WITH LISTED IGNITION RESISTANT MATERIALS OR NONCOMBUSTIBLE COVERING (CBC Sec. 704A.2.3)
14. UNLESS OTHERWISE PROHIBITED BY OTHER PROVISIONS OF THIS CODE, VENT OPENINGS IN EXTERIOR WALLS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE OR VENTS SHALL BE SCREENED WITH A CORROSION-RESISTANT NONCOMBUSTIBLE WIRE MESH WITH 1/2" OPENINGS OR ITS EQUIVALENT (CBC Sec. 704A.3.2.1)
15. UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF ANA/IFMA/CSA 101.1/5.2/440 (Sec. R308.6.9)
16. WHEN DRIP EDGE FLASHING IS USED AT THE FREE EDGES OF ROOFING MATERIALS, IT SHALL BE NON-COMBUSTIBLE. (SDMC Sec. 145.0704 b)
17. VALLEY FLASHING SHALL BE NOT LESS THAN 0.19 INCHES (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF No. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY.
18. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACES, STOVE, BARBECUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (CRC R327.11)
19. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY; THEY SHALL NOT FREE SPIN IN BOTH DIRECTIONS. (SDMC Sec. 145.0706(g))
20. VENTILATION OPENINGS PROTECTED WITH VENT OPENINGS THAT RESISTS THE INTRUSION OF FLAME AND EMBERS, AND WHICH ARE LISTED BY THE STATE FIRE MARSHALL, ARE EXEMPT FROM COMPLYING WITH SUB-SECTIONS 1 AND 3 OF SECTION 145.0706(B).
21. VENTILATION OPENINGS FOR ENCLOSURE ATTICS, ENCLOSED EAVE OFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING IS APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS AND UNDERFLOOR VENTILATION SHALL BE IN ACCORDANCE WITH CBC Sec. 1203 (CRC R408.2,R806) AND Sec. 7061.1 THROUGH 706A.3 (CRC R327.6.2 THROUGH R327.6.3) TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENING (CBC 706A.1/R327.6.1)
22. THE ATTIC SPACE BEING VENTILATED WITH VENTILATION OPENING LOCATED IN EAVES OR CORNICES AND THAT ARE PROTECTED WITH WIRE MESH PER CBC Sec. 706A.2/CRC R327.6.2 SHALL BE FULLY PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH Sec. 903.3.1.1 OF THE CBC
23. VENT OPENINGS IN EAVES AND CORNICES THAT ARE ONLY PROTECTED WITH WIRE MESH COMPLYING WITH CBC Sec. 706A.2/CRC R327.6.2 SHALL BE LOCATED MORE THAN 12' FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH, PATIO OR SIMILAR SURFACE AND SHOW NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL FOR EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE IN THE WALL AND EAVE PENETRATED BY THE VENT.
24. WHEN ENCLOSED ROOF EAVES ARE COVERED WITH 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR WEATHER RESISTIVE COVERING NO ADDITIONAL PROTECTION IS REQUIRED. EXPOSED FACIA BOARDS DO NOT REQUIRE PROTECTION (CBC 707A.5/CRC R327.7.5 #3)



1 ROOF PLAN
SCALE: 1/4"=1'-0"
0' 2' 4' 8' 16'

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

| | |
|---------------|----------|
| Original Date | 07/14/17 |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

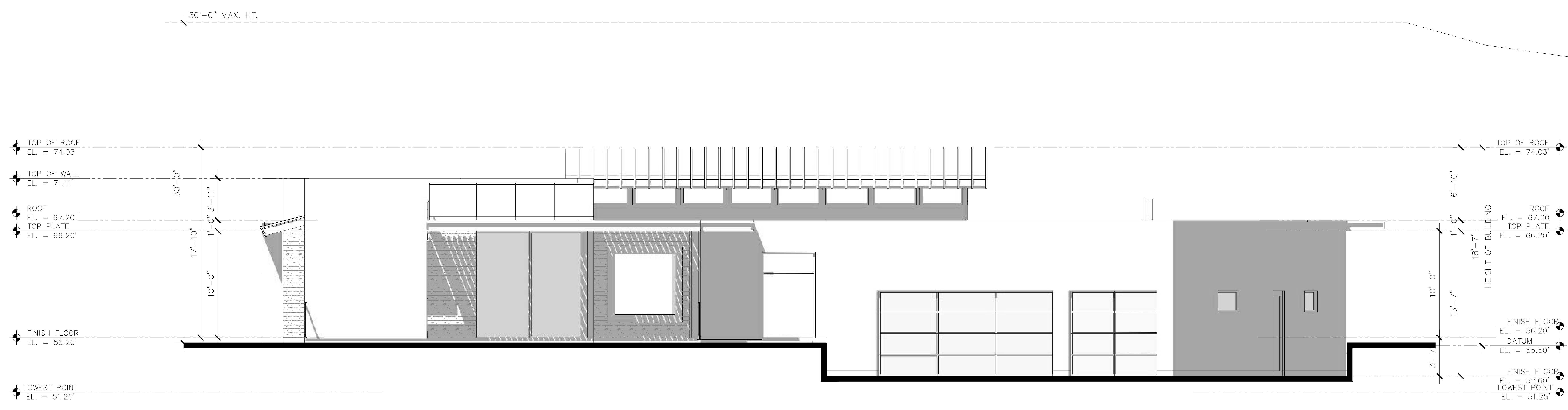
SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: ROOF PLAN

A03.1

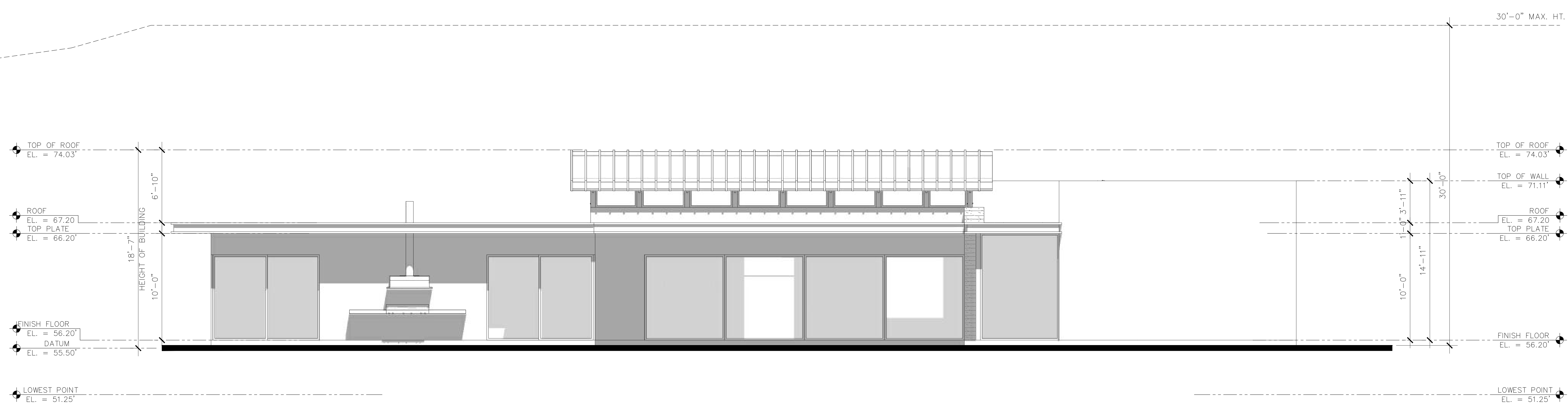


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



1 WEST ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'



2 EAST ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

Original Date
07/14/17 OWNERS REVIEW

| | |
|------------|----------|
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

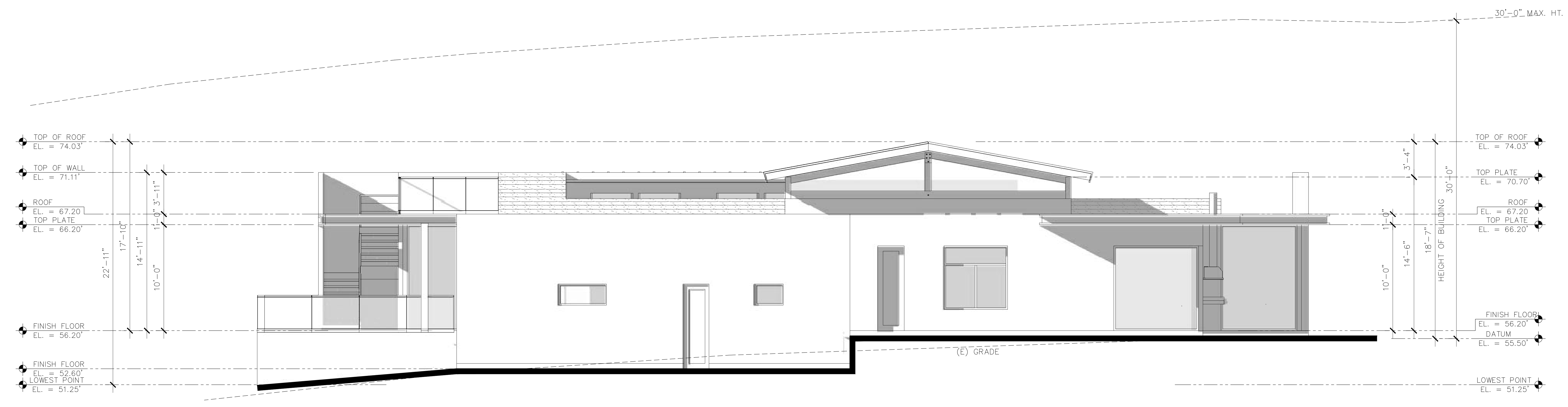
SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
EXTERIOR ELEVATIONS

A04.1

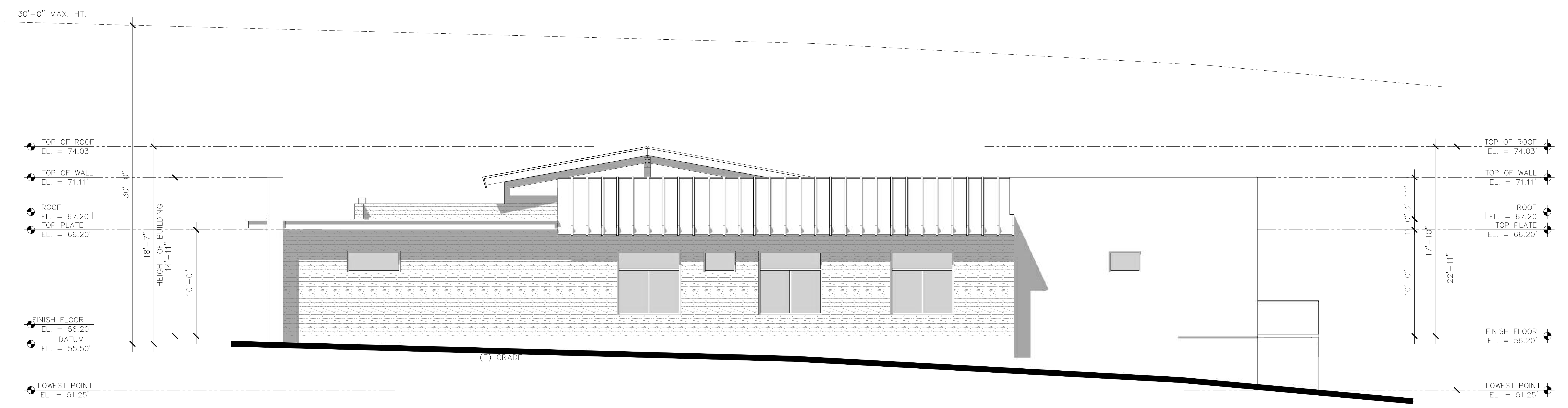


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'



4 EAST ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

Original Date
07/14/17 OWNERS REVIEW

| | |
|------------|----------|
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
EXTERIOR ELEVATIONS

A04.2



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



1 WEST ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'



2 EAST ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

| | |
|---------------|----------|
| Original Date | 07/14/17 |
| Revisions: | 12/07/17 |
| | 04/26/18 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: COLORED EXTERIOR ELEVATIONS

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'



2 EAST ELEVATION
SCALE: 1/4"=1'-0"
0 2 4 8 16'

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

Original Date
07/14/17 OWNERS REVIEW

| | |
|------------|----------|
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

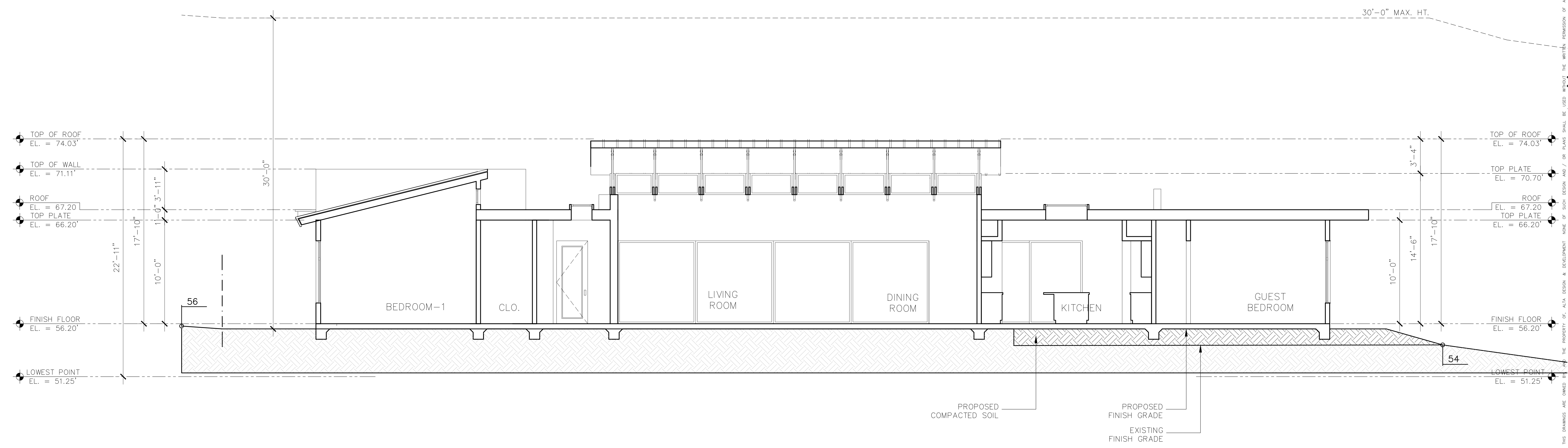
SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title: COLORED EXTERIOR ELEVATIONS

A04.4

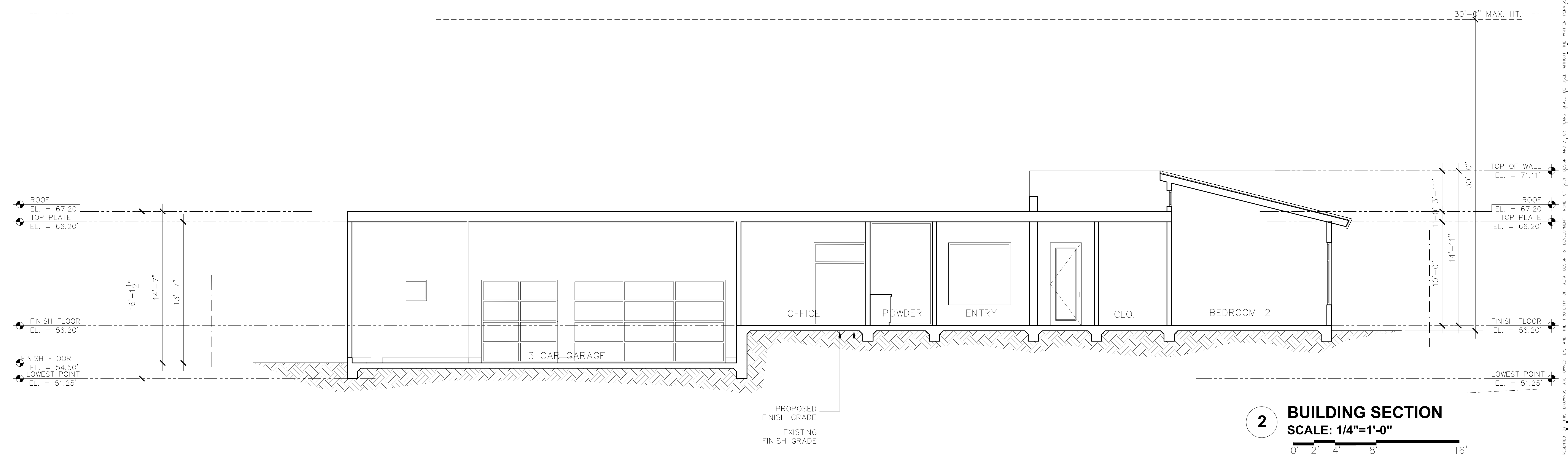


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



1 BUILDING SECTION
SCALE: 1/4"=1'-0"
0' 2' 4' 8' 16'



2 BUILDING SECTION
SCALE: 1/4"=1'-0"
0' 2' 4' 8' 16'

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

Original Date
07/14/17 OWNERS REVIEW

| | |
|------------|----------|
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
BUILDING SECTIONS

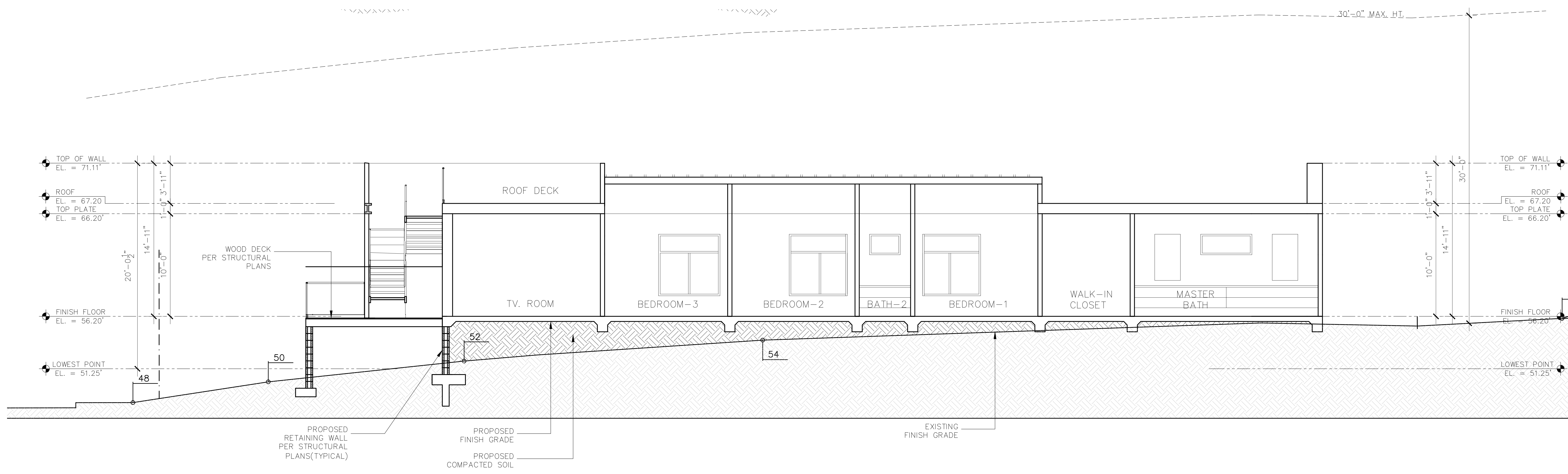
A05.1

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

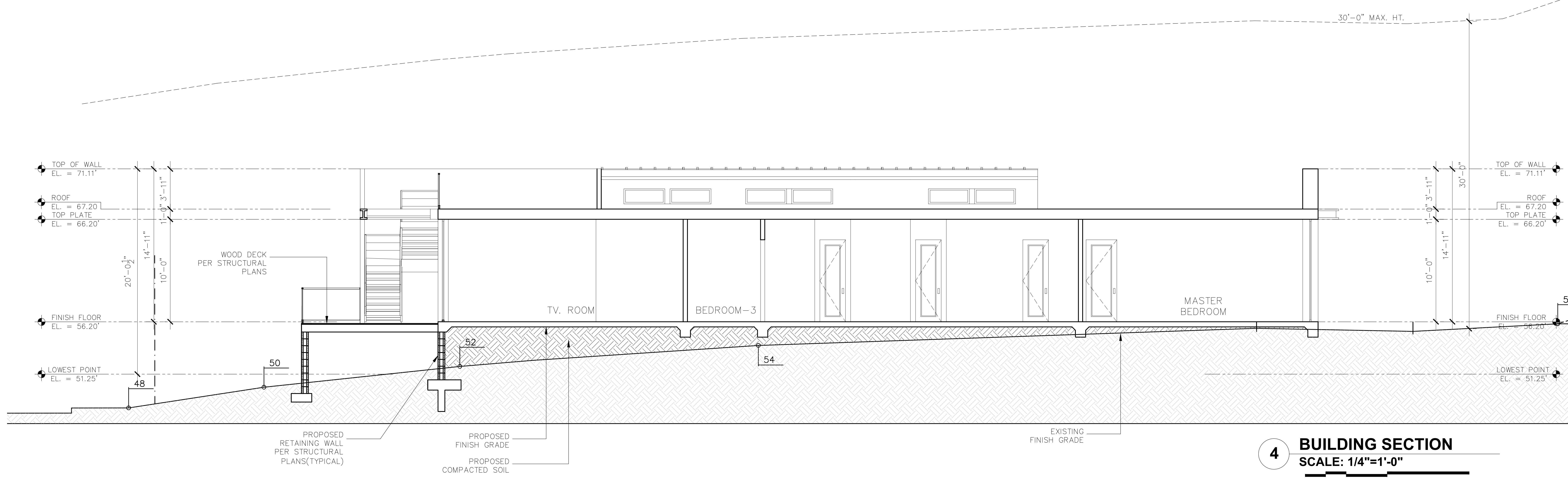


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



3 BUILDING SECTION
SCALE: 1/4"=1'-0"
0' 2' 4' 8' 16'



4 BUILDING SECTION
SCALE: 1/4"=1'-0"

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

Original Date
07/14/17 OWNERS REVIEW

| | |
|------------|----------|
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

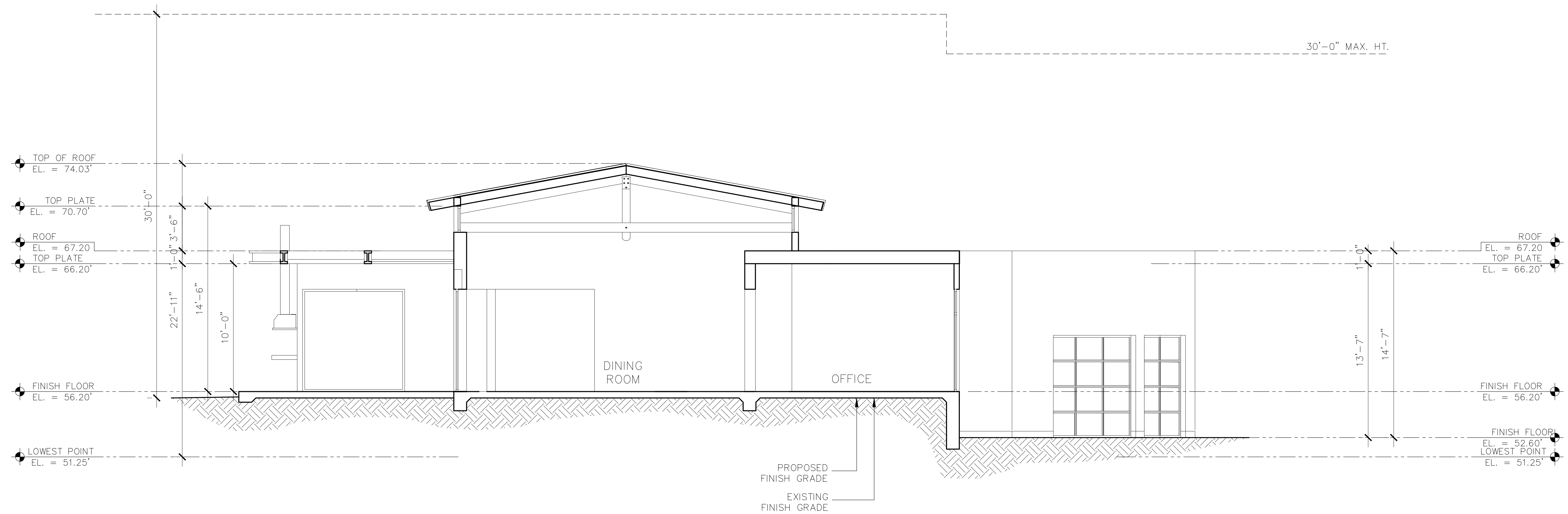
SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
BUILDING SECTIONS

A05.2

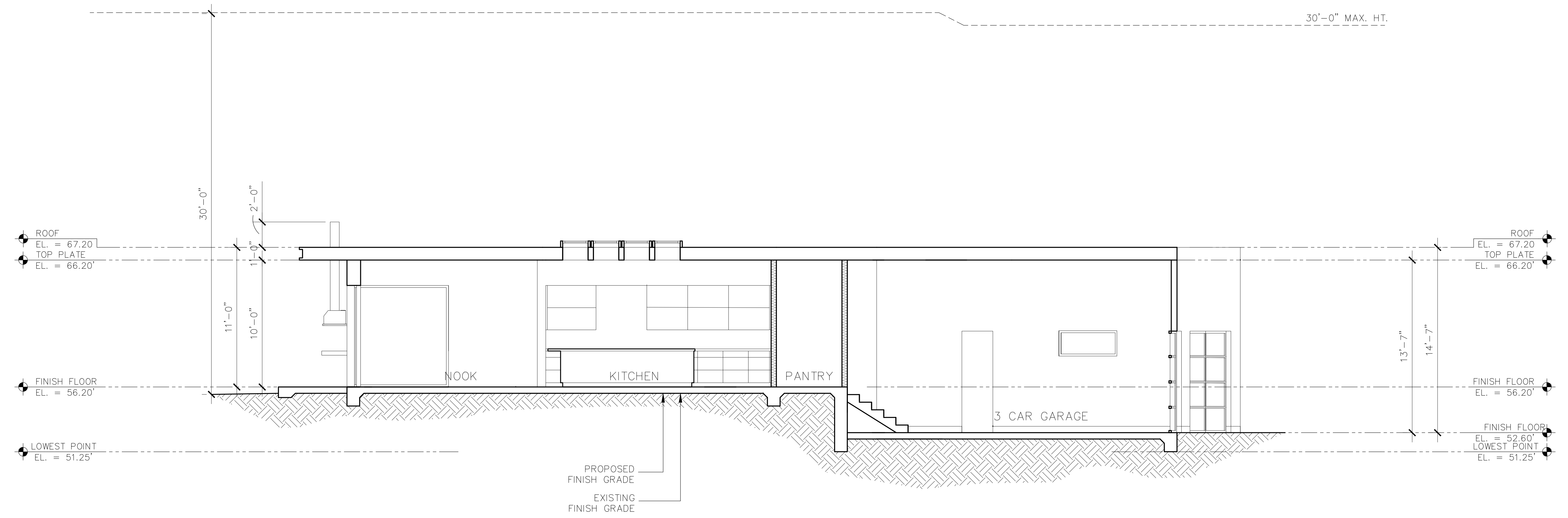


4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



5 BUILDING SECTION
SCALE: 1/4"=1'-0"
0' 2' 4' 8' 16'



6 BUILDING SECTION
SCALE: 1/4"=1'-0"

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

Original Date
07/14/17 OWNERS REVIEW

| Revisions: | |
|------------|----------|
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
BUILDING SECTIONS

A05.3



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Consultants



3 EXTERIOR RENDER
SCALE: NTS



1 EXTERIOR RENDER
SCALE: NTS



4 EXTERIOR RENDER
SCALE: NTS



2 EXTERIOR RENDER
SCALE: NTS

NO PLANS REPRESENTED BY THIS DRAWING SET

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

| | |
|---------------|------------------------|
| Original Date | 07/14/17 OWNERS REVIEW |
|---------------|------------------------|

| | |
|------------|----------|
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037

Sheet Title:
EXTERIOR RENDERS



7 EXTERIOR RENDER
SCALE: NTS



5 EXTERIOR RENDER
SCALE: NTS



8 EXTERIOR RENDER
SCALE: NTS



6 EXTERIOR RENDER
SCALE: NTS

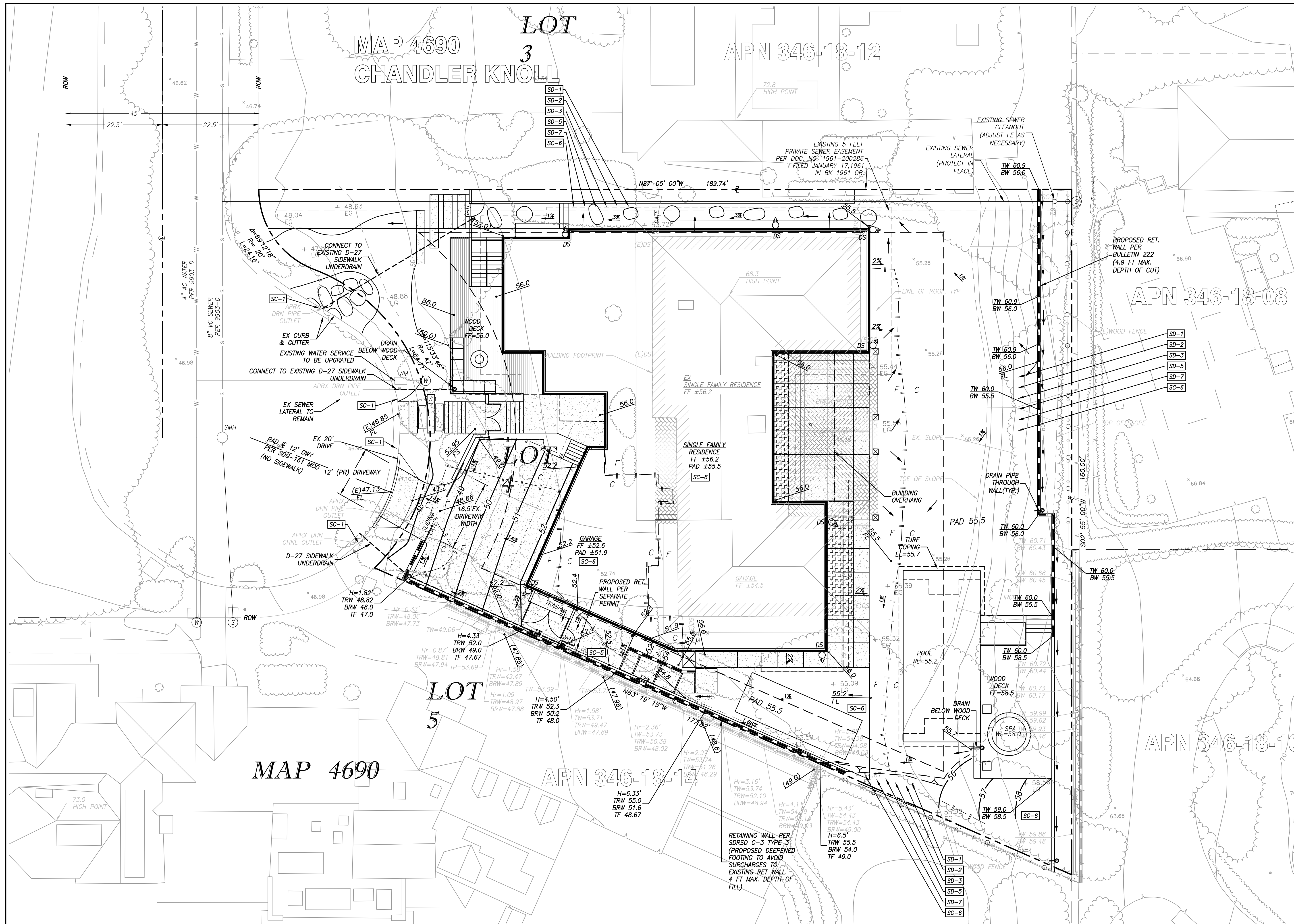
ALL PLANS REPRESENTED BY THIS DRAWING ARE

| | |
|----------|------------|
| Scale: | As Shown |
| Drawn: | E. R. |
| Checked: | C. Wellman |

| | |
|---------------|------------------------|
| Original Date | 07/14/17 OWNERS REVIEW |
| Revisions: | |
| 01 | 12/07/17 |
| 02 | 04/26/18 |
| 03 | |
| 04 | |
| 05 | |
| 06 | |
| 07 | |

SHTERBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037
Sheet Title:
EXTERIOR RENDERS

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED



ZONING:
 DESIGNATION: RS-1-2 LUSPD-SF, VERY LOW DENSITY RESIDENTIAL
 PLANNED DISTRICT: LUSPD

DEVELOPMENT DATA:
 LOT DIMENSIONS: PARCEL 4
 LOT WIDTH: ---
 STREET FRONTAGE: ---
 LOT DEPTH: ---

PROJECT DATA:
 SITE ADDRESS: 8361 DEL CERRO CT, LA JOLLA, CA 92037
 APN: 346-180-13-00
 EXISTING BUILDING: SINGLE FAMILY RESIDENCE
 CONSTRUCTION DATE: 1961
 CALIFORNIA/LAMBERT COORDINATES: 253-1693
 NAD83 COORDINATES: 1893-6253
 HYDROLOGIC BASIN: 906.3

SITE DATA:
 LOT 4 = 20,155 SF (0.463 ACRES)

PROPOSED USE:
 1 SINGLE FAMILY RESIDENCE REMODEL

OWNER:
 SHTERBERG NATHAN CHILDREN TRUST
 8831 ROBIN HOOD LANE
 LA JOLLA, CA 92037

CARLOS SHTERBERG, TRUSTEE DATE

LEGAL DESCRIPTION
 LOT 4 OF MAP 4690, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, IN THE OFFICE OF THE COUNTY RECORDER, JANUARY 17, 1961.
 APN: 346-180-13

SOURCE OF TOPOGRAPHY
 AERIAL TOPOGRAPHY WITH SUPPLEMENTAL FIELD TOPO BY:
 COFFEY ENGINEERING, INC.
 9666 BUSINESS PARK AVENUE, SUITE 210
 SAN DIEGO, CA 92131
 PHONE: (858) 831-0111, DATED 7/19/2017
 JOHN S. COFFEY, LS 8733, EXP. 6/30/18

EASEMENTS
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY.

BENCHMARK
 SBEP, CALLE DEL ORO & DEL ORO COURT
 ELEV = 48.013 ; DATUM: NGVD29; CITY OF SAN DIEGO
 VERTICAL BENCHMARK BOOK
 ATUM: NGVD29; CITY OF SAN DIEGO BENCHMARK BOOK

BASIS OF BEARING:
 THE BASIS OF BEARINGS FOR THIS PLAN IS DEL ORO COURT CENTER LINE, AS SHOWN ON MAP 4690, I.E. N0255 00'E.

LEGEND

| DESCRIPTION | STD DWG | SYMBOL |
|-------------------------------------|---------|-------------|
| PROPERTY LINE | | N45°45'45"W |
| PROPERTY LINE - OFFSITE | | --- |
| ROW CENTERLINE | | --- |
| EX CONTOUR | | 90 |
| PR CONTOUR | | 90 |
| EASEMENT LINE | | --- |
| EX SEWER LINE | | S |
| EX WATER MAIN | | W |
| BRUSH LINE | | --- |
| EX SPOT ELEVATION | | 1510.0 x |
| EX TREE: EX PALM | | (P) |
| EX WATER SERVICE | | (W) |
| EX SEWER SERVICE | | (S) |
| EX WOOD FENCE | | --- |
| EX RETAINING WALL (AERIAL) | | --- |
| EX SLOPE AREA | | --- |
| PR SPOT ELEVATION | | 100.00 |
| DRAINAGE SWALE OR DIRECTION OF FLOW | | --- |
| 4" PVC DRAIN LINE | | --- |
| 6" LANDSCAPE DRAIN | | --- |
| PR RETAINING WALL | | --- |
| PR SCREEN WALL | | --- |
| EX BUILDING FOOTPRINT (REMODEL) | | --- |
| PR BUILDING FOOTPRINT (ADDITION) | | --- |
| DOWNSPOUT (ROOF DRAIN) LOCATION | | DS |

CIVIL ENGINEER / LAND SURVEYOR:
 JOHN S. COFFEY, P.E., PLS
 COFFEY ENGINEERING, INC.
 9666 BUSINESS PARK AVENUE, SUITE 210
 SAN DIEGO, CA 92131
 (858) 831-0111
 FAX: (858) 831-0179

PRELIMINARY

JOHN S. COFFEY DATE
 RCE 062716



STORMWATER NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION PERMIT ISSUANCE.
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL THE ASBS WATERSHED REQUIREMENTS ACCORDINGLY.

IMPERVIOUS AREAS

EXISTING IMPERVIOUS AREAS = 6,200 SQ FT
 PROPOSED NEW/REPLACED IMPERVIOUS AREAS 9,673 SQ FT

STORMWATER BMP CLASSIFICATION

- STANDARD DEVELOPMENT PROJECT
- ASBS CONSTRUCTION SITE PRIORITY
- WPCL REQUIRED

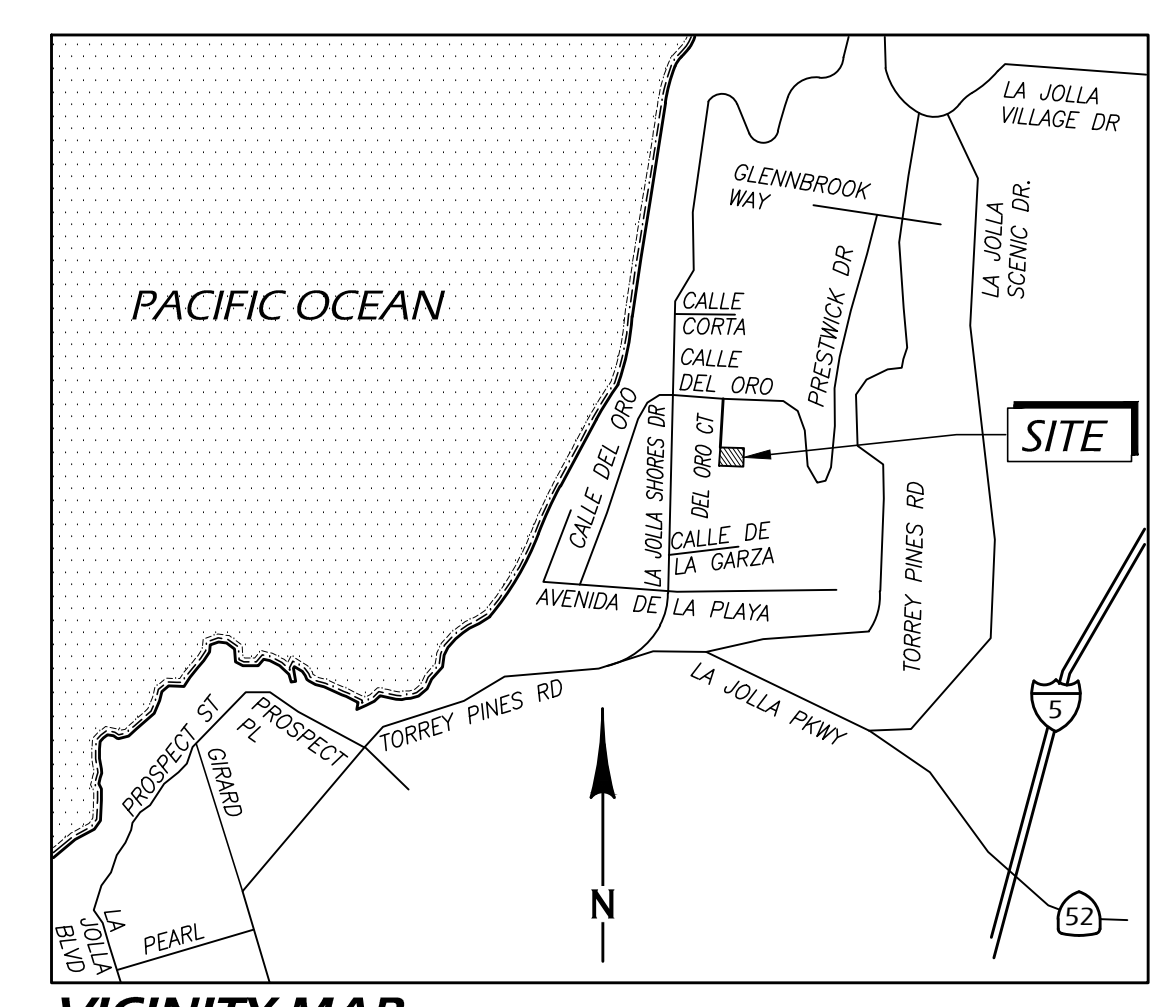
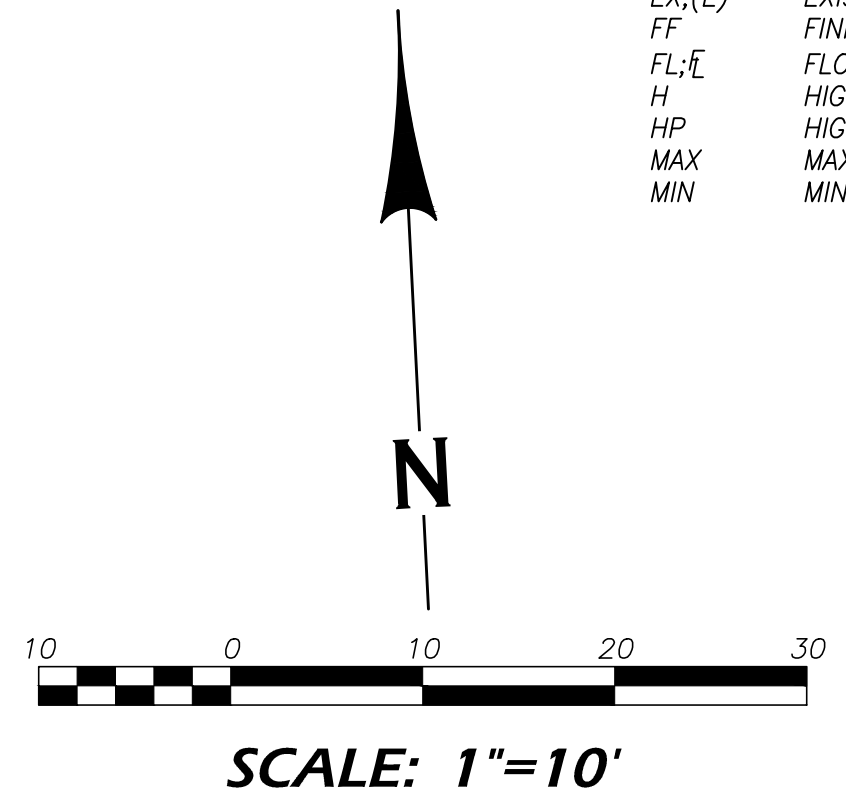
GRADING TABULATIONS

| | | | |
|------------------------------------|-----------------|------------------------|----------|
| TOTAL AMOUNT OF SITE TO BE GRADED: | 0.028 ACRES | % OF TOTAL SITE: | 60 % |
| AMOUNT OF CUT: | 250 CUBIC YARDS | MAXIMUM DEPTH OF CUT: | 4.9 FEET |
| AMOUNT OF FILL: | 250 CUBIC YARDS | MAXIMUM DEPTH OF FILL: | 4.0 FEET |
| MAXIMUM HEIGHT OF FILL SLOPE(S): | 3.6 FEET | SLOPE RATIO: | 2:1 |
| MAXIMUM HEIGHT OF CUT SLOPE(S): | 4.5 FEET | SLOPE RATIO: | 8:1 |
| AMOUNT OF IMPORT/EXPORT SOIL: | CUBIC YARDS | | |
| RETAINING/GRIB-WALLS: | LENGTH 230 FEET | MAXIMUM HEIGHT: | 6.5 FEET |

| SITE DESIGN (LID) BMPs | | SOURCE CONTROL BMPs | |
|--|--------|---|--------|
| DESCRIPTION | SYMBOL | DESCRIPTION | SYMBOL |
| MAINTAIN NATURAL DRAINAGE PATHWAYS & HYDROLOGICAL FEATURES | SD-1 | PREVENT ILLICIT DISCHARGES INTO THE MS4 | SC-1 |
| CONSERVE NATURAL AREAS, SOILS & VEGETATION | SD-2 | PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL | SC-5 |
| MINIMIZE IMPERVIOUS AREA | SD-3 | POTENTIAL SOURCES OF RUNOFF POLLUTANTS: | SC-6 |
| DISPERSE IMPERVIOUS AREAS | SD-5 | NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL | SC-8 |
| LANDSCAPE WITH NATIVE OR DROUGHT TOLERANT SPECIES | SD-7 | LANDSCAPE/OUTDOOR PESTICIDE USE | SC-6 |
| | | POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, & OTHER WATER FEATURES | SC-6 |

ABBREVIATIONS:

| | | | |
|--------|-------------------------------------|----------|----------------------------------|
| AC | ASPHALTIC CONCRETE | PA; PLTR | PLANTING AREA; PLANTER |
| BRW | (GRADE AT) BOTTOM OF RETAINING WALL | PCC | PORTLAND CEMENT CONCRETE |
| CL/E | CENTER LINE | PR; (P) | PROPOSED |
| CMU | CONCRETE MASONRY UNIT | PVC | POLYVINYL CHLORIDE |
| CONC | CONCRETE | PVMT | PAVEMENT |
| DWY | DRIVEWAY | SCO | SEWER CLEANOUT |
| EX;(E) | EXISTING | S | SEWER |
| FF | FINISH FLOOR | SD | STORM DRAIN |
| FL/E | FLOWLINE | S | SIDEWALK |
| H | HIGH | TC | TOP OF CURB |
| HP | HIGH POINT | TRW | (GRADE AT) TOP OF RETAINING WALL |
| MAX | MAXIMUM | TYP | TYPICAL |
| MIN | MINIMUM | WM | WATER METER |



CITY OF SAN DIEGO, CALIFORNIA

COASTAL & SITE DEVELOPMENT PERMIT

Shteremberg Remodel

8631 Del Oro Court
 La Jolla, CA 92037

GRADING & DRAINAGE PLAN

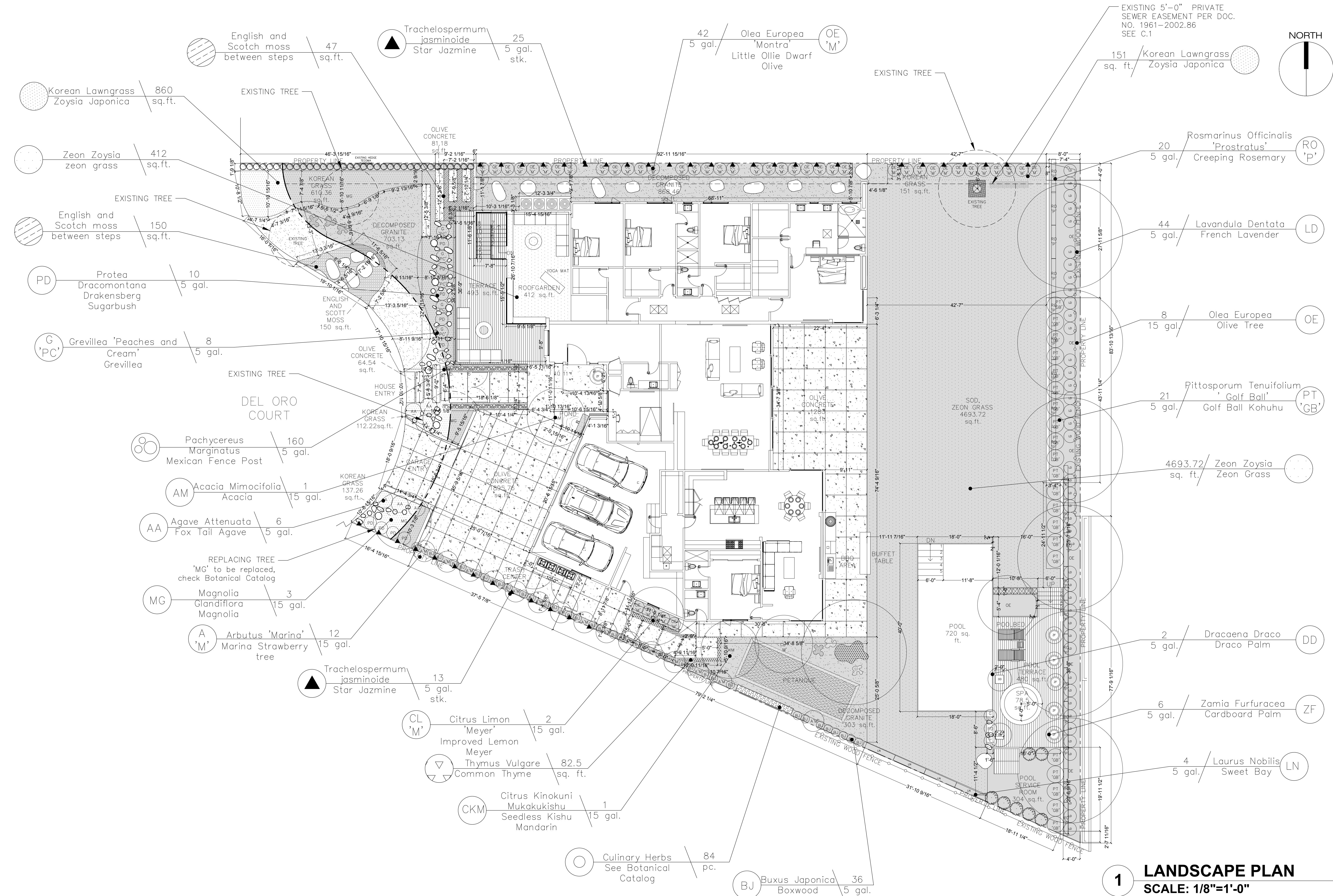
ORIGINAL: 04/25/18

REVISIONS:

DRAWN BY: DK/FR
 CHECKED BY: JSC

SHEET 1 OF 1

COFFEY ENGINEERING, INC.
 9666 BUSINESS PARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH: (858)831-0111 FAX: (858)831-0179



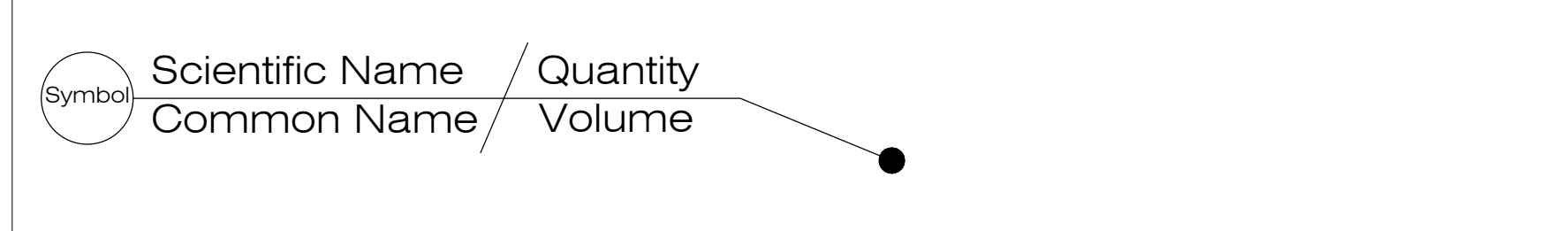
- NOTES:**
- 1) ALL PLANTING AREAS AND SLOPE SHALL BE COVERED WITH ORGANIC MULCH AT MINIMUM DEPTH OF 3 INCHES.
 - 2) MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - 3) THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED CONSISTENT WITH THE LANDSCAPE STANDARDS IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED.
 - 4) IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
 - 5) ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - 6) A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.040(3)(5).
- 7) EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 1. BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EX. TREES AT THE DRIPLINE.
 2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
 - 8) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE CONSISTENT WITH APPROVED EXHIBIT 'A,' THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE, THE LA JOLLA COMMUNITY PLAN, AND THE LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS.

LANDSCAPED AREA AND CALCULATIONS:

- 1) TOTAL LOT AREA = 20,038 SQ.FT.
- 2) TOTAL AREA OF PROPOSED STRUCTURE, WALKWAYS, DRIVEWAYS ETC. = 11,014 SQ. FT.
- 3) TOTAL LANDSCAPED AREA = 9,024 SQ. FT.
- 4) TOTAL PERCENT OF LANDSCAPED AREA = 45%

LEGEND:



BOTANICAL CATALOG:

| Symbol | Scientific Name | Common Name | Height | Spread | Quantity | Volume | Notes |
|--------|-----------------------------|-------------------------|--------|--------|----------|---------|-------|
| CL | Citrus Limon 'Meyer' | Improved Meyer Lemon | 15 ft. | 8 ft. | 2 | 24' box | |
| CKM | Citrus Kinokuni Mukukukishu | Seedless Kishu Mandarin | 12 ft. | 6 ft. | 1 | 15 gal. | |
| MG | Magnolia Glandiflora | Magnolia Blanchard | 12 ft. | 6 ft. | 3 | 36' box | |
| AM | Acacia Mimocifolia | Acacia | 8 ft. | 5 ft. | 1 | 36' box | |
| LN | Laurus Nobilis | Sweet Bay | 5 ft. | 5 ft. | 4 | 15 gal. | |
| AM | Arbutus Marina unedo | Marina Strawberry tree | 8 ft. | 5 ft. | 15 | 15 gal. | |
| OE | Olea Europaea | Olive tree | 12 ft. | 6 ft. | 8 | 36' box | |
| ZF | Zamia Furfuracea | Carboard Palm | 3 ft. | 3 ft. | 6 | 15 gal. | |
| DD | Dracaena Draco | Draco Palm | 8 ft. | 5 ft. | 2 | 36' box | |

| Symbol | Scientific Name | Common Name | Height | Spread | Quantity | Volume | Notes |
|--------|------------------------|--------------------|---------|--------|----------|--------|-------------|
| AA | Agave Attenuata | Fox Tail Agave | 4 ft. | 4 ft. | 6 | 5 gal. | |
| PD | Pachycereus Marginatus | Mexican Fence Post | 4-6 ft. | 4 ft. | 160 | pcs. | 6-8-10 tall |

| Symbol | Scientific Name | Common Name | Height | Spread | Quantity | Volume | Notes |
|--------|----------------------------|-------------------------------------|---------|---------|----------|-------------|-------------|
| | Zeon Zoysia | Zeon grass | 2-3 ft. | 2-3 ft. | 4693.72 | sq. ft. | www.sod.com |
| | Korean Lawngrass | Zoysia Japonica | 2-3 ft. | 2-3 ft. | 1011 | sq. ft. | |
| | Thymus Vulgare | Common Thyme | 2-3 ft. | 2-3 ft. | 82.5 | sq. ft. | |
| | English and Scotch moss | English and Scotch moss | 2-3 ft. | 2-3 ft. | 197 | sq. ft. | |
| | Ocimum basilicum | Basil | 2-3 ft. | 2-3 ft. | 84 | 4" pot | |
| | Origanum vulgare | Oregano | 2-3 ft. | 2-3 ft. | 84 | 4" pot | |
| | Conandrum sativum | Cougar | 2-3 ft. | 2-3 ft. | 84 | 4" pot | |
| | Petroselinum crispum | Parsley | 2-3 ft. | 2-3 ft. | 84 | 4" pot | |
| | Artemisia dracunculoides | Tarragon | 2-3 ft. | 2-3 ft. | 84 | 4" pot | |
| | Trachelospermum jasminoide | Star Jasmine | 2-3 ft. | 2-3 ft. | 38 | 5 gal. stk. | |
| | RO 'P' | Rosmarinus Officinalis 'Prostratus' | 2-3 ft. | 2-3 ft. | 20 | 1 gal. | |

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

SHTEREMBERG REMODEL
8361 DEL ORO CT.
LA JOLLA, CA. 92037

Sheet Title: LANDSCAPE PLAN