



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 14, 2018 REPORT NO. HO-18-009

HEARING DATE: February 21, 2018

SUBJECT: UNDERSTORY SDP - Process Three Decision

PROJECT NUMBER: [508313](#)

OWNER/APPLICANT: Mark Moushegian, HongJun Moushegian & Kirk Moushegian, Owners/
JLC Architecture, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of three residential units and the construction of a six-unit, multi-family structure at 3953, 3955 and 3957 9th Avenue within the Uptown Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 1911146.

Community Planning Group Recommendation: On December 6, 2016, the Uptown Community Planning Group voted 12-0 to recommend approval of the project (Attachment 6).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303(b) (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 22, 2017, and the opportunity to appeal that determination ended January 9, 2018.

BACKGROUND

The 0.16-acre site is located on the east side of 9th Avenue between Washington Street and University Avenue. This segment of 9th Avenue is only one block long with no connectivity to other portions of 9th Avenue to the north or south. The site is located in the CC-3-8 zone, which is a city-wide Commercial zone that became effective for the site on February 4, 2017, in conjunction with an update to the Uptown Community Plan, which designates the site for Community Commercial development.

When the project was deemed complete on September 19, 2016, the site was located in the NP-1 zone of the Mid-City Communities Planned District Ordinance (MCCPDO) and was covered by the 1988 Uptown Community Plan, which designated the site for Office/Residential at a density of 44-73 dwelling units per acre or 7-12 units allowed on this site. The NP-1 is a Neighborhood Professional zone that allows both office and residential uses at a density of one residential unit per 800 square feet of lot area, or a maximum of nine units allowed on this site with no minimum unit requirement. The applicant has elected to utilize their option to process this project under the NP-1 Zone and 1988 Uptown Community Plan.

The level project site is located in a developed, urban neighborhood and is bordered by the Highway 163 southbound off ramp to the north, the Highway 163 southbound slope and travel lanes to the east, mixed-use development to the west and multi-family units to the south. The site is developed with three, one-story, single-family units that were built in 1910, 1937 and 1951. The Historical Resources Board considered designation of the site on August 27, 2015, and determined the site and structures are not eligible for designation under any adopted designation criteria.

DISCUSSION

Project Description:

The applicant proposes to demolish the three existing residential structures and construct a three story, six-unit, 7,576-square-foot, multi-family apartment structure. The six units would include one studio and five one-bedroom units, ranging in size from 322 square feet to 1,488 square feet. The seven required parking spaces would be provided in three garage and four open parking spaces, with access provided from a single driveway on 9th Avenue. The project includes the addition of street trees and landscaped patio/deck areas on all three building levels. The applicant is requesting deviations to the front yard, street side yard and rear yard setbacks, as discussed below.

Required Approvals and Requested Deviations:

In accordance with San Diego Municipal Code (SDMC) Section 1512.0203(b)(4), a Process Three, Mid-City Communities Development Permit (processed as a Site Development Permit) is required to allow deviations greater than 20 percent. The requested deviations are as follows:

Deviation:	NP-1 Requirement	Proposed Dimension	Percent of Deviation
Front Yard Setback	10'	5'	50%
Rear Yard Setback	15'	10'	33%
Street Side Yard Setback	6'	0'	100%

The impact of the requested front yard setback deviation is limited by the design of the structure, which places only 19 linear feet of the structure along the front yard setback, leaving the remaining 40 feet of lot width open for driveway and landscaping. The requested rear and street side yard setback deviations are located adjacent to the Highway 163 slope and off ramp areas, therefore, no neighboring structures would be impacted. The requested deviations are consistent with the surrounding development, including the Monde mixed-use structure located across the street from the site at 3980 9th Avenue, which incorporates a zero-foot front yard and side yard setback.

These requested deviations are consistent with the developed neighborhood and the site's unique location adjacent to Highway 163. These deviations would not impact adjacent development and would help shield the interior courtyard of the project from Highway 163. Please see the Community Plan discussion below for additional setback deviation discussion.

Community Plan/General Plan Analysis:

The 1988 Uptown Community Plan designates the site for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site. While the six units proposed falls one unit under the recommended density range, the project would provide three more residential units than the current development. This is a transitional, one-block neighborhood with commercial, residential, mixed-use development, and an under-construction fire station. Heights range from one to four stories with construction dates between the early 1900's and 2000's. The site is constrained by Highway 163 to the north and east and existing multi-family development to the south. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

The applicant has requested deviations from the setback requirements. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, except to encourage upper-floor step backs to assist in addressing transitions and scale between new and existing development. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes and roof pitches, varied building materials and textures, balconies, and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The Urban Design Element of the General Plan recommends that patios, balconies, courtyards and other recreational amenities be provided to maximize useable open space. The project design includes a ground-level courtyard area, balconies and roof decks that provide useable open space and visual interest to the design. The project would meet the Urban Design Element objective of increasing the quality and quantity of landscaping in the public right-of-way by providing two street trees where there are none currently. The project design incorporates stucco, concrete and steel finishes in addition to multiple building offsets to add visual appeal to the streetscape and enhance the pedestrian experience, as recommended by the Urban Design Element. These features also serve to meet the 1988 Uptown Community Plan goal to preserve and enhance the pedestrian scale and human orientation within the Hillcrest area.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences. Of the seven total parking spaces provided (three garage and four surface spaces) only one is visible from the public right-of-way due to the building configuration.

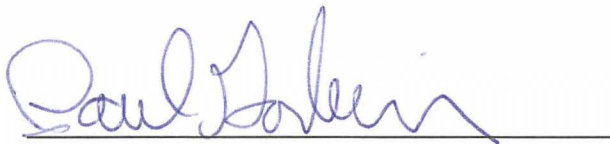
Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with the relevant adopted policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 3) and draft conditions of approval (Attachment 4). Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Site Development Permit No. 1911146, with modifications.
2. Deny Site Development Permit No. 1911146, if the findings required to approve the project cannot be affirmed.

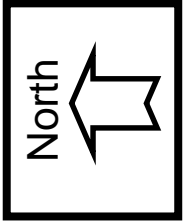
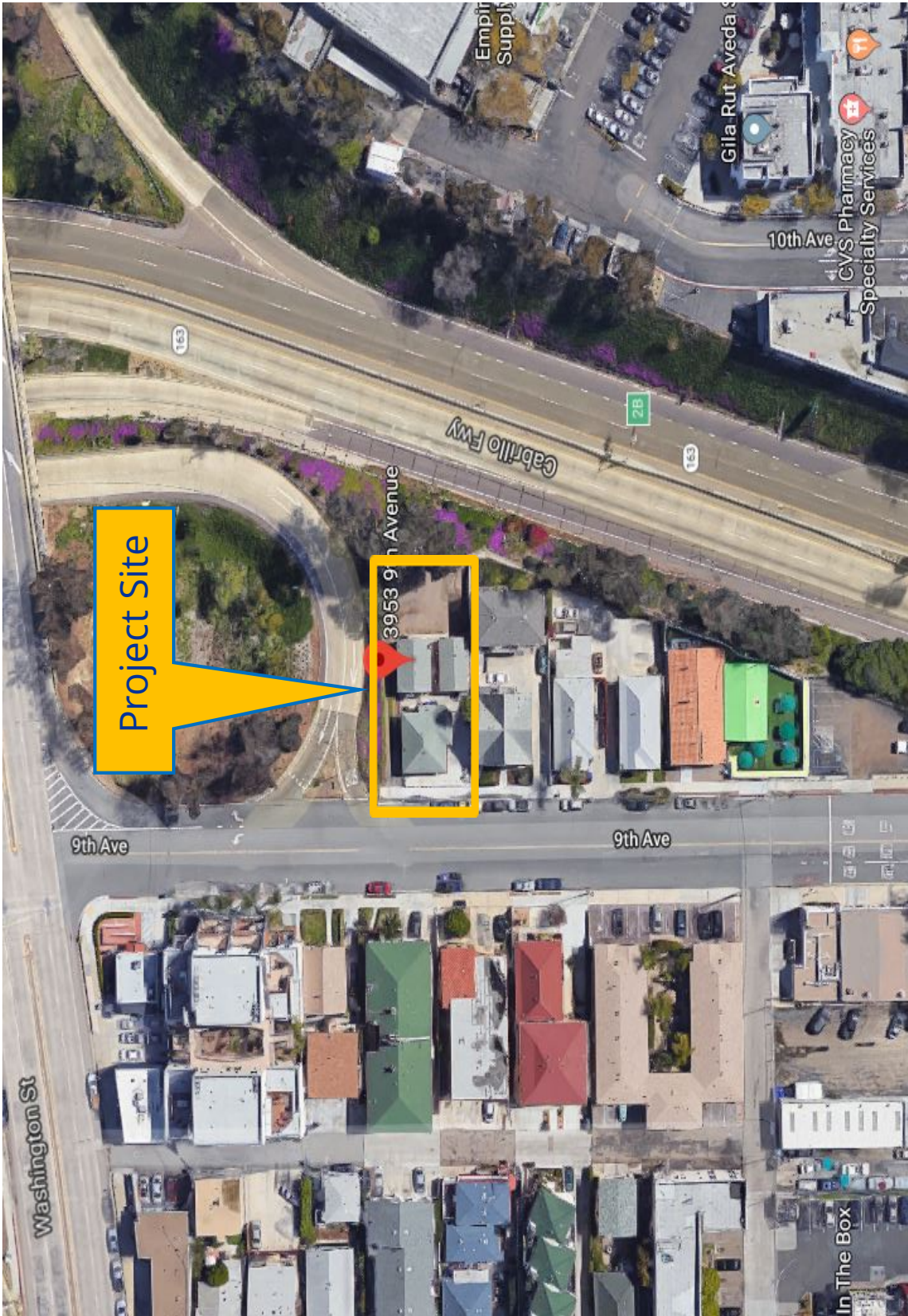
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Paul Godwin", is written over a horizontal line.

Paul Godwin, Development Project Manager

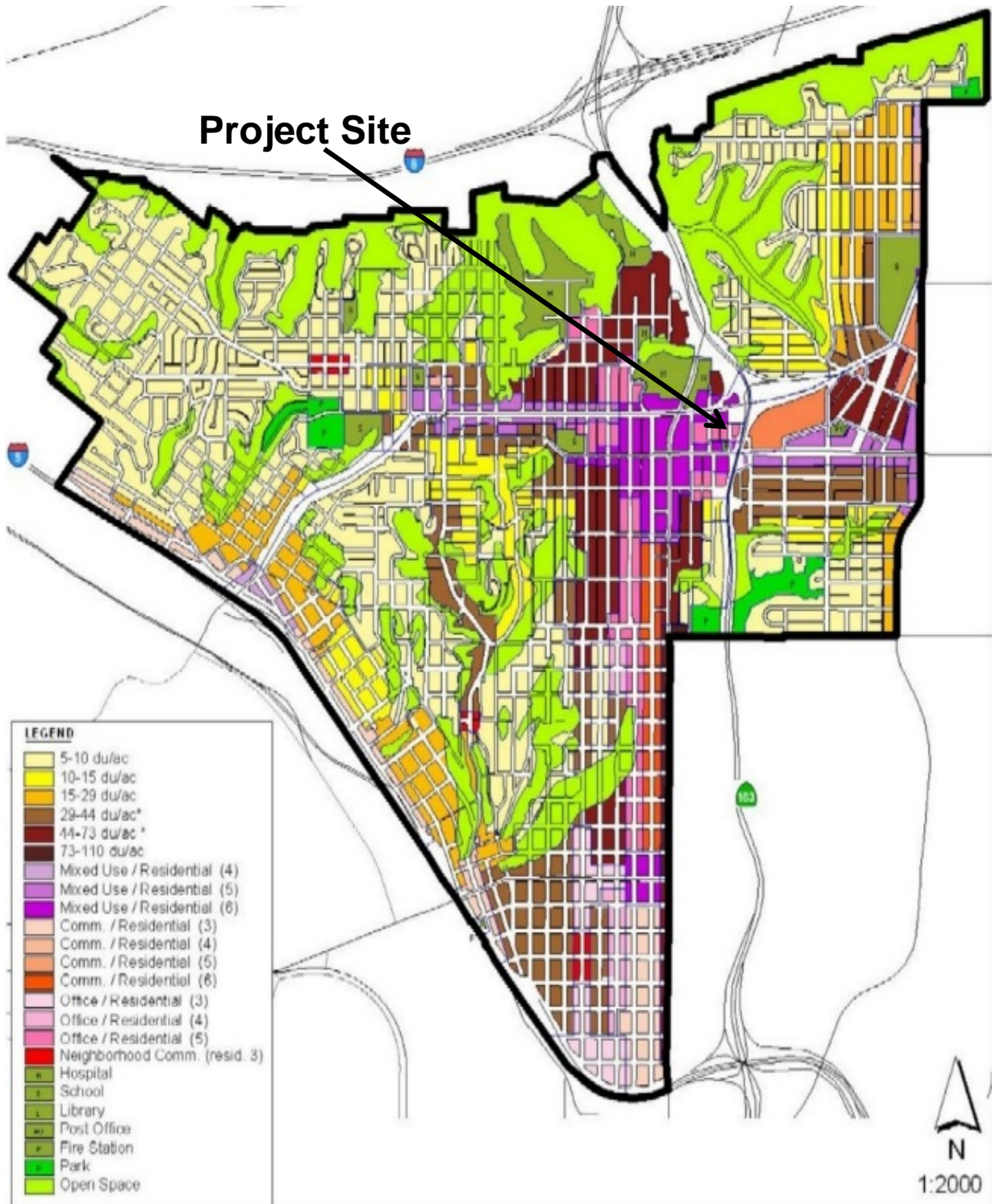
Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Draft Resolution with Findings
4. Draft Permit with Conditions
5. Environmental Exemption
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement.
8. Project Plans



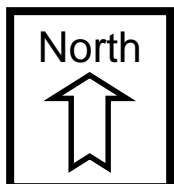
Aerial Photo
Understory SDP / 3953 9th Avenue
PROJECT NO. 508313





Land Use Map

Understory SDP/ 3953 9th Avenue
PROJECT NO. 508313



HEARING OFFICER
RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT NO. 1911146
UNDERSTORY SDP - PROJECT NO. 508313
DRAFT

WHEREAS, MARK MOUSHEGIAN, HONGJUN MOUSHEGIAN AND KIRK MOUSHEGIAN, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish three residential units and construct a six-unit, 7,576-square-foot, multi-family, three-story structure with seven parking spaces (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 1911146), on portions of a 0.16-acre site;

WHEREAS, the project site is located at 3953, 3955 and 3957 9th Avenue, in the CC-3-8 zone of the Uptown Community Plan;

WHEREAS, the project site is legally described as Lot 10, excepting therefrom the north 16 feet, and all of Lots 8 and 9, in Block 16 of Estudillo and Capron's addition, according to Map No. 650, filed December 4, 1980;

WHEREAS, on December 22, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303(b) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 21, 2018, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1911146 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 21, 2018.

SITE DEVELOPMENT PERMIT - SDMC Section 126.0505

a. Findings for all Site Development Permits:

1. The proposed development will not adversely affect the applicable land use plan.

The proposed project would demolish three existing residential units and construct a six-unit, multi-family residential building with seven off-street parking spaces and setback deviations in a developed, urban neighborhood on a level project site located at 3953, 3955 and 3957 9th Avenue. When the project was deemed complete on September 19, 2016, the site was covered by the 1988 Uptown Community Plan.

ATTACHMENT 3

On February 4, 2017, the Uptown Community Plan was updated, however the applicant has elected to utilize their option to process this project under the previous 1988 Uptown Community Plan.

The 1988 Uptown Community Plan designates the site for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site. While the six units proposed falls one unit under the recommended density range, the project would provide three more residential units than the current development.

This is a transitional, one-block neighborhood with no connectivity to other portions of 9th Avenue to the north or south. Existing uses include commercial, residential, mixed-use development, and an under-construction fire station. Heights range from one to four stories with construction dates between the early 1900's and 2000's. The site is constrained by Highway 163 to the north and east and existing multi-family development to the south. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

The applicant has requested deviations from the setback requirements. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, except to encourage upper-floor step backs to assist in addressing transitions and scale between new and existing development. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes and roof pitches, varied building materials and textures, balconies, and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The Urban Design Element of the General Plan recommends that patios, balconies, courtyards and other recreational amenities be provided to maximize useable open space. The project design includes a ground-level courtyard area, balconies and roof decks that provide useable open space and visual interest to the design. The project would meet the Urban Design Element objective of increasing the quality and quantity of landscaping in the public right-of-way by providing two street trees where there are none currently. The project design incorporates stucco, concrete and steel finishes in addition to multiple building offsets and varied roof angles and pitches to add visual appeal to the streetscape and enhance the pedestrian experience, as recommended by the Urban Design Element. These features also serve to meet the 1988 Uptown Community Plan goal to preserve and enhance the pedestrian scale and human orientation within the Hillcrest area.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences.

Of the seven total parking spaces provided (three garage and four surface spaces) only one is visible from the public right-of-way due to the building configuration.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development would allow the demolition of three existing residential units and the construction of six residential apartment units in a developed, urban neighborhood on a level project site that is served by all existing utilities and the developed 9th Avenue right-of-way. The proposed development has been designed to conform with the City of San Diego's codes, policies and regulations whose primary focus is the protection of the public's health, safety and welfare.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project's compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by professional staff to ensure construction will comply with all relevant uniform building, fire, plumbing, electrical, mechanical and traffic control code regulations and permitting requirements.

Construction inspections, including final inspection and certificate of occupancy issuance are required to assure construction permits are implemented in accordance with the approved plans and will comply with all regulations. Additionally, the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15303(b). Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The site is located in the CC-3-8 zone, which is a city-wide Commercial zone that became effective for the site on February 4, 2017. When the project was deemed complete on September 19, 2016, the site was located in the NP-1 zone of the Mid-City Communities Planned District Ordinance (MCCPDO). The applicant has elected to utilize their option to process this project under the NP-1 zone. The NP-1 is a Neighborhood Professional zone that allows both office and residential uses at a density of one residential unit per 800 square feet of lot area, or a maximum of nine units allowed onsite with no minimum unit requirement. Therefore, the six proposed residential units comply with the NP-1 zone regulations. With the exception of the front, rear and street side yard setback deviation requests described below, the project meets all Land Development Code regulations, including height, floor area ratio, landscape, parking and open space requirements.

In accordance with San Diego Municipal Code (SDMC) Section 1512.0203(b)(4), a Process Three, Mid-City Communities Development Permit (processed as a Site Development Permit) is required to allow deviations greater than 20 percent. The requested deviations are as follows:

Deviation:	NP-1 Requirement	Proposed Dimension	Percent of Deviation
Front Yard Setback	10'	5'	50%
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The impact of the requested front yard setback deviation is limited by the design of the structure, which places only 19 linear feet of the structure along the front yard setback, leaving the remaining 40 feet of lot width open for driveway and landscaping. The project has been designed in a “T” shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes, varied building materials and textures, balconies, roof decks and landscaping on all three floors. The project design achieves the setback regulation’s purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The requested deviations are consistent with the surrounding development, including the Monde mixed-use structure located across the street from the site at 3980 9th Avenue, which incorporates a zero-foot front yard and side yard setback. These deviations would not impact adjacent development and would help shield the interior courtyard of the project from Highway 163. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

A. MID-CITY COMMUNITIES DEVELOPMENT PERMIT – SDMC SECTION 1512.0204

1. Findings for all Mid-City Communities Development Permits:

- a. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.**

The purpose and intent of the Mid-City Communities Planned District is to assist in implementing the goals and objectives of the Uptown Community Plan and to assist in implementation of the General Plan of the City of San Diego.

The 1988 Uptown Community Plan designates the site for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site.

While the six units proposed falls one unit under the recommended density range, the project would provide three more residential units than the current development. This is a transitional, one-block neighborhood with commercial, residential, mixed-use development, and an under-construction fire station. Heights range from one to four stories with construction dates between the early 1900's and 2000's. The site is constrained by Highway 163 to the north and east and existing multi-family development to the south. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

The applicant has requested deviations from the setback requirements. The Uptown Community Plan does not provide specific recommendations regarding these particular development requirements, except to encourage upper-floor step backs to assist in addressing transitions and scale between new and existing development. The project has been designed in a "T" shape configuration, with the widest portion at the middle of the lot to reduce bulk and scale when viewed from the street. The requested setback deviations are offset by the modern/minimalist building design which incorporates multiple offsetting planes, varied building materials and textures, balconies, and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

The Urban Design Element of the General Plan recommends that patios, balconies, courtyards and other recreational amenities be provided to maximize useable open space. The project design incorporates ground-level courtyard area, balconies and roof decks that provide open space while providing visual interest to the design. The project would meet the Urban Design Element objective of increasing the quality and quantity of landscaping in the public right-of-way by providing two street trees where there are none currently. The project design incorporates stucco, concrete and steel finishes in addition to multiple building offsets and varied roof angles and pitches to add visual appeal to the streetscape and enhance the pedestrian experience, as recommended by the Urban Design Element. These features also serve to meet the 1988 Uptown Community Plan goal to preserve and enhance the pedestrian scale and human orientation within the Hillcrest area.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences. Of the seven total parking spaces provided (three garage and four surface spaces) only one is visible from the public right-of-way due to the building configuration.

Therefore, the proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the Uptown Community Plan, and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

- b. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.**

The applicant proposes to demolish the three existing residential structures and construct a three story, six-unit, 7,576-square-foot, multi-family apartment structure with deviations to the front, street side and rear yard setbacks. The proposed development would be compatible with the existing land use of the adjoining properties in that multi-family uses are located to the south and multi-family and mixed-use development is to the west. There are no structures located on the existing Highway 163 site to the north and east. The 1988 Uptown Community Plan designates this block of 9th Avenue for Office/Residential Density Range 5 (high intensity). This allows for either office or residential development at a density of 44-73 dwelling units per acre, or 7-12 units allowed on this project site. Given the context and constraints of the site, six units where the Community Plan recommends at least seven is appropriate.

This is a transitional, one-block neighborhood with no connectivity to other portions of 9th Avenue to the north or south. Existing uses on the block include commercial, residential, mixed-use and an under-construction fire station, with construction dates between the early 1900's and 2000's. Existing building heights range from one to four stories. The modern/minimalist building design incorporates multiple offsetting planes, varied building materials and textures, balconies, roof decks and landscaping on all three floors. The project design achieves the setback regulation's purpose and intent to limit the effects of bulk and scale. The deviations would not impact existing structures due to placement of the deviation areas adjacent to Highway 163.

In the context of this neighborhood of diverse uses, styles, construction dates and heights, the proposed development will be compatible with existing and planned land uses on adjoining properties and will not constitute a disruptive element to the neighborhood and community and architectural harmony with the surrounding neighborhood and community is a achieved as far as practicable.

- c. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.**

The proposed development would allow the demolition of three existing residential units and the construction of six residential apartment units in a developed, urban neighborhood on a level project site that is served by all existing utilities and the developed 9th Avenue right-of-way. The proposed development has been designed to conform with the City of San Diego's codes, policies and regulations whose primary focus is the protection of the public's health, safety and welfare.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project's compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by professional staff to ensure construction will comply with all relevant uniform building, fire, plumbing, electrical, mechanical and traffic control code regulations and permitting requirements.

Construction inspections, including final inspection and certificate of occupancy issuance are required to assure construction permits are implemented in accordance with the approved plans and will comply with all regulations. Additionally, the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15303(b). Therefore, the proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

d. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.

An existing City-standard street light is located approximately 80 feet from the project site, across the street adjacent to 3964 9th Avenue. Therefore the project is in compliance with the Municipal Code and the current street light standards according to the City of San Diego Street Design Manual and Council Policy 200-18.

e. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.

The site was evaluated under the NP-1 zone regulations of the Mid-City Communities Planned District Ordinance, which was in effect when the project was deemed complete. The NP-1 is a Neighborhood Professional zone that allows both office and residential uses at a density of one residential unit per 800 square feet of lot area, or a maximum of nine units allowed on this site with no minimum unit requirement. With the exception of the development standard deviations to the front, rear and street side setbacks described in Site Development Permit Finding 126.0505(a)(3) above, the project would comply with all relevant regulations in the San Diego Municipal Code, including height, floor area ratio, parking and landscaping.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1911146 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 1911146, a copy of which is attached hereto and made a part hereof.

Paul Godwin
Development Project Manager
Development Services

Adopted on: February 21, 2018

IO#: 24006934

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006934

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1911146
UNDERSTORY SDP - PROJECT NO. 508313
 HEARING OFFICER
 DRAFT

This Site Development Permit No. 1911146 is granted by the Hearing Officer of the City of San Diego to Mark Moushegian, HongJun Moushegian & Kirk Moushegian, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.5002 and 1512.0203. The 0.16-acre site is located at 3953, 3955 and 3957 9th Avenue, in the CC-3-8 zone of the Uptown Community Plan. The project site is legally described as: Lot 10, excepting therefrom the north 16 feet, and all of Lots 8 and 9, in Block 16 of Estudillo and Capron's addition, according to Map No. 650, filed December 4, 1980.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 21, 2018, on file in the Development Services Department.

The project shall include:

- a. Demolition of three existing residential units and the construction of a six-unit, 7,576-square-foot, multi-family, three-story structure with seven parking spaces;
- b. Deviations to the front, rear and street side yard setback requirements as follows:

Deviation:	NP-1 Requirement	Proposed Dimension	Percent of Deviation
Front Yard Setback	10'	5'	50%
Rear Yard Setback	15'	10'	33%
Street Side Yard Setback	6'	0'	100%

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 7, 2021.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air

Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

13. The project proposes to export 10 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the landscaping and irrigation in the 9th Avenue right-of-way.
16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the proposed non-standard driveway located on 9th Avenue right-of-way.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 16-foot wide driveway, adjacent to the site on 9th Avenue, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close all non-utilized driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on 9th Avenue, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

22. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

23. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

24. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

27. Owner/Permittee shall maintain a minimum of seven off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

30. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

31. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

32. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

33. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

34. Prior to Final Inspection, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

35. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 4

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 21, 2018, and [Approved Resolution Number].

ATTACHMENT 4

Permit Type/PTS Approval No.: SDP No. 1911146
Date of Approval: February 21, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Paul Godwin
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Mark Moushegian

Owner/Permittee

By _____
HongJun Moushegian

Owner/Permittee

By _____
Kirk Moushegian

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 5

(Check one or both)

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Understory SDP

Project No. 508313/ SCH No.: N.A.

Project Location-Specific: 3953, 3955, and 3957 9th Avenue, San Diego, CA 92103

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: SITE DEVELOPMENT PERMIT (SDP) and MID-CITY COMMUNITIES DEVELOPMENT PERMIT to demolish three single-family units, and to allow for the construction of 8,020-square-foot, 6 unit multi-dwelling structure for affordable/in-fill housing development, a new driveway location with associated curb cuts, landscaping, and fencing, on a 0.16 acre site. The project proposes deviations for front, rear, and street side setbacks, and a reduced driveway width from 20 feet to 12 feet.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Tyler Van Stright,
JLC Architecture (Firm),
337 S. Cedros Avenue, Suite J,
Solana Beach, CA, 92075,
(858) 436-7777

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: CEQA Exemption 15303 (b) (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303, which consists of construction or location of limited numbers of new, small facilities or structures. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for not more than six dwelling units. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

ATTACHMENT 5

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna L. McMurran Senior Planner/AICP

January 10, 2018

Signature/Title

Date

Check One:

Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

Signed by Applicant

From: [Leo Wilson](#)
To: [Godwin, Paul](#)
Subject: Re: Understory - PTS 508313 - CPG in December 2016
Date: Thursday, February 08, 2018 3:41:27 PM

Here is the vote from the December 6, 2016 minutes.

"Motion Nakhshab / Thorsen motion to approve. Gahagan motions to amend with a recommendation to encourage the addition of artistic element on the north façade. Motion passes 11/0/1 Chair abstains (Rosas not voting as she was not present during the presentation)."

From: Leo Wilson <leo.wikstrom@sbcglobal.net>
To: "Godwin, Paul" <PGodwin@sandiego.gov>
Sent: Thursday, February 8, 2018 3:38 PM
Subject: Re: Understory - PTS 508313 - CPG in December 2016

Hi Paul:

Sorry for the delay. I will send a memorandum of motion with the vote on the project to you by Monday.

Leo



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title UNDERSTORY **Project No. For City Use Only** 508313

Project Address:
3953-3957 9TH AVE. SAN DIEGO, CA 92103

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 MARK MOUSHEGIAN
 Owner Tenant/Lessee Redevelopment Agency

Street Address: 12783 VIA TERCETO
 City/State/Zip: SAN DIEGO, CA 92130
 Phone No: 858-242-0802 Fax No: _____
 Signature: [Signature] Date: 8-20-2016

Name of Individual (type or print):
 HONGJUN MOUSHEGIAN
 Owner Tenant/Lessee Redevelopment Agency

Street Address: 12783 VIA TERCETO
 City/State/Zip: SAN DIEGO, CA 92130
 Phone No: 858-242-0802 Fax No: _____
 Signature: [Signature] Date: 8-20-2016

Name of Individual (type or print):
 KIRK MOUSHEGIAN
 Owner Tenant/Lessee Redevelopment Agency

Street Address: 3955 9th AVENUE
 City/State/Zip: SAN DIEGO, CA
 Phone No: 801-631-1751 Fax No: _____
 Signature: [Signature] Date: 8/20/2016

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

GENERAL NOTES

1. All notes listed below are applicable unless otherwise noted within the construction documents or specifications.
2. All work to be done in accordance with local codes, laws, ordinances, CAL-OSHA, city, county, state, and national standards and safety codes including but not limited to 2013 edition of the California Code of Regulations (Title 24), which adopts the following model codes: 2013 IRC, 2013 IBC, 2013 UPC, 2013 UMC, 2013 NEC
3. All Residential projects shall comply with the 2013 California Residential Code which adopts the following model codes: 2013 IRC, 2013 UPC, 2013 UMC, 2013 NEC
4. Changes to the approved drawings and specifications shall be made only by owner approved addenda or change order.
5. The contractor shall verify in the field all dimensions, elevations, flow lines and points of connection with adjacent properties; any discrepancies shall be called to the architect's attention before proceeding with the work.
6. The contractor shall determine the location of utility services in the area prior to excavation. The contractor shall assume responsibility for the protection of existing utilities and pavement within the area of the work whether indicated on the drawings or not, unless otherwise noted. All utilities to be underground per utility company and local code requirements.
7. Should any condition arise where the intent of the drawings is in doubt where there is a discrepancy or appears to be an error on the drawings between the drawings and the field conditions, the architect shall be notified as soon as reasonably possible for procedure to be followed.
8. Where details are not shown for any part of the work, the construction shall be similar to other similar work, or contact the architect for clarification.
9. Workmanship throughout shall be of the best quality of the trade involved.
10. Each subcontractor is considered a specialist in his respective field and shall, prior to the submission of bid or performance of work, notify the general contractor or owner of any work called out on the drawings in his trade that cannot be fully guaranteed. The contractor and/or subcontractors shall be responsible for the appropriate "hook-up" to all utilities required to support the work.
11. Permits, fees, taxes, licenses, and deposits shall be paid for and obtained by each sub-contractor and the general contractor as they relate to their work.
12. These drawings do not include necessary components for construction safety of all parties present on the job site. This is the contractor's responsibility.
13. The contractor shall protect adjacent properties and site work at all times.
14. All dimensions are to face of studs, masonry or centerline unless noted otherwise. Do not scale drawings. Dimensions prevail.
15. Do not make connection, brace, or suspend any construction or equipment from the roof deck or joists unless indicated on the drawings.
16. Any periodic visits to the job site by the architect are for provisions of the contract documents, and are in no way a guarantee or insurance that the finished project totally complies with the contract documents.
17. The architect does not assume any of the responsibility for methods or appliances used by the contractor, nor safety of the job in compliance with the laws and regulations.
18. All construction and demolition debris shall be removed from around the buildings, the driveways, sidewalks and landscaping at the end of each work day. The driveways and sidewalks shall be swept clean.
19. The contractor shall limit the site storage of material, supplies or temporary structures to those areas as indicated on the drawings or as approved by the owner's representative.
20. The contractor shall repair or replace any items damaged during demolition or construction indicated to be reused or to remain, at no cost to the owners.
21. Building insulation shall be certified by the manufacturer to meet the California quality standards for insulating materials.
22. All new glazing will be installed w/ certifying label attached showing the "U" value.
23. The contractor shall provide a separation or barrier between all dissimilar metals.
24. All exterior metal, including but not limited to weld plates, flashing etc., shall be primed and painted per the specification (copper shall be left unpainted, unless otherwise noted).
25. Interior finishes shall conform to the requirements of Chapter 8, Uniform Building Code.
26. NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction materials testing and off-site fabrication of building components, contained in the statement of special inspections and as required by the California construction codes.
27. NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and as required by the California construction codes.
28. Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33, Welding, cutting and other hot work shall be in conformance with CFC Chapter 35.
29. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1.
30. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.
31. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 501.2.

CONTRACTOR FIELD VERIFICATION

Before erection of structure and/or ordering of any building components, the General Contractor should field verify all horizontal, vertical dimensions and connections of existing/proposed components including, without being limited to:

- building setbacks
- existing/proposed grade
- maximum allowable height at walls and ridges
- insulation requirements at walls, floors and roof structure
- window/door energy performance requirements
- mechanical equipment location and clearances
- trusses dimensions and slope
- steel structure and components
- interior cabinets, appliances, furniture
- plumbing fixtures and related code required clearances
- any similar components and/or system(s)

SUSTAINABLE FEATURES

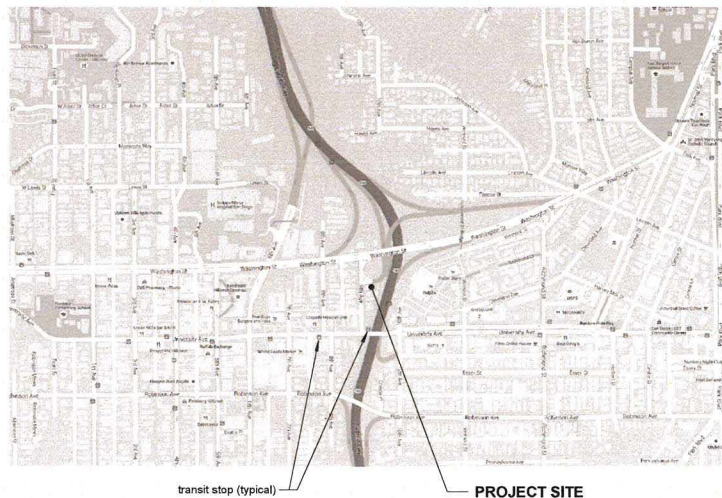
Planned sustainable measures:

1. Reuse or recycle existing structures
2. Optimized building orientation/design and deciduous trees for passive solar design
3. Improved Insulation R-values over Title 24 requirements
4. Filtered air whole house fans for natural ventilation
5. Roofing materials with a minimum 3-year aged solar reflection and thermal remittance
6. Drip irrigation and low-moderate water use plants
7. High efficiency heat pump
8. Instant hot water heater
9. High efficiency and water saving appliances
10. Solar panels
11. Provide 1 Electric vehicle charging ready parking space

Other measures under consideration:

1. Rain water collection
2. Advanced sustainable building material
3. Minimize construction waste
4. Sky light

VICINITY MAP



Gross Floor Area		
Area Name	Area	Comments
covered area below Unit 201	569 SF	
Garage	752 SF	
Rear Deck	585 SF	located on 2nd Level at rear of site
Storage (all units)	113 SF	
Unit 101	1488 SF	
Unit 101 - phantom floor	452 SF	
Unit 102	322 SF	
Unit 201	1135 SF	
Unit 202	666 SF	includes mez bdrm level
Unit 202 - phantom floor	133 SF	
Unit 203	523 SF	includes mez storage area
Unit 203 - enclosed exterior balcony	53 SF	
Unit 203 - phantom floor	329 SF	
Unit 301	456 SF	
Grand total	7576 SF	

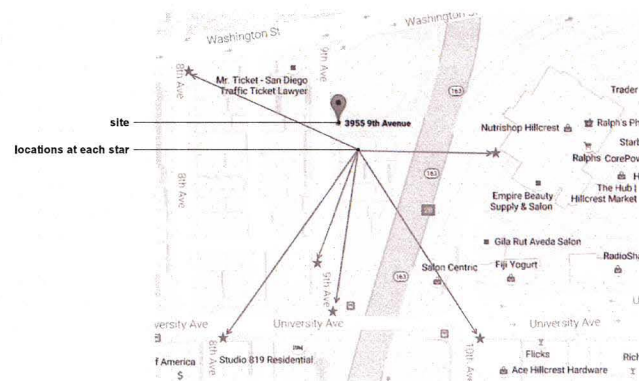
Unit Breakdown (Living Space Only)		
Area Name	Area	Comments
Unit 101	1488 SF	
Unit 102	322 SF	
Unit 201	1135 SF	
Unit 202	666 SF	includes mez bdrm level
Unit 203	523 SF	includes mez storage area
Unit 301	456 SF	
Grand total	4589 SF	

PARKING SUMMARY

Unit Type	# of Units	Spaces Rqrd	Total
Studio <400 sf	1	1.0	1.0
1 Bdrm/Studio >400 sf	5	1.25	6.25
2 Bdrm	0	1.75	0.0

Total Space Required 7 (per rounding standard)
Total Spaces Provided 7

FIRE HYDRANT LOCATIONS



PROJECT DATA

Project Number 508313

Address 3953, 3955 & 3957 9th Avenue

San Diego, CA 92103
APN 444-890-28-00

Legal Description

Lot 10 excepting therefrom the north 16 feet, and all of Lots 8 and 9, in block 16 of Estudillo and Capron's addition, in the city of San Diego, County of San Diego, State of California, according to Map thereof No. 650, filed in the office of the County Recorder Of San Diego County, December 4, 1980

Base Zone NP-1
Planned District Mid-City Comm. Planned District

Overlays Airport Influence Area
 Residential Tandem Parking
 Transit Area

Geological Hazard Category 52

Minimum Lot Size 50x100 (5,000 sf)
Lot Size 59x120 (7,080 sf)

Min Lot Coverage 20% (7,080 x 0.2 = 1,416 sf)
Max Lot Coverage 50% (7,080 x 0.5 = 3,540 sf)
Proposed Lot Coverage 44.1% (3,121 sf / 7,080 sf = 44.1%)

Max FAR 1.5 (7,080 x 1.5 = 10,620 sf)
Proposed FAR 1.07 (7,576 sf / 7,080 sf = 1.07)

Max # of Units per Lot Size 66 (lot depth > 100')
Max # of Units per Density 7,080 sf / 800 sf = 8.85 units
Proposed # of Units 6

Max Height 50' (60' over enclosed parking)
Proposed Height 35'-4.25" (at most western portion of bldg)
of Stories 3

Front Setback 10' per zone (5' proposed)
Rear Setback 15' per zone (10' proposed)
Side Setback 6' per zone (zero yard option proposed at north PL, extending to rear PL)

Existing Use 3 Residences
Proposed Use 6 Unit Apartment Building
Occupancy R-2 (dwellings) / U (garage)
Construction Type Type V-B or V-A (decision pending)

Fire Sprinklers Required (NFPA 13 proposed for Type VB construction story increase)

Landscape Area see landscape package

Year Built 1910, 1937, 1951

PROJECT SCOPE

- 6 unit apartment building
- new driveway location w associated curb cut
- landscaping and fencing

REQUESTED DEVIATIONS FROM DEVELOPMENT STANDARDS

See separate write-up for detailed deviation request.

- 1 - Zero Street Yard
- 2 - Reduced Rear Yard Setback
- 3 - Reduced Front Yard Setback

RELATED APPLICATIONS

Existing structures on site are not considered historic per previously completed study. Full Historic Report on file with city under project Nbr. 424072

DIRECTORY

OWNER
 Hongjun Moushegian, Mark Moushegian, Kirk Moushegian
 3953 9th Ave.
 San Diego, CA 92103
 858-877-1537
 hongjunmca@gmail.com

ARCHITECT
 JLC Architecture
 contact: Tyler Van Stright
 337 S Cedros Avenue Suite J
 Solana Beach, CA 92075
 (858) 436-7777 x2#
 tyler@jlcarchitecture.com

HISTORIC CONSULTANT
 Scott A. Moomjian, Attorney at Law
 5173 Waring Road, #145
 San Diego, CA 92120
 (619) 230-1770

SURVEYOR + CIVIL ENGINEER
 Sampo Engineering, Inc
 contact: Dallas Buckner
 171 Saxony Road, Suite 213,
 Encinitas, CA., 92024
 (760) 436-0660 x13
 dallas@sampoengineering.com

SOILS ENGINEER
 CW LaMonte Company, Inc.
 contact: Jerry Redolfi
 8265 Commercial Street, Suite 12
 La Mesa, CA 91942
 (619) 462-9861

LANDSCAPE
 John Beaudry
 9405 Hilmer Drive
 La Mesa, CA 91942
 619-929-9140
 john@beaudrydesign.com

SHEET INDEX

TITLE
 G001 Project Information

SURVEY
 1 sheet Survey of Existing Conditions

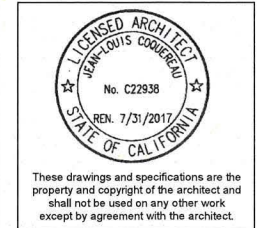
CIVIL
 C101 Title Sheet
 C102 Drainage Plan
 C103 Erosion Control Plan

ARCHITECTURAL

- A001 Axonometrics
- A002 Site Plan - Existing
- A003 Site Plan - New
- A004 Area Plans
- A101 Floor Plans
- A102 Floor Plans
- A103 Floor Plans
- A104 Roof Plan
- A201 Elevations
- A202 Elevations
- A203 Elevations
- A204 Elevation Diagrams
- A301 Sections
- A302 Sections
- A303 Sections
- A304 Sections
- A305 Sections

LANDSCAPE

3 sheets Landscape Package

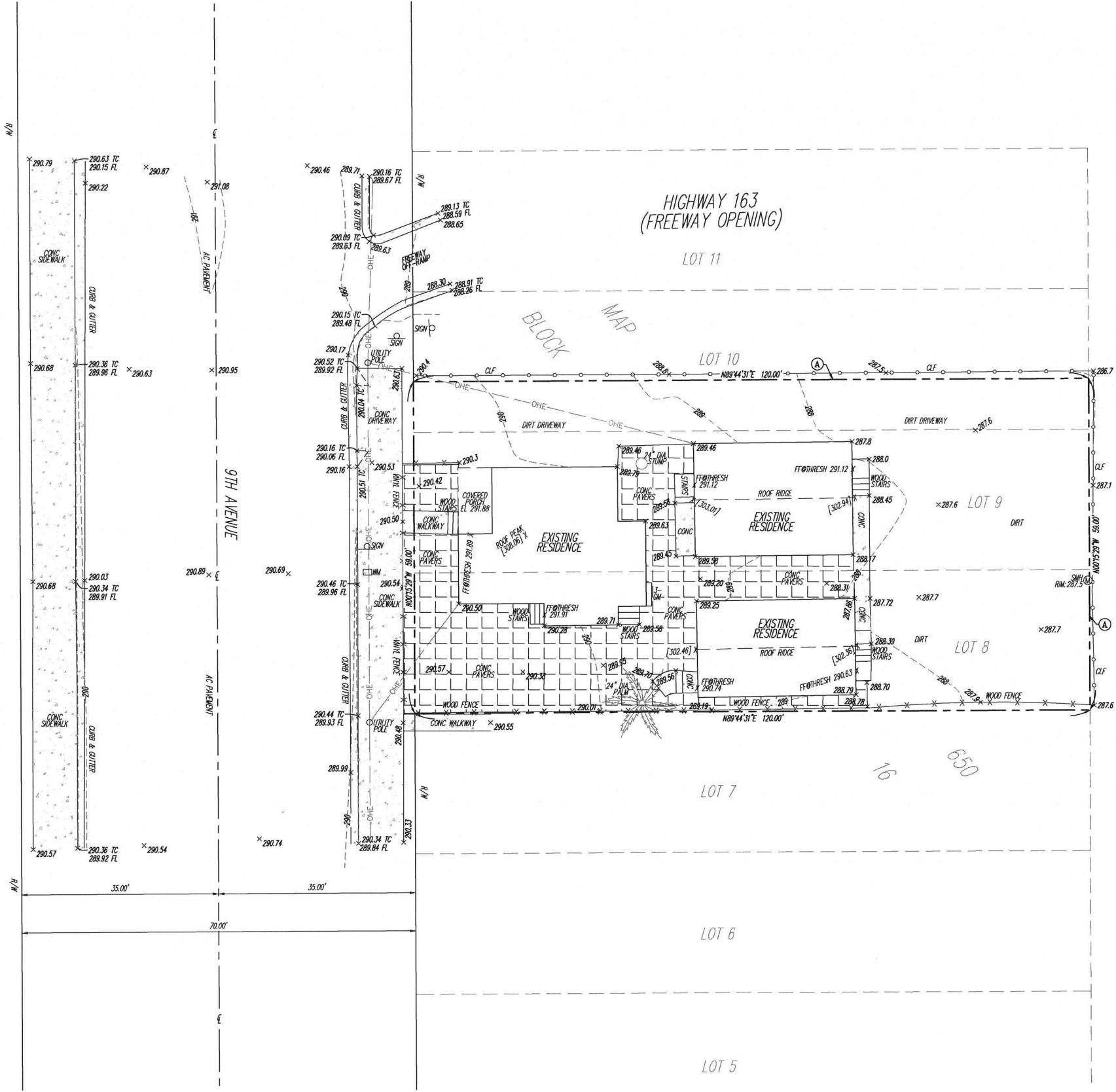


The Understory
 3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103

No	Description	Date

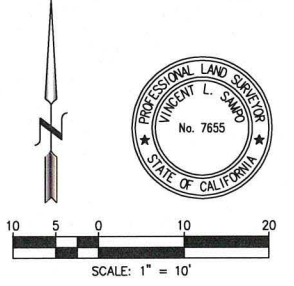
Project number 14049
 Drawn by TVS
 Checked by JLC
 Purpose discretionary process

G001
 Project Information



OWNER: MARK, HONGJUN, AND KIRK MOUSHEGAN
 SITE ADDRESS: 3953, 3955, 3957 9TH AVENUE, SAN DIEGO, CA 92103
 ASSESSORS PARCEL NUMBER: 444-690-26
 DATE OF SURVEY: JANUARY 4, 2017
 LEGAL DESCRIPTION: LOT 10 EXCEPTING THEREFROM THE NORTH 16 FEET, AND ALL OF LOTS 8 AND 9 IN BLOCK 16 OF ESTUDELLO AND CAPRON'S ADDITION IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 850, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 4, 1980.
 VERTICAL BENCHMARK: CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK, VERMONT STREET AND PENNSYLVANIA AVENUE BENCHMARK.
 DATUM: NAD 83 ELEVATION: 291.08
 NOTES:
 1. THIS IS NOT A BOUNDARY SURVEY. THE BASIS OF BEARINGS FOR THIS TOPOGRAPHIC PLAT ARE PER PARCEL MAP 20116. DISTANCES SHOWN HEREON ARE CALCULATED PER MAP 650. IF PROPERTY LINE SETBACKS TO STRUCTURES ARE CRITICAL FOR THIS PROJECT A BOUNDARY SURVEY IS RECOMMENDED.
 2. A POLICY OF TITLE INSURANCE WAS PREPARED BY FIDELITY NATIONAL TITLE COMPANY ON 01/16/2014 AS ORDER NUMBER 0003028-892-501-D. NO EASEMENTS WERE FOUND IN SAID TITLE REPORT, HOWEVER THE FOLLOWING WAS NOTED:
 (A) THE OWNERSHIP OF THE PROPERTY DOES NOT HAVE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY OR FREEWAY ABUTTING SAID PROPERTY WAS RECORDED ON 2/26/1945 IN BOOK 1821, PAGE 413, OF OFFICIAL RECORDS.
 3. ELEVATIONS ABOVE GRADE SHOWN IN []

ABBREVIATIONS:
 AC: ASPHALT CONCRETE
 AD: AREA DRAIN
 CONC: CONCRETE
 CLF: CHAIN LINK FENCE
 DIA: DIAMETER
 FL: FLOW LINE
 FF: FINISH FLOOR
 GM: GAS METER
 R/W: RIGHT OF WAY
 SMH: SEWER MANHOLE
 TC: TOP OF CURB
 TRESH: THRESHOLD
 WM: WATER METER

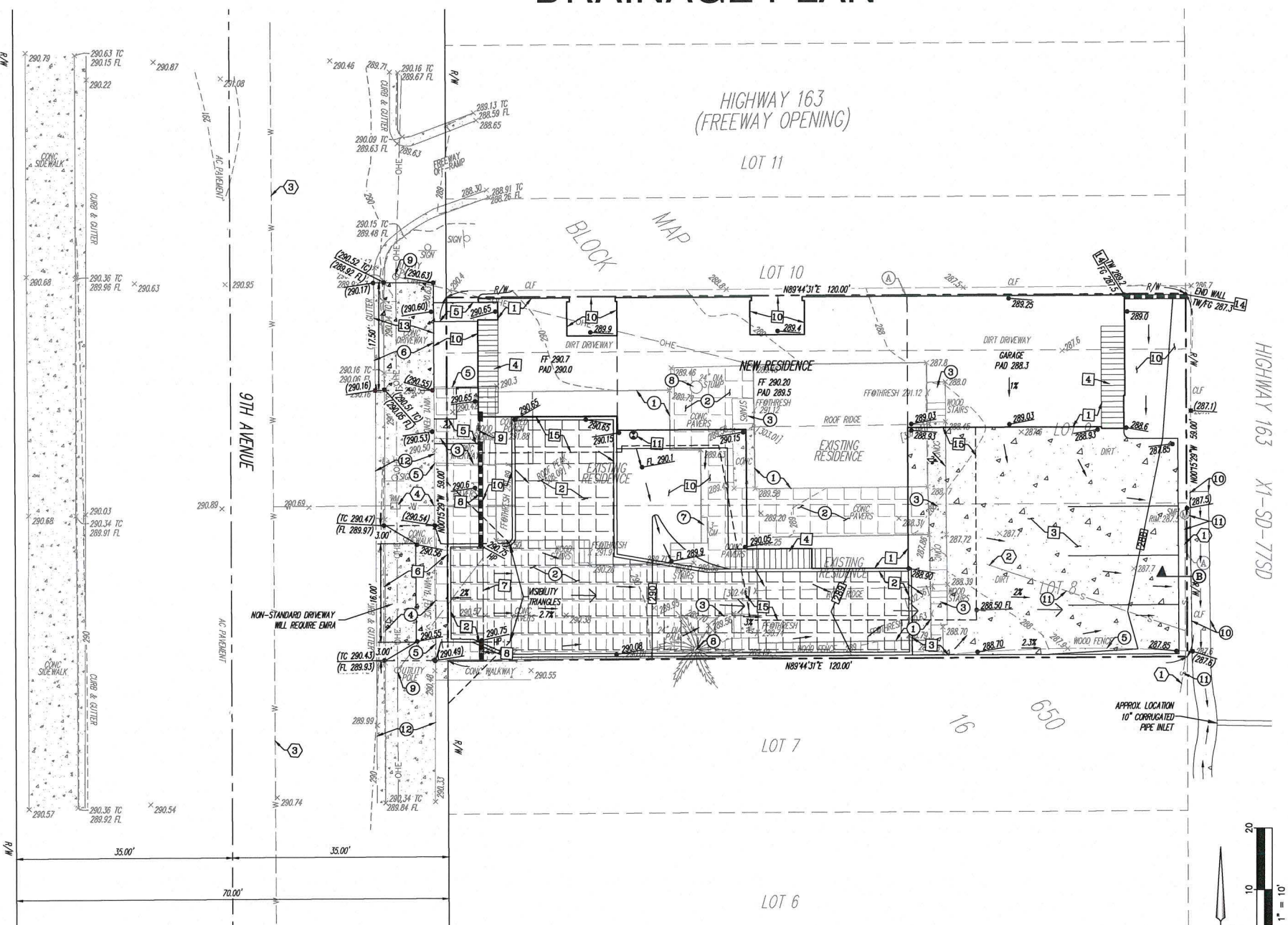


1/11/17
 BAMPO
 ENGINEERING, INC.
 1735 S. MISSION BLVD., SUITE 200, SAN ANTONIO, TEXAS 78205
 TEL: (214) 591-2000 FAX: (214) 591-2001
 DATE: 1/11/2017 ~ FILE NAME: R:\16-173 Moushegan - 9th Ave_Submittata\16-173 TOPO.dwg

GRADING AND DRAINAGE PLAN



The Understory
3953, 3955 & 3957 9th Avenue
San Diego, CA 92103



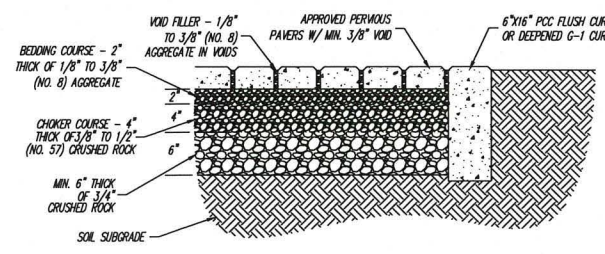
- KEY NOTES**
- DEMOLISH/PROTECT IN-PLACE**
- DEMOLISH EXISTING RESIDENCE
 - DEMOLISH CONCRETE PATIERS
 - DEMOLISH CONCRETE WALKWAY AND STAIRS
 - DEMOLISH CONCRETE SIDEWALK, CURB, AND GUTTER
 - DEMOLISH FENCE
 - DEMOLISH DRIVEWAY, CURB, AND GUTTER
 - REMOVE GAS METERS
 - REMOVE TREE STUMP/TREE
 - PROTECT UTILITY POLE AND LINES IN-PLACE
 - PROTECT CONCRETE BROW DITCH IN-PLACE
 - PROTECT SMH AND SEWER LINE IN-PLACE
 - PROTECT CURB, GUTTER, AND SIDEWALK IN-PLACE
 - PROTECT WATER LINE IN-PLACE
- NEW IMPROVEMENTS**
- NEW MULTI-FAMILY RESIDENCE PER ARCHITECTS PLAN
 - UNI EDO-STONE PERVIOUS PAVEMENT DRIVEWAY OR APPROVED EQUAL WITH 6" PCC FLUSH CURB PERIMETER PER DETAIL 'A'
 - SIKA PERMEABLE CONCRETE DRIVEWAY PER DETAIL 'B' OR APPROVED EQUAL
 - STAIRS PER ARCHITECTS PLAN
 - PCC WALKWAY PER CONSTRUCTION NOTE 8
 - 16" WIDE PCC DRIVEWAY PER SDG-159
 - 16" WIDE MOTORIZED SLIDING (TO THE NORTH) GATE PER ARCHITECTS PLAN
 - 6" TALL FENCE PER ARCHITECTS PLAN
 - WOOD GATE PER ARCHITECTS PLAN, TO SWING INTO PROPERTY
 - LANDSCAPING AREA PER LANDSCAPE ARCHITECTS PLAN
 - ROOF DOWNSPOUT PER ARCHITECTS PLAN
 - NOT USED
 - PCC SIDEWALK, CURB, & GUTTER PER SDG-156 TO REPLACE DRIVEWAY IN RIGHT OF WAY. NEW SIDEWALK, CURB, & GUTTER TO MATCH EXISTING ELEVATIONS.
 - MASONRY RETAINING WALL PER SDCSD C-3
 - LIMITS OF SECOND FLOOR DECK ABOVE GRADE
- UTILITIES**
- EXISTING SEWER MAIN (APPROXIMATE LOCATION)
 - EXISTING SEWER LATERAL (APPROXIMATE LOCATION) CONTRACTOR TO VERIFY LOCATION AND REUSE TO SERVE NEW BUILDING OR UPSIZE AT THE DISCRETION OF THE SEWER DEPARTMENT.
 - EXISTING WATER MAIN (APPROXIMATE LOCATION)
 - EXISTING WATER LATERAL AND METER, CONTRACTOR TO PROTECT IN PLACE OR UPSIZE AT THE DISCRETION OF THE WATER DEPARTMENT.
- CONSTRUCTION NOTES:**
- EXISTING TOPOGRAPHY AND BOUNDARIES WAS PREPARED BY SAMPO ENGINEERING DATED 01/04/2017
 - A POLICY OF TITLE INSURANCE WAS PREPARED BY FIDELITY NATIONAL TITLE COMPANY ON 01/15/2014 AS ORDER NUMBER 00030238-392-501-D. NO EASEMENTS WERE FOUND IN SAID TITLE REPORT, HOWEVER THE FOLLOWING WAS NOTED:
 (D) THE OWNERSHIP OF THE PROPERTY DOES NOT HAVE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY OR FREEWAY ABUTTING SAID PROPERTY WAS RECORDED ON 2/26/1945 IN BOOK 1821, PAGE 413, OF OFFICIAL RECORDS. ALL ON-SITE STORM DRAIN, DRAINAGE SWALES AND BUMP AREAS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - STORM WATER SHALL NOT BE ALLOWED TO POND ON SITE OR DRAIN TOWARD BUILDING FOUNDATIONS.
 - UTILITY LINES SERVING THE SUBJECT PROPERTY SHALL BE INSTALLED UNDERGROUND.
 - SEE SHEET 3 FOR TEMPORARY EROSION CONTROL MEASURES AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
 - ALL WORK PROPOSED ON THIS PLAN IS ENTIRELY WITHIN THE APPLICANT'S PROPERTY. IF ANY DISTURBANCE TO ADJACENT PROPERTIES IS ANTICIPATED AS A RESULT OF ANY PROPOSED WORK OR AT THE DISCRETION OF THE CITY FIELD INSPECTOR, A WRITTEN LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNER MUST BE OBTAINED AND SUBMITTED TO THE CITY PRIOR TO START OF ANY SUCH WORK. ANY DISTURBANCES ON THE ADJACENT PRIVATE PROPERTY THAT HAS NOT BEEN PREVIOUSLY AUTHORIZED IN WRITING AND SUBMITTED TO THE CITY IS GROUNDS FOR A STOP-WORK TO BE ISSUED FOR THE PROJECT UNTIL THE REQUIRED PERMISSION IS OBTAINED.
 - PROPOSED WALLS AND FOOTINGS SHALL NOT ENDOUR ONTO ADJACENT PROPERTY OR PUBLIC RIGHT OF WAY.
 - CONCRETE SIDEWALK AND PATIOS SHALL BE NOT BE LESS THAN 4" P.C.C. OVER 2" CLEAN SAND OVER RECOMPACTED NATIVE SUBGRADE SOIL, UNLESS DETERMINED OTHERWISE BY THE SOIL ENGINEER, JOINTS AND REINFORCEMENT PER SOIL ENGINEER.
 - NEW AND EXISTING STORM DRAIN, SEWER, WATER, AND UTILITY PIPING SHOWN HEREON IS APPROXIMATE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
 - SOLID WALL STORM DRAIN PIPES SHALL NOT BE CONNECTED TO PERFORATED SUB-DRAIN PIPES.
 - ALL IRRIGATION PIPING SHALL BE CONSTRUCTED PER THE LANDSCAPE ARCHITECTS PLAN PRIOR TO THE POURING OF CONCRETE AND LAYING OF PATIERS. ALL PLANTERS WITH IRRIGATION SYSTEMS PER THE LANDSCAPE ARCHITECTS PLAN SHALL HAVE IRRIGATION LATERALS INSTALLED WITH A WATER PROOF SEAL SLEEVE THROUGH THE PLANTER WALLS. ENSURE IRRIGATION LATERAL SOURCE TO ALL BASED PLANTERS. REFER TO LANDSCAPE ARCHITECTS PLAN FOR ADDITIONAL RECOMMENDATIONS.
 - ALL DRY UTILITIES SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO COORDINATE WITH SOG&E PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO LOCATE EXISTING SEWER LATERAL AND SANITARY SEWER MAIN AND VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.
 - ALL GRADING SHALL BE SUPERVISED BY A GEOTECHNICAL ENGINEER WHO SHALL SUBMIT A FINAL COMPACTION REPORT AT PROJECT COMPLETION.
 - BUILDING FOUNDATIONS AND PIERPS TO BE DESIGNED BY THE STRUCTURAL ENGINEER PER THE RECOMMENDATION OF THE SOIL REPORT.
 - THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUNOFF ONTO THE EXISTING HILLSIDE AREAS.
 - NO ACCESS GATE SHALL SWING OPEN INTO THE RIGHT-OF-WAY.
 - VISIBILITY TRIANGLES: NO OBSTRUCTIONS INCLUDING LANDSCAPING OR SOLID WALLS ON THE PROPERTY SHALL EXCEED 3' IN HEIGHT EXCEPT FOR A 2' PORTION OF SHARED FENCE ON THE SOUTH SIDE OF THE PROPERTY WHICH IS 6' TALL.

KEY NOTES
DEMOLISH/PROTECT IN-PLACE
1. DEMOLISH EXISTING RESIDENCE
2. DEMOLISH CONCRETE PATIERS
3. DEMOLISH CONCRETE WALKWAY AND STAIRS
4. DEMOLISH CONCRETE SIDEWALK, CURB, AND GUTTER
5. DEMOLISH FENCE
6. DEMOLISH DRIVEWAY, CURB, AND GUTTER
7. REMOVE GAS METERS
8. REMOVE TREE STUMP/TREE
9. PROTECT UTILITY POLE AND LINES IN-PLACE
10. PROTECT CONCRETE BROW DITCH IN-PLACE
11. PROTECT SMH AND SEWER LINE IN-PLACE
12. PROTECT CURB, GUTTER, AND SIDEWALK IN-PLACE
13. PROTECT WATER LINE IN-PLACE

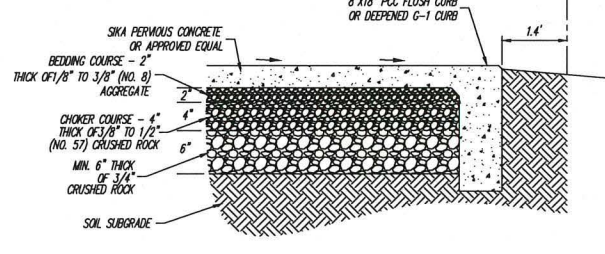
NEW IMPROVEMENTS
1. NEW MULTI-FAMILY RESIDENCE PER ARCHITECTS PLAN
2. UNI EDO-STONE PERVIOUS PAVEMENT DRIVEWAY OR APPROVED EQUAL WITH 6" PCC FLUSH CURB PERIMETER PER DETAIL 'A'
3. SIKA PERMEABLE CONCRETE DRIVEWAY PER DETAIL 'B' OR APPROVED EQUAL
4. STAIRS PER ARCHITECTS PLAN
5. PCC WALKWAY PER CONSTRUCTION NOTE 8
6. 16" WIDE PCC DRIVEWAY PER SDG-159
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9. WOOD GATE PER ARCHITECTS PLAN, TO SWING INTO PROPERTY
10. LANDSCAPING AREA PER LANDSCAPE ARCHITECTS PLAN
11. ROOF DOWNSPOUT PER ARCHITECTS PLAN
12. NOT USED
13. PCC SIDEWALK, CURB, & GUTTER PER SDG-156 TO REPLACE DRIVEWAY IN RIGHT OF WAY. NEW SIDEWALK, CURB, & GUTTER TO MATCH EXISTING ELEVATIONS.
14. MASONRY RETAINING WALL PER SDCSD C-3
15. LIMITS OF SECOND FLOOR DECK ABOVE GRADE

UTILITIES
1. EXISTING SEWER MAIN (APPROXIMATE LOCATION)
2. EXISTING SEWER LATERAL (APPROXIMATE LOCATION) CONTRACTOR TO VERIFY LOCATION AND REUSE TO SERVE NEW BUILDING OR UPSIZE AT THE DISCRETION OF THE SEWER DEPARTMENT.
3. EXISTING WATER MAIN (APPROXIMATE LOCATION)
4. EXISTING WATER LATERAL AND METER, CONTRACTOR TO PROTECT IN PLACE OR UPSIZE AT THE DISCRETION OF THE WATER DEPARTMENT.

ABBREVIATIONS:
CB: CATCH BASIN
CLF: CHAIN LINK FENCE
CONC: CONCRETE
DS: DOWN SPOUT
FG: FINISH GRADE
FL: FLOW LINE
HP: HIGH POINT
IE: INVERT ELEVATION
PL: PROPERTY LINE
PR: PAVED ROAD
TC: TOP OF CURB
TW: TOP OF WALL



PERMEABLE PAVER DETAIL WITH CONCRETE EDGES (A)
NOTES:
-ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINES (SAND, SILT, ETC.)
-THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED
-EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE
-NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED
-SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL - SUBDRAIN MAY BE REQUIRED



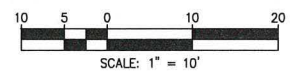
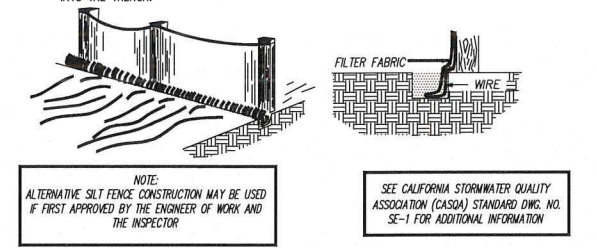
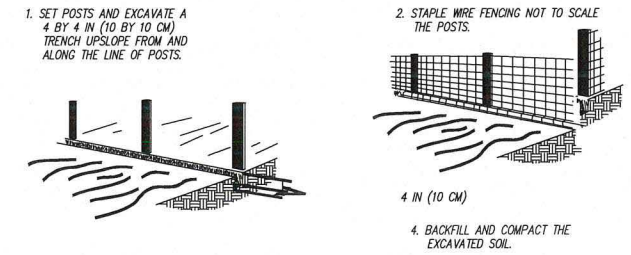
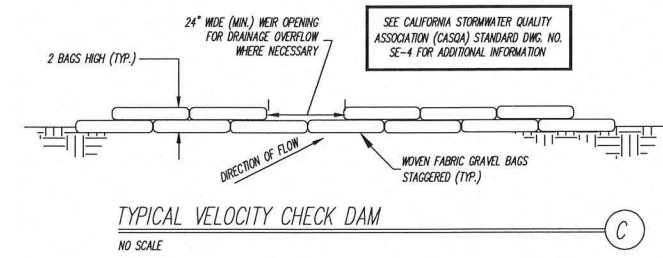
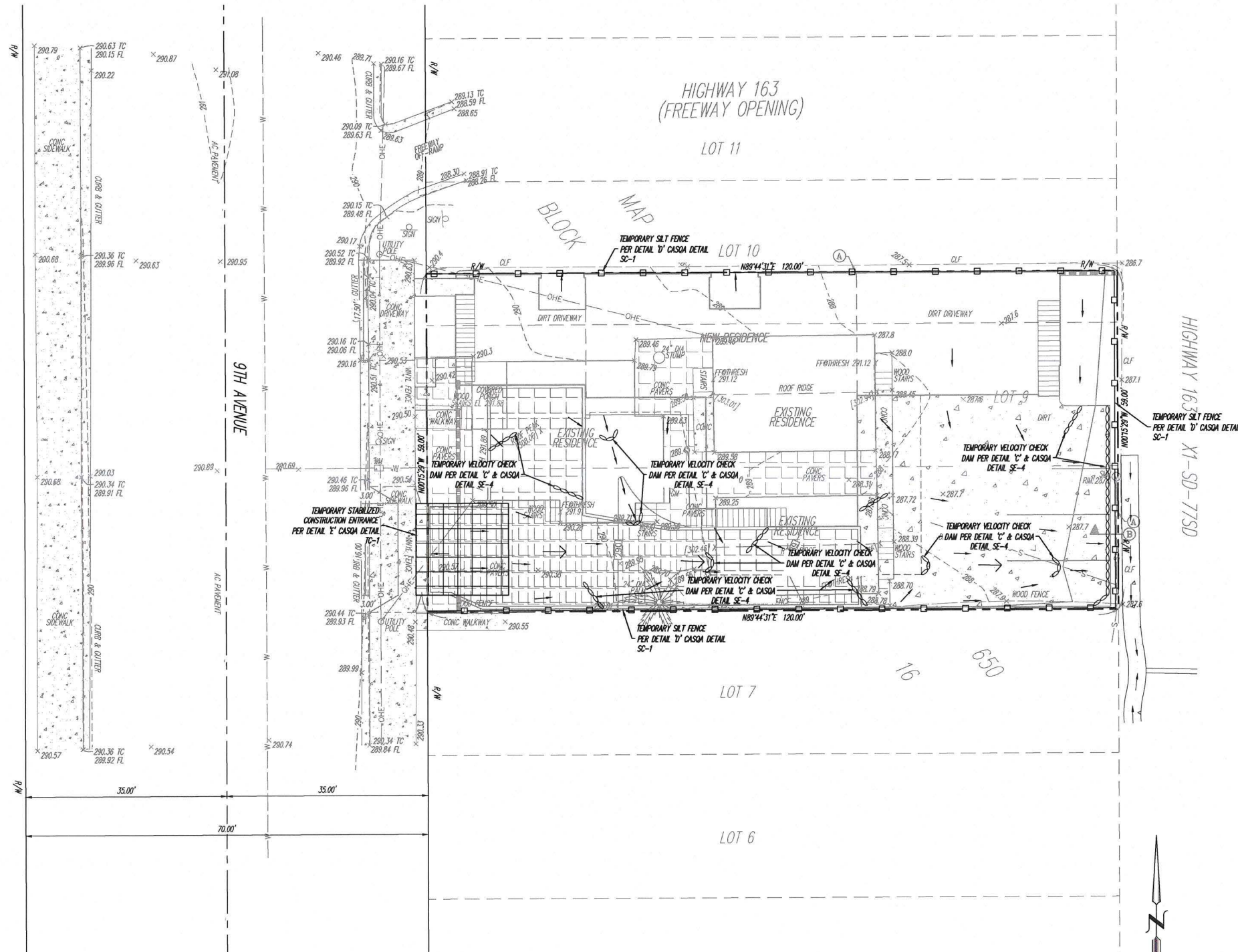
PERMEABLE CONCRETE DETAIL (B)
NOTES:
-ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINES (SAND, SILT, ETC.)
-EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE
-NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED
-SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL - SUBDRAIN MAY BE REQUIRED

No.	Description	Date

Project number 14049
Drawn by M.D.
Checked by V.S.
Purpose discretionary process

C102
Grading and
Drainage Plan

EROSION CONTROL PLAN



NOTE: ALTERNATIVE SILT FENCE CONSTRUCTION MAY BE USED IF FIRST APPROVED BY THE ENGINEER OF WORK AND THE INSPECTOR.

SEE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) STANDARD DWG. NO. SE-1 FOR ADDITIONAL INFORMATION.

SEE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) STANDARD DWG. NO. TC-1 FOR ADDITIONAL INFORMATION.

NOTE: GRADING INSPECTOR MAY ALLOW CORRUGATED STEEL PANELS ONLY WITHOUT AGGREGATE.

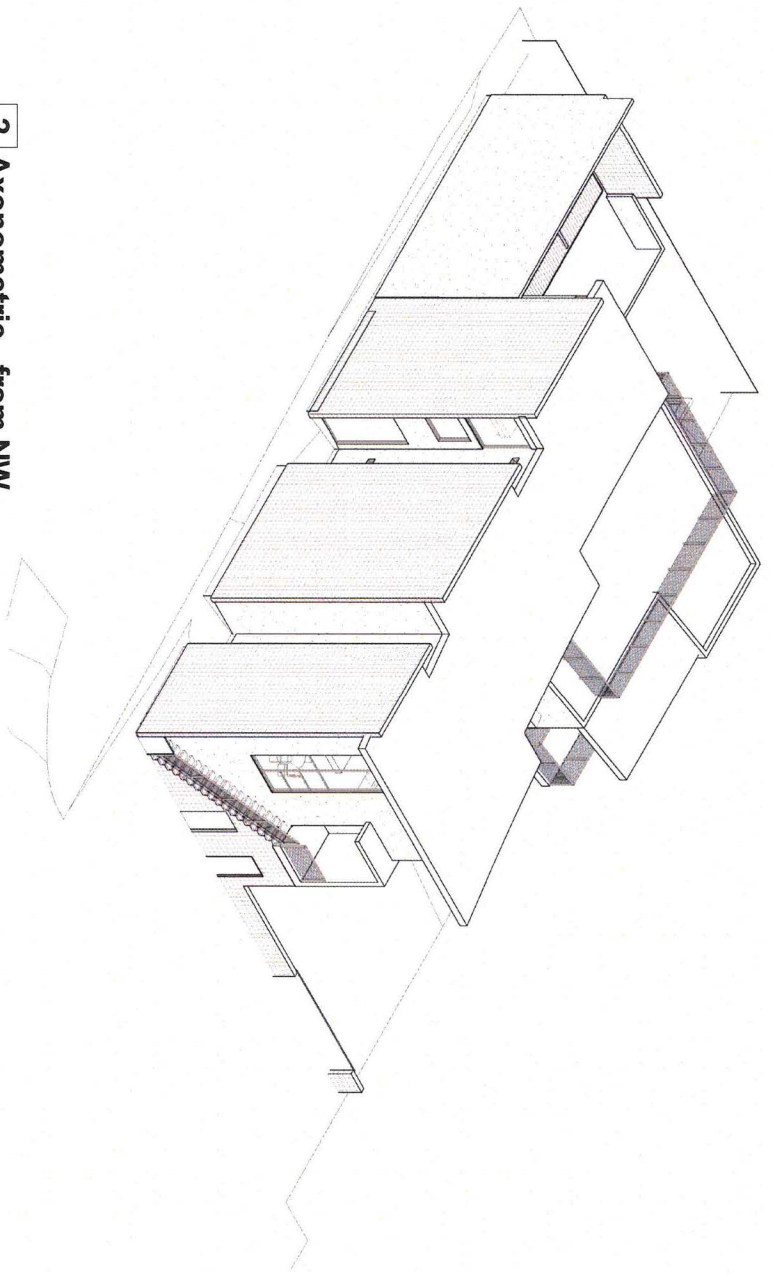


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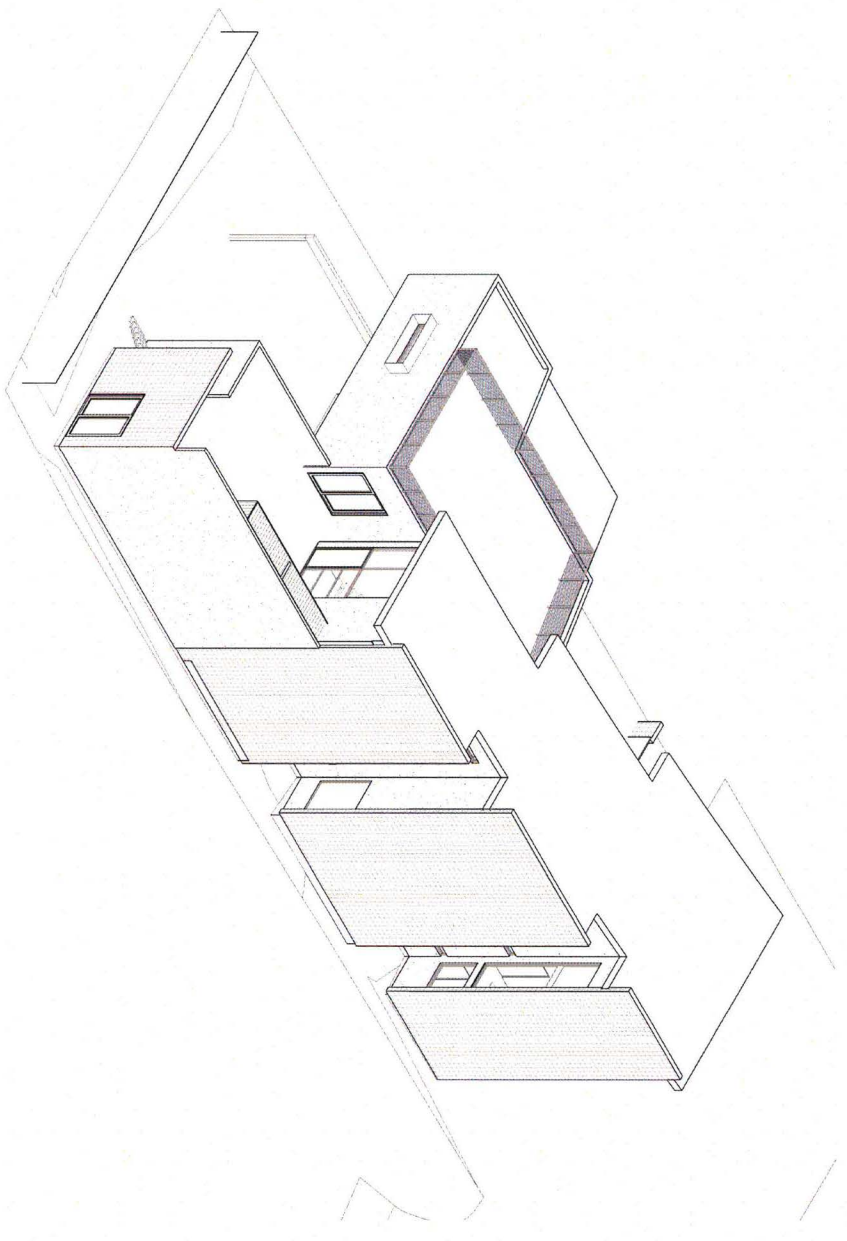
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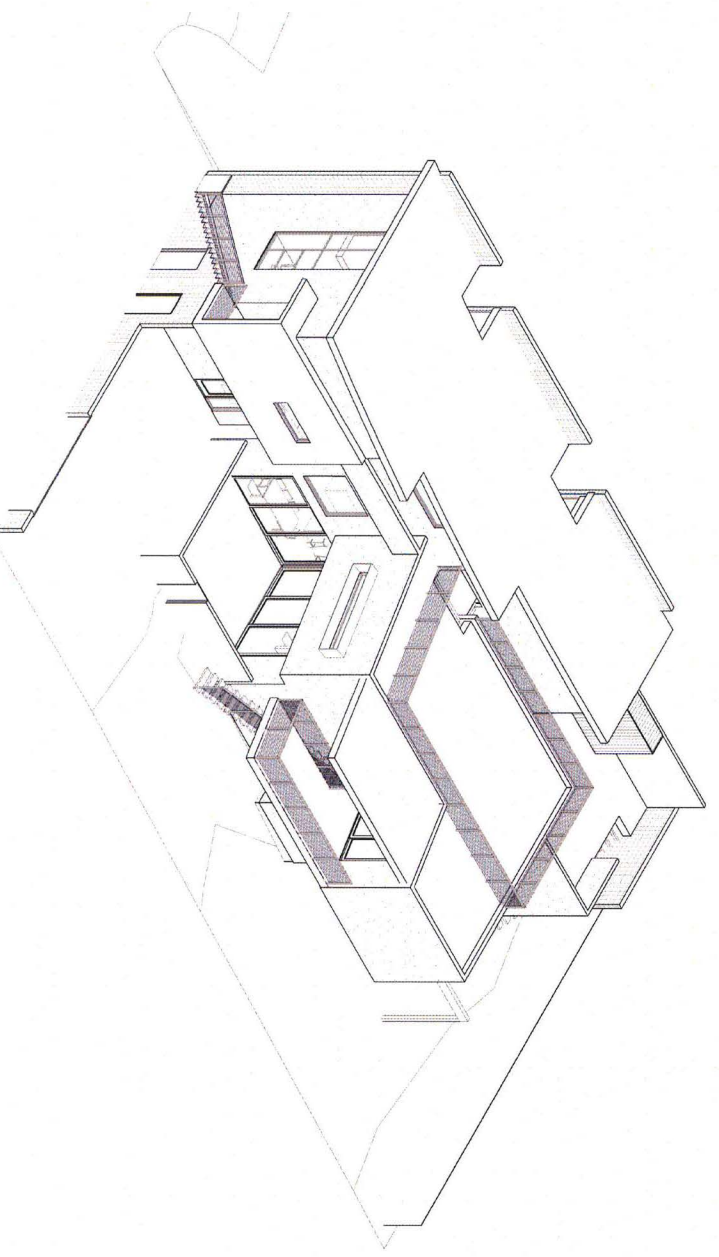
C103
Erosion Control Plan



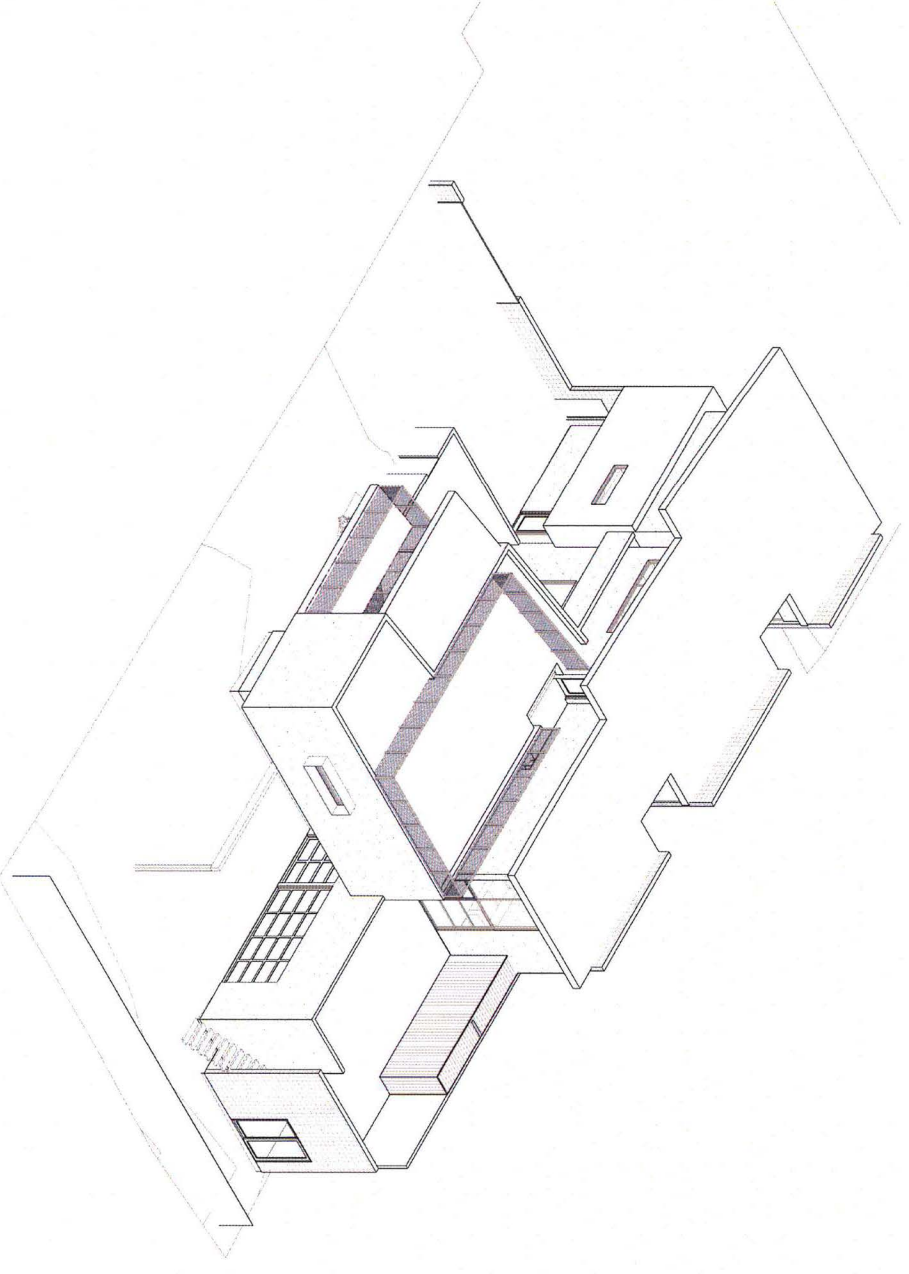
2 Axonometric - from NW



1 Axonometric - from NE



4 Axonometric - from SW



3 Axonometric - from SE

JLC Architecture

337 South Cedros Avenue, Suite J
Solana Beach, CA 92075
www.jlarchitecture.com
office 858 436 7777

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No	Description	Date

Project number: 14049
 Drawn by: TVS
 Checked by: JLC
 Purpose: discretionary process

A001
Axonometrics

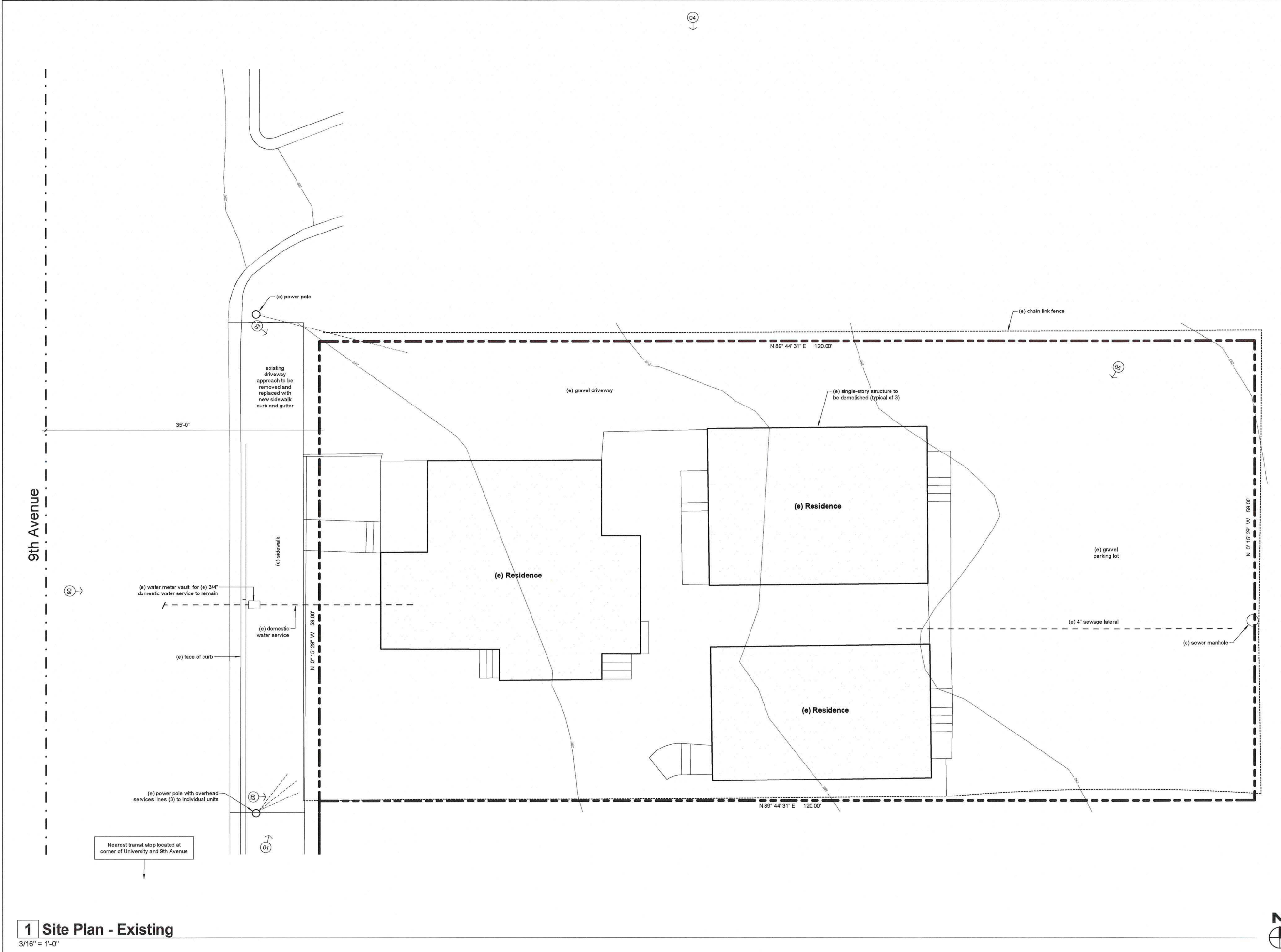
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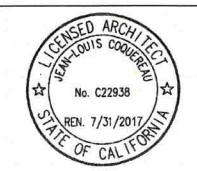
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A002
 Site Plan - Existing



1 Site Plan - Existing
 3/16" = 1'-0"

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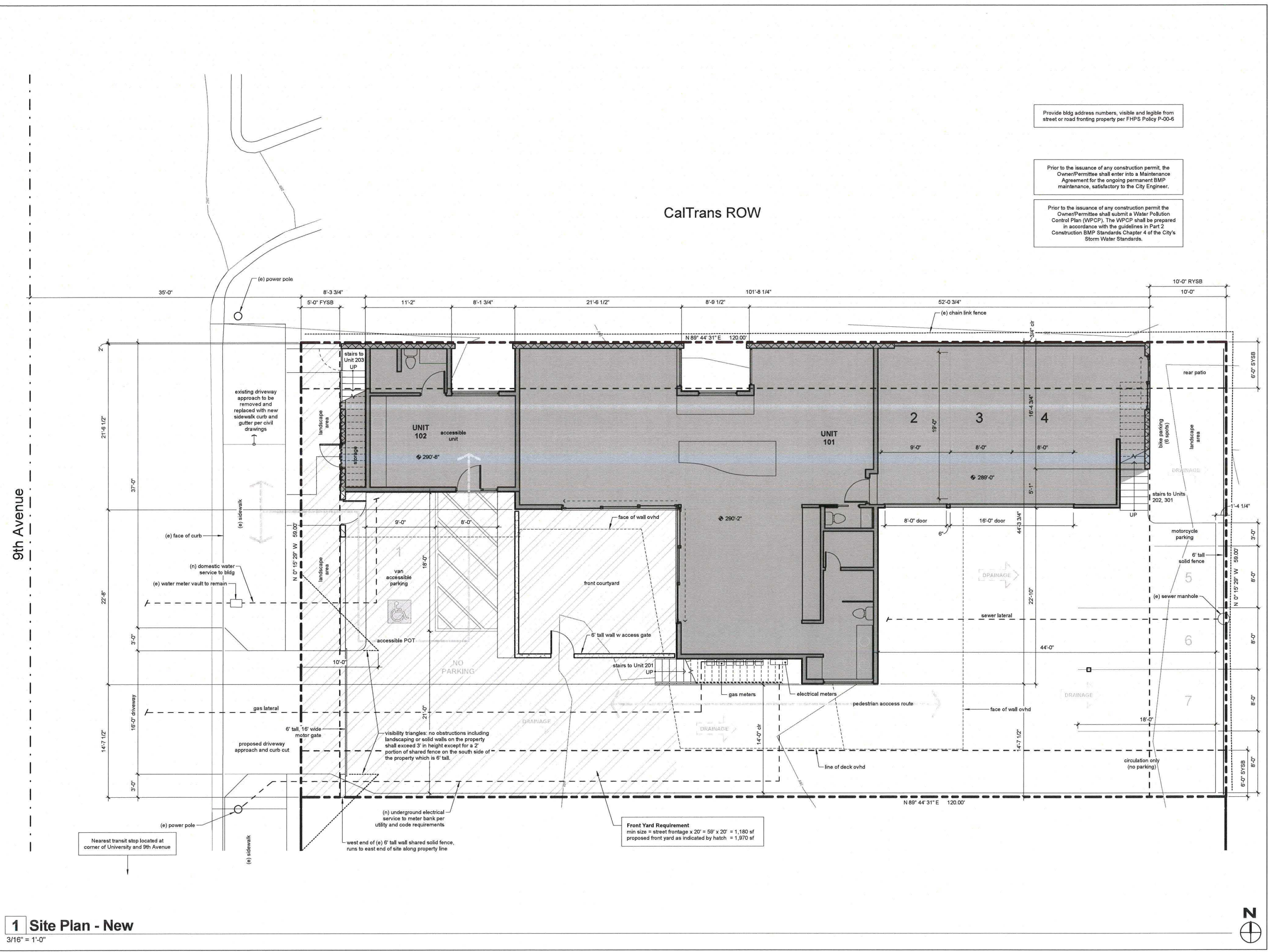
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No.	Description	Date

Project number 14049
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 Checked by JLC
 Purpose discretionary process

A003
 Site Plan - New

sheet: 04 of 18
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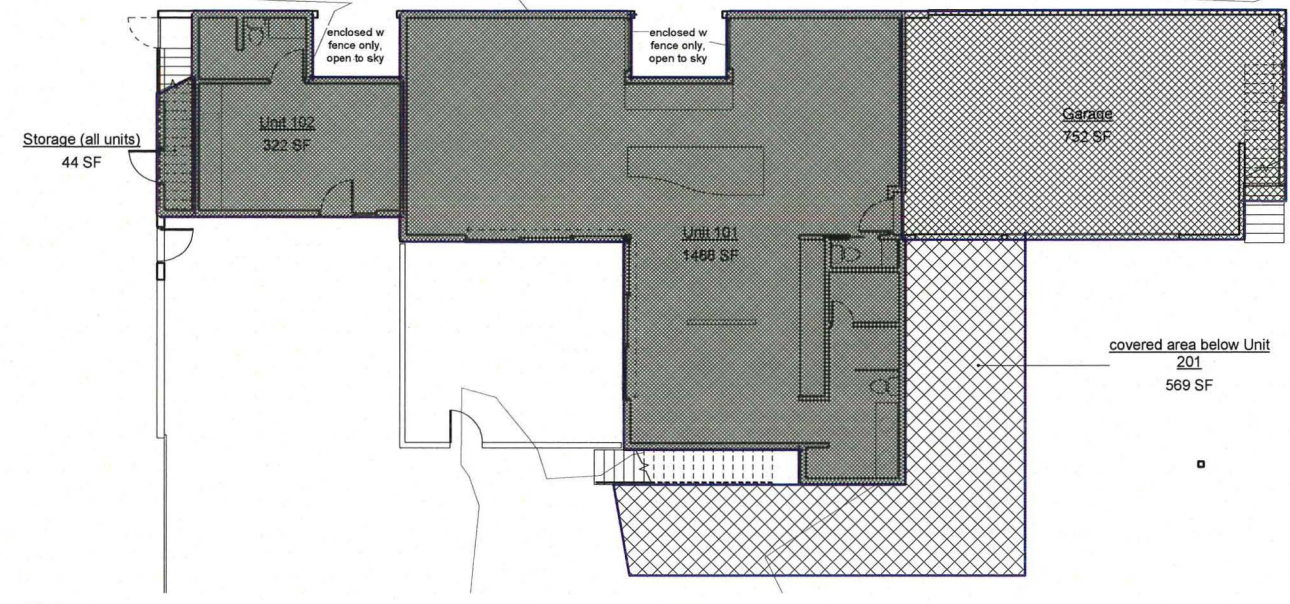
1 Site Plan - New
 3/16" = 1'-0"





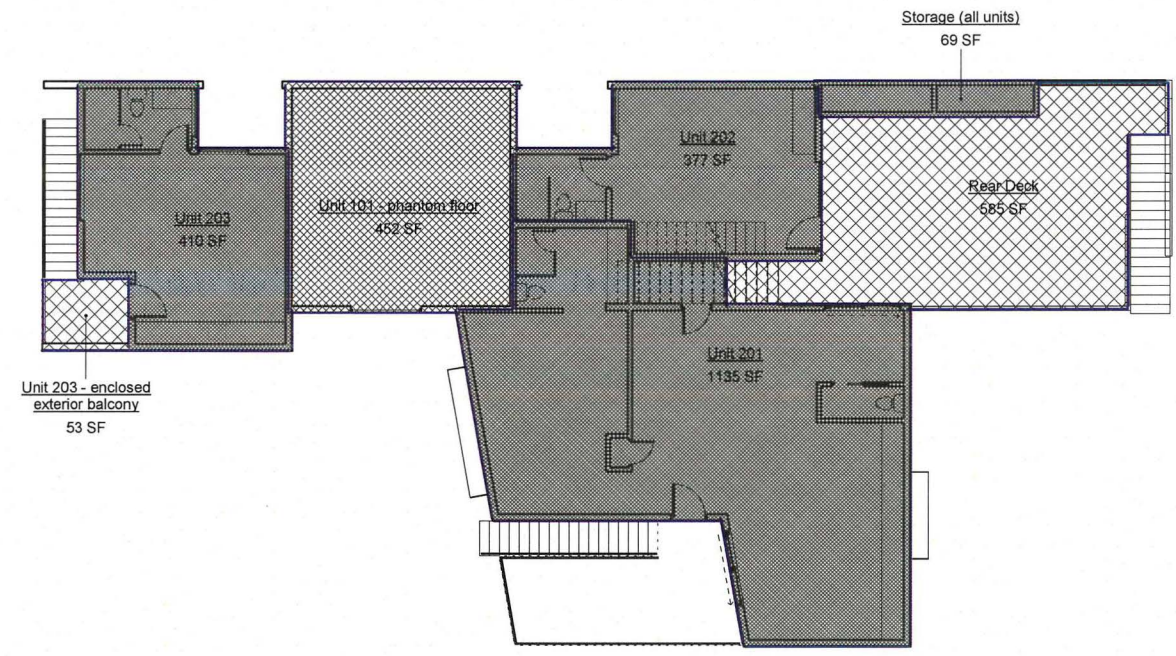
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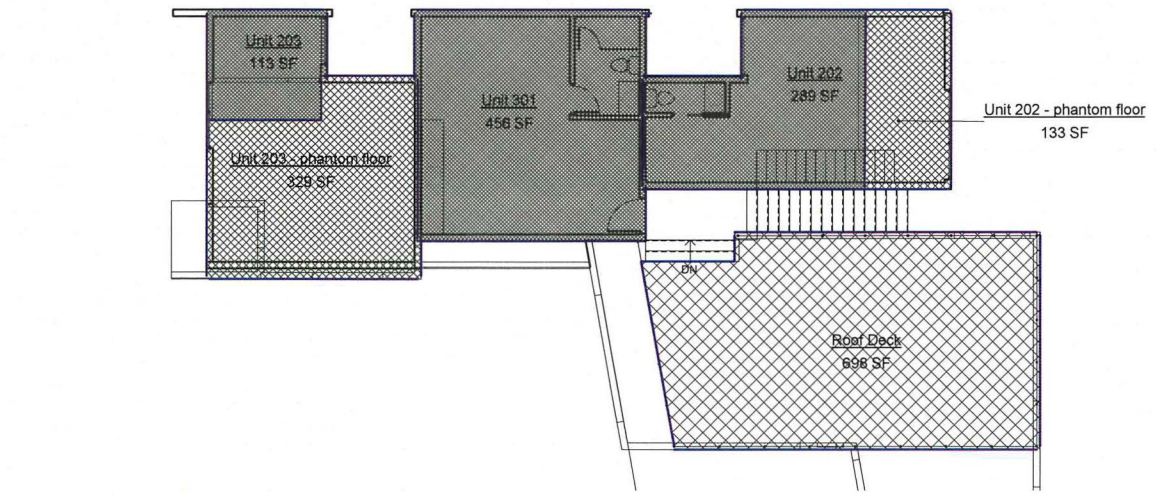
1 Area Plan - 1st Floor
 1/8" = 1'-0"

Gross Floor Area		
Area Name	Area	Comments
covered area below Unit 201	569 SF	
Garage	752 SF	
Rear Deck	585 SF	located on 2nd Level at rear of site
Storage (all units)	113 SF	
Unit 101	1488 SF	
Unit 101 - phantom floor	452 SF	
Unit 102	322 SF	
Unit 201	1135 SF	
Unit 202	666 SF	includes mez bdrm level
Unit 202 - phantom floor	133 SF	
Unit 203	523 SF	includes mez storage area
Unit 203 - enclosed exterior balcony	53 SF	
Unit 203 - phantom floor	329 SF	
Unit 301	456 SF	
Grand total	7576 SF	

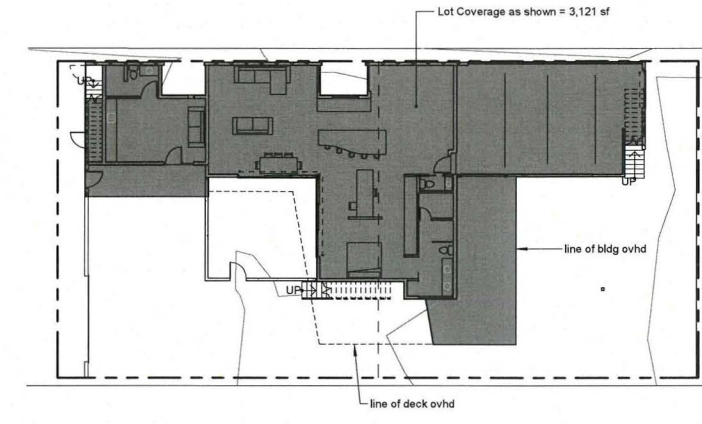


2 Area Plan - 2nd Floor
 1/8" = 1'-0"

Unit Breakdown (Living Space Only)		
Area Name	Area	Comments
Unit 101	1488 SF	
Unit 102	322 SF	
Unit 201	1135 SF	
Unit 202	666 SF	includes mez bdrm level
Unit 203	523 SF	includes mez storage area
Unit 301	456 SF	
Grand total	4589 SF	



3 Area Plan - 3rd Floor
 1/8" = 1'-0"



4 working lot coverage
 1/16" = 1'-0"

No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

A004
 Area Plans



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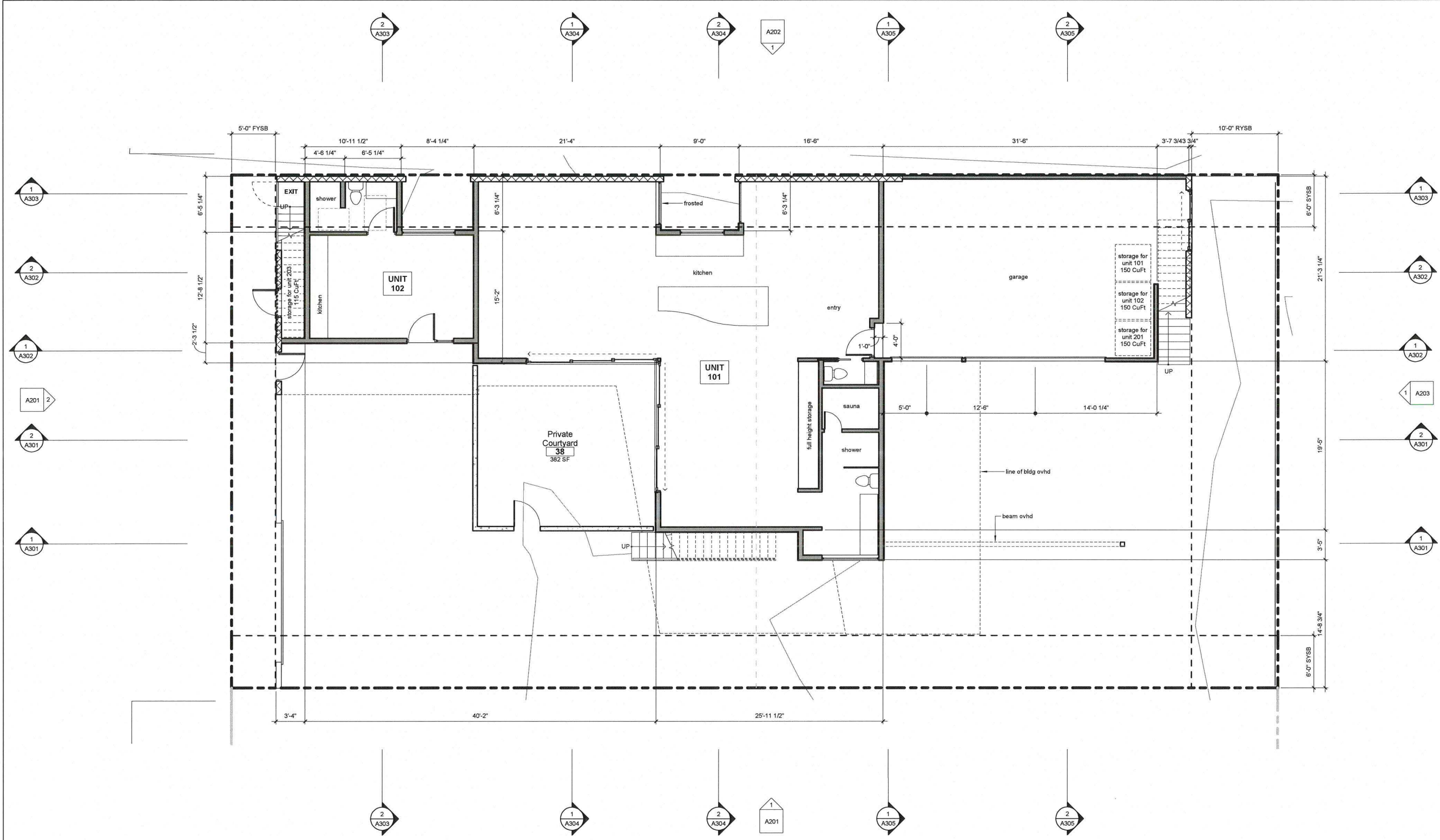
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No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

A101
 Floor Plans



1 First Floor Plan
 3/16" = 1'-0"



sheet_05 of 18
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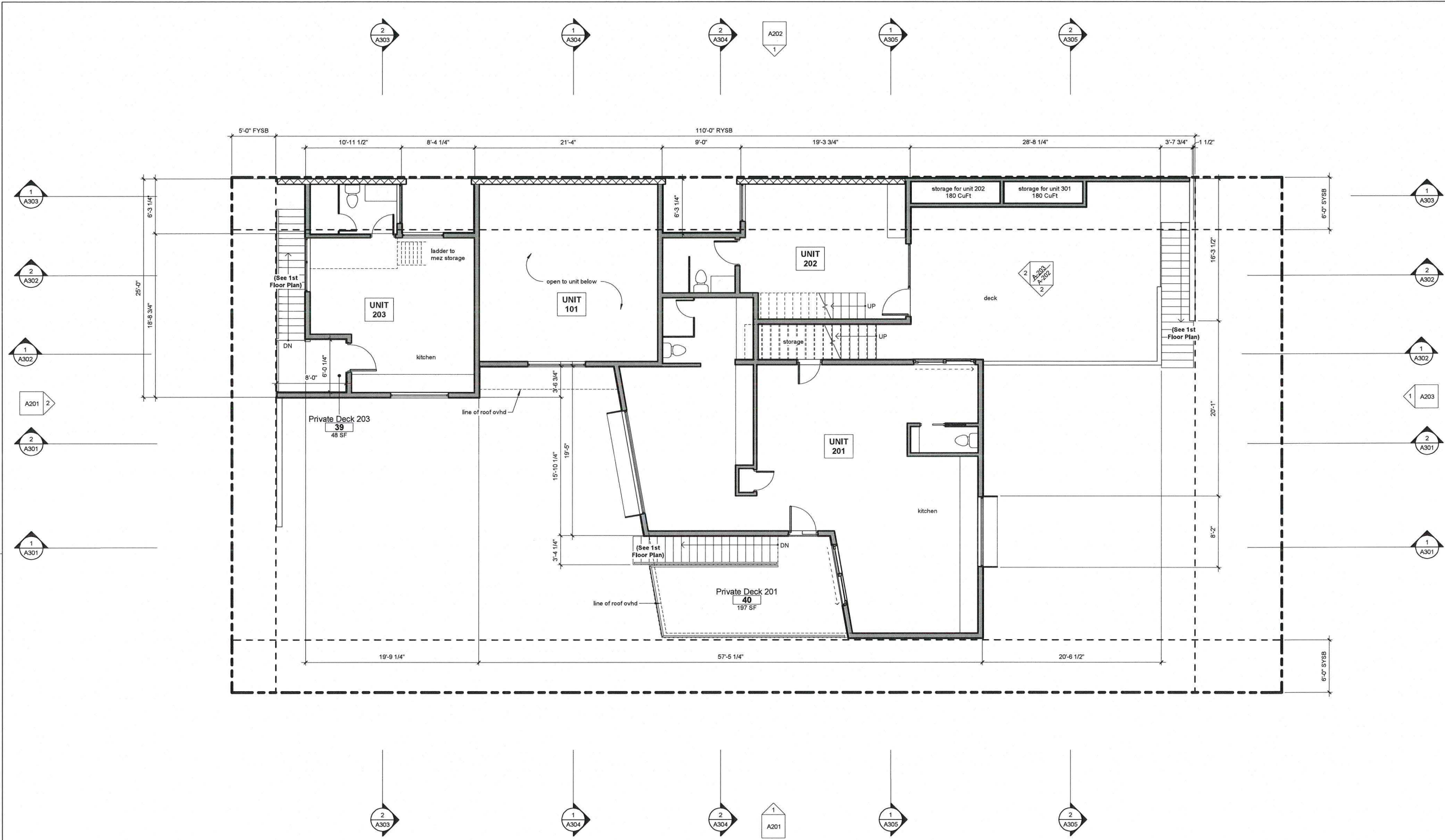
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No.	Description	Date

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A102
 Floor Plans



1 Second Floor Plan
 3/16" = 1'-0"

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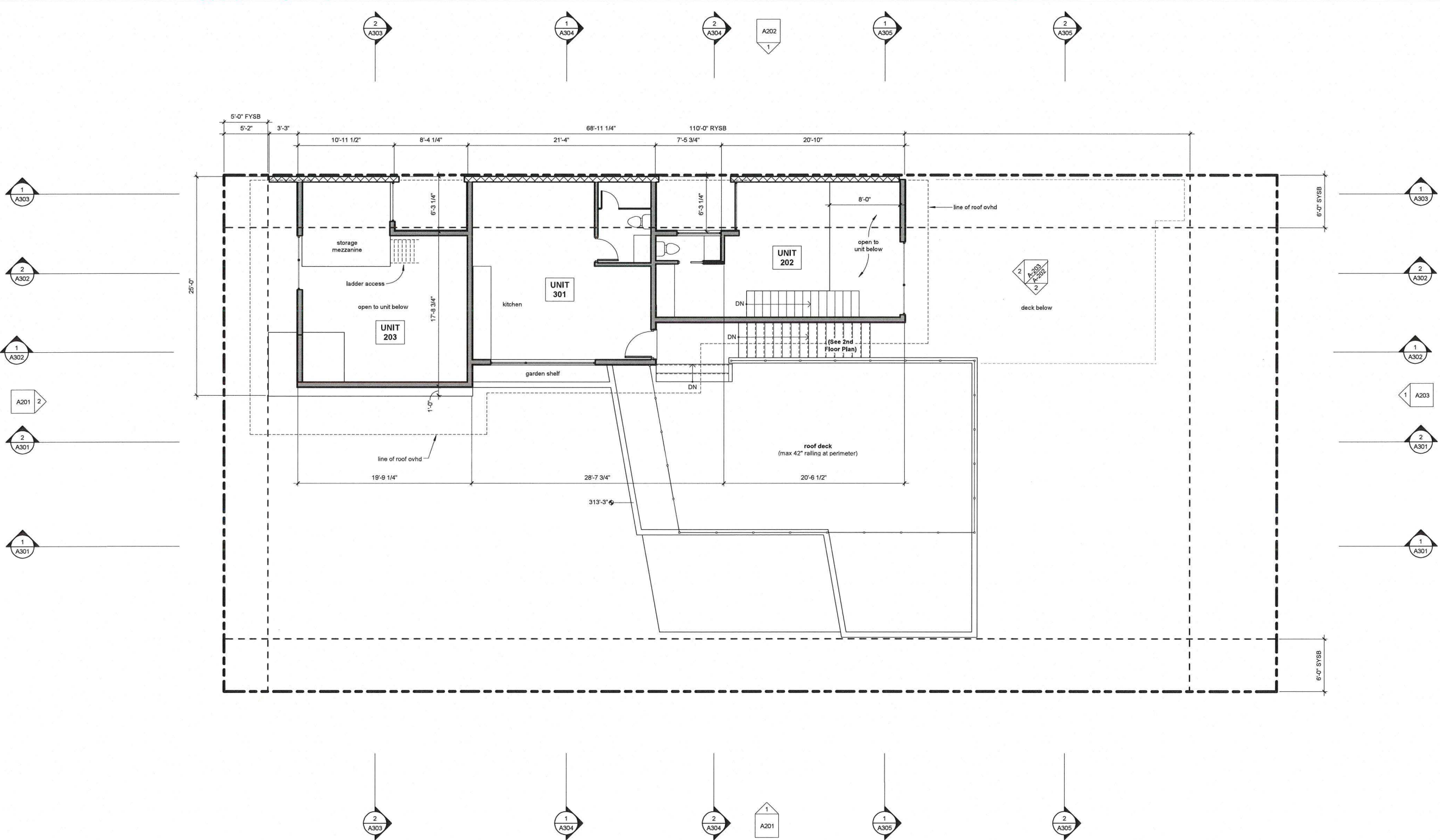
The Understory

3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103

No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

A103
 Floor Plans



1 Third Floor Plan / Lower Roof
 3/16" = 1'-0"

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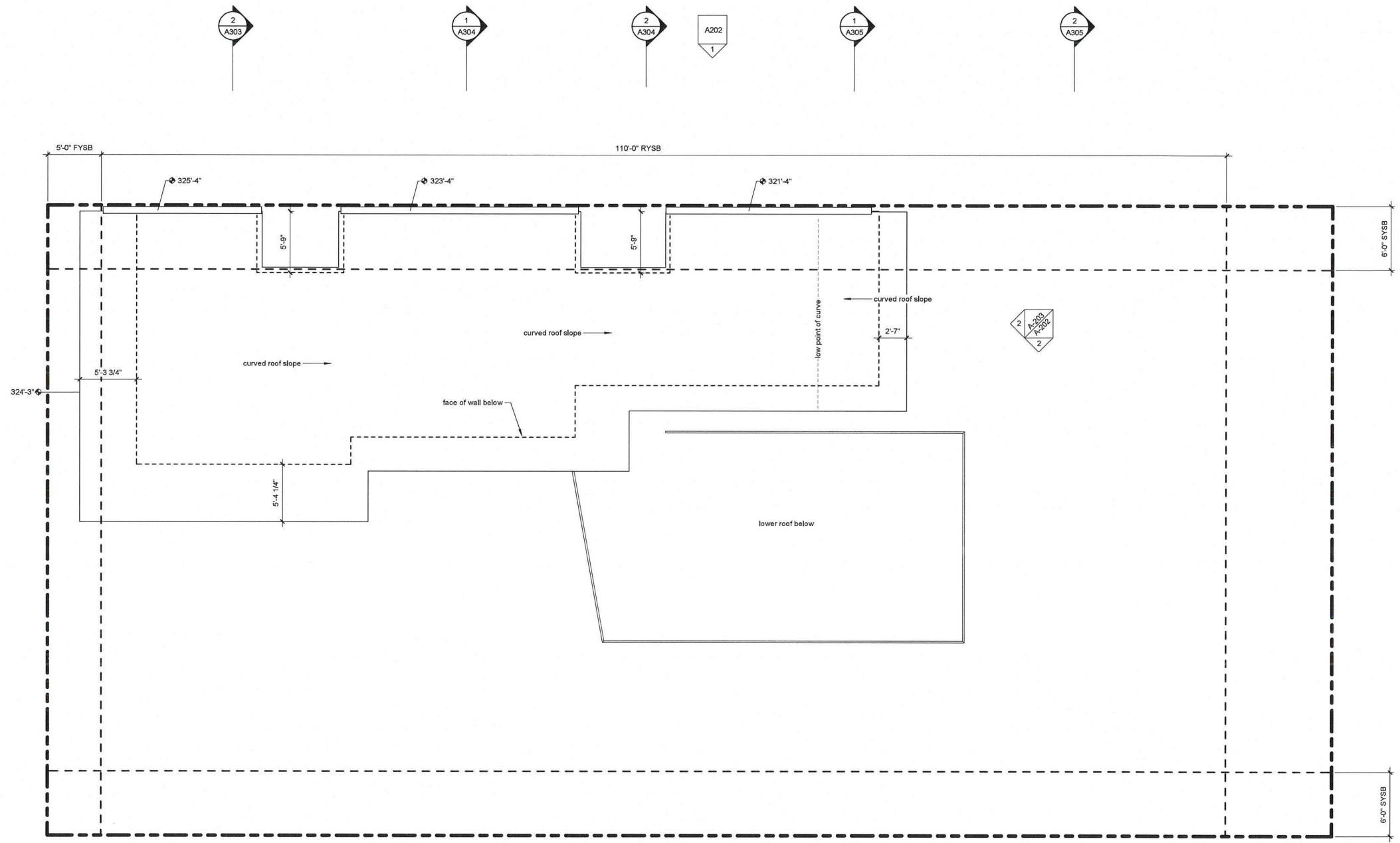
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No.	Description	Date

Project number	14049
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Purpose	discretionary process

A104
 Roof Plan



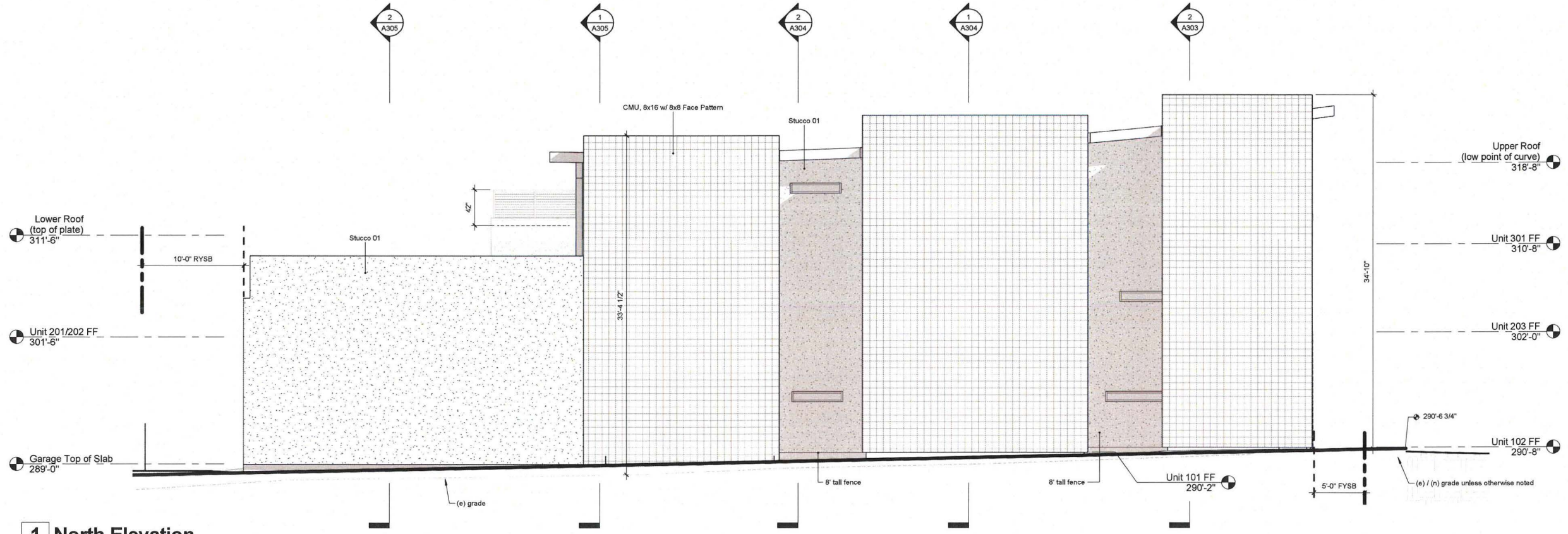
1 Upper Roof Plan
 3/16" = 1'-0"

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 office 858 436 7777

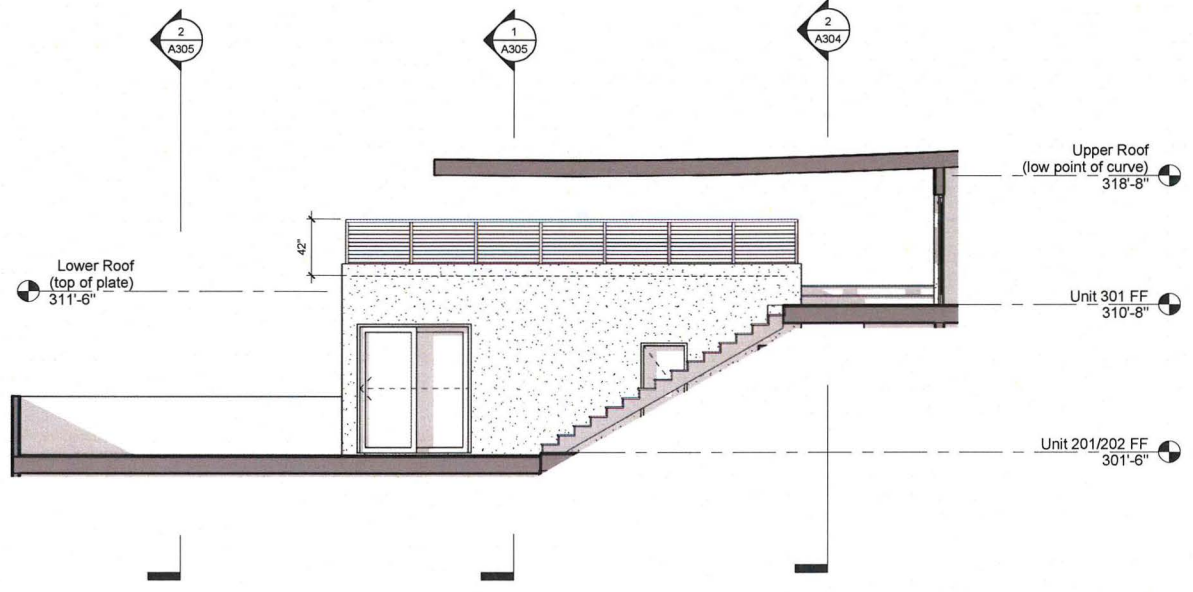
LICENSED ARCHITECT
 JAMES LOUIS COOPERMAN
 No. C22938
 REN. 7/31/2017
 STATE OF CALIFORNIA

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The Understory
 3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103



1 North Elevation
 3/16" = 1'-0"



2 North Elevation - Courtyard
 3/16" = 1'-0"

No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

A202
 Elevations

JLC Architecture

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 Solana Beach, CA 92075
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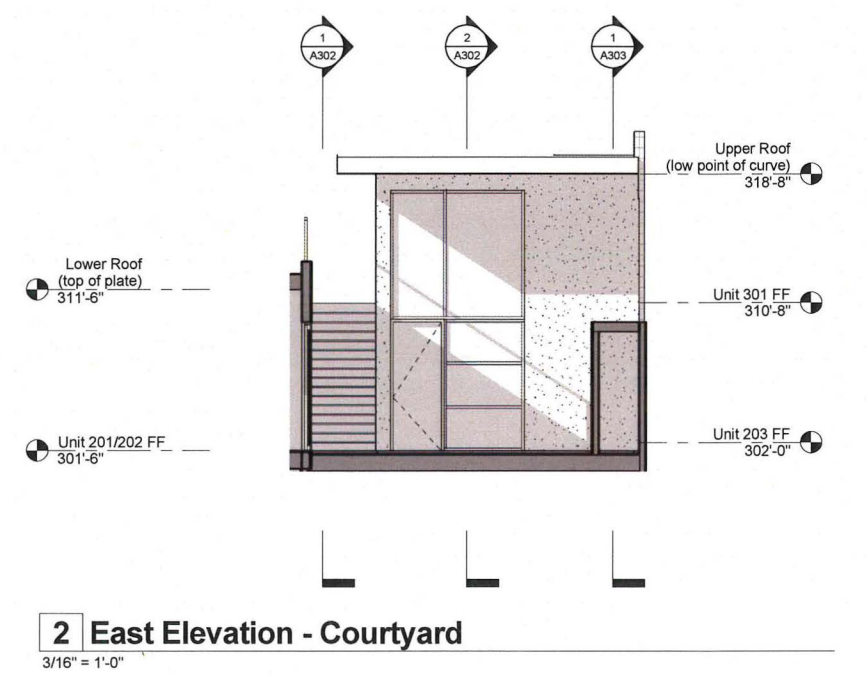
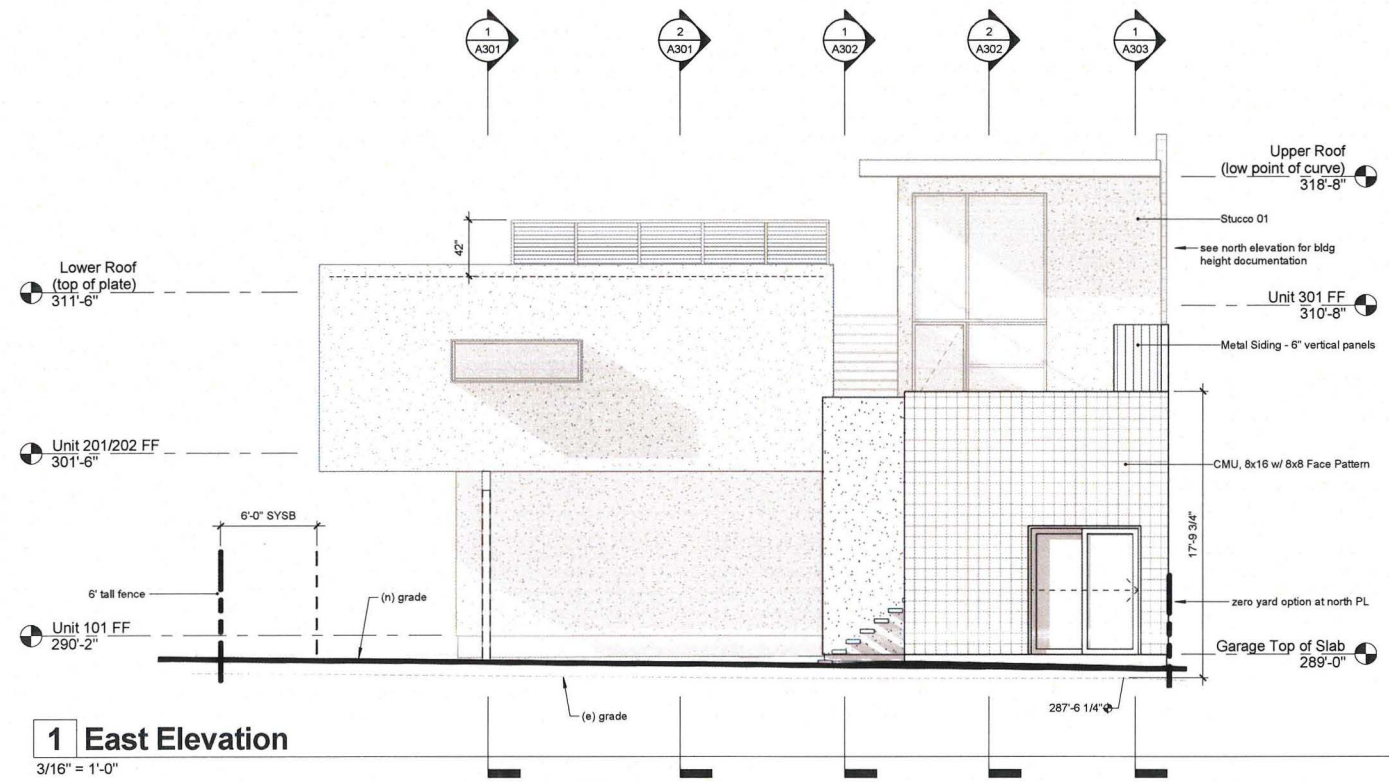
The Understory

3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103

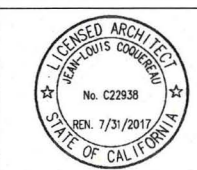
No.	Description	Date

Project number 14049
 Drawn by TVS
 Checked by JLC
 Purpose discretionary process

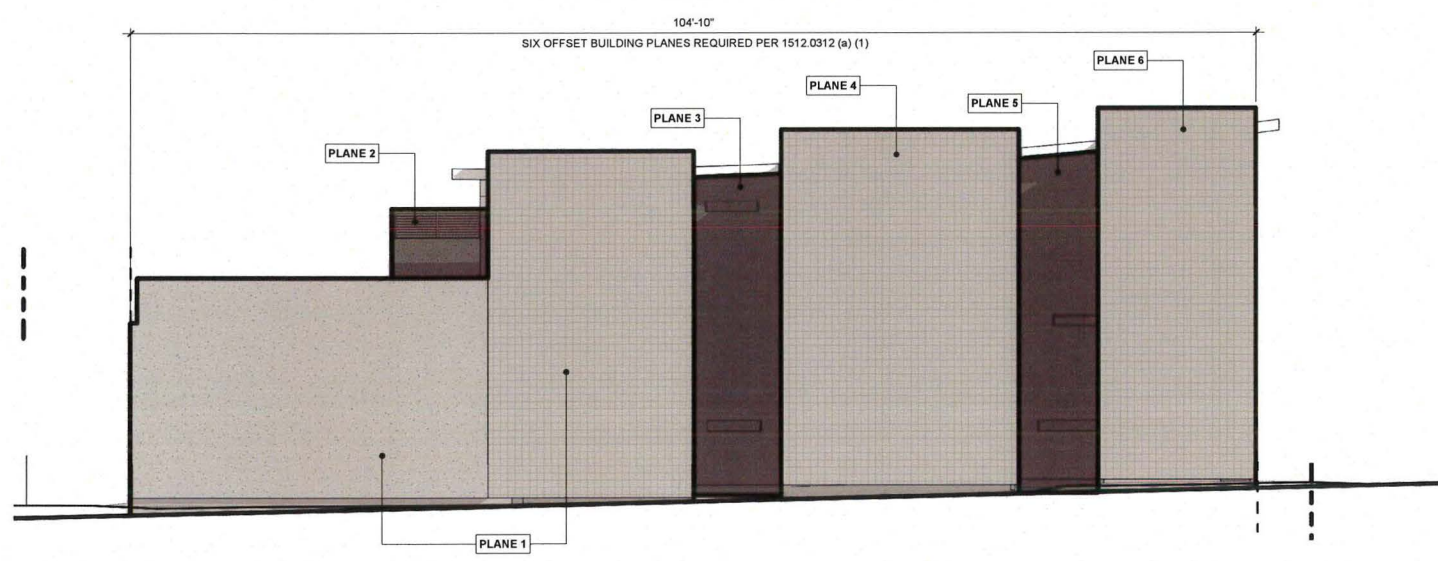
A203
 Elevations



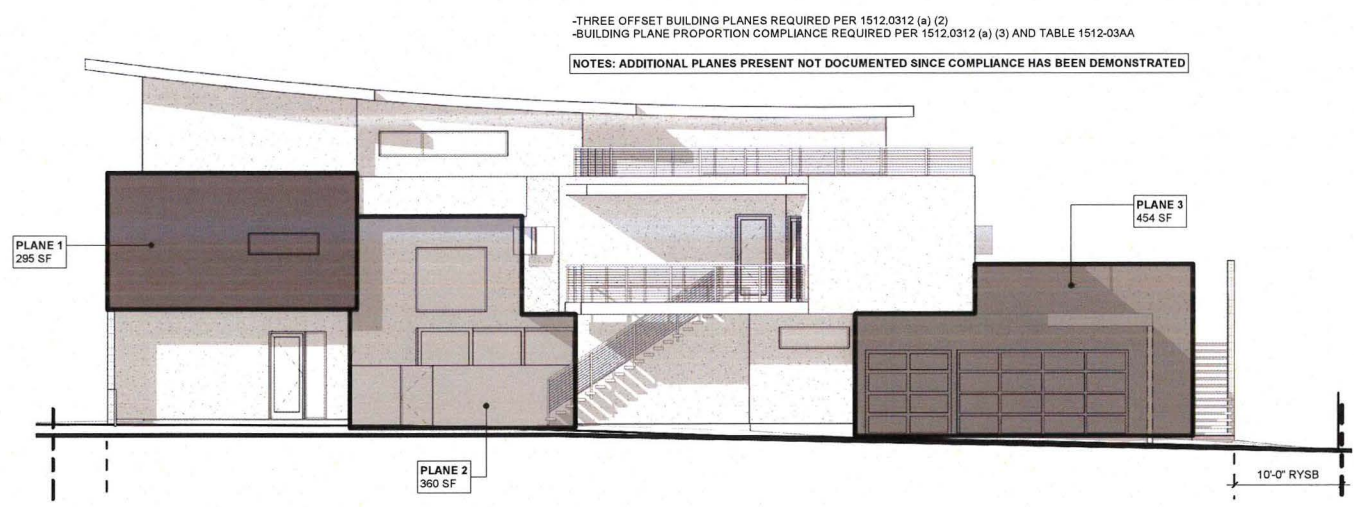
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 office 858 436 7777



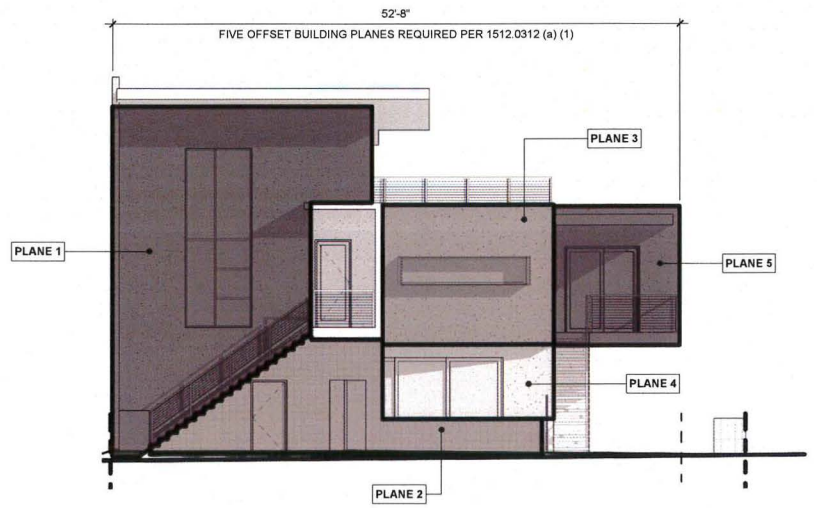
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1 Building Plane Diagram - North Elevation (Street)
 1/8" = 1'-0"



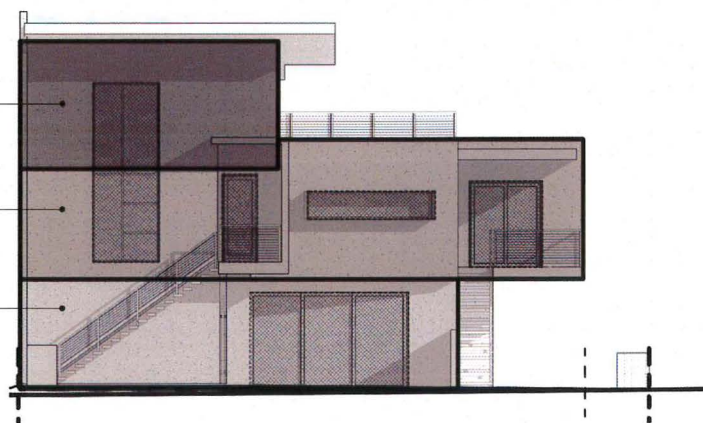
2 Building Plane Diagram - South Elevation (Interior)
 1/8" = 1'-0"



3 Building Plane Diagram - West Elevation (Street)
 1/8" = 1'-0"

Minimum 15% transparency required per floor

3rd Story	total street wall area	287 sf
	glazing area	49 sf
	glazing percentage	17%
2nd Story	total street wall area	619 sf
	glazing area	168 sf
	glazing percentage	27%
1st Story	total street wall area	419 sf
	glazing area	134 sf
	glazing percentage	32%



4 Transparency Diagram - West Elevation (Street)
 1/8" = 1'-0"

The Understory
 3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103

No.	Description	Date

Project number 14049
 Drawn by Author
 Checked by Checker
 Purpose discretionary process

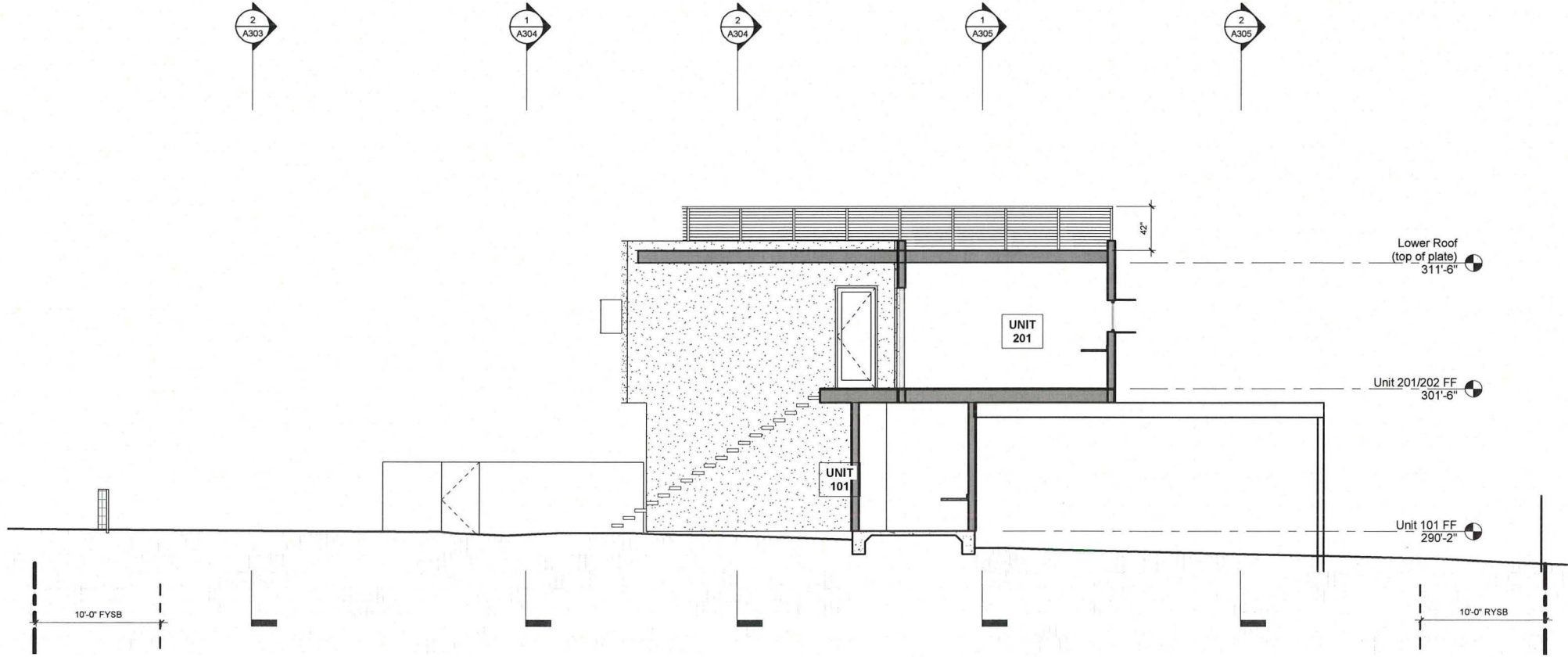
A204
 Elevation Diagrams

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 office 858 436 7777



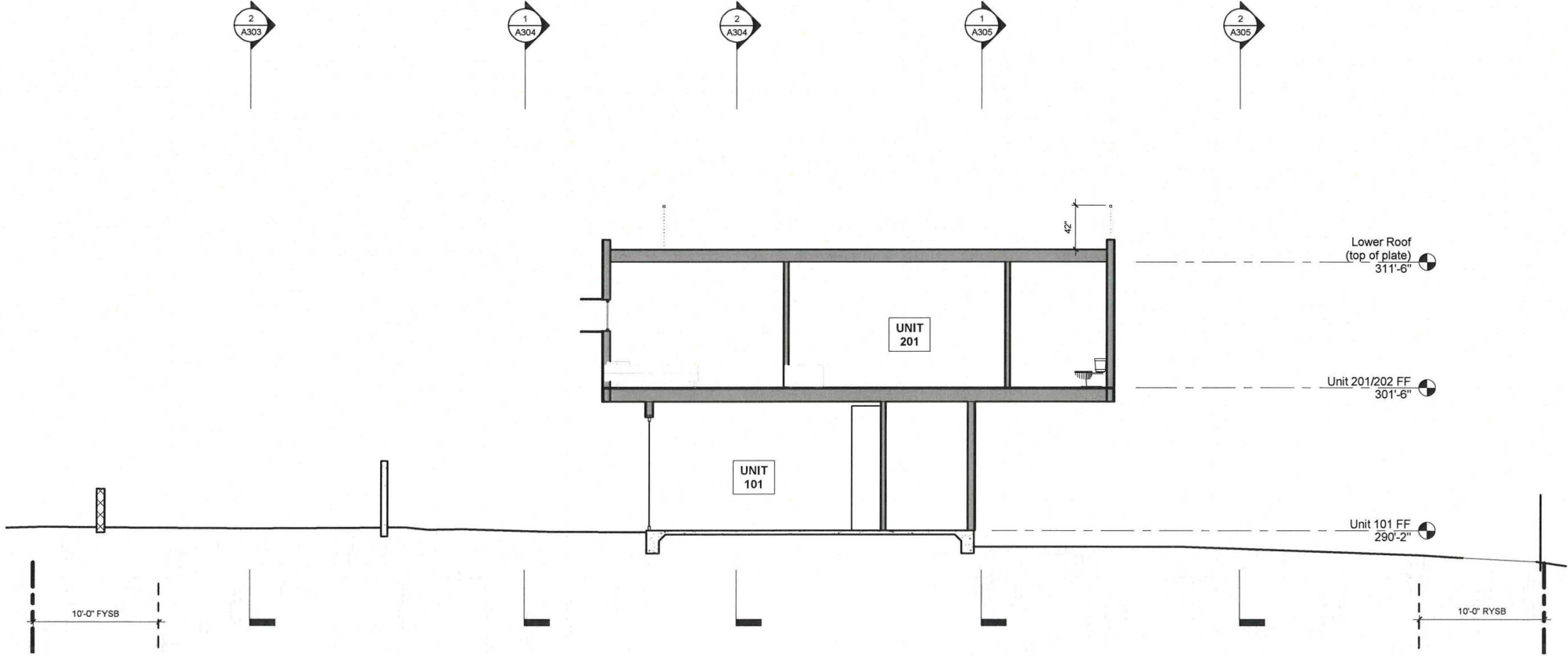
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The Understory
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1 E-W Section 01

3/16" = 1'-0"



2 E-W Section 02

3/16" = 1'-0"

No.	Description	Date

Project number 14049
 Drawn by TVS
 Checked by JLC
 Purpose discretionary process

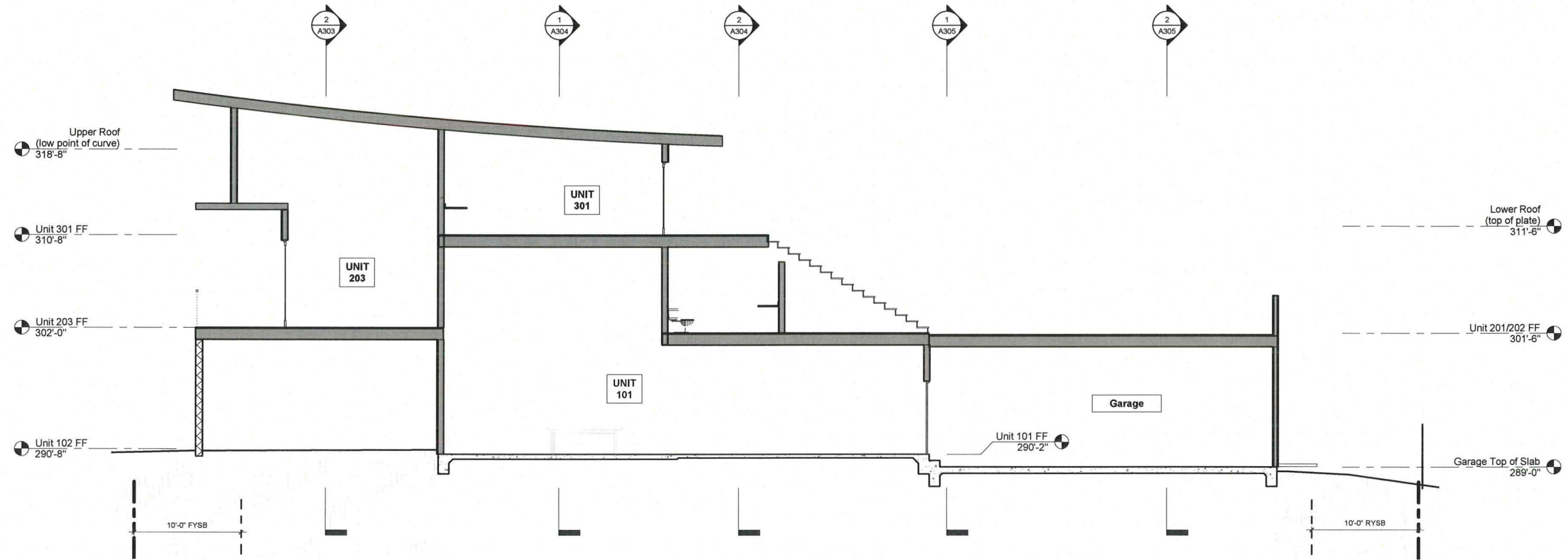
A301
 Sections



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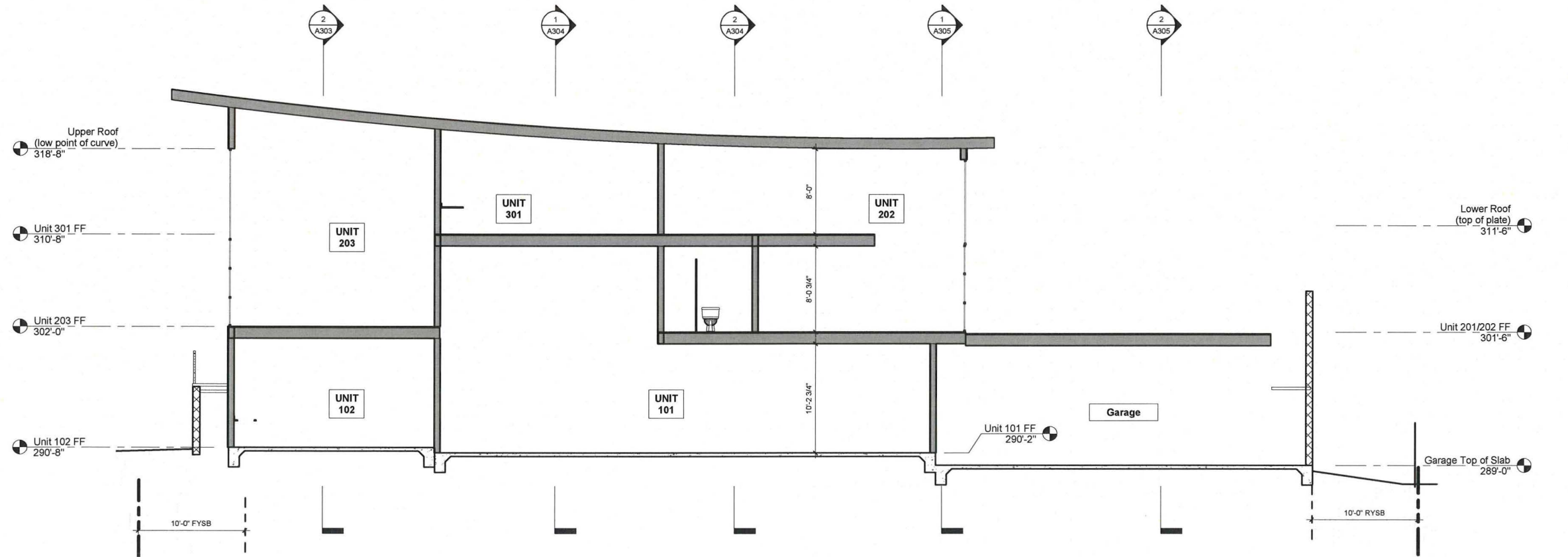
The Understory

3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103



1 E-W Section 03

3/16" = 1'-0"



2 E-W Section 04

3/16" = 1'-0"

No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

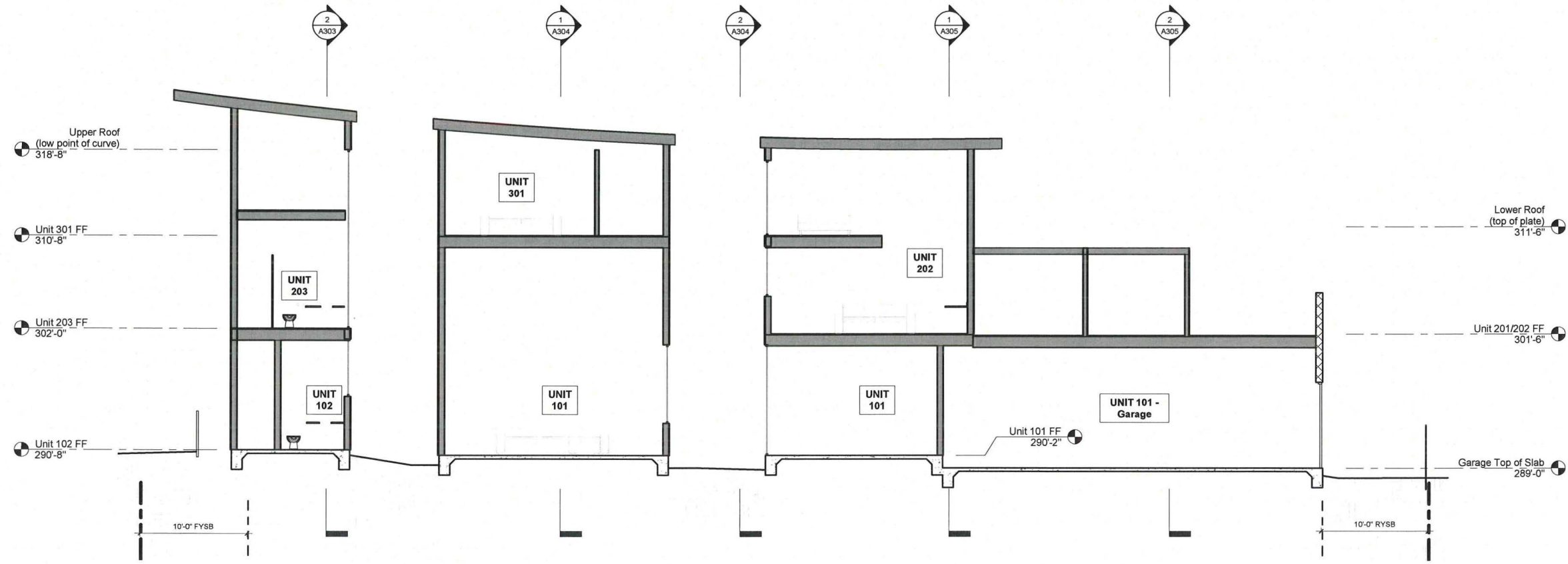
A302 Sections

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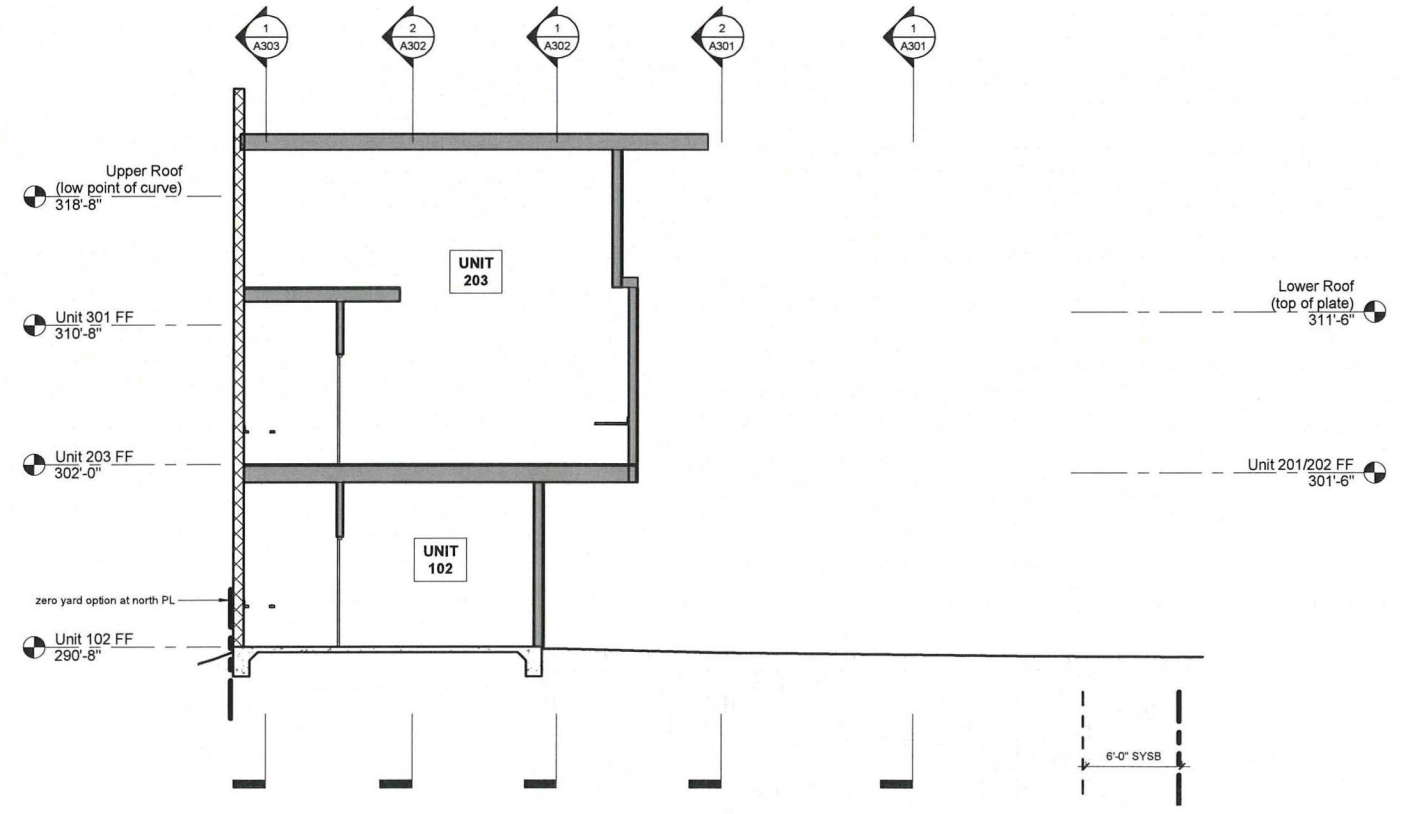


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The Understory
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 San Diego, CA 92103



1 E-W Section 05
 3/16" = 1'-0"



2 N-S Section 01
 3/16" = 1'-0"

No.	Description	Date

Project number 14049
 Drawn by TVS
 Checked by JLC
 Purpose discretionary process

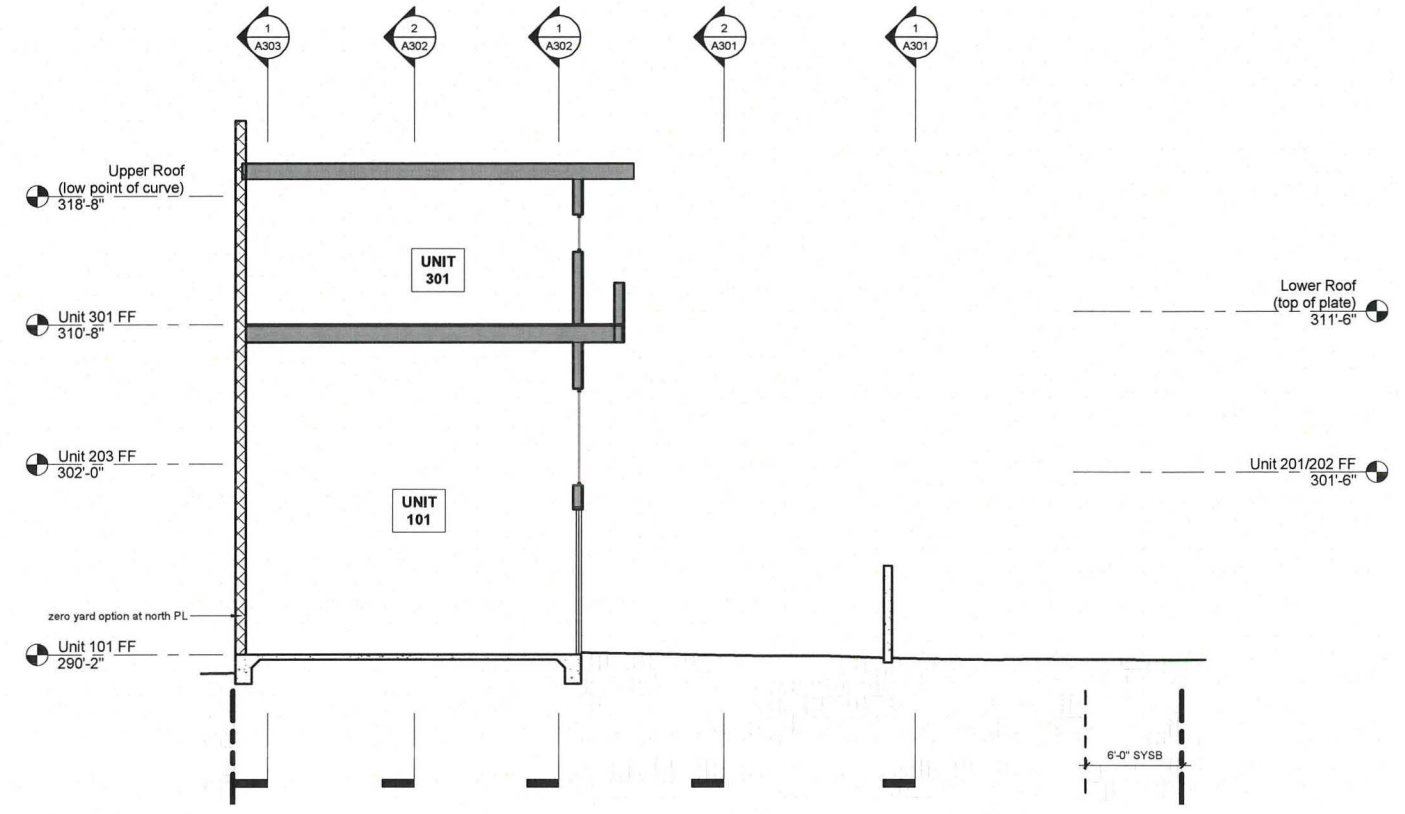
A303
 Sections

JLC Architecture
 337 South Cedros Avenue, Suite J
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 www.jlarchitecture.com
 office 858 436 7777

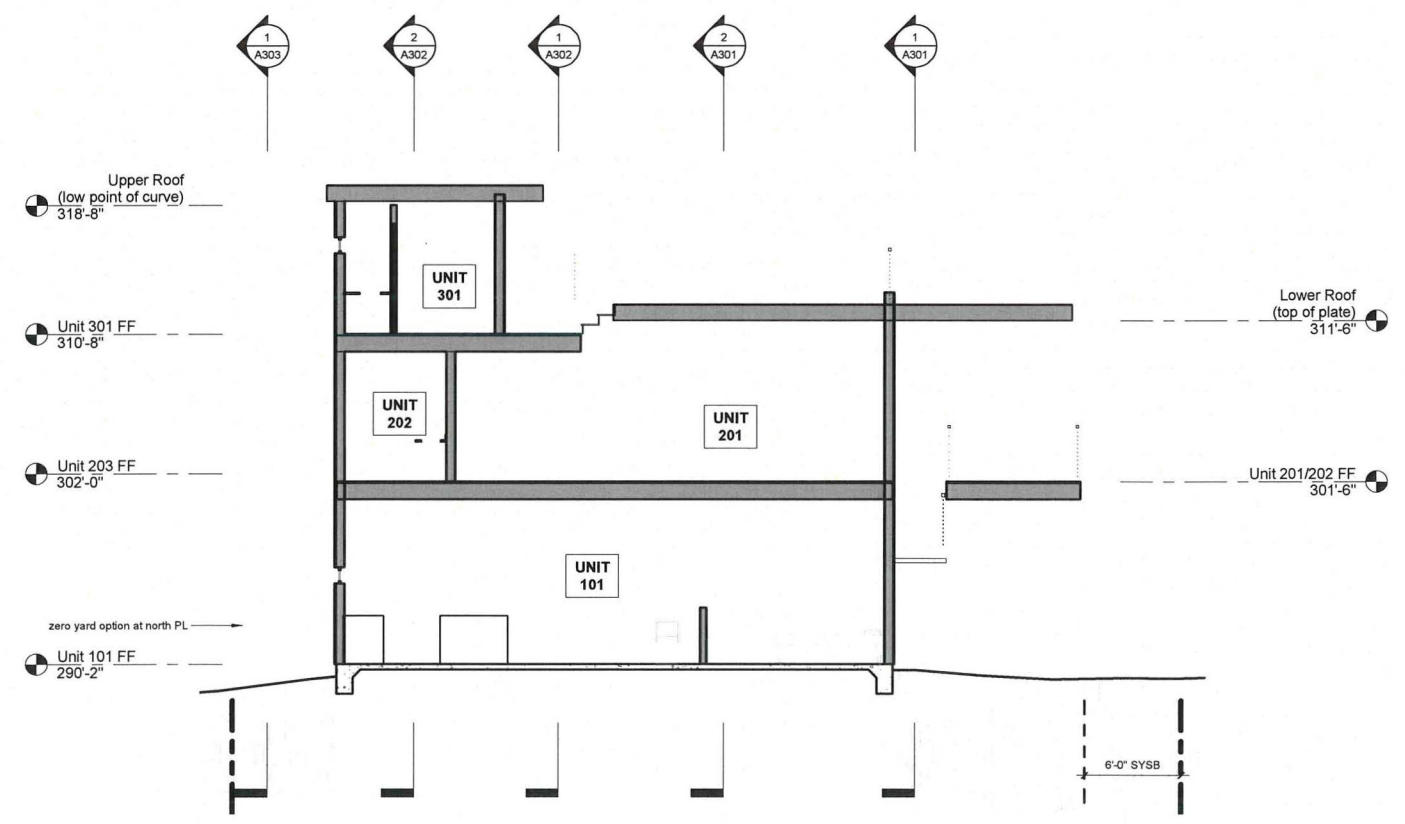


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The Understory
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 San Diego, CA 92103



1 N-S Section 02
 3/16" = 1'-0"



2 N-S Section 03
 3/16" = 1'-0"

No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

A304
 Sections

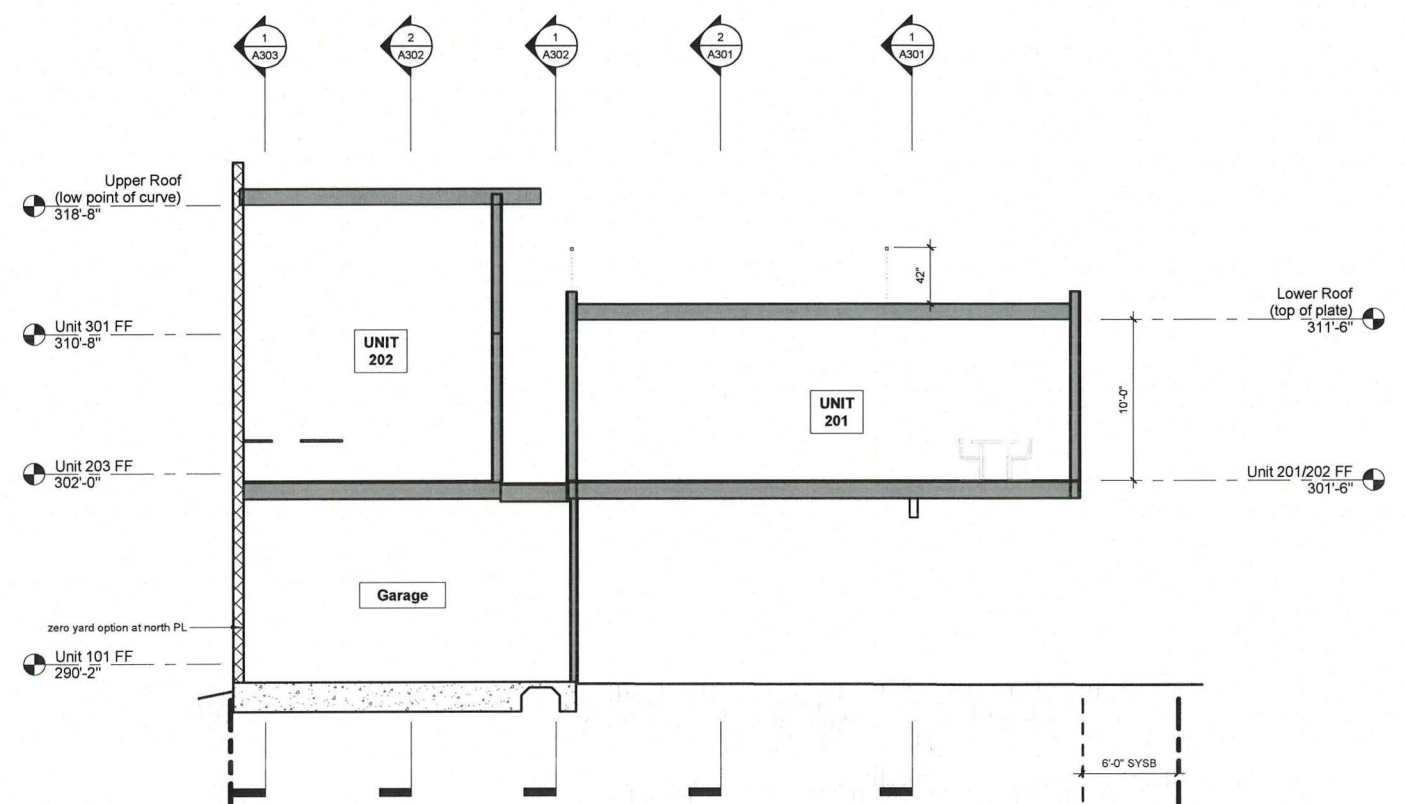
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 sheet_16 of 18

JLC Architecture
 337 South Cedros Avenue, Suite J
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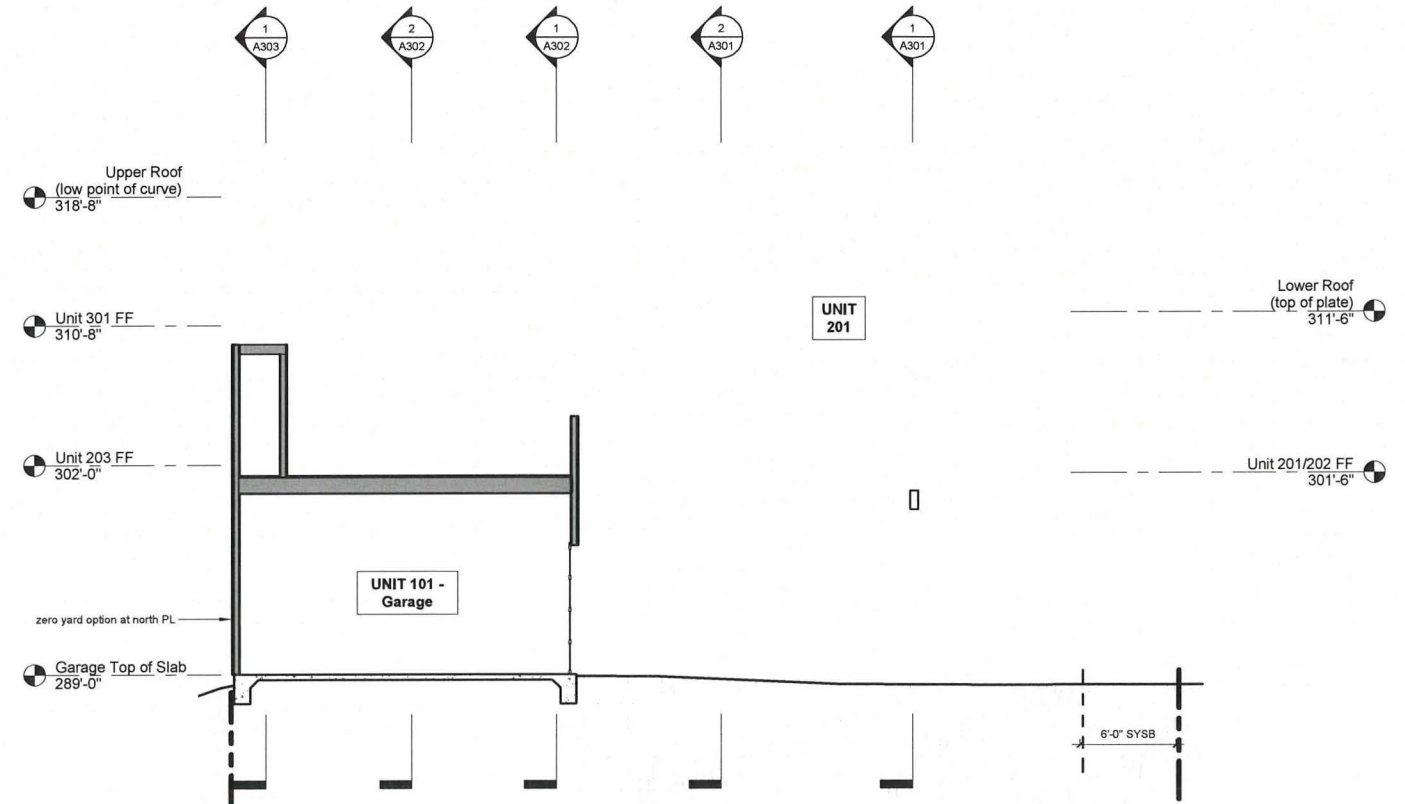


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The Understory
 3953, 3955 & 3957 9th Avenue
 San Diego, CA 92103



1 N-S Section 04
 3/16" = 1'-0"



2 N-S Section 05
 3/16" = 1'-0"

No.	Description	Date

Project number	14049
Drawn by	TVS
Checked by	JLC
Purpose	discretionary process

A305
 Sections

Export Date: 4/25/2017 5:08:07 PM sheet 17 of 18

PROJECT INFORMATION

Date: 2/17/17

Project Applicant/Owner:
HongJun, Mark, Kirk Maushegian
12783 Via Tercero
San Diego CA 92130
858-242-0802

Project Address:
3953, 3955, 3957 9th Ave
San Diego, CA 92103

Total landscape area (square feet) 1256

Project type: New Construction

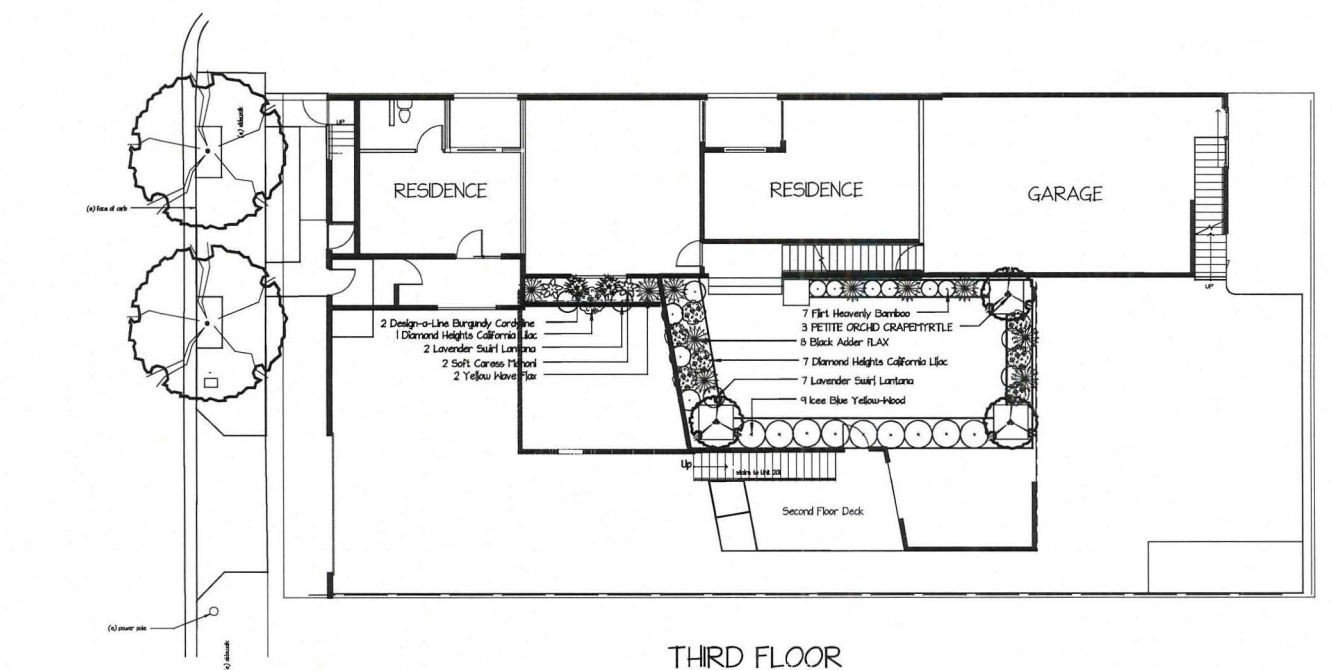
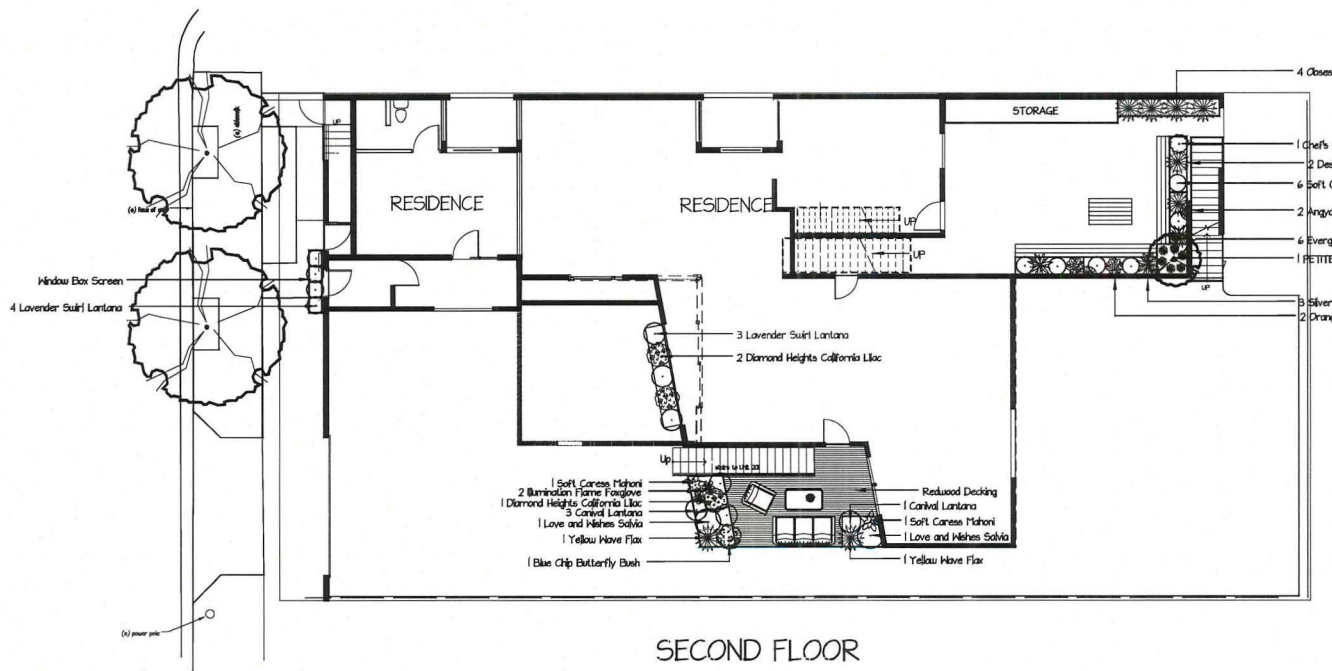
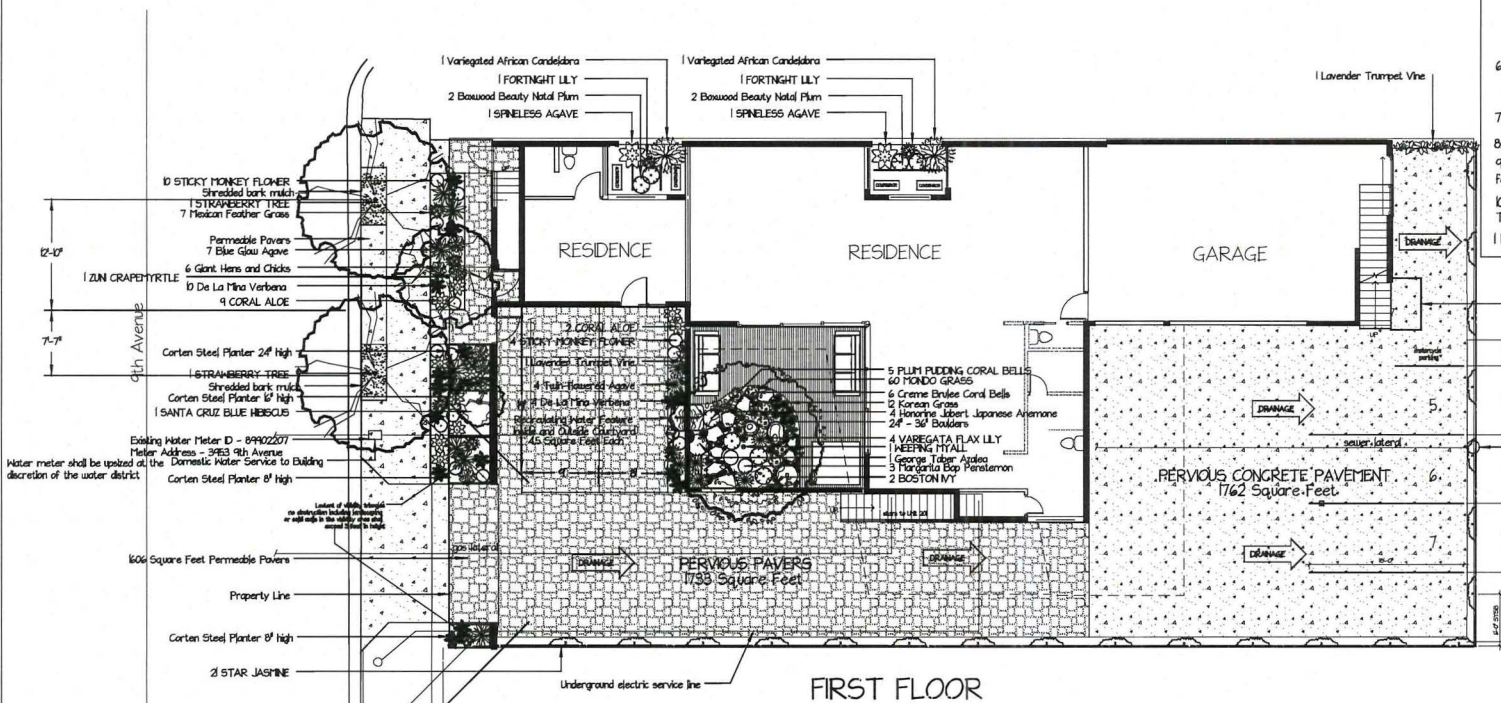
Water supply type: City of San Diego

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

John Beaudry
Landscape Contractor
License # 96167
Applicant's signature: _____ Date: 2/10/17

NOTES

- 1) Final landscape plan will label utility lines and required minimum tree separation distances will be maintained.
- 2) All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- 3) MINIMUM TREE SEPARATION DISTANCE
Traffic signals / stop signs - 20 feet
Underground utility lines - 5 feet (10 feet for sewer)
Above ground utility structures - 10 feet (Driveway (entries) - 10 feet
Intersections (Intersecting curb lines of two streets) - 25 feet
Sewer Lines - 10 feet
- 4) Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 42.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. Also, indicate the type(s) of irrigation system(s) proposed; i.e. spray, drip, etc.
- 5) MAINTENANCE
All required landscape areas shall be maintained by the owner of the property. Landscape and irrigation areas in the public right-of-way shall be maintained by the owner of the property. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
6) A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 42.0403(b)(5).
7) All plant beds to be mulched with 3" shredded bark mulch.
8) No access gates shall swing open into the right-of-way.
9) Encroachment Maintenance Removal Agreement will be required for the landscaping and irrigation within the right-of-way.
10) Additional yard Second Floor total planting area 67 sf, Third Floor 424 sf.
11) A separate water meter dedicated solely to irrigation will be provided.



Qty	Botanical Name	Common Name
Trees		
1	Acacia pendula	KEEPING HYAL
2	Arbutus unedo	STRAWBERRY TREE
2	Euphorbia candelabrum 'Variegata'	Variegated African Candelabra
4	Lagerstroemia indica 'Petite Orchid'	PETITE ORCHID CRAPETRYTILE
1	Lagerstroemia x 'Zuri'	ZUM CRAPETRYTILE
Shrubs		
4	Phormium 'Yellow Haze'	Yellow Haze Flax
1	Alseodora hugesii 'Santa Cruz'	SANTA CRUZ BLUE HIBISCUS
3	Astelia chathamica x nervosa 'Silver Shadow'	Silver Shadow Astelia
1	Azalea George L. Tabor'	George Tabor Azalea
2	Barberry 'Hankering Orange Rocket'	Orange Rocket Barberrry
1	Buddleia 'Blue Chip'	Blue Chip Butterfly Bush
4	Carex macrocarpa 'Boxwood Beauty'	Boxwood Beauty Natal Plum
1	Cornus 'Diamond Heights'	Diamond Heights California Lilac
4	Cordylina 'Design-Line Burgundy'	Design-Line Burgundy Cordylina
4	Lantana camara 'Carved'	Carved Lantana
10	Lantana monte-denis 'Lavender Suiki'	Lavender Suiki Lantana
10	Mahonia 'Soft Carex'	Soft Carex Mahoni
7	Nandina 'Flirt'	Flirt Heavenly Bamboo
4	Nandina 'Obsession'	Obsession Heavenly Bamboo
8	Phormium cookianum 'Black Adder'	Black Adder FLAX
4	Podocarpus 'Ice Blue'	Ice Blue Yellow-Hood
1	Rosemary 'officinalis 'Chef's Choice'	Chef's Choice Rosemary
2	Soliva 'Love and Hisses'	Love and Hisses Soliva
Ornamental Grasses		
6	Carex oshimensis 'Evergold'	Evergold Sedge
7	Silba tenuifolia	Mexican Feather Grass
10	Zornia tenuifolia	Korean Grass
Perennials and Annuals		
4	Anemone 'hybrida 'Honoree Jibert'	Honoree Jibert Japanese Anemone
4	Dianella tasmanica 'Variegata'	VAREGATA FLAX LILY
2	Diets bicolor	FORTNIGHT LILY
2	Diplotaxis 'Illumination Flame'	Illumination Flame Fouglove
6	Heuchera 'Creme Brulee'	Creme Brulee Coral Bells
5	Heuchera 'Plum Pudding'	PLUM PUDDING CORAL BELLS
10	Mimulus aurantiacus	STICKY MONKEY FLOWER
60	Ophiopogon japonicus	MONDO GRASS
3	Penstemon heterophyllus 'Margarita Bay'	Margarita Bay Penstemon
10	Verbena 'Bella De La Mina'	De La Mina Verbena
Succulents		
7	Agave 'Blue Glass'	Blue Glass Agave
2	Agave attenuata	SPINELESS AGAVE
4	Agave geminiflora	Twin-flowered Agave
1	Aloe striata	CORAL ALOE
6	Echeveria 'gibbata Ursula Hiner'	Giant Hens and Chicks
Vines		
2	Cyclostoma callicalydas	Lavender Trumpet Vine
2	Parthenocissus tricuspidata	BOSTON IVY
2	Trachospermum jamaicense	STAR JASMINE
2	x Falsedarya lili 'Ango Star'	Ango Star English Ivy



UNDERSTORY LANDSCAPE DESIGN
HongJun, Mark, Kirk Maushegian
3953 9th Ave, San Diego, CA 92103

client:	date:	revision:
scale:	April 2017	
1" = 10'	checked by:	drawing #:
John Beaudry		L-1

PROJECT INFORMATION

Date: 2/17/17
 Project Applicant/Owner:
 HongJun, Mark, & Kirk Moushegian
 12783 Via Terceto
 San Diego CA 92130
 858-242-0802

Project Address:
 3953, 3955, 3957 9th Ave
 San Diego, CA 92103

Total landscape area (square feet): 1256

Project type: New Construction

Water supply type: City of San Diego

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

John Beaudry Landscape Contractor
 License # 94927
 Applicant's signature: _____ Date: 2/10/17

Notes

- 1.) No access gates shall swing open into the right-of-way.
- 2.) Encroachment Maintenance Removal Agreement will be required for the landscaping and irrigation within the right-of-way.
- 3.) Final landscape plan will label utility lines and required minimum tree separation.
- 4.) All landscape and irrigation shall conform to the standards of the City-wide Landscape Regulations and the City of San Diego Land Development Manual.
- 5.) Minimum Tree Separation Distances:
 Traffic Signals / Stop Signs: 20 Feet
 Underground Utility Lines: 5 Feet
 Above Ground Utility Structures: 10 Feet
 Driveway Entries: 10 Feet
 Intersections (intersecting curb lines of two streets): 25 Feet
 Sewer Lines: 10 Feet
- 6.) Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 420403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. Also, indicate the type(s) of irrigation system(s) proposed, i.e. spray, drip, etc.
- 7.) Maintenance:
 All required landscape areas shall be maintained by the owner for the property. Landscape and irrigation areas in the public right-of-way shall be maintained by the owner of the property. Landscaped areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the condition of the permit.
- 8.) A minimum root zone of 40 sf in area shall be provided for all trees. The minimum dimension for the area shall be 5 feet, per SDMC 420403(b).
- 9.) All plant beds shall be mulched with 3" shredded bark mulch.
- 10.) Although not required by city code, the project is providing additional planting area on upper levels of the project. Subtotals for additional landscape area are provided by floor. Square footage and points allocated are provided on plant list.

