



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 31, 2018 REPORT NO. HO-18-006

HEARING DATE: February 7, 2018

SUBJECT: CAMPOS RESIDENCE CDP/SDP, PROCESS THREE

PROJECT NUMBER: [534717](#)

OWNER/APPLICANT: 8501 Ondas, LLC / Alta Design

SUMMARY

Issue: Should the Hearing Officer approve the remodel and addition of an existing single-family residence located at 8501 Avenida De Las Ondas in the La Jolla Shores Planned District?

Staff Recommendation: APPROVE Coastal Development Permit No. 1906544 and Site Development Permit No. 1906549.

Community Planning Group Recommendation: On August 3, 2017, the La Jolla Community Planning Association voted 6-0-1 to recommend approval of the proposed project without conditions/recommendations (Attachment 8).

La Jolla Shores Advisory Board: On March 20, 2017, the La Jolla Planned District Advisory Board voted 4-0-2 to recommend approval of the proposed project without conditions/recommendations (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, section 15301, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 23, 2017, and the opportunity to appeal that determination ended November 7, 2017 (Attachment 7).

BACKGROUND

The 0.47-acre site is located at 8501 Avenida De Las Ondas (Attachment 1). The proposed project is for an addition and remodel of an existing single-family dwelling unit within the La Jolla Community Plan and Local Coastal Program Land Use Plan area. The land use designation for the project site is Very Low Density Residential at a range of 0-5 dwelling units per acre (Attachment 2) and the site is

within the SF zone (single family zone) of the La Jolla Shores Planned District. Additionally, the site is within the Coastal Overlay Zone (Non-Appealable), Coastal Height Limitation Overlay Zone and Coastal Parking Impact Overlay Zone. The project site can accommodate one dwelling unit based on the density identified in the community plan and the single-family zone. The surrounding properties are fully developed and form a well-established single dwelling unit residential neighborhood (Attachment 3).

The existing (2,172-square-foot) home was built in 1955. The existing structure is more than 45 years old, however, staff evaluated the home and conclude it is not historically significant, and is not eligible for historical designation under local, state or federal criteria.

DISCUSSION

The proposal is for an addition and remodel of an existing single-family dwelling unit with an attached garage totaling 4,896 square feet, which includes 2,172 square feet of existing to remain, an 852-square-foot first floor addition and a 1,872-square-foot second floor addition, including spa and deck areas. The site does not contain any form of Environmentally Sensitive Lands as defined in Section [113.0103](#) of the Land Development Code. The proposed addition and remodel was found to be in general conformity with setbacks and bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF zone. The project conforms to all development regulation of the La Jolla Shores Planned District Ordinance's SF zone, along with the applicable regulation of the Coastal Overlay Zone.

San Diego Municipal Code (SDMC) Section [126.0702\(a\)](#) requires a Coastal Development Permit for the proposed addition and remodel of an existing single-family dwelling on property within the Coastal Overlay Zone. SDMC Section [1510.0201\(d\)](#) requires a Site Development Permit for major development within the La Jolla Shores Planned District. The project as proposed requires a Process Three, Hearing Officer decision with appeal right to the Planning Commission.

CONCLUSION

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with the Land Development Code, the La Jolla Community Plan, and the General Plan. Staff has provided draft findings (Attachment 4) and conditions (Attachment 5), and Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1906544 and Site Development Permit No. 1906549, with modifications.
2. Deny Coastal Development Permit No. 1906544 and Site Development Permit No. 1906549, if the findings required to approve the project cannot be affirmed.

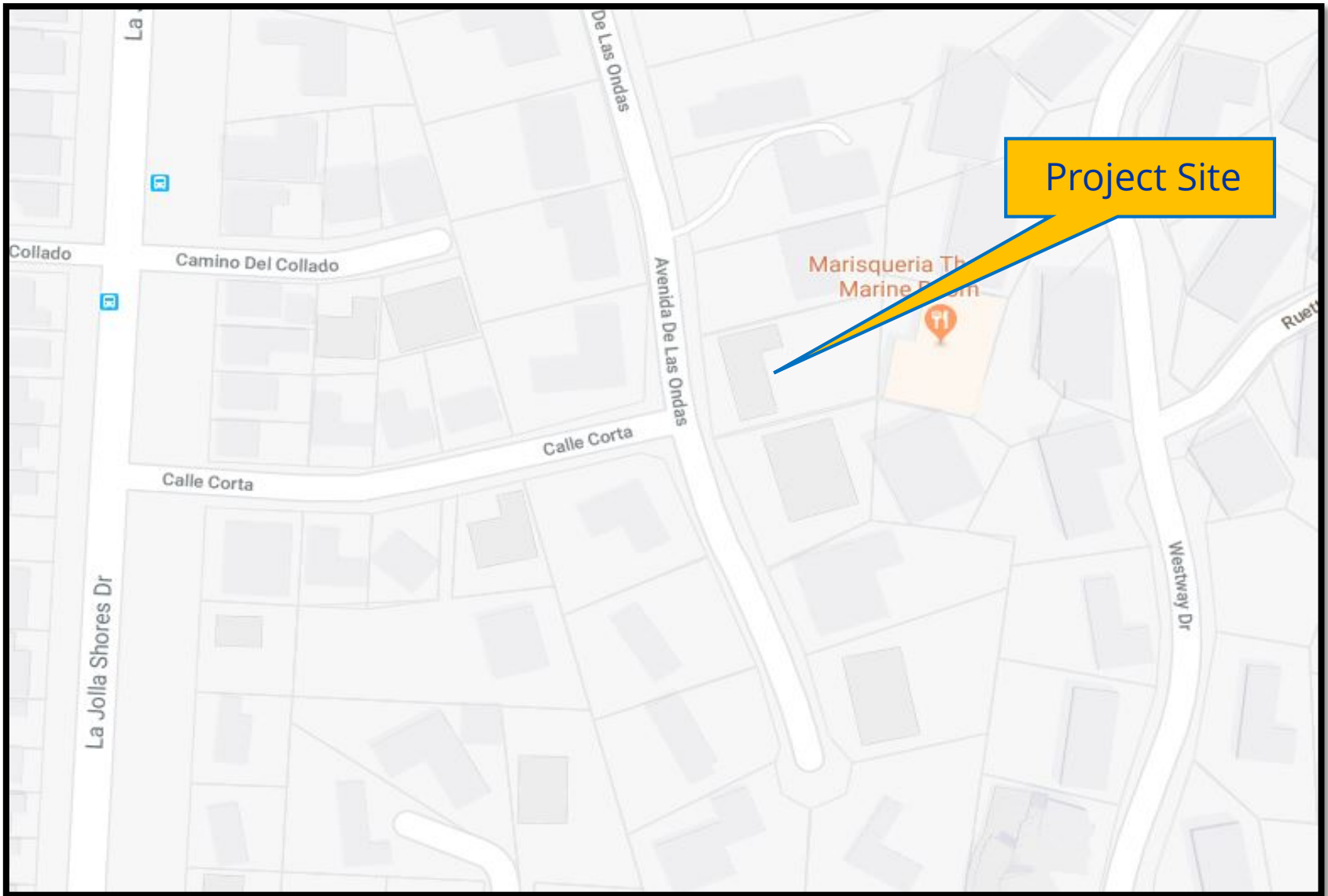
Respectfully submitted,



Hugo Castaneda, Development Project Manager

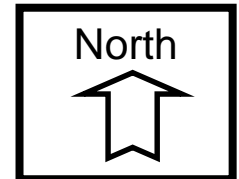
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Notice of Right to Appeal Environmental Determination
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map

Campos Residence CDP SDP / 8501 Avenida De Los Ondas
PROJECT NO. 534717



- Legend**
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
 - Elementary School
 - Junior High School
 - High School
 - School
 - Library
 - Fire Station
 - Post Office



Community Land Use Map



La Jolla Community Plan
City of San Diego - Planning Department



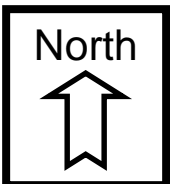
Figure 1

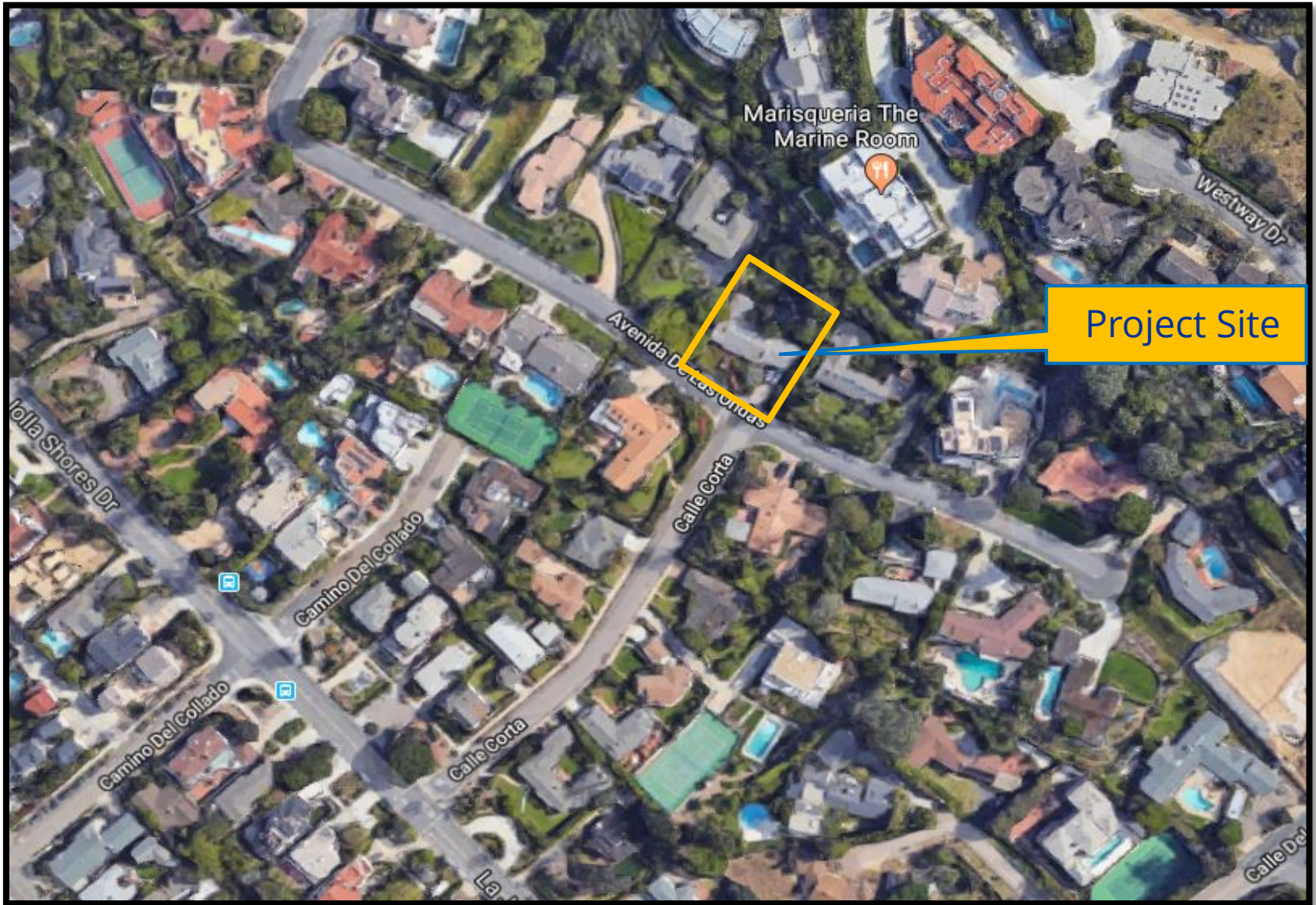
Map Document: L:\GIS\PGS\publications\la_jolla\pub_2014\la_jolla_RLU.mxd
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Land Use Map

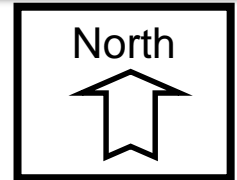
Campos Residence CDP SDP / 8501 Avenida De Los Ondas
PROJECT NO. 534717





Aerial Photo

Campos Residence CDP SDP / 8501 Avenida De Los Ondas
PROJECT NO. 534717



HEARING OFFICER RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT No. 1906544 AND
SITE DEVELOPMENT PERMIT No. 1906549
CAMPOS RESIDENCE CDP/SDP - PROJECT NO. 534717

WHEREAS, 8501 ONDAS, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit for an addition and remodel of existing single-family dwelling unit with an attached garage totaling 4,896 square feet, which includes 2,172 square feet of existing to remain, an 852-square-foot first floor addition and an 1,872-square-foot second floor addition, including spa and deck areas (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit No. 1906544 and 1906549), on portions of a 0.47-acre site;

WHEREAS, the project site is located at 8501 Avenida De Las Ondas, in the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable) within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 26 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the County Recorder of San Diego County, May 29, 1953;

WHEREAS, on October 23, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 7, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1906544 and Site Development Permit No. 1906549, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 7, 2018.

FINDINGS:

Coastal Development Permit Findings, San Diego Municipal Code Section 126.0708:

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and**

along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing 2,172-square-foot, one-story, single-family dwelling unit with an attached garage, resulting in a two-story, single-family dwelling unit, with total a Gross Floor Area of 4,896 square feet. The 0.47-acre site is located at 8501 Avenida De Las Ondas within the Coastal Overlay Zone (non-appealable) and Coastal Height Limit Overlay Zone in the SF zone of the La Jolla Shores Planned District.

The proposed project is approximately three blocks from the shoreline, and not located between the sea and the first public roadway (El Paseo Grande) paralleling the sea. Residential land uses exist on all sides of the property and the proposed development would occur on private property. The site has no existing physical coastal access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program. The site is not located within or adjacent to a scenic view corridor or a scenic coastal area, therefore the proposed coastal development will not have an impact on public views as specified in the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing 2,172-square-foot, one-story, single-family dwelling unit with an attached garage, resulting in a two-story, single-family dwelling unit, with total a Gross Floor Area of 4,896 square feet. The 0.47-acre site is located at 8501 Avenida De Las Ondas within the Coastal Overlay Zone (non-appealable) and Coastal Height Limit Overlay Zone in the SF zone of the La Jolla Shores Planned District.

The proposed project is located in a built, urban environment, is surrounded on all sides by single-family development, and does not contain nor is adjacent to any environmental sensitive lands or Multi-Habitat Planning Area (MHPA) lands. The project was determined to be exempt from the California Environmental Quality Act (CEQA) under sections 15301. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing 2,172-square-foot, one-story, single-family dwelling unit with an attached garage, resulting in a two-story, single-family dwelling unit, with total a Gross Floor Area of 4,896 square feet. The 0.47-acre site is located at 8501 Avenida De Las Ondas within the Coastal Overlay Zone (non-appealable) and Coastal Height Limit Overlay Zone in the SF zone of the La Jolla Shores Planned District.

The La Jolla Community Plan designates the site for a very low density residential development at a rate of (0-5 DU/AC) or one unit allowed on this 0.47-acre site. Therefore the proposed addition to existing single-family dwelling is consistent with the designated use and density prescribed in the plan. The La Jolla Community Plan, Residential Land Use Element, recommends maintaining and enhancing the existing neighborhood character as viewed from the public right-of-way. The proposed project meets the Visual Resource recommendations of the Community Plan and is consistent with the development pattern, bulk, and scale of the existing neighborhood and complies with the SF zone of the La Jolla Shores Planned District and applicable regulations of the Land Development Code. Therefore, the proposed coastal development is in conformity with the La Jolla Community Plan and Local Coastal Program and complies with the regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing 2,172-square-foot, one-story, single-family dwelling unit with an attached garage, resulting in a two-story, single-family dwelling unit, with total a Gross Floor Area of 4,896 square feet. The 0.47-acre site is located at 8501 Avenida De Las Ondas within the Coastal Overlay Zone (non-appealable) and Coastal Height Limit Overlay Zone in the SF zone of the La Jolla Shores Planned District.

The property is located within an established residential neighborhood, approximately 1,500 feet from the Pacific Ocean coastline. This property is not located between the sea and the first public roadway, as El Paseo Grande is located between the site and the sea/shoreline. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit Findings, San Diego Municipal Code Section 126.0505:

- 1. The proposed development will not adversely affect the applicable land use plan**

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing one-story, single-family dwelling unit with an attached garage resulting in a two-story, single-family dwelling unit, with a total Gross Floor Area of 4,896 square feet. The 0.47-acre site is located at 8501 Avenida De Las Ondas. The La Jolla Community Plan designates this site very low density residential development, at a rate of (0-5 DU/AC) or one unit allowed on this 0.47-acre site. The proposed project of one dwelling unit is in conformance with the land use density and SF zone of the

La Jolla Shoes Planned District. Therefore, the proposed enlargement of the existing single dwelling unit will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing one-story, single-family dwelling unit with an attached garage resulting in a two-story, single-family dwelling unit, with a total Gross Floor Area of 4,896 square feet, located at 8501 Avenida De Las Ondas.

The environmental review, determined that the project would not have a significant environmental effect and found it categorically exempt under CEQA. The environmental analysis did not identify any significant impacts to public health and safety. The project will not be detrimental to public health, safety and welfare in that the permit controlling the development contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site proposes to remodel and construct a 2,724-square-foot addition to an existing one-story, single-family dwelling unit with an attached garage resulting in a two-story, single-family dwelling unit, with a total Gross Floor Area of 4,896 square feet, located at 8501 Avenida De Las Ondas.

The proposed addition and remodel will comply with the development regulations of the SF zone of the La Jolla Shores Planned District. There are no proposed variances or deviations from the Land Development Code. The building setbacks, drainage, lot coverage, building mass, building height, public views, public access and driveway width will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1906544 and Site Development Permit No. 1906549 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1906544 and 1906549, a copy of which is attached hereto and made a part hereof.

Hugo Castaneda
Development Project Manager
Development Services

Adopted on: February 7, 2018

IO#: 24007177

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007177

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1906544
AND SITE DEVELOPMENT PERMIT NO. 1906549
CAMPOS RESIDENCE CDP/SDP PROJECT NO. 534717

This Coastal Development Permit No. 1906544 and Site Development Permit No. 1906549 is granted by the Hearing Officer of the City of San Diego to 8501 ONDAS, LLC, a California Limited Liability Company, Owner/ Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0708. The 0.47-acre site is located at 8501 Avenida De Las Ondas in the LJSPD-SF zone of the La Jolla Shores Planned District. The project site is legally described as: Lot 26 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the County Recorder of San Diego County, May 29, 1953.

The project shall include:

- a. A 2,724-square-foot addition to an existing 2,172-square-foot single-family dwelling unit with attached garage resulting in a two-story, single-family dwelling with a total gross floor area of 4,896 square feet.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Retaining wall, deck and spa areas; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1

ATTACHMENT 5

of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 21, 2021.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this

ATTACHMENT 5

Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the landscape, irrigation and concrete drainage swale in the Avenida De Las Ondas Street Right-of-Way.

ATTACHMENT 5

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
17. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any construction permit for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit 'A,' the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.
20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
21. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

GEOLOGY REQUIREMENTS:

22. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

PLANNING/DESIGN REQUIREMENTS:

ATTACHMENT 5

23. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer, of the City of San Diego on February 7, 2018 and [Approved Resolution Number].

ATTACHMENT 5

Coastal Development Permit No. 1906544
Site Development Permit No. 1906549
Date of Approval: February 7, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Hugo Castaneda
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**8501 Ondas, LLC, a California Limited
Liability Company**
Owner/Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: CAMPOS RESIDENCE CDP SDP

Project No. / SCH No.: 534717

Project Location-Specific: 8501 Avenida De Los Ondas, La Jolla, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A Coastal Development Permit (CDP) and Site Development Permit (SDP) for a 670-square-foot, first story addition and a 1,908 second floor addition to an existing dwelling unit. The project is located in the Base Zone LJSPD-SF, Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Campus & Coastal), and the La Jolla Community Plan, Council District 1. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Carlos Wellman
 Alta Design
 4445 Eastgate Mall, Ste 400
 San Diego, CA 92121
 858-442-8009

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Sections 15301(Existing Facilities)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) which allows for additions to existing structures of 10,000 square feet or less if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. Since the project proposed is an addition to an existing home, complies with all height and bulk regulations, is located on a site that is currently developed with all public utilities in place to serve the residence, and the location of the project is not environmentally sensitive, the exemption is appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Courtney Holowach

Telephone: (619) 446-5187 **ATTACHMENT 6**

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

JHL / SENIOR PLANNER
Signature/Title

11/7/2017
Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:



THE CITY OF SAN DIEGO

Date of Notice: October 23, 2017

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007177

PROJECT NAME/NUMBER: CAMPOS RESIDENCE CDP SDP/534717

COMMUNITY PLAN AREA: La Jolla Community Plan

COUNCIL DISTRICT: 1

LOCATION: 8501 Avenida De Los Ondas, La Jolla, CA 92037

PROJECT DESCRIPTION: A Coastal Development Permit (CDP) and Site Development Permit (SDP) for a 670-square-foot, first story addition and a 1,908 second floor addition to an existing dwelling unit. The project is located in the Base Zone LJSPD-SF, Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Campus & Coastal), and the La Jolla Community Plan, Council District 1. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) which allows for additions to existing structures of 10,000 square feet or less if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. Since the project proposed is an addition to an existing home, complies with all height and bulk regulations, is located on a site that is currently developed with all public utilities in place to serve the residence, and the location of the project is not environmentally sensitive, the exemption is appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project

ATTACHMENT 7

is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Hugo Castaneda
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5220

On October 23, 2017 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (November 6, 2017). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





La Jolla Community Planning Association

Date: August 17, 2017

To: G. Martedi, City of San Diego

CC: Carlos Wellman

Subject: La Jolla Community Planning Association Vote

RE: Campos Residence

On August 3, 2017 at the Regular meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed the Campos Residence as an action item on the consent agenda.

10.6 Campos Residence 8501 Avenida De Las Ondas. Coastal Development Permit and Site Development Permit for a 670 square foot first floor addition and 1,908 square foot addition, including a garage, spa and new deck to an existing dwelling unit. The 0.47 acre site is located at 8501 Avenida De Las Ondas within the Coastal Overlay Zone (non-appealable area), in the LJSPD-SF zone(s) of the La Jolla Shores Planned District Area within Council District 1.

PRC Motion: Findings CAN be made for Coastal Development Permit and Site Development Permit for Project #534717. 6-0-1.

The LJCPA voted on consent to accept the recommendation of the PRC subcommittee.

Sincerely,

**Helen Boyden, Vice President (s)
Acting as Chair**

858-456-7900



La Jolla Shores Planned District Advisory Board

Sign-in Sheet

Date of Meeting: March 20, 2017

First Name	Last Name	Sign In
Dolores	Donovan	<i>[Handwritten signature]</i>
Dan	Goese	<i>Dan Goese</i>
Jane	Potter	<i>Jane Potter</i>
Susanne	Weissman	<i>Susanne Weissman</i>
Herbert	Lazerow	<i>[Handwritten signature]</i>
Andrea	Moser	<i>Andrea P Moser</i>

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 534717 - Campos Residence

Action Item: A

Date: 3/20/17

Applicant: Carlos Wellman

Address: 8501 Avenida de las Ondas

Description: CDP/SDP to partially demolish an existing 2,172 sf single-family home on a 0.47-acre lot and re-construct a 4,760 sf, two-story residence. Includes garage addition, 670 sf first floor addition, 1,908 sf second floor addition, and new entry deck, patio, spa, and associated landscaping.

Recommendation

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		<i>DD</i>
Dan Goese	<i>Jane Potter</i>	<i>Dan Goese</i>
Jane Potter	<i>Susanne Weissman</i>	
Susanne Weissman	<i>Andrea Moser</i>	
Andrea Moser	<i>Herbert Lazerow</i>	
Herbert Lazerow		

Absentees:



 Chairperson

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 529988 – Price/Cohen Addition

Action Item: B

Date: 3/20/17

Applicant: Larry Hawes

Address: 2045 Lowry Place

Description: Proposal to add a 1,264 sf second floor addition and construction of a 342 sf deck to an existing single-family residence on a 6,182 sf lot.


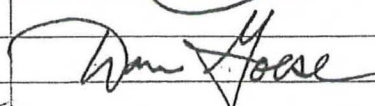
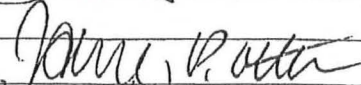
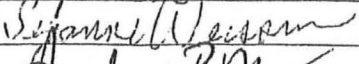
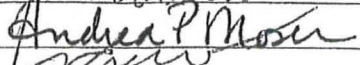

Recommendation

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

Vote to continue as Process 3 subject to ~~concern~~ ^{of 2d-3rd story} resolution of concerns regarding landscaping articulation and neighbor input ~~on setbacks~~ ^{back} and lightning affecting neighbors.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only _____

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:


Chairperson

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 534513 – Stone Residence Addition/Remodel **Action Item:** C **Date:** 3/20/17

Applicant: Larry Hawes

Address: 2466 Avenida De la Playa


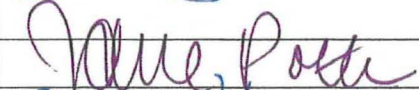
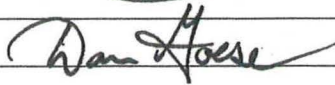
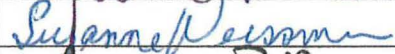
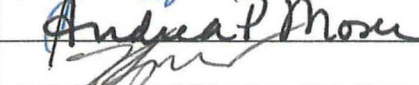
Description: Proposal to add a 610 sf rear room addition to the kitchen area and master bedroom and add a new 644 sf rear outdoor patio/deck to an existing single –family residence on a 21,750 sf lot.

Recommendation

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:


Chairperson

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: 7713 Esterel Drive

Information Item: D

Date: 3/20/17

Applicant: Israel Fumansky

Address: 7713 Esterel Drive

Description: Proposal for a new addition/remodel to an existing single-family residence.

Recommendation

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:

Chairperson



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

Meeting Minutes for March 20th, 2017

615 Prospect Street, Room 2

La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Present	Herbert Lazerow	Present
Dan Goese	Present	Jane Potter	Present
Andrea Moser	Present	Susanne Weissman	Present

-
1. **Call to Order:** 11:00 am
 2. **Approval of the Agenda**
Lazerow/Potter 6-0-0
 3. **Approval of the Minutes**
February 21, 2017 minutes approved with changes. Lazerow/Moser 4-0-0. August 18, 2016 minutes approved. Potter/Donovan 4-0-0.
 4. **Public Comment:**
Donovan – Appreciation expressed towards Peggy Davis for posting the meeting agendas. Peggy Davis – remarked about the meetings minutes of other La Jolla community advisory groups taking a while to be viewed.
 5. **Project Review**

ACTION ITEMS

Item A

Project: PTS 534717 - Campos Residence (continued from the February 21st meeting meeting)

8501 Avenida de las Ondas APN: 346-132-1100

Presented by: Carlos Wellman

Description:

CDP/SDP to partially demolish an existing 2,172 sf Single-family home on a 0.47-acre lot and re-construct a 4,760 sf, two-story residence. Includes garage addition, 670 sf first floor addition, 1,908 sf second floor addition, and new entry deck, patio, spa, and associated landscaping.

Presentation

- Addition includes 670 sf to the first floor and 1,908 sf to the second floor
- Cross section were presented
- Presenter remarked that properties to the rear were at a higher elevation and would not be impacted by the proposed second floor addition.
- Setbacks are being maintained

Comments

- A question was asked regarding about whether residents to the rear were spoken to about the project. According to the presenter, notices were provided.
- Because of the potential of the project to affect private views, it was offered that it would be neighborly to inform adjacent residents. Presenter offered to print copies of the noticing package and deliver them to surrounding residences.
- A question was asked in regards to any excavation and soils tests that would be conducted in association with the project out of concern for potential water flow issues
- A suggestion was offered to hold a meeting for surrounding neighbors to help address any issue upfront
- A question was asked about whether the redesign of the front of the house will mimic the existing home to match the existing one-story character of homes in the area
- It was suggested that the project should include upper-story setbacks given the prominence at the corner, so that the project transitions to a single-story

Motion: Motion to recommend project as a Major Project/Process 3. Potter/Weissman 4-0-2. Donovan and Goese abstaining.

Item B

Project: PTS 529988 – Price/Cohen Addition
2045 Lowry Place APN: 346-482-0400

Presented by: Lee Austin

Description:

Proposal to add a 1,264 sf second floor addition and construction of a 342 sf deck to an existing approx. 2,100 sf single-family residence on a 6,182 sf lot.

Presentation

- Project details were provided by the presenter

Comments

- Question raised regarding neighbors' response to the project. Presenter explained that information packets were disseminated and that concerns heard were only related to the time of construction.

- Concerns expressed by adjacent neighbor Kathleen Neil regarding the height of the second story addition and the inability of the applicant to set a more convenient time to meet and discuss the project with her
- Suggestion offered by Phil Merten that the proposed project should undergo a Process 3 approval to address issues with neighborhood character and compatibility with the community plan given the single-story character of the neighborhood. Additional comments relate to correcting existing driveway, so that it conforms to existing character and the need to meet the 30% landscaping requirement.
- Comment offered that the increase in additional building square footage of approximately 60% would not constitute a minor project and that an addition of 1,264 sf would be significant
- Additional comments from Board members expressed that an increase in height is also an increase visibility from the street and that renderings of the project within the context of the neighborhood would be helpful in reviewing neighborhood character and compatibility
- It was mentioned that additional articulation is needed along large walls, as well as the potential of additional light shining into other properties
- Suggestions from the board members included setting back the second story and meeting with adjacent property owners

Motion: Motion to recommend that the project be continued as a Process 3 consideration subject to neighbor discussion and input, articulation of the second story, fulfilling the 30% landscape requirement, and addressing potential light spillover onto adjacent properties. Donovan/Potter 5-0-1. Goese abstaining.

Item C

Project: PTS 534513 – Stone Residence

2466 Avenida De La Playa APN: 346-451-1000

Presented by: Lee Austin

Description:

Proposal to add a 610 sf rear room addition to the kitchen area and master bedroom and add a new 64 sf rear outdoor patio/deck to an existing single-family residence on a 21,750 sf lot.

Presentation

- Project details were provided by the presenter

Comments

- Adjacent neighbor at 2411 Vallecitos had an opportunity to preview the plans and offered to pay half of the removal cost to remove the Ficus tree on the project site that shades her property
- Comment from the audience related to ensuring that presentation from applicants provide sufficient detail of the proposal and that the public is involved in discussions
- It was suggested that the existing square footage of buildings be included in the project descriptions on the agenda

Motion: Motion to recommend the project as a Minor Project/Process 1 that complies with the La Jolla Shores Planned District. Moser/Potter 5-0-1. Goese abstaining.

INFORMATION ITEM

Item A

Project: 7713 Esterel Drive

7713 Esterel Drive APN: 346-620-1100

Presented by: Israel Fumansky

Description:

Concept proposal for a new addition/remodel to an existing single-family residence.

Presentation

- Project details provided by the presenter that includes an additional 470 sf two-story cottage "studio."

Comments

- Board members offered potential concerns regarding what adjacent neighbors have to say, how close the proposed addition is to the property line, and to look into the regulations (e.g. companion units) that may be helpful in processing the project.

6. Next meeting date in March:

Monday, May 15, 2017.

7. Adjournment: 12:30 pm

Minutes taken by Marlon Pangilinan, Senior Planner, City of San Diego



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title CAMPOS REFERENCE Project No. For City Use Only _____

Project Address: 8501 AVENIDA DE LAS ONDAS, 92037, LA JOLLA, CA

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 7660 FAY AVE, SUITE A229
 City/State/Zip: LA JOLLA, CA 92037
 Phone No: 619 5400465 Fax No: _____
 Signature: [Signature] Date: 1/31/17

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title:	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
8501 ONDAS LLC
 Owner Tenant/Lessee
 Street Address:
7660 JAY AVE. H-229
 City/State/Zip:
LA JOLLA, CA 92037
 Phone No: 619 5400465 Fax No: _____
 Name of Corporate Officer/Partner (type or print):
PABLO CAMPOS
 Title (type or print):
MGR.
 Signature :  Date: 1/31/17

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

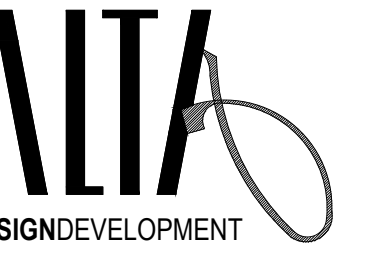
 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Campos Residence Remodel

SINGLE FAMILY HOME REMODEL 8501 AVENIDA DE LAS ONDAS, LA JOLLA , CA. 92037



Consultants

Scale:
As Shown
Drawn:
E. R.
Checked:
C. Wellman

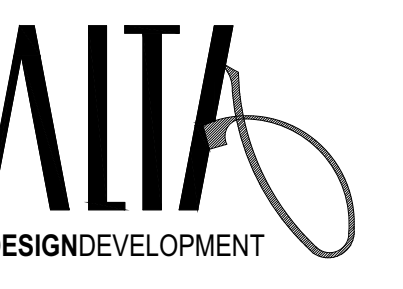
Original Date
12/06/17 City Submittal
Revisions:
01 05/25/17
02 07/21/17
03 09/20/17
04
05
06
07

CAMPOS REMODEL
8501 AVENIDA DE LAS ONDAS
LA JOLLA CA. 92037

Sheet Title:
COVER SHEET

A0.0

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.



4445 Eastgate Mall Suite 400
San Diego, California 92121
T: 858-362-8500

Campos Residence Remodel

SINGLE FAMILY HOME REMODEL 8501 AVENIDA DE LAS ONDAS, LA JOLLA , CA. 92037

NOTES:

- 1. ALL INDICATED BOUNDARY, EXISTING SITE AND SIDEWALK CONDITIONS WERE OBTAINED FROM SITE PLAN PROVIDED BY OWNER
- 2. BEFORE COMMENCEMENT OF WORK, CONTRACTOR TO CONTACT AND COORDINATE WITH ALL GOVERNMENT AGENCIES AND UTILITY COMPANIES WHICH MAY HAVE SERVICES IN THE AREA. THE CONTRACTOR SHALL ASSURE HIMSELF THAT HE HAS LOCATED ALL UNDERGROUND SERVICES PRIOR TO ANY SUBSURFACE EXCAVATION. HE SHALL PROTECT ALL EXISTING UNDERGROUND SERVICES.
- 3. CONTRACTORS TO VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS RELATED TO THEIR SCOPE OF WORK (INCLUDING EXPOSED OR CONCEALED CONDITIONS AND CONDITIONS WHICH ARE SHOWN OR NOT SHOWN ON DRAWINGS) PRIOR TO BID AND CONSTRUCTION.
- 4. ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING AND DRIVEWAY TO ALLEY OR STREET OR PUBLIC STORM DRAIN SYSTEM.
- 5. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED ARE SHOWN ON THIS SITE PLAN
- 6. CONTRACTOR TO REPAIR AS REQUIRED, ANY DAMAGE TO BUILDING DUE TO DEMOLITION OR NEW CONSTRUCTION WORK.
- 7. CONTRACTOR TO PATCH-UP ANY UNFUSED HOLES OR VOIDS EXISTING OR CAUSED BY DEMOLITION OR NEW CONSTRUCTION WORK.
- 8. BUILDING CODE:
 - ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AMENDMENTS AND ORDINANCES AS REQUIRED BY CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND ALL OTHERS RECOGNIZED JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.
 - A) THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE BASED ON 2016 IRC, 2016 CALIFORNIA BUILDING CODE BASED ON 2016 IBC
 - B) THIS PROJECT SHALL COMPLY W/ THE 2016 CALIFORNIA ELECTRICAL CODE BASED ON 2016 NEC, 2016 CALIFORNIA PLUMBING CODE BASED ON 2016 UPC BY IAPMO, 2016 CALIFORNIA MECHANICAL CODE BASED ON 2016 UMC BY IAPMO, 2016 CALIFORNIA GREEN BUILDING CODE AND 2016 CALIFORNIA FIRE CODE BASED ON 2016 IFC.
- 9. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEM SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- 10. AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS, INCURRED AS A RESULT OF THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.
- OWNER SIGNATURE: _____
- 11. ALL SITE RETAINING WALLS ARE UNDER SEPARATED PERMIT AND NOT REVIEWED UNDER THIS SUBMITTAL.
- 12. ALL NEW SINGLE-FAMILY DWELLING , DUPLEX AND TOWNHOMES ARE REQUIRED TO HAVE FIRE SPRINKLER SYSTEM INSTALLED.
 - *THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLAN REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED. *
- 13. TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO ESTIMATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.
- 14. AUTOMATIC IRRIGATIONS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (COBSC 4.304.1)
- 15. A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED.
- 16. JOINTS AND OPENING, ANNUAL SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF ROBBETS BY CLOSING SUCH OPENINGS WITH GEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (COBSC 4.406.1)
- 17. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRM THE DELIVERY OF THE MAINTENANCE MANUAL (COBSC 4.401.1)
- 18. THE MANUAL SHOULD INCLUDE IN ADDITION TO OTHER ASPECTS THE FOLLOWING:
 - 1) DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - 2) OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - a. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEM, HVAC SYSTEMS, WATER HEATING SYSTEMS AND OTHER APPLIANCES AND EQUIPMENT.
 - b. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - d. LANDSCAPE IRRIGATION SYSTEMS.
 - e. WATER RE-USE SYSTEMS.
- 19. A COPY OF A COMPLETE OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- 20. AN OWNER MANUAL CERTIFICATE SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVED TO THE BUILDING OWNER.
- 21. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION (COBSC 4.504.1)
- 22. ADHESIVE SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (COBSC 4.504.2.1)
- 23. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (COBSC 4.504.2.2)
- 24. AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMIT FOR VOC AND OTHER TOXIC COMPOUNDS (COBSC 4.504.2.3)
- 25. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR, OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN AND ADHESIVES, COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
- 26. CARPET AND CARPET SYSTEM SHALL BE COMPLIANT WITH VOC LIMITS. SECTION 4.504.3)A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE.
- 27. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - a) VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOL (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE
 - b) PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM
 - c) CERTIFICATION UNDER RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
 - d) MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOC-EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS
- 28. HARDWOOD PLYWOOD,PARTICLE BOARD, MEDIUM DENSITY FIBER BOARD (MDF), COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION4.504.5 AND TABLE 4.504.5 OF CALGREEN.
- 29. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR, OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTE ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
- 30. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOORS FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- 31. THE MOISTURE CONTENT OF BUILDING MATERIAL USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER.

PROJECT DATA:

PROJECT LOCATION: 8501 AVENIDA DE LAS ONDAS LA JOLLA, CA. 92037

PROJECT OWNER: MR. & MRS. PABLO CAMPOS 8501 AVENIDA DE LAS ONDAS LA JOLLA, CA. 92037

PROJECT DESIGNER: ALTA DESIGN DEVELOPMENT INC. 4445 EASTGATE MALL # 400 SAN DIEGO CA, 92121 TEL 858 442-8009 CONTACT: CARLOS WELLMAN

STRUCTURAL ENGINEER: LOVELACE ENGINEERING. 5930 CORNER STONE # 100 SAN DIEGO CA, 92121 TEL 858 535-9111 CONTACT: OSCAR COVARRUBIAS

CIVIL ENGINEER: COFFEY ENGINEERING INC. 9666 BUSINESSPARK AVENUE, # 210 SAN DIEGO, CA 92131 TEL 858 831-0111 CONTACT: FELICIANO RODRIGUEZ

LANDSCAPE PROJECT: ALLEN LANDSCAPE 2141 S. EL CAMINO REAL, STE. G OCEANSIDE, CA 92054 TEL 760 757-7818 CONTACT: JASON DOBBIE

SCOPE OF WORK: CDP AND SDP TO PARTIALLY DEMOLISH AN ADD 670 SF. ADDITION TO THE FIRST FLOOR AND 1918 SF. SECOND FLOOR ADDITION, INCLUDING GARAGE,SPA AND NEW ENTRY DECK TO AN EXISTING DWELLING UNIT.

LEGAL DESCRIPTION: LOT 26 OF LA JOLLA SHORE TERRACE IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING WITH MAP THEREOF No 2996, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY APRIL 17, 1981.

A.P.N.: 346-132-1100

YEAR BUILT: 1955

CONSTRUCTION TYPE: V-B

OCCUPANCY: R-3

ZONE: RS 1-2 (SINGLE FAMILY) LUSP-SF

GEOLOGICAL HAZARD CATEGORY: 26.53

LOT AREA: 0.45 ACRES

BUILDING AREA: EXISTING LIVING SPACE: 2,172.00 SQ. FT. 1ST LEVEL ADDITION: 929.00 SQ. FT. 2ND STORY ADDITION: 1,961.00 SQ. FT. TOTAL LIVING SPACE: 5,062.00 SQ. FT. EXISTING GARAGE: 449.00 SQ. FT. GARGE ADDITION: 218.00 SQ. FT. TOTAL GARAGE: 667.00 SQ. FT.

MAX. LOT COVERAGE: 0.60 LIVING AREA= 5062 SQ.FT. 5062/19602 SF LOT AREA= 0.25 ok.

STORM WATER QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENT FOR CONSTRUCTION BMP'S

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET
2. ALL STOCK PILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICE SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEED 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION /SEDIMENT CONTROL DEVICE TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

STORM WATER REQUIREMENTS APPLICABILITY CHECK LIST

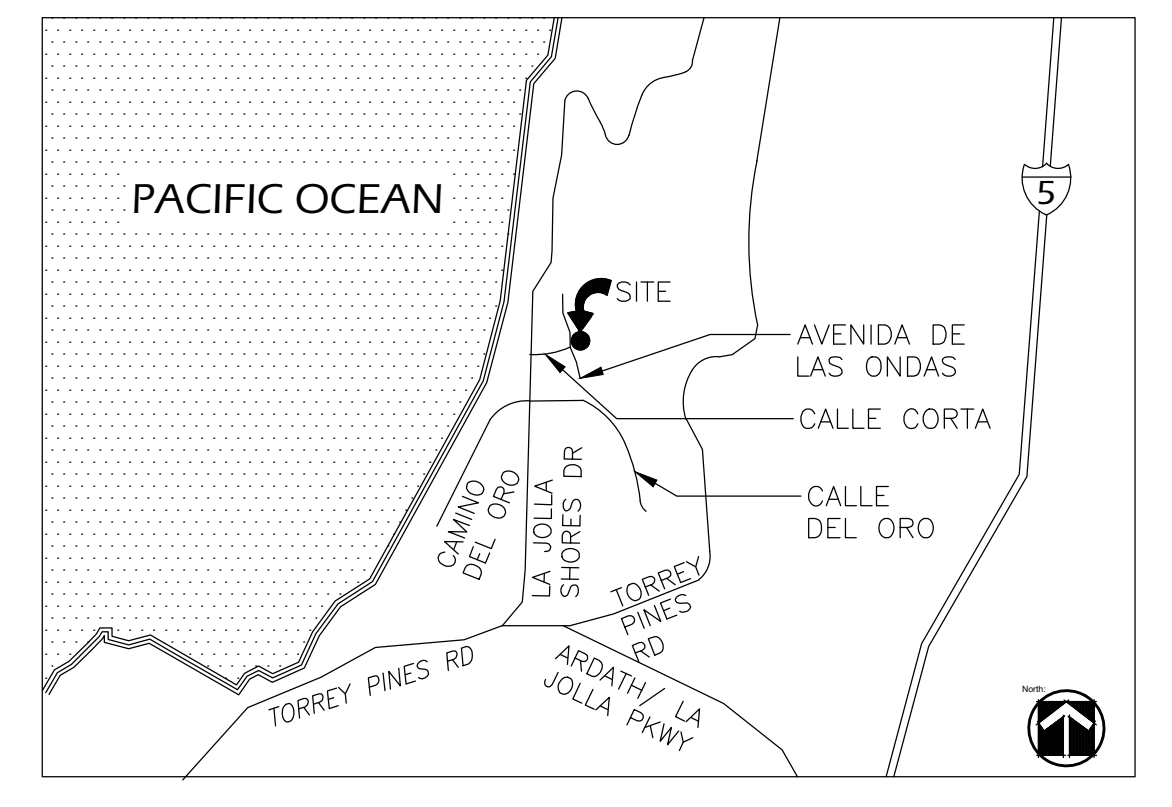
	City of San Diego Development Services 1222 First Ave. MS-302 San Diego, CA 92101 (619) 446-5000	Storm Water Requirements Applicability Checklist	FORM DS-560 October 2016
Project Address: 8501 AVENIDA DE LAS ONDAS, LA JOLLA CA 92037		Project Number (for City Use Only):	
SECTION 1: Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.			
For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.			
PART A: Determine Construction Phase Storm Water Requirements.			
1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)			
<input type="checkbox"/> Yes: SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No: next question			
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavating or any other activity resulting in ground disturbance and contact with storm water runoff?			
<input checked="" type="checkbox"/> Yes: WPCP required, skip 3-4 <input type="checkbox"/> No: next question			
3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)			
<input type="checkbox"/> Yes: WPCP required, skip 4 <input checked="" type="checkbox"/> No: next question			
4. Does the project only include the following Permit types listed below?			
<input type="checkbox"/> Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit, <input type="checkbox"/> Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service. <input type="checkbox"/> Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramps, sidewalk and driveway apron replacement, pot holding, curb and gutter replacement, and retaining wall encroachments.			
<input type="checkbox"/> Yes: no document required			
Check one of the boxes below, and continue to PART B:			
<input type="checkbox"/> If you checked "yes" for question 1, a SWPPP IS REQUIRED. Continue to PART B			
<input checked="" type="checkbox"/> If you checked "no" for question 1, and checked "yes" for question 2 or 3, a WPCP IS REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.			
<input type="checkbox"/> If you checked "no" for all questions 1,3, and checked "yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.			
1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml			
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (10/16)			

City of San Diego - Development Services - Storm Water Requirements Applicability Checklist Page 3 of 4	
PART D: PDP Exempt Requirements.	
PDP Exempt projects are required to implement site design and source control BMPs.	
If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt".	
If "no" was checked for all questions in Part D, continue to Part E.	
1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:	
<ul style="list-style-type: none"> • Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas; or • Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or; • Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? 	
<input type="checkbox"/> Yes: PDP exempt requirements apply <input checked="" type="checkbox"/> No: next question	
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?	
<input type="checkbox"/> Yes: PDP exempt requirements apply <input checked="" type="checkbox"/> No: project not exempt.	
PART E: Determine if Project is a Priority Development Project (PDP).	
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).	
If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".	
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".	
1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Page 2 of 4 City of San Diego - Development Services - Storm Water Requirements Applicability Checklist	
PART B: Determine Construction Site Priority	
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements to projects; rather, it determines the frequency of inspections that will be conducted by city staff.	
Complete PART B and continued to Section 2	
1. <input checked="" type="checkbox"/> ASBS	a. Projects located in the ASBS watershed.
2. <input type="checkbox"/> High Priority	a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
3. <input type="checkbox"/> Medium Priority	a. Projects 1 acre or more but not subject to an ASBS or high priority designation. b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
4. <input type="checkbox"/> Low Priority	a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.
SECTION 2. Permanent Storm Water BMP Requirements.	
Additional information for determining the requirements is found in the Storm Water Standards Manual.	
PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.	
If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".	
If "no" is checked for all of the numbers in Part C continue to Part D.	
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Page 4 of 4 City of San Diego - Development Services - Storm Water Requirements Applicability Checklist	
7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). Discharging directly to includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e., not commingled with flows from adjacent lands). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 9013, 5014, 5541, 7532-7534, or 7536-7539. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
PART F: Select the appropriate category based on the outcomes of PART C through PART E.	
1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS. <input type="checkbox"/>	
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. <input checked="" type="checkbox"/>	
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. <input type="checkbox"/>	
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management. <input type="checkbox"/>	
Michael Rein	Agent
Name of Owner or Agent. (Please Print)	Title
	05/16/2017
Signature	Date

VICINITY MAP N.T.S.



SHEET INDEX:

ARCHITECTURAL		
A0.0	COVER SHEET	01
A01.0	TITLE SHEET	02
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A01.1	EXISTING SITE PLAN	04
A01.2	PROPOSED SITE PLAN	05
A01.3	PHOTOGRAPHIC SURVEY	06
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A01.5	SITE SECTIONS	08
A02.1	EXISTING FLOOR PLAN	09
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A01.3	ROOF PLAN	12
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A05.1	BUILDING SECTIONS	15
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L.1	LANDSCAPE PLAN	17

Consultants

Scale:
As Shown

Drawn:
E. R.

Checked:
C. Wellman

Original Date
12/06/17 City residential

Revisions:

01	05/25/17
02	07/21/17
03	09/20/17
04	
05	
06	
07	

CAMPOS REMODEL
8501 AVENIDA DE LAS ONDAS
LA JOLLA CA. 92037

Sheet Title:
TITLE SHEET

A1.0
2 of 17

DESIGN AND PLANS REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, ALTA DESIGN & DEVELOPMENT. NONE OF SUCH DESIGN AND / OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF ALTA DESIGN & DEVELOPMENT.

LEGAL DESCRIPTION
LOT 26, LA JOLLA SHORES TERRACE MAP 2996, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, IN THE OFFICE OF THE COUNTY RECORDER, DATED MAY 29, 1953/1910.
APN: 346-132-11

SOURCE OF TOPOGRAPHY
AERIAL TOPOGRAPHY WITH SUPPLEMENTAL FIELD TOPO BY:
COFFEY ENGINEERING, INC.
9666 BUSINESS PARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
PHONE: (858) 831-0111, DATED 4/13/2017
JOHN S. COFFEY, LS 8733, EXP. 6/30/18

EASEMENTS
THIS PLAN CONTAINS EASEMENTS PER TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, DATED 11/22/2016, ORDER NO. 73716014472-PM

BENCHMARK
SE BRASS PLUG AT SOUTHERLY CORNER OF LA JOLLA SHORES DRIVE & CALLE CORTA
ELEV = 471.23 ; DATUM: NVD29; CITY OF SAN DIEGO BENCHMARK BOOK

BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS PLAN IS THE EASTERLY LINE OF THE WEST 40 ACRES OF PUEBLO LOT 1297, AS SHOWN ON MAP 2996, I.E. SB93423'E

SITE DATA:
LOT 26 = 20,005 SF (0.459 ACRES)

OWNER:
8501 ONDAS LLC
7660 FAY AVENUE, SUITE H229
LA JOLLA, CA 92037

PABLO CAMPOS, PARTNER DATE

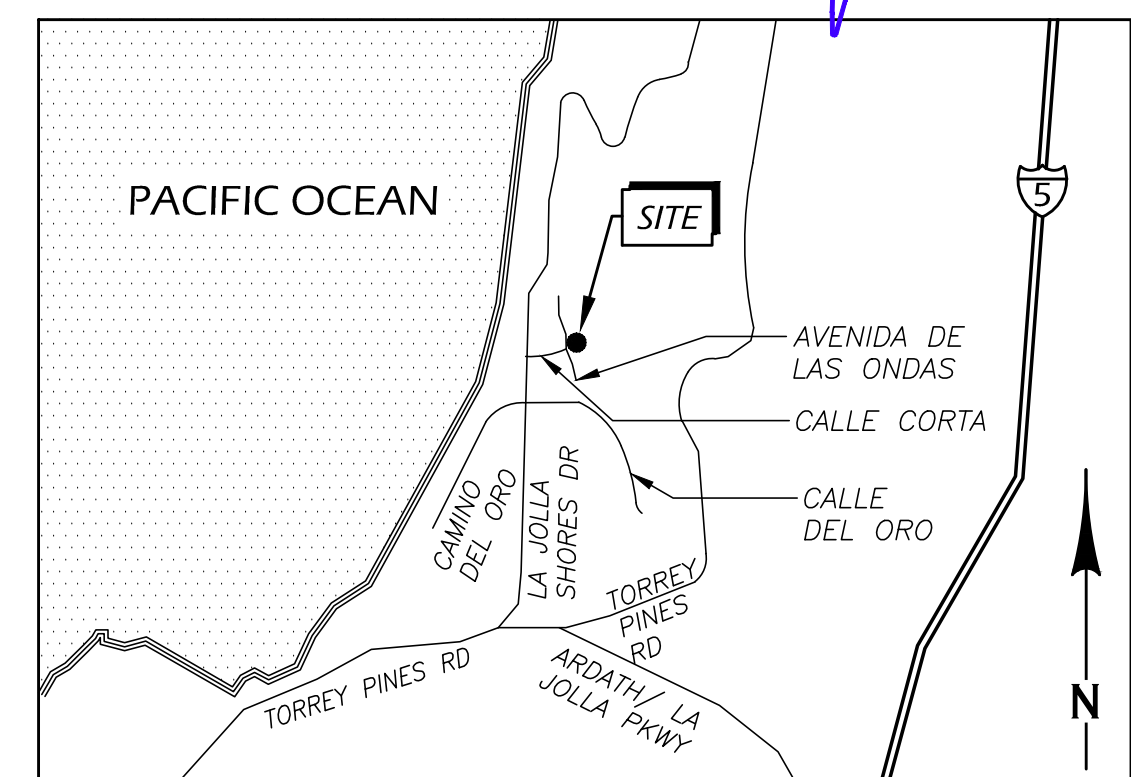
LEGEND

Table with columns: DESCRIPTION, STD. DWG, SYMBOL. Lists various symbols for property lines, contours, easements, sewer lines, water service, etc.

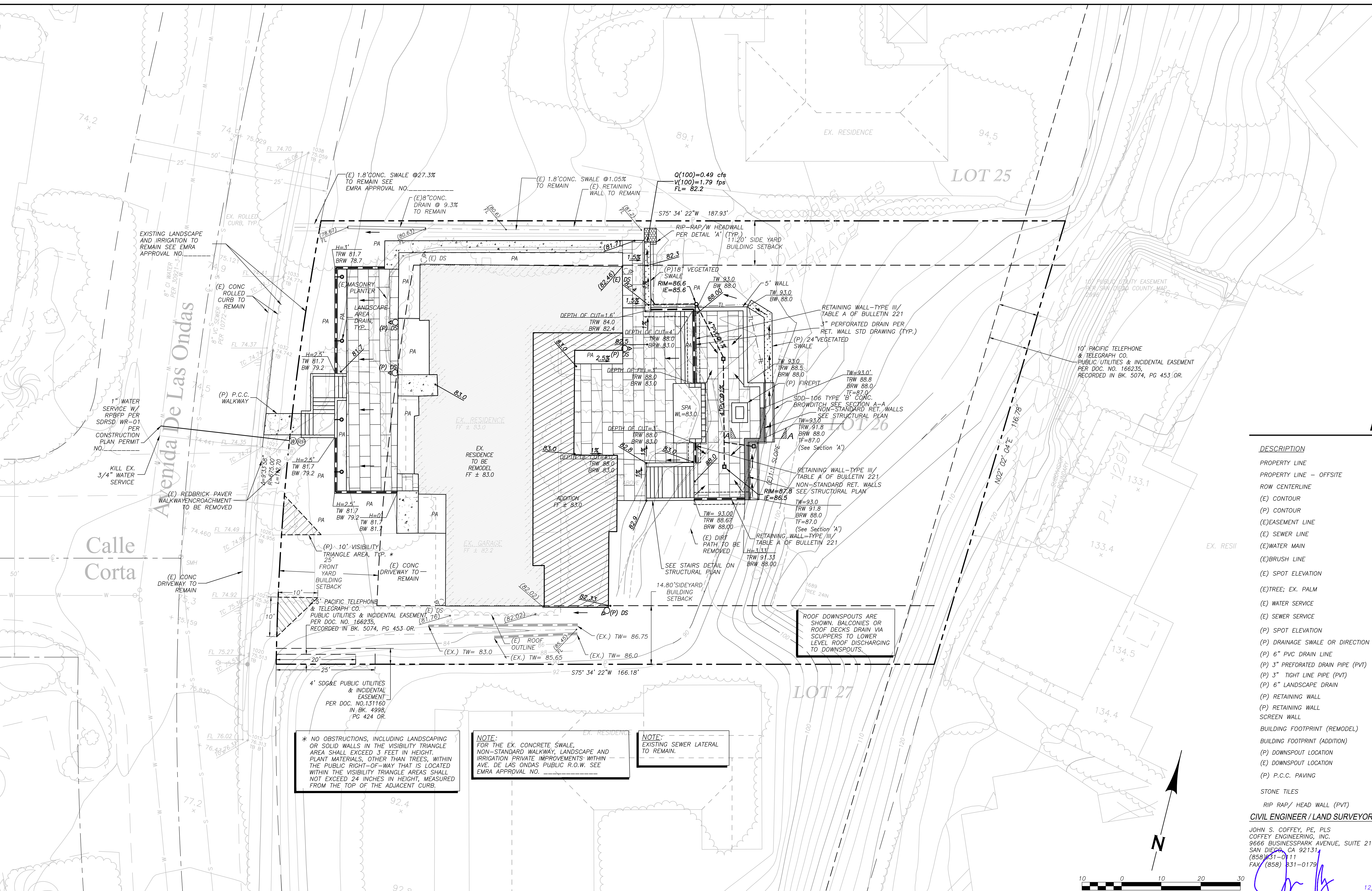
CIVIL ENGINEER / LAND SURVEYOR:
JOHN S. COFFEY, PE, PLS
COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
(858) 831-0111
FAX: (858) 831-0179
Signature and Date: 12/14/17



SCALE: 1"=10'



VICINITY MAP
THOMAS BROS. MAP 1227-H4
NO. SCALE

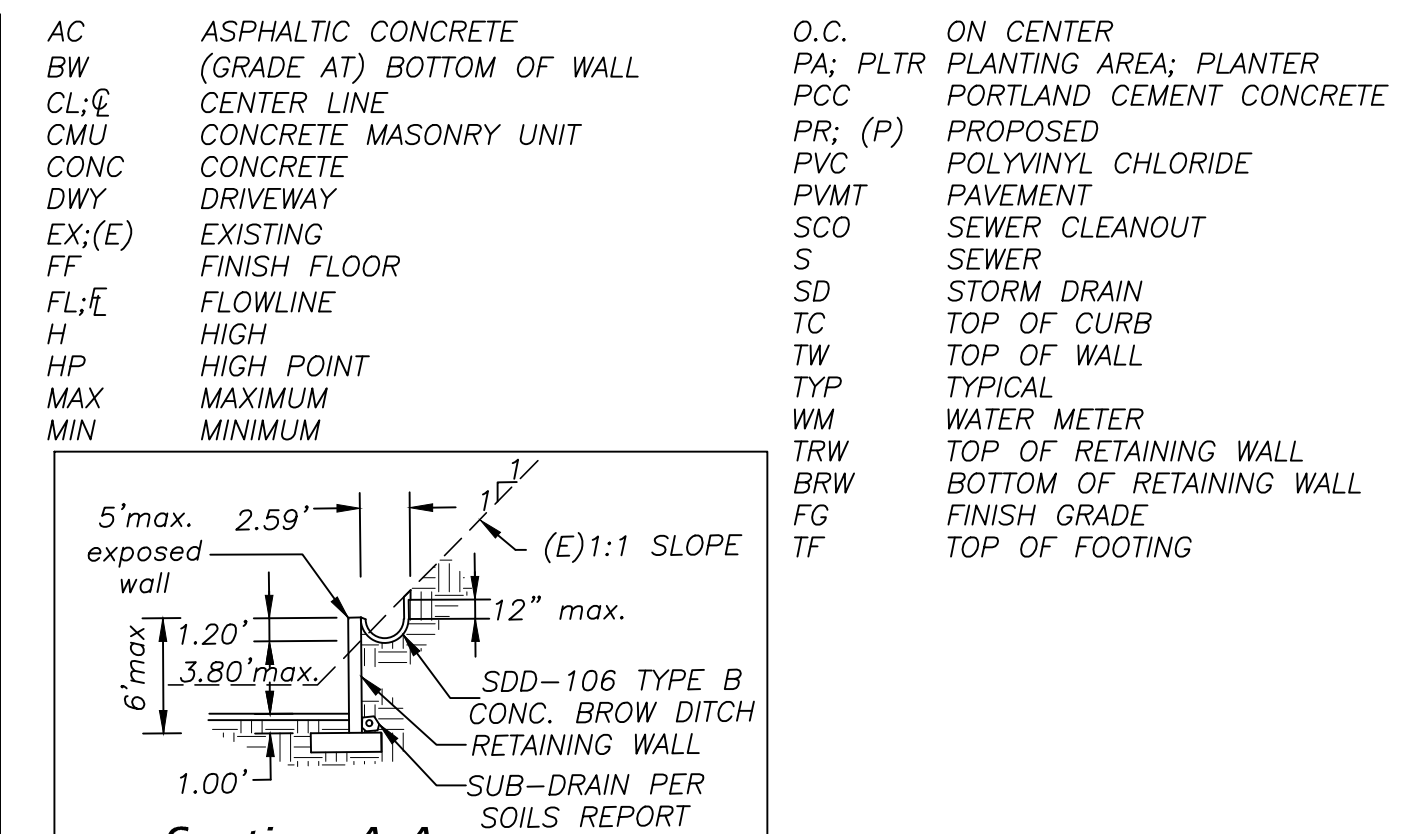
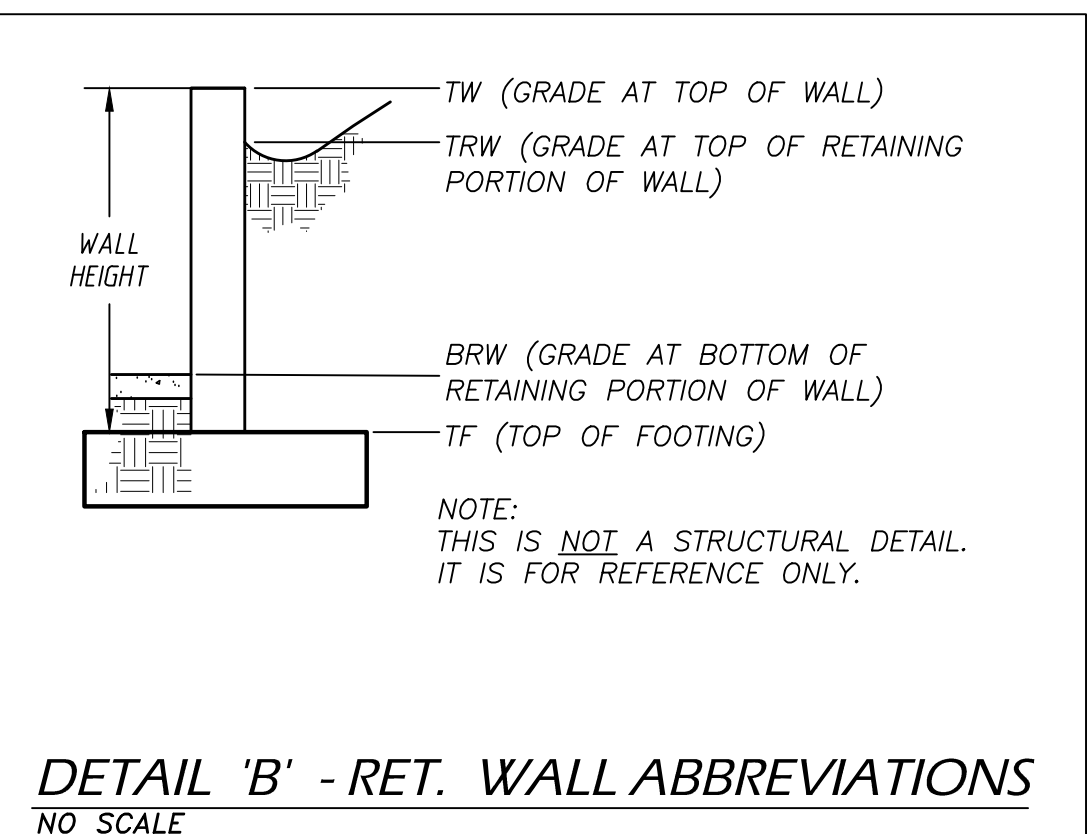
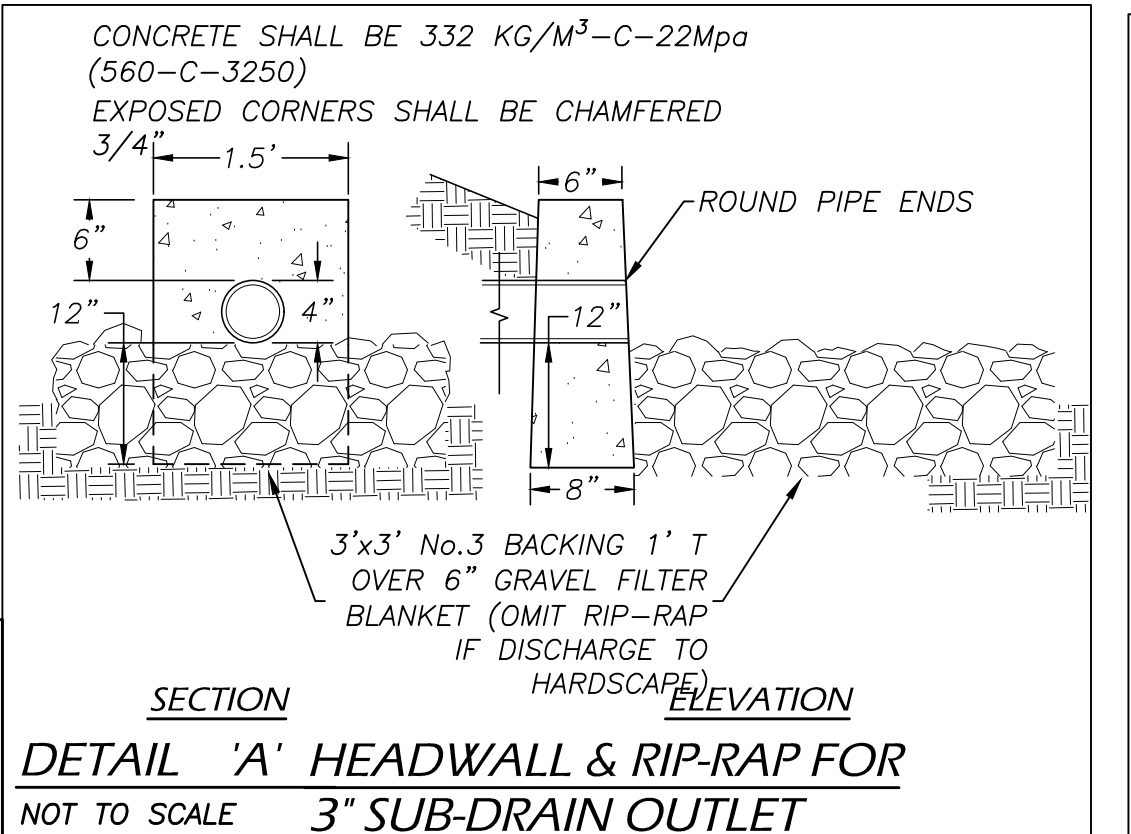


* NO OBSTRUCTIONS, INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY TRIANGLE AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIALS, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN THE VISIBILITY TRIANGLE AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

NOTE: FOR THE EX. CONCRETE SWALE, NON-STANDARD WALKWAY, LANDSCAPE AND IRRIGATION PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN THE VISIBILITY TRIANGLE AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

NOTE: EXISTING SEWER LATERAL TO REMAIN.

STORMWATER NOTES
1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION PERMIT ISSUANCE.
3. THIS PROJECT IS LOCATED WITHIN THE ABS WATERSHED. THE APPLICANT/PERMITEE WILL REQUIRE TO COMPLY WITH ALL THE ABS WATERSHED REQUIREMENTS ACCORDINGLY.
IMPERVIOUS AREAS
EXISTING IMPERVIOUS AREAS = 5,600 SQ FT
PROPOSED NEW/REPLACED IMPERVIOUS AREAS=4,600 SQ FT
TOTAL IMPERVIOUS AREA= 8,400 SQ FT
GRADING TABULATIONS
TOTAL AMOUNT OF SITE TO BE GRADED: 0.113 ACRES
AMOUNT OF CUT: 50 CUBIC YARDS
AMOUNT OF FILL: 50 CUBIC YARDS
MAXIMUM HEIGHT OF FILL SLOPE(S): N/A FEET
MAXIMUM HEIGHT OF CUT SLOPE(S): N/A FEET
AMOUNT OF IMPORT/EXPORT SOIL: N/A CUBIC YARDS
RETAINING/ GRAB-WALLS: LENGTH 254 FEET
MAXIMUM DEPTH OF CUT: 4.8 FEET
MAXIMUM DEPTH OF FILL: 3.5 FEET
SLOPE RATIO: N/A
SLOPE RATIO: N/A
MAXIMUM HEIGHT: 5.0 FEET

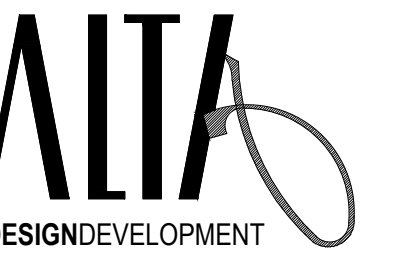


ABBREVIATIONS:

- AC ASPHALTIC CONCRETE
BW CENTER LINE
CL± CENTER LINE
CMU CONCRETE MASONRY UNIT
CONC CONCRETE
DRIVEWAY DRIVEWAY
EX(E) EXISTING
FF FINISH FLOOR
FL± FLOWLINE
H HIGH
HP HIGH POINT
MAX MAXIMUM
MIN MINIMUM
O.C. ON CENTER
PA PLTR PLANTING AREA: PLANTER
PCC PORTLAND CEMENT CONCRETE
PR: (P) PROPOSED
PVC POLYVINYL CHLORIDE
PVMT PAVEMENT
SCOW SEWER CLEANOUT
SD STORM DRAIN
TC TOP OF CURB
TW TOP OF WALL
TYP TYPICAL
WM WATER METER
TRW TOP OF RETAINING WALL
BRW BOTTOM OF RETAINING WALL
FG FINISH GRADE
TF TOP OF FOOTING

COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH: (858)831-0111 FAX: (858)831-0179

CITY OF SAN DIEGO, CALIFORNIA
COASTAL & SITE DEVELOPMENT PERMIT
ORIGINAL 12/08/17
CAMPOS RESIDENCE
8501 Avenida de las Ondas
La Jolla, CA 92037
GRADING & DRAINAGE PLAN
SHEET 1 OF 1



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"FOR INFORMATION ON EXISTING AND PROPOSED VEGETATION SEE SHEET L.1"

Scale:	As Shown
Drawn:	E. R.
Checked:	C. Wellman

Original Date	12/06/17	City residential
Revisions:	01	05/25/17
	02	07/21/17
	03	09/20/17
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CAMPOS REMODEL
8501 AVENIDA DE LAS ONDAS
LA JOLLA CA. 92037
Sheet Title:
EXISTING SITE PLAN

1 EXISTING SITE PLAN
SCALE: 1"=10'-0"



DISCLAIMER: SITE PLAN DIMENSIONS ARE APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSE ONLY

A01.1



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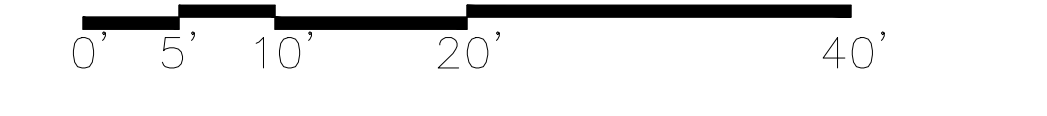
NOTE:
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

NOTE:
THE SITE IS NOT ADJACENT TO A TRANSIT STOP.

NOTE:
THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.

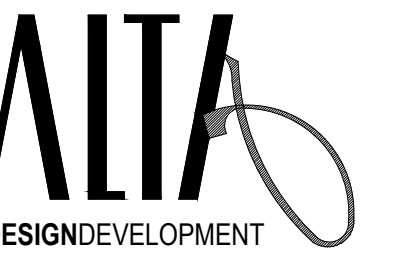
BUILDING AREA:	
EXISTING LIVING SPACE:	2,172.00 SQ. FT.
1ST LEVEL ADDITION:	852.00 SQ. FT.
2ND STORY ADDITION:	1,918.00 SQ. FT.
TOTAL LIVING SPACE:	4,942.00 SQ. FT.

1 PROPOSED SITE PLAN
SCALE: 1"=10'-0"



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Sheet Title:
PROPOSED SITE PLAN



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PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



EXISTING PROPERTY DESCRIPTION

2,172 SQ. FT. ONE STORY SINGLE RESIDENCE HOME AND 2 CAR ATTACHED GARAGE ON 0.45 ACRES LOT.

STRUCTURAL INFORMATION

- 1) ARCHITECTURAL STYLE: RANCH
- 2) EXTERIOR CONST.: WOOD FRAME, STUCCO AND BRICK VENEER
- 3) ROOF: WOOD FRAME/CONCRETE ROOF TILE
- 4) WINDOWS: VINYL
- 5) STORIES/LEVELS: 1 STORY
- 6) YEAR BUILT: 1955

LOT FEATURES

- 1) LOT SIZE (ACRES): 0.45
- 2) LOT SIZE (SQ. FT.): 19,602
- 3) TOPOGRAPHY: SLOPE GENTLE

INTERIOR FEATURES

- 1) NUMBER OF BEDROOMS: 4
- 2) NUMBER OF FULL BATH: 3
- 3) OTHER ROOMS: LIVING ROOM, KITCHEN, DINING ROOM AND LAUNDRY
- 4) NUMBER OF FIREPLACES: 1
- 5) OPEN-BEAM CEILING IN LIVING ROOM, DINING ROOM AND KITCHEN.

EXISTING PROPERTY ALTERATIONS

153 SQ. FT. ROOM ADDITION

ADDITION INFORMATION

- 1) LOCATION: EXTEND EXISTING BEDROOM-1
- 2) SQUARE FOOTAGE ADDED: 153 SQ. FT.
- 3) DIMENSIONS OF ADDITION: 17'-0" X 9'-0"
- 4) EXTERIOR CONST.: WOOD FRAME, STUCCO
- 5) ROOF: WOOD FRAME/CONCRETE ROOF TILE
- 6) WINDOWS: VINYL
- 7) STORIES/LEVELS: 1 STORY
- 8) YEAR BUILT: 1985

1 PHOTOGRAPHIC SURVEY
SCALE: 1"=10'-0"



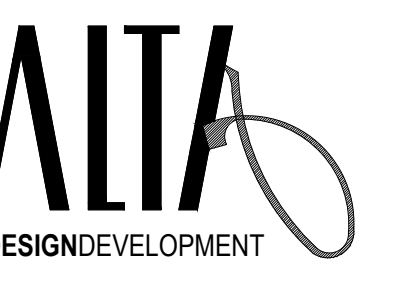
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PHOTOGRAPHIC SURVEY

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PHOTO 9



PHOTO 10



PHOTO 11



PHOTO 12



PHOTO 13



PHOTO 14



PHOTO 15



PHOTO 16



PHOTO 17



PHOTO 18



PHOTO 19

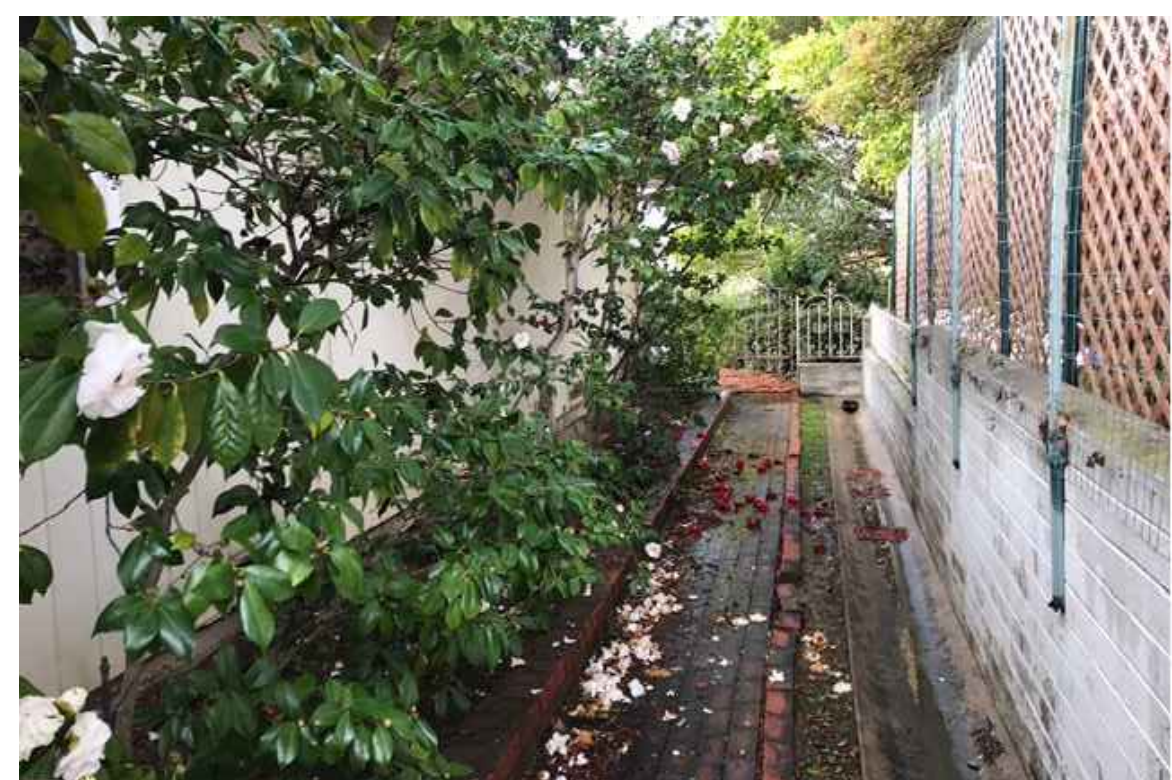


PHOTO 20



PHOTO 21



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PHOTO 23



PHOTO 24



PHOTO 25



PHOTO 26



PHOTO 27



PHOTO 28



PHOTO 29

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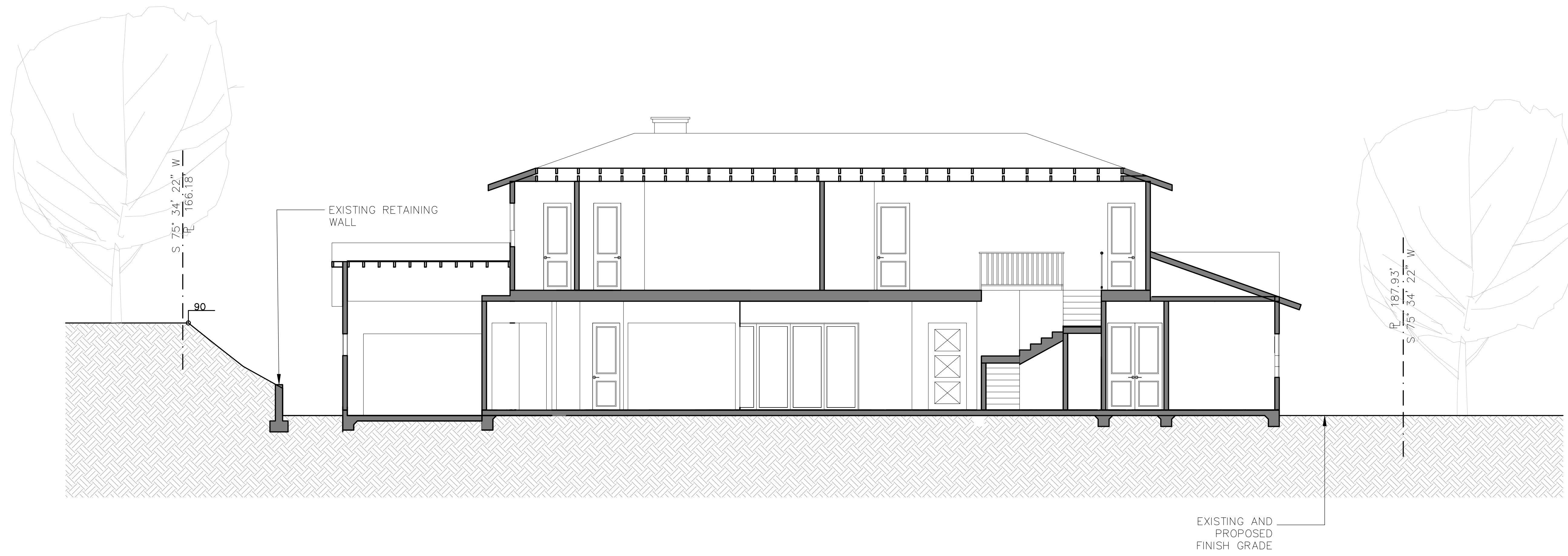
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Checked:
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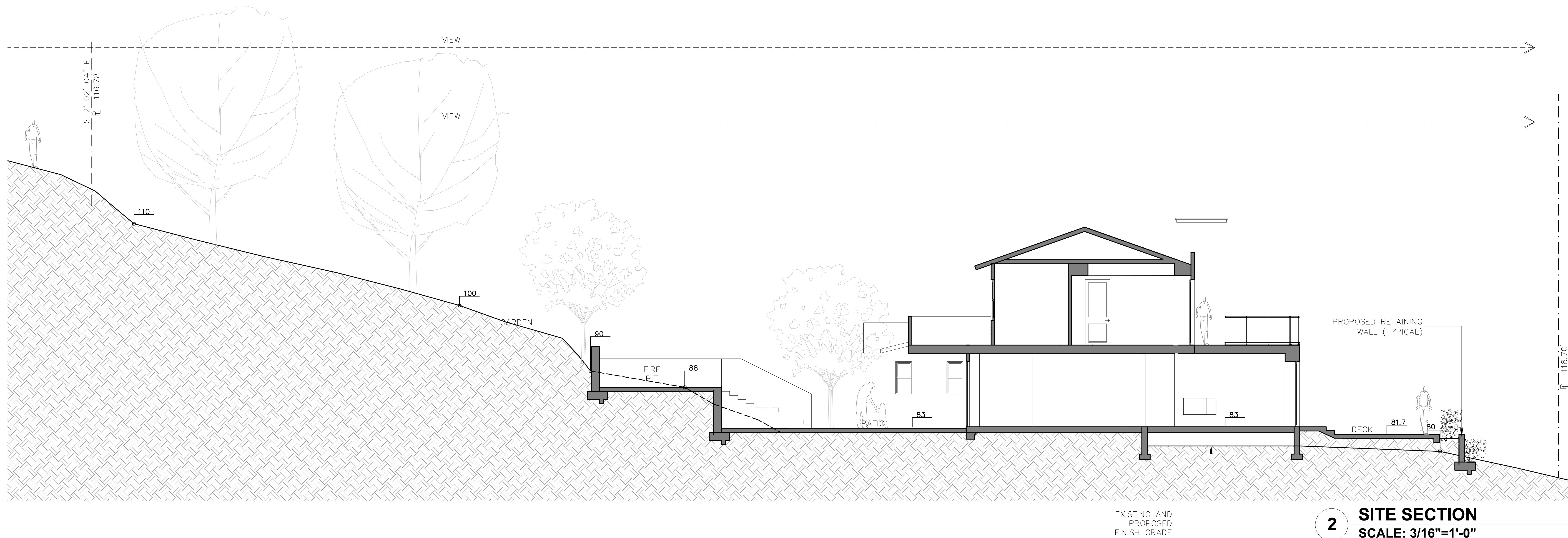
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CAMPOS REMODEL
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LA JOLLA CA. 92037
Sheet Title:
PHOTOGRAPHIC SURVEY



1 SITE SECTION
SCALE: 3/16"=1'-0"
0' 4' 8' 16' 32'



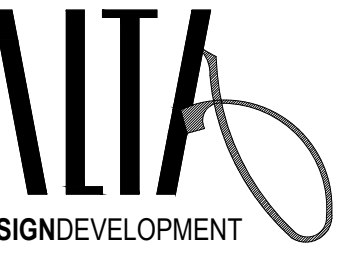
2 SITE SECTION
SCALE: 3/16"=1'-0"
0' 4' 8' 16' 32'

Scale:	As Shown
Drawn:	E. R.
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SITE SECTION

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LN. FOOTAGE SUMMARY

TOTAL (EX) EXTERIOR WALL	292.36 Ln. Ft.	100%
EXISTING EXTERIOR WALL TO REMAIN	197.03 Ln. Ft.	67.39%
EXISTING EXTERIOR WALL TO BE REMOVED + EXISTING EXTERIOR WALL BECOMES INTERIOR WALL	95.33 Ln. Ft.	32.61%

LEGEND

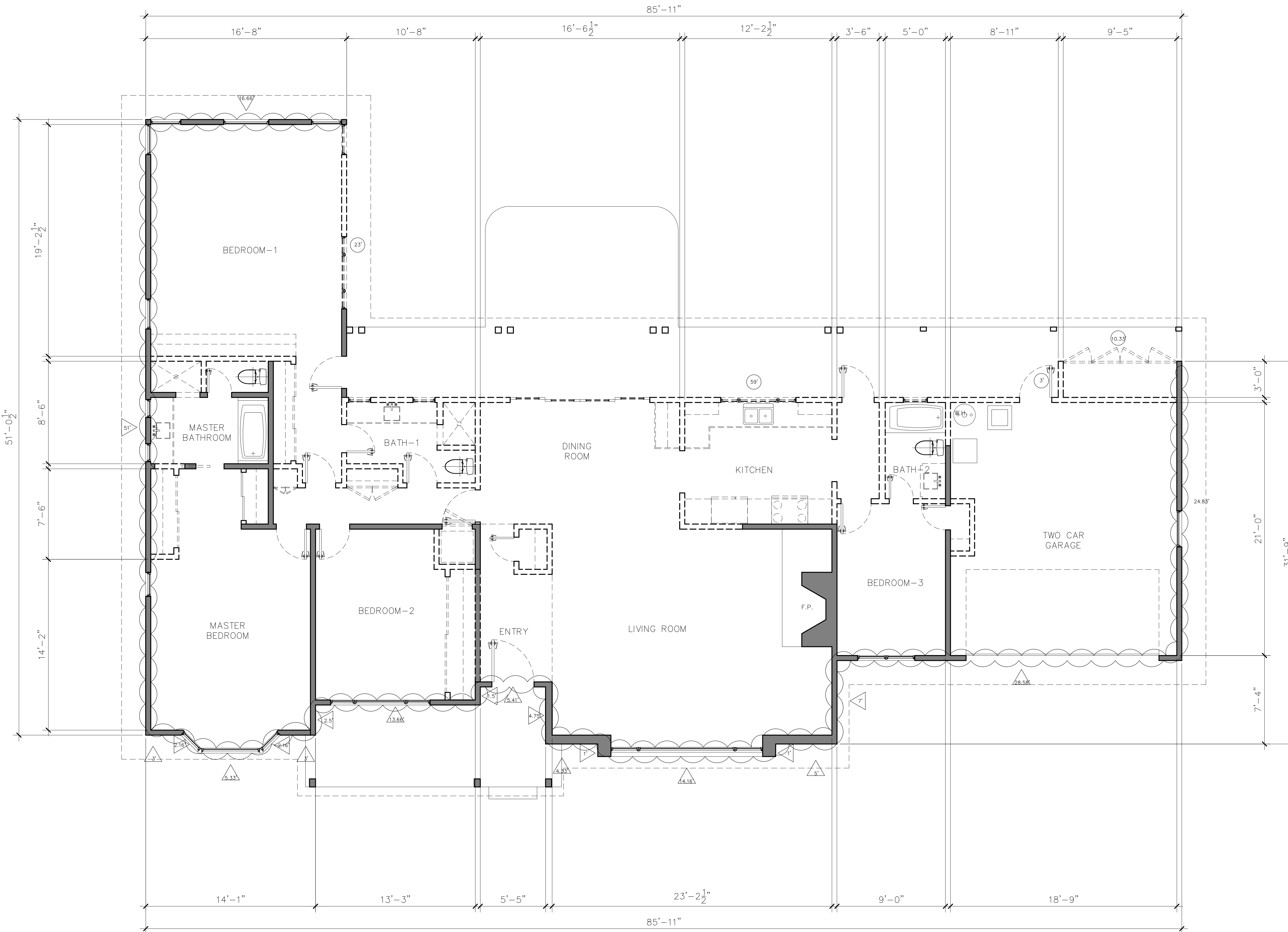
5.5' DIMENSION (EXISTING WALL TO BE REMOVED)

5.8' DIMENSION (EXISTING WALL TO REMAIN)

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

EXTERIOR WALL MATRIX	
EXISTING WALL TO BE REMOVED	EXISTING WALL TO REMAIN
2.1'	5.41'
5.0'	1.5'
3'	3.166'
10.33'	2.5'
	3'
	2.16'
	5.33'
	2.16'
	3'
	5.1'
	15.501'
	24.83'
	28.24'
	7'
	3'
	1'
	4.16'
	1'
	4.33'
	4.28'
95.33'	197.03'



1 EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



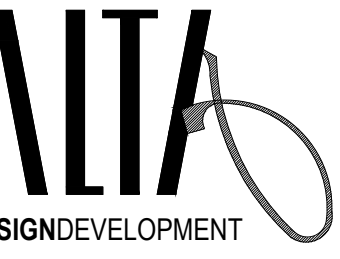
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EXISTING FLOOR PLAN

A02.1

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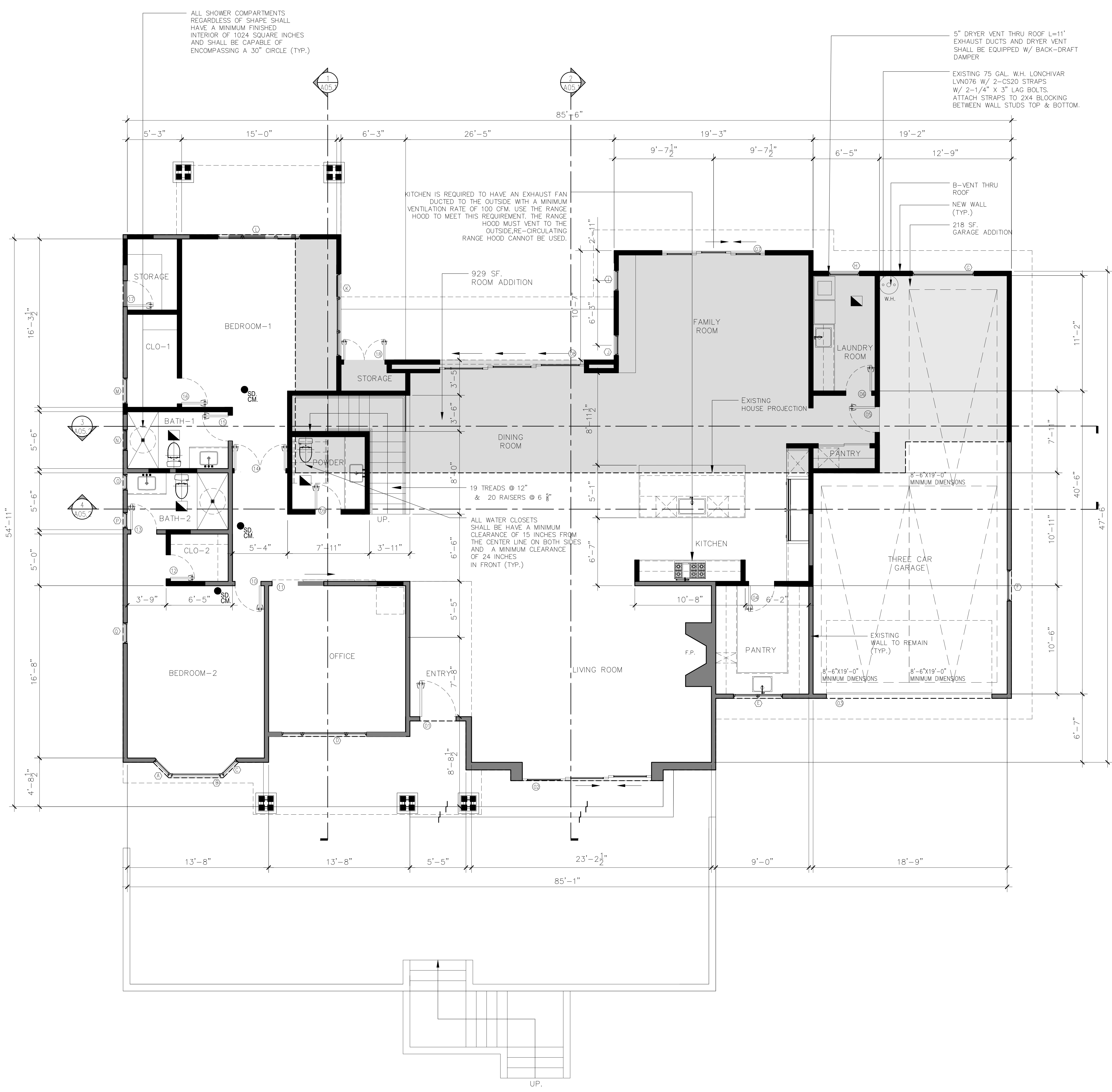
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FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TO BE FACE OF STUD, U.N.O.
- PROVIDE A MIN. 18" HIGH PLATFORM (FROM SOURCE OF IGNITION) FOR WATER HEATER AND/OR HEATING OR COOLING EQUIPMENT CAPABLE OF IGNITING FLAMMABLE VAPORS. (UPC 510.1)
- PROVIDE P&T VALVE, ROUTE DISCHARGE LINE TO EXTERIOR (UPC Sec. 1007.6)
- FIREPLACES WITH GAS LOG LIGHTERS REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH L.P. LOG LIGHTERS ARE TO HAVE NO "FIT" OR SUMP CONFIGURATIONS. (UMC Sec. 901.1 and Sec. 304.6)
- PROVIDE PERMANENTLY WIRED SMOKE AND CARBON MONOXIDE DETECTORS WITH BATTERY AS SHOWN.
- IN NEW CONSTRUCTION, REQUIRED SMOKE AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED W/ A BATTERY BACK-UP. SMOKE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION (Sec. 907.2.10.2)
- WHERE MORE THAN ONE SMOKE AND CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED (Sec. 907.2.10.3)
- SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 6'-0" WITH SMOOTH, HARD, NON-ABSORBENT SURFACE.
- PROVIDE EXHAUST FAN CAPABLE OF 5 AIR CHANGES PER HOUR MINIMUM IN AN INTERIOR BATHROOM, VANITY OR LAUNDRY ROOM. VENTED DIRECTLY TO THE EXTERIOR (UBC SEC. 1205A) RESIDENTIAL BATHROOMS EXHAUST FANS SHALL BE ENERGY STAR RATED, AND SHALL BE CONTROL BY HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50 % HUMIDITY.CAL.GREEN 4.506.1
- PROVIDE EGRESS WINDOWS PER (UBC SEC. 310.4)
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2013 CGBCS.
- ALL NEW GLAZING (FENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
- ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR WALL OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- EXTERIOR WALLS OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED WITH MATERIALS APPROVED FOR A MIN. OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE OR CONSTRUCTED WITH NON-COMBUSTIBLE MATERIALS. CALL OUT 7/8" STUCCO THICKNESS ON DETAILS. EXCEPTION: WOOD EXTERIOR WALL COVERING OF AT LEAST 3/8" PLYWOOD OR 3/4" DROP SIDING WITH AN UNDERLAYMENT OF 1/2" FIRE-RATED GYPSUM SHEATHING, THAT IS TIGHTLY BUTTED OR TAPED AND MUDDED (SDMC Sec. 145.0504)
- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE A112.19.2.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- PER 2013 CGBCS SEC. 4.303.2 PLUMBING FIXTURES WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GPM @ 60 PSI. LAVATORY FAUCET SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.
- PROVIDE SHOWERS HEADS WITH A MAXIMUM FLOW OF 2.0 GPM @ 80 PSI WHEN SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS. THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLET CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @80 PSI OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD OUTLET TO BE OPERATION AT A TIME.NHANDHELDSHOWERS ARE CONSIDERED SHOWERHEAD CCC 4.303.1.3.2
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GPM @ 60 PSI
- PROVIDE METERING FAUCETS WITH A MAXIMUM FLOW OF 0.25 GALLONS PER CYCLE
- EXTERIOR BUILDING WALL COVERING OF BUILDING WALL TO WHICH THE DECK IS ATTACHED AND WITHIN 10' OF THE DECK SHALL NOT BE REQUIRED TO COMPLY WITH SUBSECTION 2(b) IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS B FLAME SPREAD 90BC Sec. 704A.4.1)
- THE USE OF PAINTS, COATING, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION AS REQUIRED IN THE CHAPTER. 90BC Sec. 704A.4.1)
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDA
- ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3" FROM PROPERTY LINE AND 3' FROM OPENING IN THE BUILDING.
- PER 2013 GREEN CODE SEC. 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE.WOOD STOVES, PALLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCE.

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL



1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

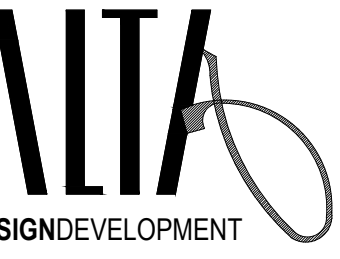


EXISTING HOUSE	2,172 SF.
ADDITION	929 SF.
TOTAL	3,101 SF.

Original Date	Revisions:
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	02 07/21/17
	03 09/20/17
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PROPOSED FLOOR PLAN

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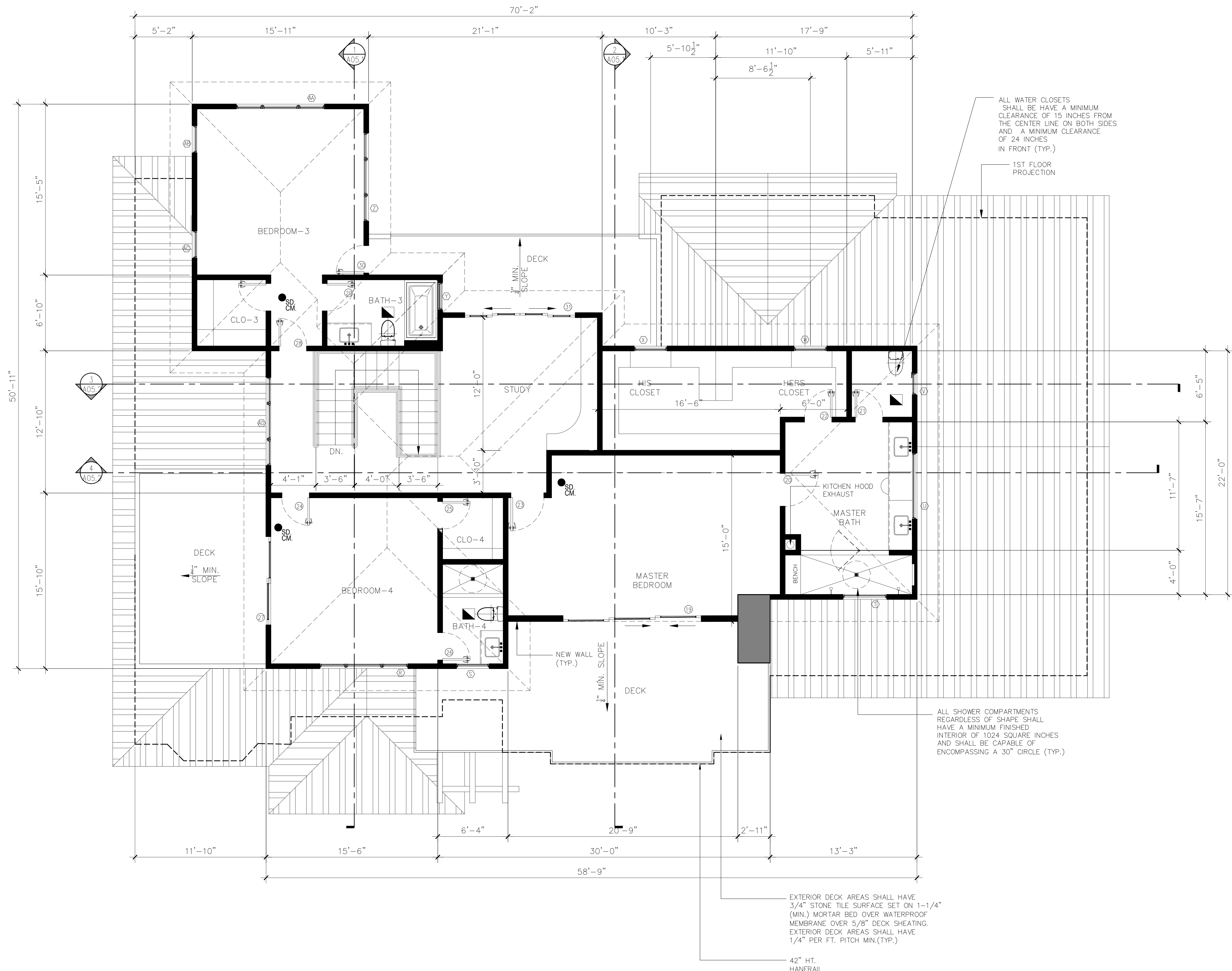
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FLOOR PLAN NOTES:

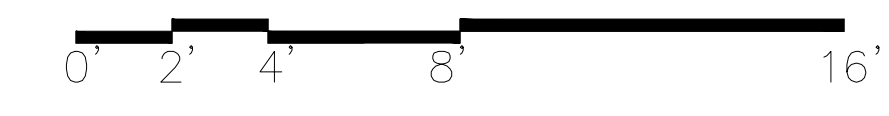
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- PROVIDE P&T VALVE, ROUTE DISCHARGE LINE TO EXTERIOR (UPC Sec. 1007.4)
- FIREPLACES WITH GAS LOG LIGHTERS REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH L.P. LOG LIGHTERS ARE TO HAVE NO "PI" OR SUMP CONFIGURATIONS. (UMC Sec. 901.1 and Sec. 304.6)
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- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2013 CGBSC.
- ALL NEW GLAZING (FENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
- ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR WALL OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- EXTERIOR WALLS OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED WITH MATERIALS APPROVED FOR A MIN. OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE OR CONSTRUCTED WITH APPROVED NON-COMBUSTIBLE MATERIALS. CALL OUT 7/8" STUCCO THICKNESS ON DETAILS. EXCEPTION: WOOD EXTERIOR WALL COVERING OF AT LEAST 3/8" PLYWOOD OR 3/4" DROP SIDING WITH AN UNDERLAYMENT OF 1/2" FIRE-RATED GYPSUM SHEATHING, THAT IS TIGHTLY BUTTED OR TAPED AND MUDDED (SDMC Sec. 145.0504)
- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE A112.19.2.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- PER 2013 CGBSC SEC. 4.303.2 PLUMBING FIXTURES WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GPM @ 60 PSI. LAVATORY FAUCET SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GPM @ 80 PSI WHEN SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLET CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @80 PSI OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD OUTLET TO BE OPERATION AT A TIME.NHANDHELDSHOWERS ARE CONSIDERED SHOWERHEAD CGC 4.303.1.3.2
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GPM @ 60 PSI
- PROVIDE METERING FAUCETS WITH A MAXIMUM FLOW OF 0.25 GALLONS PER CYCLE
- EXTERIOR BUILDING WALL COVERING OF BUILDING WALL TO WHICH THE DECK IS ATTACHED AND WITHIN 10' OF THE DECK SHALL NOT BE REQUIRED TO COMPLY WITH SUBSECTION 2(b) IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS B FLAME SPREAD 9CBC Sec. 704A.4.1)
- THE USE OF PAINTS, COATING, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION AS REQUIRED IN THE CHAPTER. 9CBC Sec. 704A.4.1)
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDA
- ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3" FROM PROPERTY LINE AND 3' FROM OPENING IN TO THE BUILDING.
- PER 2013 GREEN CODE SEC. 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCE.

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL



1 PROPOSED 2nd FLOOR PLAN
SCALE: 1/4"=1'-0"



TOTAL 2ND FLOOR 1,961 SF.

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8501 AVENIDA DE LAS ONDAS
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Sheet Title: PROPOSED 2nd FLOOR PLAN

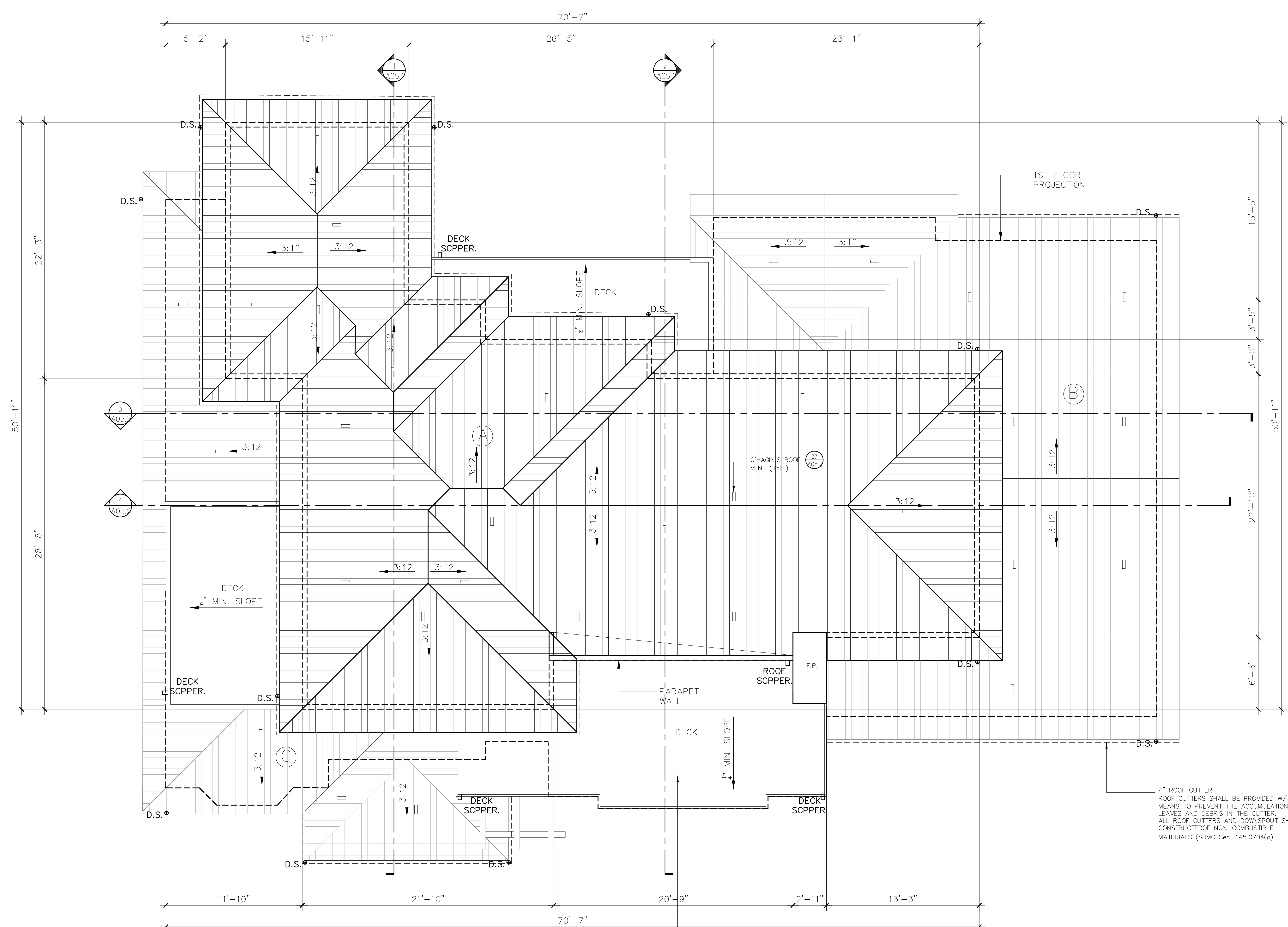
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11 of 17

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ROOF PLAN NOTES:

1. ROOF PENETRATIONS (VENTS, STACKS, ETC.) SHALL BE GROUPED AND OR CLUSTERED WHERE POSSIBLE. LOCATE PENETRATIONS ON NORTH AND SOUTH FACING ROOF SURFACES WHERE POSSIBLE.
2. FLASHING SHALL BE PER SPECIFICATIONS.
3. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11333 NS)
4. APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS. UBC, SECTION 3102.3.8.
5. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUT SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (CRC R327.5.4)
6. VENTILATIONS OPENINGS LOCATED IN EXTERIOR WALLS OF BUILDING PROVIDING VENTILATION TO UNDERFLOOR AND ATTIC SPACES, SHALL COMPLY WITH SECTION 704A.2 AND SDMC Sec. 145.0706.
7. ALL VENTILATION OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH. MESH OPENINGS SHALL BE 1/2" (SDMC Sec. 145.0706(a))
8. VENTILATION OPENING ON STRUCTURES LOCATED IMMEDIATELY ADJACENT TO BRUSH MANAGEMENT ZONE 1 SHALL NOT BE DIRECTED TOWARD HAZARDOUS AREAS OF NATIVE OR NATURALIZED VEGETATION. (SDMC Sec. 145.0706 (a))
9. ATTIC VENTILATION OPENINGS SHALL NOT BE LOCATED IN SOFFITS, IN EAVES OVERHANGS, BETWEEN RAFTERS AT EAVES, OR IN OTHER OVERHANG AREA (SDMC Sec. 145.0504.)
10. ROOF VENTS, DORMER VENTS, GABLE VENTS, FOUNDATION VENTILATION OPENINGS, VENTILATION OPENINGS IN VERTICAL WALLS OR OTHER SIMILAR VENTILATION OPENINGS SHALL BE LOUVERED AND COVERED WITH 1/2" NON-COMBUSTIBLE, CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
11. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/2" OPENINGS OR ITS EQUIVALENT (CBC Sec. 704A.2.1)
12. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES UNLESS LISTED EAVE AND CORNICE VENTS THAT ARE TESTED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE (CBC Sec. 704A.2.2)
13. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE. PROVIDE A BASIS OF APPROVAL FOR EXPOSED EAVES CONSTRUCTION OR PROTECT EAVES WITH LISTED IGNITION RESISTANT MATERIALS OR NONCOMBUSTIBLE COVERING (CBC Sec. 704A.2.3)
14. UNLESS OTHERWISE PROHIBITED BY OTHER PROVISIONS OF THIS CODE, VENT OPENINGS IN EXTERIOR WALLS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE OR VENTS SHALL BE SCREENED WITH A CORROSION-RESISTANT NONCOMBUSTIBLE WIRE MESH WITH 1/2" OPENINGS OR ITS EQUIVALENT (CBC Sec. 704A.3.2.1)
15. UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA/CSA 101/S.S.2/A440 (Sec. R308.6.9)
16. WHEN DRIP EDGE FLASHING IS USED AT THE FREE EDGES OF ROOFING MATERIALS, IT SHALL BE NON-COMBUSTIBLE. (SDMC Sec. 145.0704 b)
17. VALLEY FLASHING SHALL BE NOT LESS THAN 0.19 INCHES (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF No. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY.
18. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACES, STOVE, BARBECUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR (CRC R327.11)
19. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY; THEY SHALL NOT FREE SPIN IN BOTH DIRECTIONS. (SDMC Sec. 145.0706(a))
20. VENTILATION OPENINGS PROTECTED WITH VENT OPENINGS THAT RESISTS THE INTRUSION OF FLAME AND EMBERS, AND WHICH ARE LISTED BY THE STATE FIRE MARSHALL, ARE EXEMPT FROM COMPLYING WITH SUB-SECTIONS 1 AND 3 OF SECTION 145.0706(B).
21. VENTILATION OPENINGS FOR ENCLOSURE ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS AND UNDERFLOOR VENTILATION SHALL BE IN ACCORDANCE WITH CBC Sec. 1203 (CRC R408.2.R808) AND Sec. 7061.1 THROUGH 706A.3 (CRC R327.6.2 THROUGH R327.6.3) TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENING (CBC 706A.1/R327.6.1)
22. THE ATTIC SPACE BEING VENTILATED WITH VENTILATION OPENING LOCATED IN EAVES OR CORNICES AND THAT ARE PROTECTED WITH WIRE MESH PER CBC Sec. 706A.2/CRC R327.6.2 SHALL BE FULLY PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH Sec. 903.3.1.1 OF THE CBC
23. VENT OPENINGS IN EAVES AND CORNICES THAT ARE ONLY PROTECTED WITH WIRE MESH COMPLYING WITH CBC Sec. 706A.2/CRC R327.6.2 SHALL BE LOCATED MORE THAN 12" FROM THE GROUND OR WALKING SURFACE OF DECK/PORCH/PATIO OR SIMILAR SURFACE AND SHOW NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL FOR EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE IN THE WALL AND EAVE PENETRATED BY THE VENT.
24. WHEN ENCLOSED ROOF EAVES ARE COVERED WITH 5/8" TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR WEATHER RESISTIVE COVERING NO ADDITIONAL PROTECTION IS REQUIRED. EXPOSED FACIA BOARDS DO NOT REQUIRE PROTECTION (CBC 707A.5/CRC R327.7.5 #3)



EXTERIOR DECK AREAS SHALL HAVE 3/4" STONE TILE SURFACE SET ON 1-1/4" (MIN.) MORTAR BED OVER WATERPROOF MEMBRANE OVER 5/8" DECK SHEATING. EXTERIOR DECK AREAS SHALL HAVE 1/4" PER FT. PITCH MIN.(TYP.)

4" ROOF GUTTER
ROOF GUTTERS SHALL BE PROVIDED W/ THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUT SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (SDMC Sec. 145.0704(c))

ROOF VENTILATION

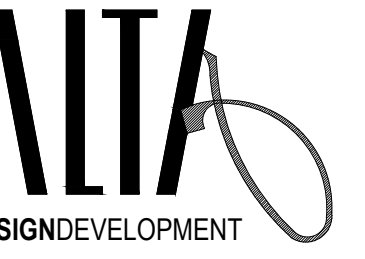
AREA	AREA TO BE VENTILATED
A	2394 S.F.
B	1271 S.F.
C	635 S.F.
REQUIRED VENTILATION at 1:150 (50% of the required ventilation, minimum, is to be provided at least 3 ft. above eave vents)	
AREA	REQUIRED VENTILATION
A	15.96
B	8.47
C	4.23
NET FREE VENTILATION PROVIDED BY:	
a) EAVE VENTS	
A	0.00 S.F.
B	0.00 S.F.
b) ROOF VENTS (O'HAGIN'S VENTS) .98 SF.	
A	17 at 0.98 s.f. each 16.66
B	9 at 0.98 s.f. each 8.82
C	5 at 0.98 s.f. each 4.90
TOTAL NET FREE VENTILATION PROVIDED:	
A+B+C	30.38

Consultants

Scale:
As Shown
Drawn:
E. R.
Checked:
C. Wellman

Original Date
12/06/17
Revisions:
01 05/25/17
02 07/21/17
03 09/20/17
04
05
06
07

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Sheet Title:
PROPOSED ROOF PLAN



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San Diego, California 92121
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1 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"

0' 2' 4' 8' 16'
NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)



2 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

0' 2' 4' 8' 16'
NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)

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EXTERIOR ELEVATIONS

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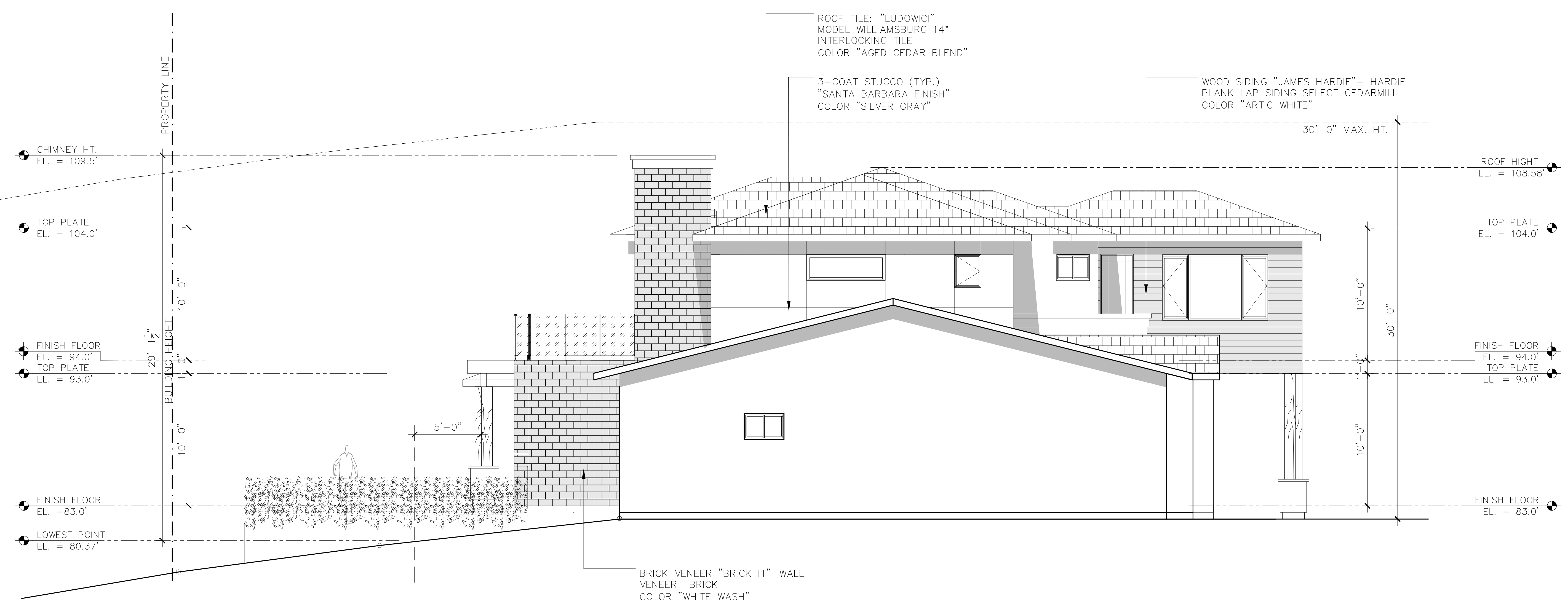
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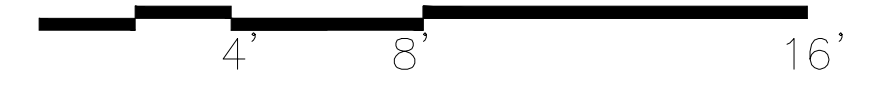
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LA JOLLA CA. 92037
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EXTERIOR ELEVATIONS

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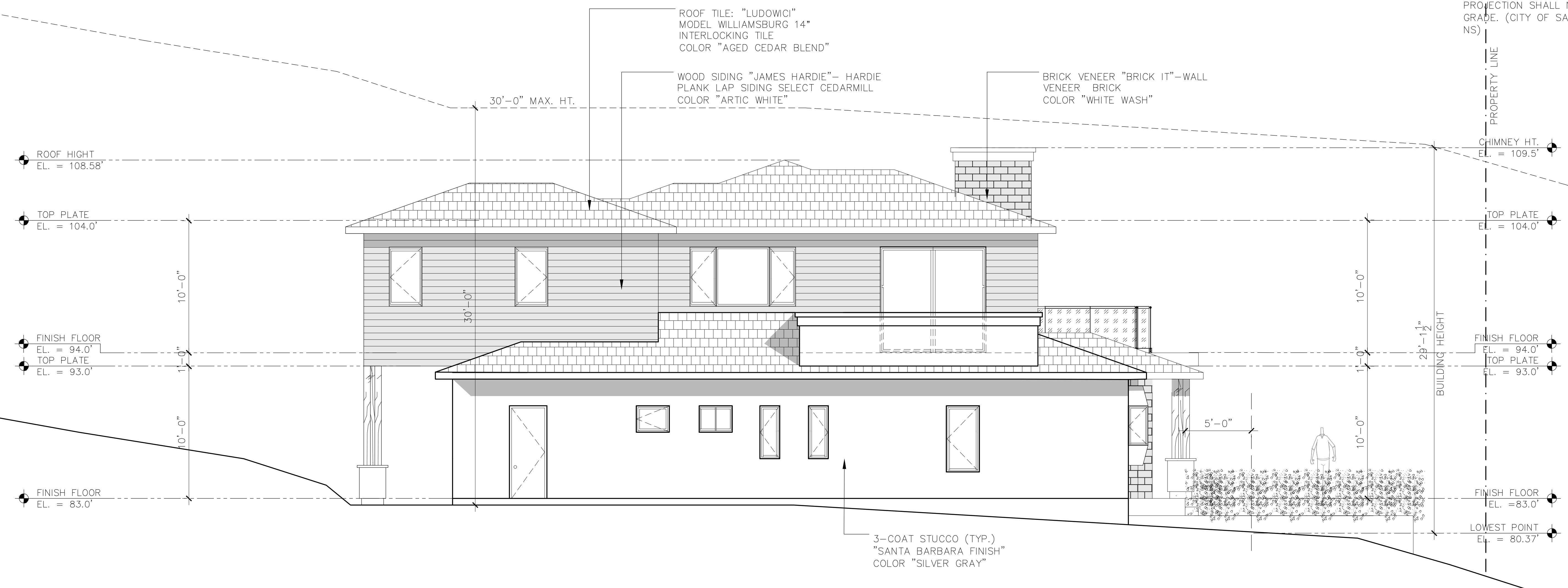
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1 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



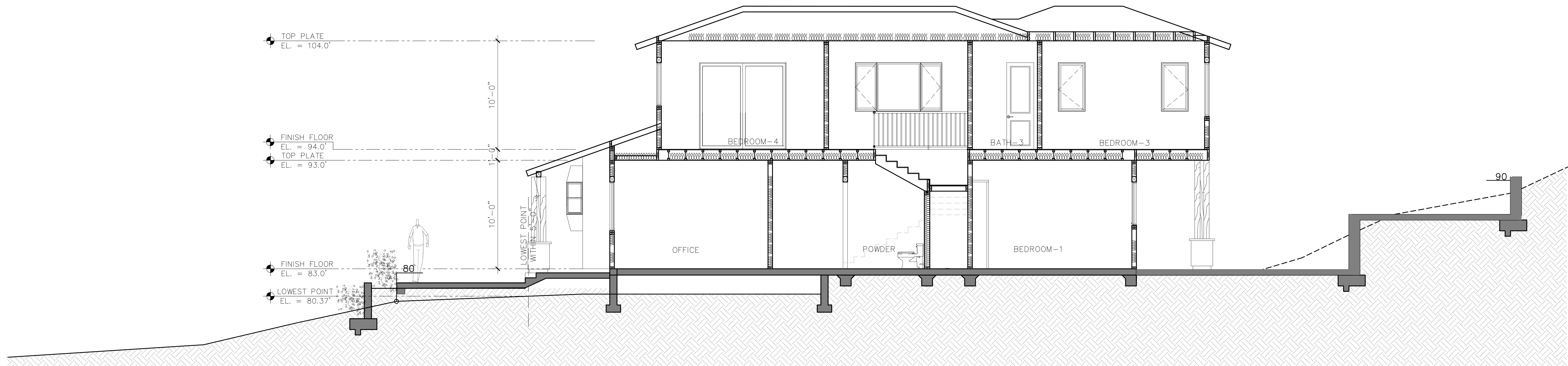
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2 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



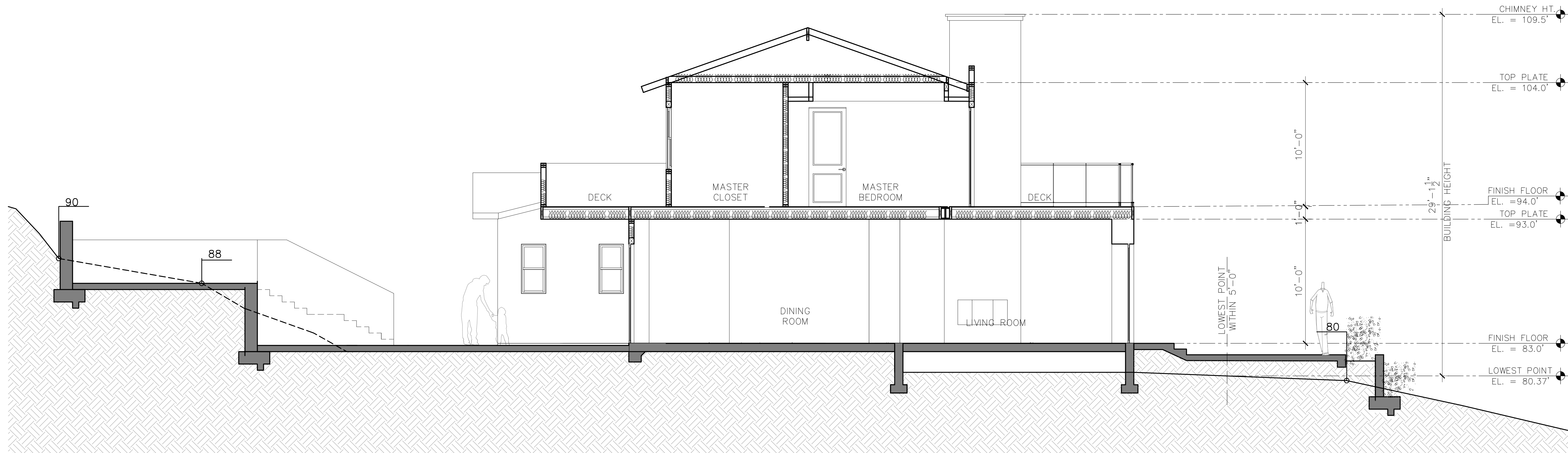
NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)



1 BUILDING SECTION
SCALE: 1/4"=1'-0"



NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)



2 BUILDING SECTION
SCALE: 1/4"=1'-0"



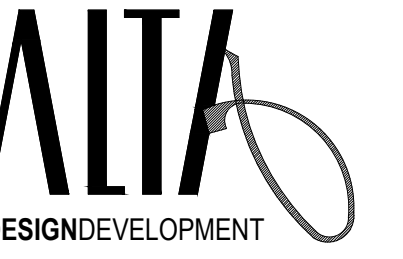
NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)

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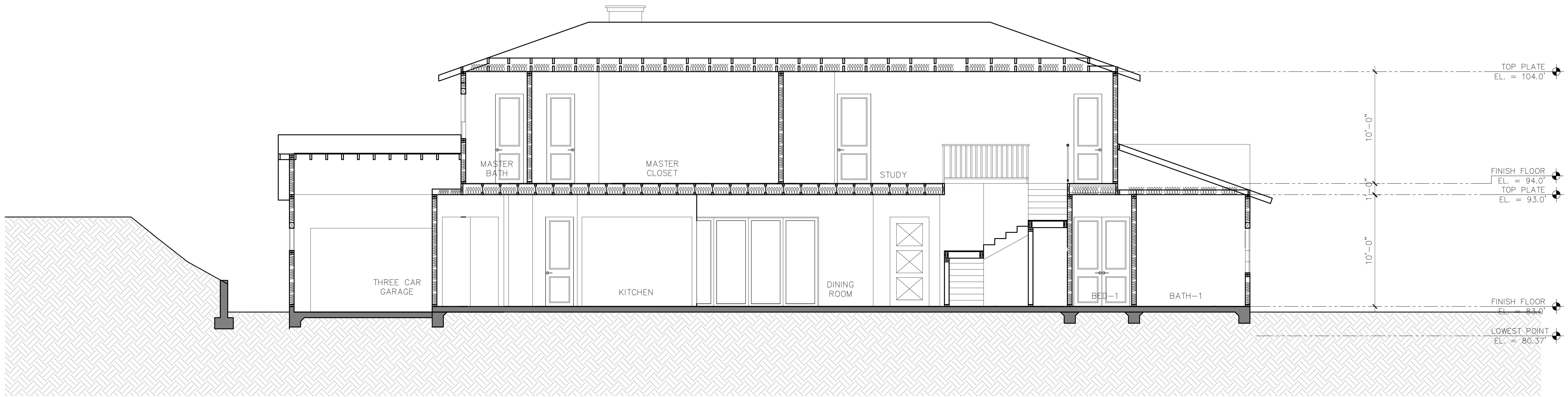
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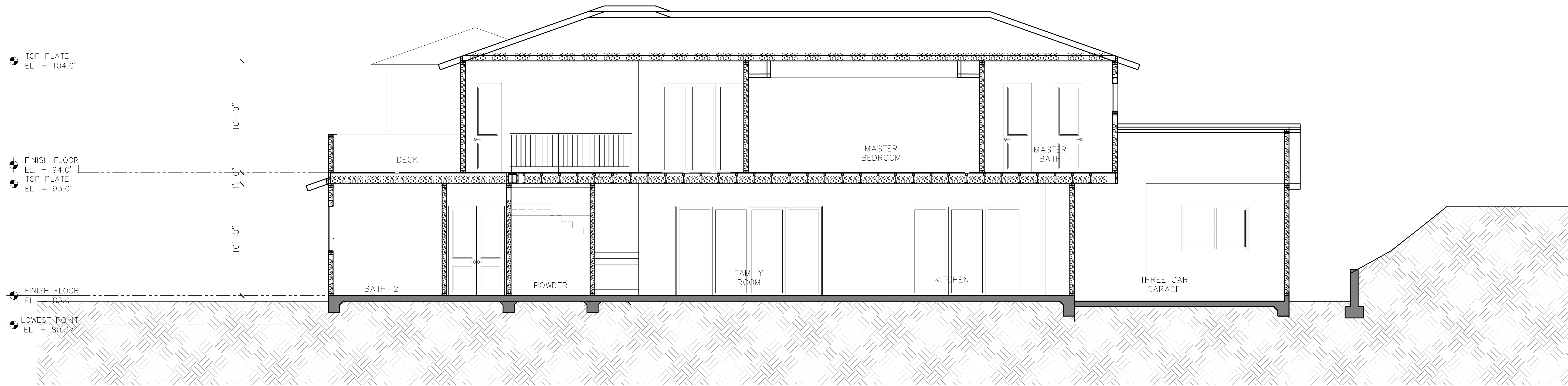
Consultants



3 BUILDING SECTION
SCALE: 1/4"=1'-0"



NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)



4 BUILDING SECTION
SCALE: 1/4"=1'-0"



NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. (CITY OF SAN DIEGO ORDINANCE 11.333 NS)

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Original Date
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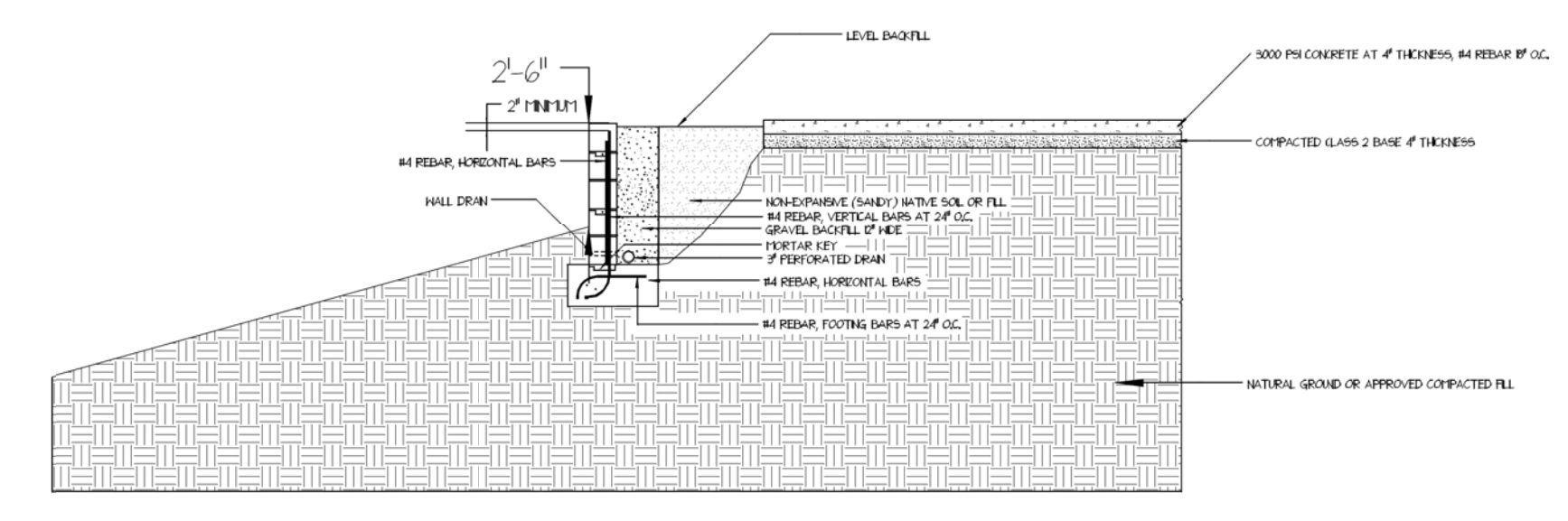
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BUILDING SECTIONS

A05.2

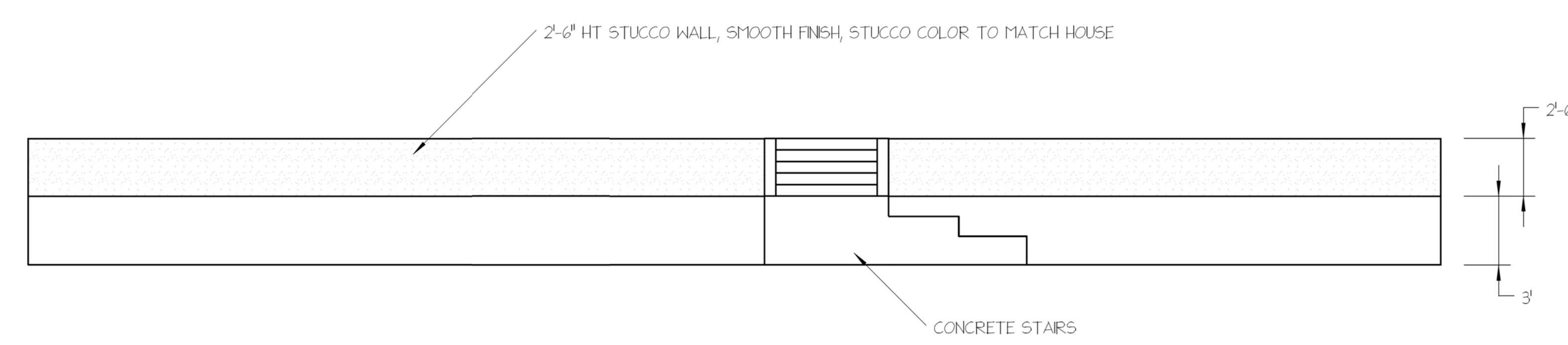
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TYPICAL II RETAINING WALL WITH LEVEL BACKFILL
(PER SAN DIEGO CITY STANDARDS)



SCALE: 1/4" = 1'

FRONT YARD RETAINING WALL SECTION VIEW (A)

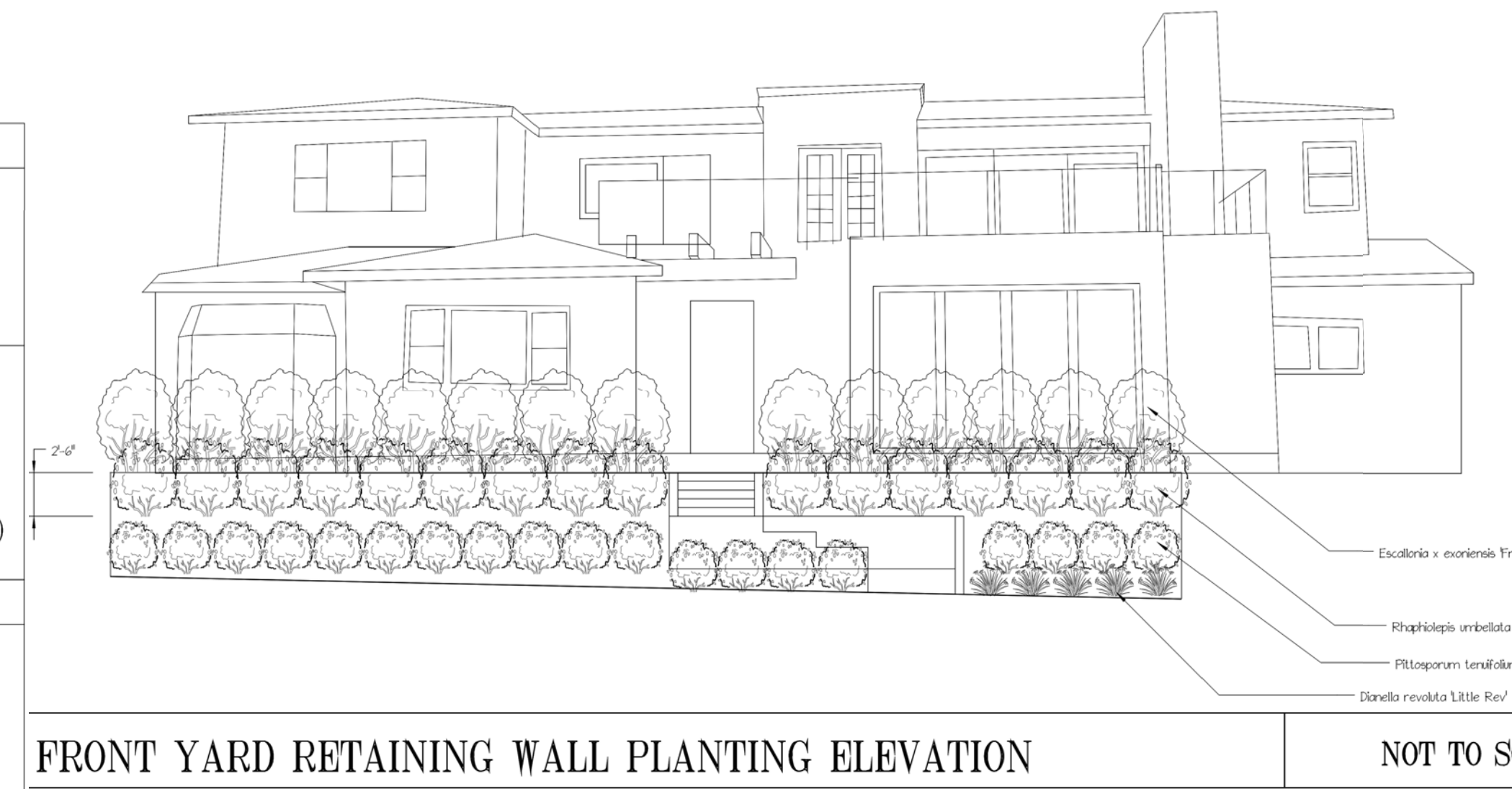


SCALE: 1/4" = 1'

FRONT YARD RETAINING WALL

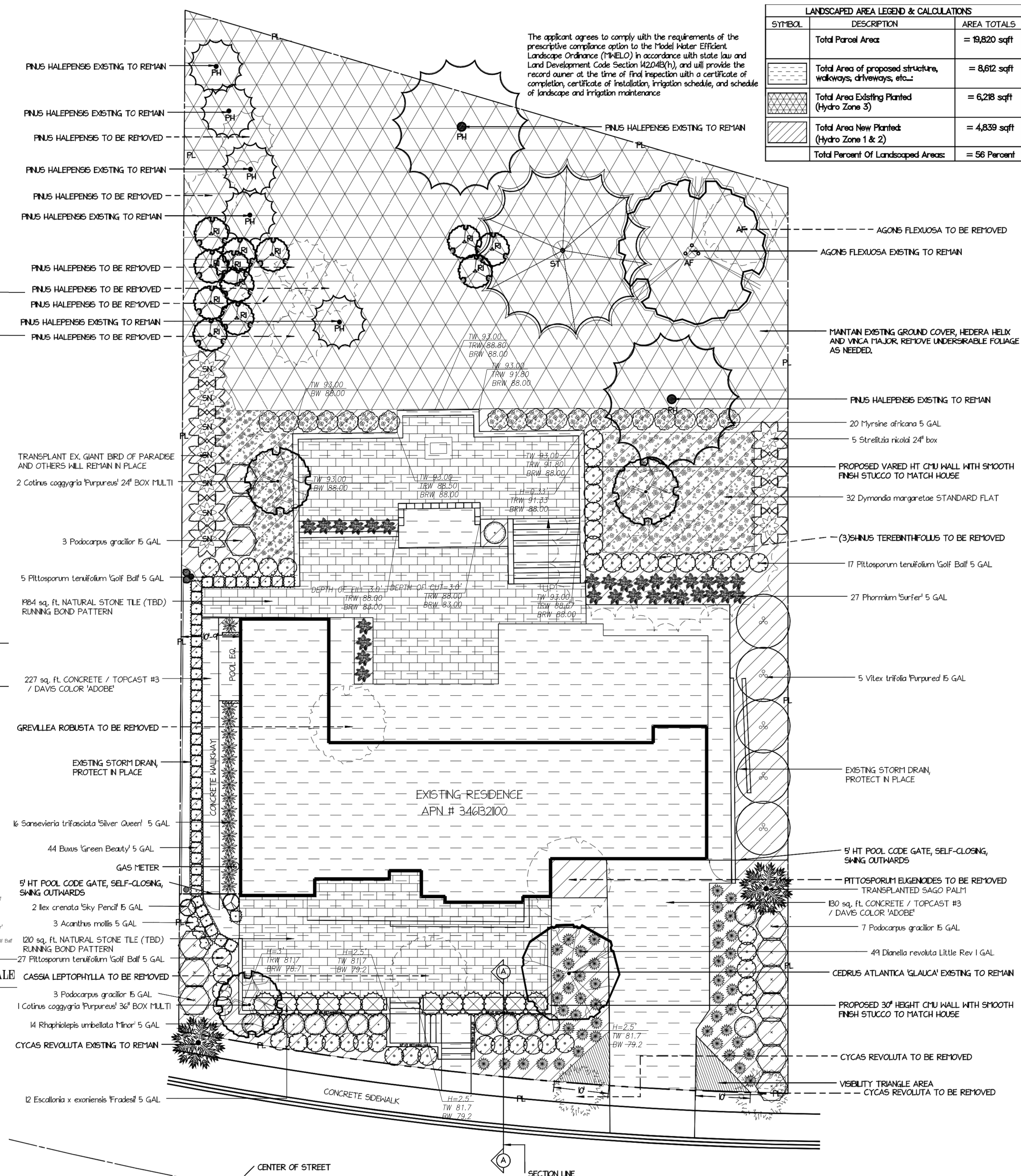
MAWA AND ETWU CALCULATIONS

HYDRO ZONE 1
Maximum Applied Water Allowance (MAWA) Water Budget (Hydro Zone 1) MAWA = (ETO)(.62) [(ETA)(LA)+(45)(SLA)] (40 x .62) [(55 x 2442) + (45 x 0)] (24.8) (13431 + 0) (24.8) (13431)
Total = 33,308.88 gallons / year (Hydro Zone 1, 'Medium' water use)
Estimated Total Water Use (ETWU) ETWU = [(ETO)(.62)] [(PF X HA)(IE) + SLA] (40 x .62) [(4 x 2442)(.81) + 0] (24.8) (976.8(.81) + 0) (24.8) (1205.39) + 0 23,907.06 + 0
Total ETWU = 23,907.06 Estimated Total Water Use (Hydro Zone 1, 'Medium' water use, drip system) Total ETWU does not exceed the total MAWA
HYDRO ZONE 2
Maximum Applied Water Allowance (MAWA) Water Budget (Hydro Zone 2) MAWA = (ETO)(.62) [(ETA)(LA)+(45)(SLA)] (40 x .62) [(55 x 2346) + (45 x 0)] (24.8) (12903 + 0) (24.8) (12903)
Total MAWA = 31,900.44 gallons / year (Hydro Zone 2, 'Medium' water use)
Estimated Total Water Use (ETWU) ETWU = [(ETO)(.62)] [(PF X HA)(IE) + SLA] (40 x .62) [(4 x 2346)(.81) + 0] (24.8) (938.4(.81) + 0) (24.8) (1158.52) + 0 28,731.30 + 0
Total ETWU = 28,731.30 Estimated Total Water Use (Hydro Zone 2, 'Medium' water use, drip system) Total ETWU does not exceed the total MAWA
HYDRO ZONE 3
Maximum Applied Water Allowance (MAWA) Water Budget (Hydro Zone 3) MAWA = (ETO)(.62) [(ETA)(LA)+(45)(SLA)] (40 x .62) [(55 x 6055) + (45 x 0)] (24.8) (3330.25 + 0) (24.8) (3330.25)
Total MAWA = 82,500 gallons / year (Hydro Zone 3, 'Medium' water use)
Estimated Total Water Use (ETWU) ETWU = [(ETO)(.62)] [(PF X HA)(IE) + SLA] (40 x .62) [(4 x 6055)(.75) + 0] (24.8) (2422(.75) + 0) (24.8) (3229.33) + 0 80,067.38 + 0
Total ETWU = 80,067.38 Estimated Total Water Use (Hydro Zone 3, 'Medium' water use, overhead spray system) Total ETWU does not exceed the total MAWA



FRONT YARD RETAINING WALL PLANTING ELEVATION

NOT TO SCALE



PROPOSED PLANT LEGEND

Symbol	Qty	Botanical Name	Common Name	Type	Size	Maturity Ht x W
⊙	2	Podocarpus gracilis	FERN PODOCARPUS	TREE	15 GAL	Ht: 40'-60" x W: 20'-40"
⊙	2	Cotinus coggygria 'Purplea'	PURPLE SPICE TREE	SHRUB	24" BOX	Ht: 12'-18" x W: 10'-15"
⊙	1	Cotinus coggygria 'Purplea'	PURPLE SPICE TREE	SHRUB	36" BOX	Ht: 12'-18" x W: 10'-15"
⊙	5	Streptocarpus	GIANT BIRD OF PARADISE	SHRUB	24" BOX	Ht: 2'-3' x W: 10'-15"
⊙	44	Buxus 'Green Beauty'	GREEN BEAUTY BOXWOOD	SHRUB	5 GAL	Ht: 4'-6" x W: 4'-6"
⊙	12	Escallonia x exoniensis 'Frades'	PINK PRINCESS ESCALLONIA	SHRUB	5 GAL	Ht: 4'-6" x W: 4'-6"
⊙	2	Ilex crenata 'Sky Pencil'	SKY PENCIL BOX LEAVED HOLLY	SHRUB	15 GAL	Ht: 6'-8" x W: 2'-3"
⊙	20	Myrsine africana	AFRICAN BOXWOOD	SHRUB	5 GAL	Ht: 6'-8" x W: 4'-5"
⊙	4	Pittosporum tenuifolium 'Golf Ball'	GOLF BALL KOHJHU	SHRUB	5 GAL	Ht: 3'-4" x W: 3'-4"
⊙	14	Rhaphiolepis umbellata 'Minor'	DWARF YEDDA HAWTHORN	SHRUB	5 GAL	Ht: 4'-6" x W: 2'-3"
⊙	5	Vitex trifolia 'Purplea'	ARABIAN LILAC	SHRUB	15 GAL	Ht: 12'-14" x W: 10'-15"
⊙	3	Acanthus mollis	BEARS BREECH	PERENNIAL	5 GAL	Ht: 3'-4" x W: 2'-3"
⊙	4	Dianella revoluta 'Little Rev'	LITTLE REV FLAX LILY	PERENNIAL	1 GAL	Ht: 2'-4" x W: 1'-2"
⊙	75	Dymondia margaritae	SILVER CARPET	GROUND COVER	GC FLAT	Ht: 1" x Spread: 4'
⊙	27	Phormium 'Surfer'	SURFER NEW ZEALAND FLAX	PERENNIAL	15 GAL	Ht: 2'-3" x W: 1'-2"
⊙	16	Sansevieria trifasciata 'Silver Queen'	SWAKE PLANT	PERENNIAL	15 GAL	Ht: 2'-4" x W: 1'-2"

LANDSCAPE PLAN
SCALE: 1"=10'-0"