



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: August 30, 2017 REPORT NO. HO-17-056

HEARING DATE: September 6, 2017

SUBJECT: Clausen Residences, Process Three Decision

PROJECT NUMBER: [458577](#)

REFERENCE: [PTS 404187, Clausen Residence Coastal Development Permit No. 1417146](#)

OWNER/APPLICANT: Jack L. Clausen and Lynn S. Clausen, Owner/Applicant

SUMMARY

Issues: Should the Hearing Officer approve the addition to previously conforming residential two-unit duplex located at 7404 and 7406 Monte Vista Avenue in the La Jolla Community Plan area?

1. Staff Recommendation: Approve an application for Coastal Development Permit No. 1614323.

Community Planning Group Recommendation: On July 6, 2017, the La Jolla Community Planning Group voted 6-0-1 (Chair abstaining) to recommend approval of the proposed project without conditions (Attachment 10).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) (Attachment 8). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 30, 2017, and the opportunity to appeal that determination ended July 17, 2017.

BACKGROUND

The 0.172-acre project site is located at 7404 and 7406 Monte Vista Avenue (Attachment 1), on the northwestern corner of Marine Street and Monte Vista Avenue (Attachment 3). The property is in the La Jolla Community Plan and Local Coastal Program Land Use Plan area (LJCP), RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, First Public Roadway,

Parking Impact Overlay Zone (Coastal and Beach Impact Area), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone.

The LJCP land use designation is Low Density Residential at 5-9 dwelling units per acre (Attachment 2) and the site could accommodate a range of one to two dwelling units. The RS-1-7 base zone allows for a single dwelling unit; however, the property was previously zoned R-2 and developed as a two-story duplex in 1948 with separate residential units on each floor, two units total (Residential Building Record, Attachment 5). The property has remained in a duplex configuration since construction with two complete units and separate entrances. The property is previously conforming density consistent with San Diego Municipal Code (SDMC) Section [127.0106\(a\)](#).

Since the residential duplex was constructed in 1948, the City performed a historical assessment on the site. Due to previous alterations including multiple additions to the front elevation and second level deck alteration, City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

On June 10, 2015, the City of San Diego approved Coastal Development Permit (CDP) No. 1417146 (Attachment 9) for the 775-square-foot first floor addition, a 293-square-foot second floor addition, and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements to the residential dwelling units. The purpose of the amendment is to allow the addition and reconfiguration of Unit One and Unit Two and the amendment will also correct an inadvertent reference to the structure as single-family dwelling unit. Therefore, the Owner/Applicant has applied for CDP to amend CDP No. 1417146 to correctly identify the residential duplex structure with two units and provide changes to the proposed improvements. The CDP decision is made by the Hearing Officer and appeal rights to the Planning Commission.

DISCUSSION

The project proposes to add to and remodel the residential duplex Unit's One and Two. The existing 1,522-square-foot Unit One consists of two bedrooms, two bathrooms, office/storage, kitchen, dining, family room, sitting area, laundry, and shared roof deck. The Unit One expansion will include a new subterranean basement/storage utility area, first floor additions to the kitchen, family room, sitting room, and a new private roof deck for a proposed unit size of 2,634-square feet. The existing 565-square feet Unit Two consists of one bedroom, one bathroom, kitchen, sitting room, and shared roof deck. Unit Two will be expanded by 90-square feet and include a private roof deck for a total unit size of 655-square feet.

The previously conforming regulations in accordance with SDMC [127.0106\(a\)](#) allow continuation of structural envelope, density, or use while seeking to blend the development with the fabric of the current development regulations. The proposed development will retain the two units consistent with the 1948 duplex but expand both Units One and Two. As a component of the proposed project, the duplex incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the home's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project site is located approximately 345 feet from the Pacific Ocean, and the project's street side yard, Marine Street, is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project complies with the street side setback requirement along Marine Street which preserves the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted LJCP.

The site is 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program Multi-Habitat Planning Area and does not contain any other type of Environmental Sensitive Lands as defined in SDMC Section 113.0103. The project proposes a maximum building height of 23 feet - 2 inches, and will not exceed the maximum 30-foot height limit allowed by the Coastal Height Limitation Overlay Zone.

The LJCP's Residential Goal strives for projects to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residences in the immediate vicinity are one-, two-, and three-story. The project as proposed is a two-story coastal modern ranch style over basement with dark stained lap siding exterior façade, wood windows, and roof system of single pitch and flat roof with decking. The project complies with the maximum allowable height of the zone, and complies with the required setbacks. These features aid in reducing perceived bulk and scale and are an adequate transition between the addition to the proposed duplex and the existing one-story homes.

Conclusion:

The project meets all applicable regulations and policy documents, does not require or request any deviations or variances, and City staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP, SDMC, and the General Plan. Therefore, City staff recommends approval of the Coastal Development Permit to the Hearing Officer as presented.

ALTERNATIVES

1. Approve Coastal Development Permit, No. 1614323 with modifications.
2. Deny an application for Coastal Development Permit No. 1614323 if the findings required to approve the project cannot be affirmed.

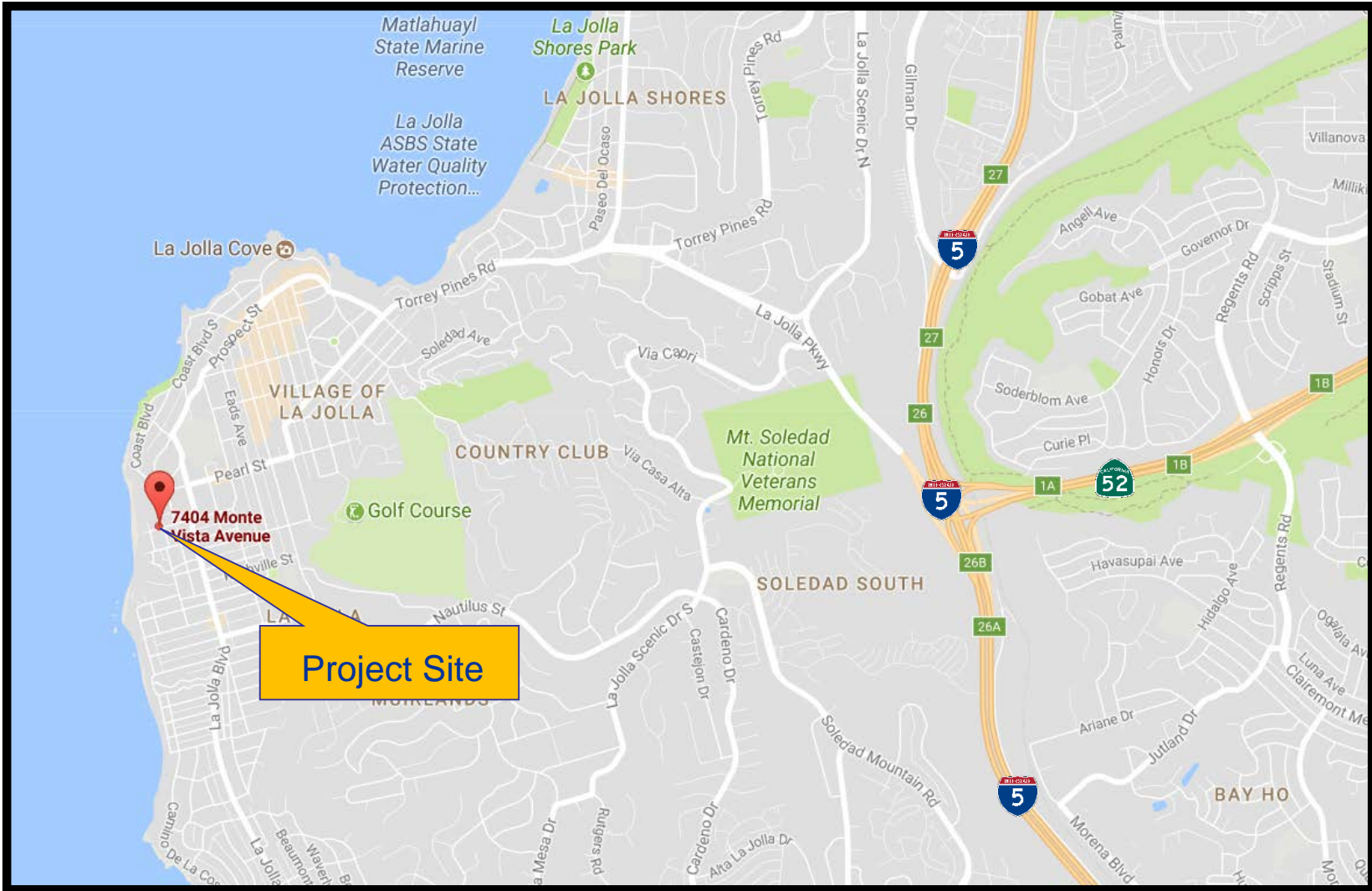
Respectfully submitted,



Karen Bucey, Development Project Manager

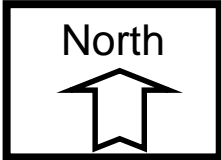
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Residential Building Record
6. Draft Resolution with Findings
7. Draft Permit with Conditions
8. Notice of Exemption
9. Coastal Development Permit No. 1417146
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans



Location Map

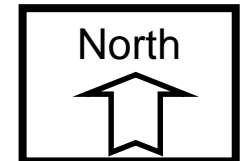
Clausen Residence - Project No. 404187
 7404 Monte Vista Avenue





La Jolla Community Plan Land Use Map

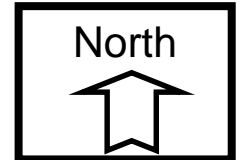
Clausen Residence - Project No. 458577
 7404 Monte Vista Avenue





Aerial Photograph

Clausen Residence - Project No. 458577
7404 Monte Vista Avenue



PROJECT DATA SHEET

PROJECT NAME:	Clausen Residence - Project No. 458577	
PROJECT DESCRIPTION:	Coastal Development Permit amendment to CDP 1417146 for restoration of the original duplex. Unit One addition will include a new basement/ storage utility area and circular stair, first floor additions to the kitchen, family room, sitting room, office, and a new second-story private roof deck for a total 2,634-square feet. Unit Two will be expanded and include a bedroom, kitchen, seating area and private roof deck for a total unit size of 655-square feet. The 0.172-acre site is located at 7404-7406 Monte Vista Avenue, Coastal Appealable, First Public Roadway.	
COMMUNITY PLAN AREA:	La Jolla Community Plan	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (5-9 dwelling units per acre)	
ZONING INFORMATION:		
<p style="text-align: center;">ZONE: RS-1-7 HEIGHT LIMIT: 24/30 Coastal Height Overlay Zone LOT SIZE: 0.172-acre FLOOR AREA RATIO: 0.57 FRONT SETBACK: 15 feet SIDE SETBACK: 6 feet STREETSIDE SETBACK: 7.6 feet REAR SETBACK: 13 feet PARKING: 2</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; RS-1-7	Single Family Residence
SOUTH:	Low Density Residential; RS-1-7	Single Family Residence
EAST:	Low Density Residential; RS-1-7	Single Family Residence
WEST:	Low Density Residential; RS-1-7	Single Family Residence
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 6, 2017, the La Jolla Community Planning Group voted 16-0-1 (Chair abstaining) to recommend approval of the proposed project without conditions.	

COUNTY ASSESSOR
 SAN DIEGO, CO. CALIFORNIA
RESIDENTIAL BUILDING RECORD SHEET 1 OF 2 SHEETS PARCEL 35.1-012-5
 ADDRESS 7404-7406 MONTE VISTA AVE.

DESCRIPTION OF BUILDING

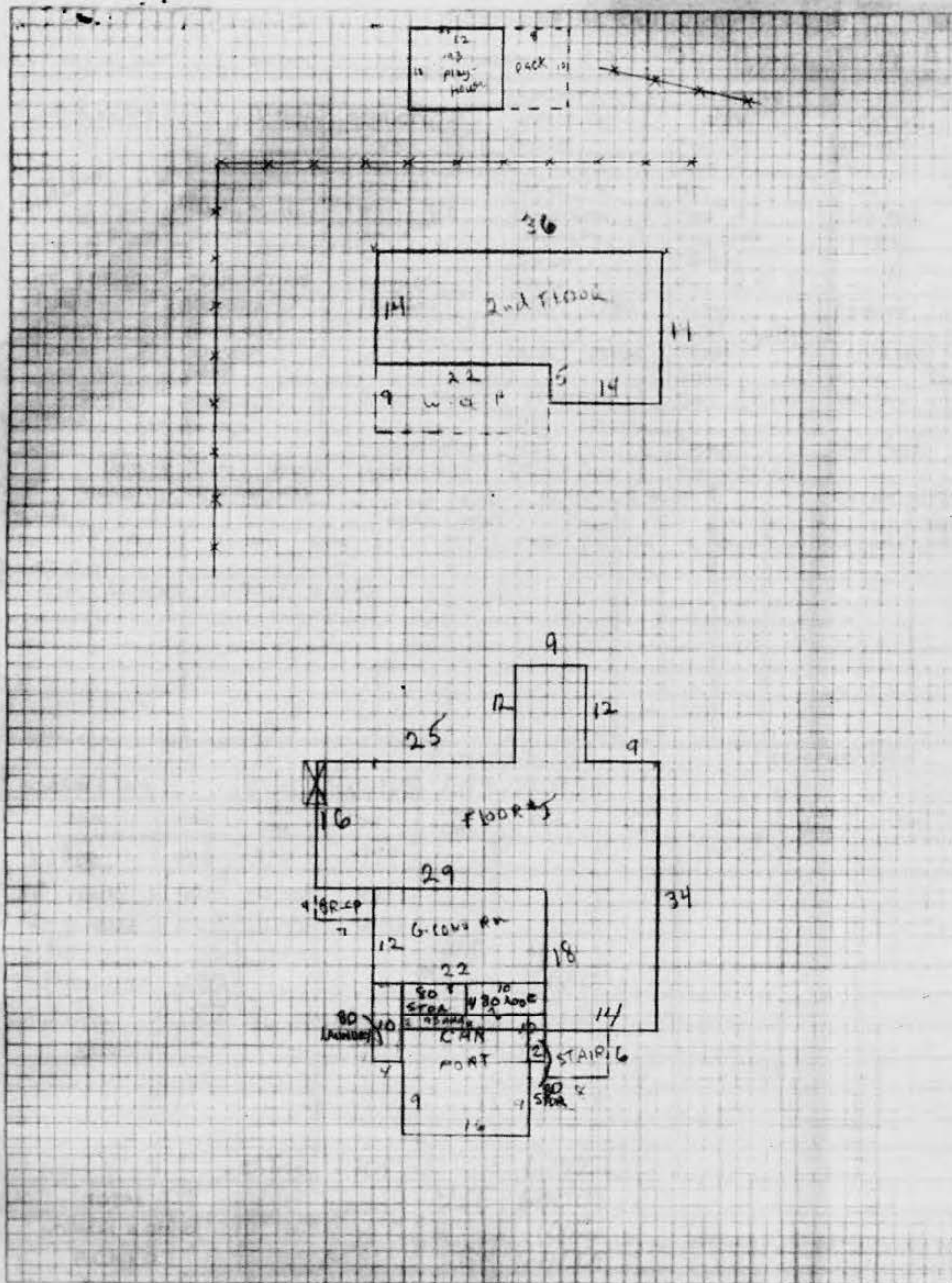
CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL					
D 4.5 + 6	Light Sub-Standard	Frame	Stucco on	Flat Pitch	Wiring X	Heating Forced	ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR FINISH	
ARCHITECTURE	Standard	Sheathing	Siding "x"	Hip	B.X. Cable	Gravity Humid.	All	B I 2	Material Grade		Walls	Ceilings
2 Stories	Above-Standard	Concrete Block		Shed 4/6 L	Fixtures X	Wall Unit	All	X	CONCAT PINE	S	KP	OR
TYPE	Special	B.&B. T.&G.		Cut Up	Few Cheap		Ent. Hall					
Use Design	FOUNDATION	Brick	Shingle	Dormers	Avg. Med.	Floor Unit	Living	/				
Single	Concrete	Adobe	Shake	Raft "x"	Many Special	Zone Unit	Dining					
Double	Reinforced	1st: "x"	B.&B. T.&G.	Gutters		Central						
Duplex	Brick	2nd: "x"					Bed	2				
Apartment	Wood	Sub-Floor	Stone	Shake		Oil Burner	Bed					
Flat-Court	Piers	Concrete Floor	WINDOWS	Tile	2 Sink							
Motel		Insulated Ceilings	D.H. Casement	Tile Trim	Laundry	M-B.T.U.	Kitchen					
2 Units	Light Heavy	Insulated Walls	Metal Sash	Compo. Roll	Water Htr. Auto.	Fireplace R20	Drain Bd.	Material: NSU/T	Lgth:	Ft. Splash:		

CONSTRUCTION RECORD

MOULIN Permit No.	For	Amount	Date	EFFEC. YEAR	APPR. YEAR	NORMAL	% GOOD	RATING (E,G,A,F,P)	BATH DETAIL, .T														
54529	DUPLEX	12000	3/21/48	1948	1964	16	40	R55 79 F	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-minshp	Fl. No.	FINISH	FIXTURES	SHOWER					
23351	CAR PORT	300	1/20/50	1948	1969	21	40	R60 81 A							1 1	Floors	Walls	Wc. La. Tub	Type	Grade	St. AT. G.D.	Finist.	
175251	REMODEL BATH	300	11-23-77			24	37	R60 75 G							2 1	LINO	KP	1 1 1	MOD	A-	1 1	T.P.	
M40013	REMODEL BATH	4000	12-12-77												G 2	CONC		1					PL.
										SPECIAL FEATURES													
										X	Book Cases	Shutters	Vent Fan	Built in Rerrig.			Venetian Blinds						

COMPUTATION

Appraiser & Date	RDA	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
4/1/63	69																
7/19/72																	
Floor I	1048	7.20	7546	7.60	7965	9.30	9746										
Floor II	574	7.40	4248	7.10	4075	7.60	4362										
AC			450		450		500										
FP+BBQ			500		500		550										
BRCP	28	2.00	56		56		56										
w-cp	190	.80	158		158		158										
STAIRS	48	3.00	144		144		144										
G-Room	264	3.50	924		924	3.60	950										
CAR PORT	240	2.00	728		728	2.20	801										
YD IMPS			340		340		340										
TOTAL			15094		15340		17992										
NORMAL % GOOD			79		81		75										
R.C.L.N.D			11924		12425		13494										



MISCELLANEOUS STRUCTURE

Structure	Found.	Cons.	Ext.	Roof	Floor	Int.
Fence		15		Low grade slate		
Flat		Conc.	+ Brick			
					42 mps	340

COMPUTATIONS

$14 \times 18 = 252$	BF = 7.35
$43 \times 16 = 688$	+ 6 cor @ 2 = +12
$9 \times 12 = 108$	+ Plumb c 200 = +17
<u>1048</u>	7.24
178	
$10 \times 4 = 40$	8D Stair 2x6 = 12
$4 \times 10 = 40$	8x4 32
	<u>44</u>

Remarks:

1. Owner lives in upper. Lower rents for 225 mo. unattached utilities paid RDN.

2. N.D.H. build complete (Mont. 5-28-90)

3. 93 Add. - unattached playhouse drawn from plans 11-3-92. Af

4. On site 3-19-93, no access to yard to view walls + playhouse and unable to see from neighbor's prop. Af

COUNTY ASSESSOR
SAN DIEGO CO. CALIFORNIA

RESIDENTIAL BUILDING RECORD

SHEET 2 OF 2 SHEETS

PARCEL 351-D12-

LV. UNIT # _____ MODEL _____ ADDRESS 7404-06 MONTE VISTA AVE

DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF		HEATING	RATING (E,G,A,F,P)	ROOMS	FLOORS			FLOOR FINISH		INTERIOR FINISH	
				Light	Sub-Standard				Standard	Above-Standard	Special	Material	Grade	Walls	Ceiling
All attached	Light	Frame	Stucco	Flat /4		Forced	Wiring	All	B	1	2				
	Sub-Standard	Box		Gable /4		Wall	Elect. Fix.								
	Standard	Conc. Blk.	Siding " x "	Hip /4		Floor	Plumbing								
	Above-Standard	6" 8"	Ply. & Batts	Shed /4		Elect. Rad.	KITCH. DETAILS	Ent. Hall							
Stories	Special	Adobe "	Routed Ply.	Encl. Eaves		Thermo.	Nat. Fin. Cabs	Living							
TYPE		Brick	Shingle	Dormers			Painted Cabs	Dining							
USE DESIGN	FOUNDATION	Slump Blk.	Shake	Raft. "x" "			Oven & Plate	Family							
Single	Concrete	Floor Joist:	B&B	T&G	Gutters	Fireplace	Dishwasher	Bed							
Double	Conc. Blk.	"			Sm. Rk Lg. Rk		Break. Bar	Bed							
Duplex	Brick	"	Brick	Stone	Shingle	COOLING	Pantry								
Apartment	Wood				Shake	Refrig. Ton	Lumin. Ceil.								
Flat-Court	Piers	Concrete Floor	WINDOWS		Title Tl. Trim	Wall Unit	Blt-in BBQ								
Motel			D.H.	Casem't				Kitchen							
		Insulated Cell'gs	MS.	Lvr.	Compo.:	Heat Pump		Drain Bd	Material:	Lgth:	Ft.	Splash:			
Units	Light	Heavy	Insulated Walls	Slid. Gl. Door	Compo. Shingle										

CONSTRUCTION RECORD

Builder	Per. No.	For	Amount	Date	EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD				RATING (E,G,A,F,P)					Fl. No.	FINISH			FIXTURES		SHOWER			
							Age	Rem Life	Tbl	%	Cond	Arch Attr.	Func. Plan	Con-form	Storage Sp. Cup'd		Work-mnshg	Ent. Dwel	Floor	Walls	Wc	La	Tub	Type	Grade
See attached	502001696	Add walls	23001	4-16-92																					

COMPUTATION

Appraiser & Date		Unit		Area		Unit Cost		Cost		Unit Cost		Cost		Unit Cost		Cost		Unit Cost		Cost	
FINALE 02-16-93		80 Add		40#		19.70		788													
BUTTER 05-28-90		80 Laundry		40#		12.00		480													
AK 3-26-93		80 Storage		44#		10.00		440													
		93 Add		36				44.80		1612											
		93 Playhouse		120				30.00		3600											
		93 Deck		80				12.00		960											
		80 Total		1708				6172													
TOTAL								USE 6000													
NORMAL % GOOD								100%													
R.C.N.L.D.								10000													

HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1614323
CLAUSEN RESIDENCE PROJECT NO. 458577
AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 1417146

WHEREAS, JACK L. CLAUSEN and LYNN S. CLAUSEN, Owners/Permittees, filed an application with the City of San Diego to remodel and add to an existing residential duplex structure consisting of two units with previously conforming density consistent with SDMC Section 127.0106. Unit One will consist of a new 786-square-foot walkout basement/storage utility area and a 2,502-square-foot first floor consisting of three-bedrooms, two-bathrooms, office, kitchen, dining room, family room, sitting room, laundry, and storage. Additionally, Unit One will have a stairwell with a 132-square foot covered landing on the second floor leading to a private roof deck. Total size of Unit One will be 3,420 square feet, Unit Two will consist of a 655-square-foot, one-bedroom, one-bathroom dwelling unit with sitting area, kitchen, and private roof deck, as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 1614323), on portions of a 0.172-acre site;

WHEREAS, the 0.172-acre site is located at 7404 and 7406 Monte Vista Avenue in the La Jolla Community Plan and Local Coastal Program (LJCP) area, RS-1-7 Zone, the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone (CHLOZ), First Public Roadway, Parking Impact Overlay Zone (Coastal and Beach Impact Area), Residential Tandem Parking Overlay Zone, and Transit Area Overlay Zone;

WHEREAS, the project site is legally described as Lots 2, 3, and 4 in Block 3 of La Jolla Beach, in the City of San Diego, State of California, according to Map thereof No. 893-1/2, filed in the Office of the County Recorder of San Diego County, April 28, 1903;

WHEREAS, on September 6, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1614323 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on June 30, 2017, the City of San Diego, as Lead Agency, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code (SDMC) Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 6, 2017.

FINDINGS:

I. Coastal Development Permit – SDMC Section 126.0708

A. Findings for all Coastal Development Permits

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.172-acre site is located at 7404 and 7406 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue and within the LJCP area. The project proposes to remodel and add to the residential duplex's two units. The existing 1,522-square-foot Unit One consists of two bedrooms, two bathrooms, an office/storage, kitchen, a dining room, family room, sitting room, laundry, and shared roof deck. Unit One expansion will include a new subterranean basement/storage utility area, first floor additions to the kitchen, family room, sitting room, and a new private roof deck for a proposed unit size of 3,420-square feet. The existing 565 square feet Unit Two consists of one-bedroom, one-bathroom, kitchen, sitting area, and shared roof deck. Unit Two will be expanded by approximately 90 square feet and include a private roof deck for a total unit size of 655 square feet.

Exterior improvements will include landscape, hardscape, electric vehicle charging, bicycle storage and a roof-mounted photovoltaic system.

The property is 345 feet from the Pacific Ocean, within the first public roadway paralleling the sea, and adjacent to a LJCPs designated view corridor along the Marine Street right-of-way. The project enhances the framed view corridor by stepping back the second story along the southern side and observing the prescribed setbacks. A public coastal access staircase leading to Jones Park is located at the terminus of Marine Street, however, this coastal access is not within the project site and the development would not encroach upon the physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the LJCP. The permit is conditioned to record a View Corridor Easement, not less than the street yard setbacks (7.5 feet) and running the full depth of the premises in accordance with SDMC section 132.0403.

The project is not requesting, nor does it require, any deviations or variances from the applicable regulations, policy documents, and development standards in effect for this site. Therefore, the development would not encroach on any existing or proposed public accessway identified in the LJCP, and would not encroach on any existing or proposed public accessway identified in the LJCP, and would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands; and**

The 0.172-acre site is located at 7404 and 7406 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue and within the LJCP area. The project

proposes to remodel and add to the residential duplex's two units. The existing 1,522-square-foot Unit One consists of two bedrooms, two bathrooms, an office/storage, kitchen, a dining room, family room, sitting room, laundry, and shared roof deck. Unit One expansion will include a new subterranean basement/storage utility area, first floor additions to the kitchen, family room, sitting room, and a new private roof deck for a proposed unit size of 3,420-square feet. The existing 565 square feet Unit Two consists of one-bedroom, one-bathroom, kitchen, sitting area, and shared roof deck. Unit Two will be expanded by approximately 90 square feet and include a private roof deck for a total unit size of 655 square feet.

The City of San Diego conducted an environmental review of this site in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures).

The property is 345 feet from the Pacific Ocean, within the first public roadway paralleling the sea. The property is approximately 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in SDMC Section 113.0103. Therefore, the project does not contain environmentally sensitive lands and would not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The 0.172-acre site is located at 7404 and 7406 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue and within the LJCP area. The project proposes to remodel and add to the residential duplex's two units. The existing 1,522-square-foot Unit One consists of two bedrooms, two bathrooms, an office/storage, kitchen, a dining room, family room, sitting room, laundry, and shared roof deck. Unit One expansion will include a new subterranean basement/storage utility area, first floor additions to the kitchen, family room, sitting room, and a new private roof deck for a proposed unit size of 3,420-square feet. The existing 565 square feet Unit Two consists of one-bedroom, one-bathroom, kitchen, sitting area, and shared roof deck. Unit Two will be expanded by approximately 90 square feet and include a private roof deck for a total unit size of 655 square feet.

The project site is in the LJCP's Low Density Residential (5-9 dwelling units per acre (DU/AC)) land use designation. The 0.172-acre site could accommodate a range of one to two dwelling units based on the designation. The current zone for the site is RS-1-7 which will allow a single dwelling unit, however, the property was zoned R-2 when developed as a duplex in 1948 which allowed two residential units. The property is previously conforming density consistent pursuant to SDMC Section 127.0106.

The property is 345 feet from the Pacific Ocean, within the first public roadway paralleling the sea, and adjacent to an LJCP's designated view corridor along the Marine Street right-of-way. The project preserves and enhances the framed view corridor by stepping back the second story along the southern side, observing the prescribed setbacks, and proposing a maximum building height of 23 feet 2 inches, below the CHLOZ of 30 feet. A public coastal access staircase leading to Jones Park is located at the terminus of Marine Street, however, this coastal access is not within the project site and the development would not encroach upon the physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the LJCP. The property will be conditioned to record a View Corridor Easement, not less than the street yard setbacks or 7.5 feet and running the full depth of the premises in accordance with SDMC section 132.0403.

The site is approximately 40 feet above MSL, located above the 100-year floodplain, and is not within or adjacent to the MSCP/MHPA. The site does not contain any ESL as defined in SDMC Section 113.0103.

The property is within the Parking Impact Overlay Zone (Coastal and Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The site contains two off-street parking spaces consistent with the previously conforming quantity of parking provided with the duplex at construction in 1948. The spaces will be side by side and will not utilize the tandem parking overlay.

The LJCP's Residential Goal strives for projects to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residences in the immediate vicinity are one-two-and three-story. The project as proposed is a two-story coastal modern ranch style over basement with dark stained lap siding exterior façade, wood windows, and roof system of single pitch and flat roof with decking. In addition, the project provides articulation along the facades, stepped back second story, architectural projections, and a varied roof line. The features aid in reducing perceived bulk and scale and are transitional between the project and the existing residences in the vicinity.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

ATTACHMENT 6

The 0.172-acre site is located at 7404 and 7406 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue and within the LJCP area. The project proposes to remodel and add to the residential duplex's two units. The existing 1,522-square-foot Unit One consists of two bedrooms, two bathrooms, an office/storage, kitchen, a dining room, family room, sitting room, laundry, and shared roof deck. Unit One expansion will include a new subterranean basement/storage utility area, first floor additions to the kitchen, family room, sitting room, and a new private roof deck for a proposed unit size of 3,420-square feet. The existing 565 square foot Unit Two consists of one-bedroom, one-bathroom, kitchen, sitting area, and shared roof deck. Unit Two will be expanded by approximately 90 square feet and include a private roof deck for a total unit size of 655 square feet.

The property is 345 feet from the Pacific Ocean, within the first public roadway paralleling the sea, and adjacent to The LJCP's designated view corridor along the Marine Street right-of-way. The project preserves and enhance the framed view corridor by stepping back the second story along the southern side, observing the prescribed setbacks, and proposing a maximum building height of 23 feet 2 inches, below the CHLOZ of 30 feet. A public coastal access staircase leading to Jones Park is located at the terminus of Marine Street, however, this coastal access is not within the project site and the development would not encroach upon the physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the LJCP. The property will be conditioned to record a View Corridor Easement, not less than the street yard setbacks (7.5 feet) and running the full depth of the premises in accordance with SDMC section 132.0403.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended development standards in effect for this site. The public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this coastal development since the development would be located on private property. Therefore, this coastal development complies with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1614323 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.'s 1614323, a copy of which is attached hereto and made a part hereof.



Karen Bucey
Development Project Manager
Development Services

Adopted on: September 6, 2017

IO#: 24006350

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006350

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1614323
CLAUSEN RESIDENCES PROJECT NO. 458577
AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 1417146
HEARING OFFICER

This Coastal Development Permit No. 1614323, (amendment to Coastal Development Permit No. 1417146) is granted by the Hearing Officer of the City of San Diego to JACK L. CLAUSEN and LYNN S. CLAUSEN, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0708 and Section 126.0402. The 0.172-acre site is located at 7404 and 7406 Monte Vista Avenue in the La Jolla Community Plan and Local Coastal Program (LJCP) area, RS-1-7 Zone, the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, First Public Roadway, Parking Impact Overlay Zone (Coastal and Beach Impact Area), Residential Tandem Parking Overlay Zone, and Transit Area Overlay Zone. The project site is legally described as: Lots 2, 3, and 4 in Block 3 of La Jolla Beach, in the City of San Diego, State of California, according to Map thereof No. 893-1/2, filed in the Office of the County Recorder of San Diego County, April 28, 1903.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee to construct additions and remodel of the existing residential duplex structure with two units with previously conforming density consistent with SDMC Section 127.0106, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 6, 2017, on file in the Development Services Department. The project shall:

- a. Establish previously conforming density consistent with SDMC Section 127.0106 for the existing residential duplex structure with two units;
- b. Remodel and construct additions to the Unit One and Unit Two to include:
 - Unit One: A new 786-square-foot walkout basement/storage utility area, a first floor 2,502-square-foot addition and a roof covered stairwell landing to a private roof deck of 132-square feet for a total existing and proposed area of 2,634 square feet three-bedrooms, two-bathrooms, dwelling unit.

- Unit Two will consist of a 655-square-foot, one-bedroom, and one-bathroom dwelling unit with sitting area, kitchen, and private roof deck.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Two-off-street parking spaces under previously conforming per San Diego Municipal Code 142.0510;
- e. Construction of associated site improvements (i.e. hardscape and site walls); and
- f. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 9, 2020.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

ATTACHMENT 7

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee

shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

CLIMATE ACTION PLAN REQUIREMENTS:

13. The Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

14. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains in the Marine Street Right-of-Way.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing driveway with a 16-foot wide City Standard driveway, adjacent to the site on Monte Vista Avenue, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the replacement of existing curb with City Standard curb and gutter, along the entire project frontage on Monte Vista Avenue and Marine Street, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

23. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees

24. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

25. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

26. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

30. Prior to the issuance of construction permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

31. Prior to the issuance of any construction permits, the Owner/Permittee shall record a View Corridor Easement, not less than the street yard setbacks (7.5 feet) and running the full depth of the premises, as shown on Exhibit "A," in accordance with SDMC section 132.0403.

32. Open fencing and landscaping may be permitted within the view corridors and visual accessways, provided such improvements do not significantly obstruct public views of the ocean. Landscaping shall be planted and maintained to preserve public views.

33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

34. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

35. Prior to any construction being issued, the Owner/Permittee must obtain a permit to work in the public right-of-way (PROW) for the purpose of relocating any sewer lateral currently located under or within five feet of any driveway within the PROW.
36. Prior to any construction permit being issued, any existing public sewer lateral scheduled for reuse must be inspected by a California licensed plumbing contractor using closed-circuit television (CCTV) to verify that the lateral is in good condition, free of all debris, properly connected to a public sewer main, and in all other ways suitable for reuse. If the lateral is found to be unsuitable for reuse, the Owner/Permittee is required to repair, remove and replace, or abandon and cap the lateral at the property line in a manner satisfactory to the Public Utilities Director.
37. Prior to any final inspection, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Department Director and the City Engineer.
38. Prior to any construction being issued, the Owner/Permittee shall ensure that all water services to the site (i.e. domestic, irrigation and fire) pass through a private above ground back flow prevention device (BFPD). The BFPDs are typically located just outside the public ROW in-line with the water service. The Public Utilities Department does not allow BFPDs to be located below grade or within any structure.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 6, 2017 and HO-.

ATTACHMENT 7

Coastal Development Permit No. 1614323 and
September 6, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

JACK L. CLAUSEN and LYNN S. CLAUSEN
Owner/Permittee

By _____
Jack L. Clausen

JACK L. CLAUSEN and LYNN S. CLAUSEN
Owner/Permittee

By _____
Lynn S. Clausen

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION*(Check one or both)*

TO: Recorder/County Clerk FROM: City of San Diego
P.O. Box 1750, MS A-33 Development Services Department
1600 Pacific Hwy, Room 260 1222 First Avenue, MS 501
San Diego, CA 92101-2400 San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Clausen CDP Amendment**Project No. / SCH No.:** 458577 / N/A**Project Location-Specific:** 7404 – 7406 Monte Vista Avenue, La Jolla, California 92037**Project Location-City/County:** San Diego/San Diego

Description of nature and purpose of the Project: A COASTAL DEVELOPMENT PERMIT to amend Coastal Development Permit No. 1417146 and a NEIGHBORHOOD DEVELOPMENT PERMIT for the maintenance, repair, alteration or replacement of a premises with previously conforming density. The project would also construct a 1,202.4-square-foot addition and 785.6-square-foot basement/storage /utility space to the existing 2,087-square-foot structure. Various site improvements would also be constructed that include associated hardscape and landscape. The project would conform to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program by generating 50 percent or more of the projected total energy consumption on site through renewable energy resources (i.e. photovoltaic). The 0.172 acre project site is located at 7404 – 7406 Monte Vista Avenue. The project site is designated Low Density Residential (5 – 9 dwelling units per acre) per the La Jolla Community Plan and Local Coastal Program Area, and is zoned RS-1-7 (requires minimum 5,000-square-foot lots). Additionally, the project site is within the Coastal Overlay Zone (Appealable Area), the Coastal Height Limitation Overlay Zone, the First Public Roadway, the Parking Impact Overlay Zone (Beach and Coastal Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. (LEGAL DESCRIPTION: Lots 2, 3, and 4 of La Jolla Beach, Block 3, according to Map No. 893 1/2.)

Name of Public Agency Approving Project: City of San Diego**Name of Person or Agency Carrying Out Project:** Jack Clausen, 7404 Monte Vista Avenue, La Jolla, California 92037, (858) 220-3276

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review, which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA 15301 that consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination, including additions to existing structures provided

that the addition will not result in an increase of more than: (1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less; or (2) 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. The project also meets the criteria set forth in CEQA Section 15303 that consists of construction and location of limited numbers of new, small facilities or structures. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

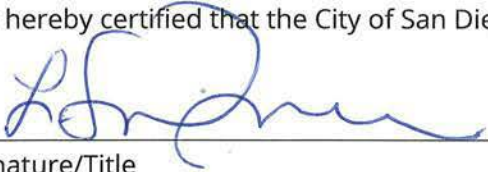
Lead Agency Contact Person: L. Sebastian

Telephone: (619) 236-5993

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

July 18, 2017

Date

Check One:

- (X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

DOC# 2015-0399099



Jul 29, 2015 10:00 AM

OFFICIAL RECORDS
Ernest J. Dronenburg, Jr.,
SAN DIEGO COUNTY RECORDER
FEES: \$48.00

PAGES: 12

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501**WHEN RECORDED MAIL TO**
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005509

COASTAL DEVELOPMENT PERMIT NO. 1417146
CLAUSEN RESIDENCE - PROJECT NO. 404187
HEARING OFFICER

This Coastal Development Permit No. 1417146 is granted by the Hearing Officer of the City of San Diego to the JACK L. CLAUSEN and LYNN S. CLAUSEN, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0708. The 0.172-acre site is located at 7404 Monte Vista Avenue in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, the First Public Roadway, the Parking Impact Overlay Zone (Coastal and Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Council District 1. The project site is legally described as: Lots 2, 3, and 4 in Block 3 of La Jolla Beach, in the City of San Diego, State of California, according to Map thereof No. 893-1/2, filed in the Office of the County Recorder of San Diego County, April 28, 1903.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the additions and remodel of an existing single-family dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 10, 2015, on file in the Development Services Department.

The project shall include:

- a. A 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit on a 0.172-acre site;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

12P
1C

- d. Construction of associated site improvements (i.e. hardscape and site walls).
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **July 13, 2018**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall remove the portions of the existing fence within the driveway access visibility area triangles, that exceed three feet in height, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

19. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
20. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

21. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.
22. Landscaping may be permitted within the view corridor along Marine Street provided such improvements do not significantly obstruct public views of the ocean. Landscaping shall be planted and maintained at no higher than 3 feet to preserve public views.
23. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 10, 2015, and Resolution No. HO-6832.

Permit Type/PTS Approval No.: CDP No. 1417146
Date of Approval: June 10, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

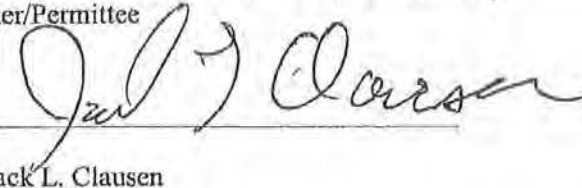


Jeffrey A. Peterson
Development Project Manager

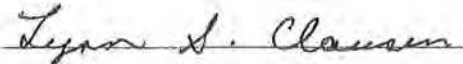
**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

JACK L. CLAUSEN and LYNN S. CLAUSEN,
Owner/Permittee

By 
Jack L. Clausen

JACK L. CLAUSEN and LYNN S. CLAUSEN,
Owner/Permittee

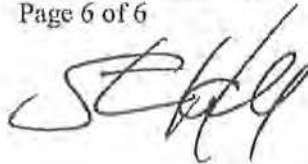
By 
Lynn S. Clausen

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California County of SAN DIEGO)ss.
On 7-17-15 before me, STEVE HOLL Notary Public,
personally appeared JACK L. CLAUSEN & LYNN S. CLAUSEN
who proved to me on the basis of satisfactory evidence to be the person(s) whose
name(s) is/are subscribed to the within instrument and acknowledged to me that
he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of
which the person(s) acted, executed the instrument. I certify under PENALTY OF
PERJURY under the laws of the State of California that the foregoing paragraph is true
and correct. WITNESS my hand and official seal.

Page 6 of 6



ORIGINAL

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)

On July 28, 2015 before me, Vivian M. Gies, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Jeffrey A. Peterson
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Vivian M. Gies
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document PTS 404187/Clausen Residence/CDP #1417146
Title or Type of Document: _____ Document Date: _____
Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer -- Title(s): _____
 Partner -- Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer -- Title(s): _____
 Partner -- Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

ORIGINAL

HEARING OFFICER
 RESOLUTION NO. HO-6832
 COASTAL DEVELOPMENT PERMIT NO. 1417146
 CLAUSEN RESIDENCE - PROJECT NO. 404187

WHEREAS, JACK L. CLAUSEN and LYNN S. CLAUSEN, Owner and Permittee, filed an application with the City of San Diego for a permit a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1417146), on portions of a 0.172-acre site;

WHEREAS, the project site is located at 7404 Monte Vista Avenue in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program Area, the Coastal Overlay Zone (Appealable Area), Coastal Height Limitation Overlay Zone, the First Public Roadway, the Parking Impact Overlay Zone (Coastal and Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Council District 1;

WHEREAS, the project site is legally described as: Lots 2, 3, and 4 in Block 3 of La Jolla Beach, in the City of San Diego, State of California, according to Map thereof No. 893-1/2, filed in the Office of the County Recorder of San Diego County, April 28, 1903;

WHEREAS, on June 10, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1417146 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 6, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Article 19, Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 10, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

1. **The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.172-acre site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue. The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project. Complies with the street side setback requirement along Marine Street which preserves and enhance the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The project proposes a maximum building height of 23 feet 2 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ). The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to meet the development regulations of the underlying zone and would enhance and protect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The 0.172-acre site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue. The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. The

property is approximately 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, it has been determined that the project does not contain environmentally sensitive lands and would not adversely affect these resources.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue, in the RS-1-7 Zone within the LJCP and Local Coastal Program Land Use Plan. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The LJCP designates the proposed project site for Low Density Residential land use at 5-9 dwelling units per acre (DU/AC). The project site, occupying 0.172-acres, could accommodate one dwelling unit based on the underlying zone and one- to two-dwelling unit based on the community plan.

The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project. Complies with the street side setback requirement along Marine Street which preserves and enhance the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The site is approximately 40 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation

Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 23 feet 2 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ.

The Residential Element of the LJCP contains policies for new development in order to avoid extreme and intrusive changes to the residential scale of the neighborhood, especially between new and older structures. The plan recommends that bulk and scale be controlled through the application of development regulations, such as setbacks and building height. The plan also recommends that visual relief, such as offsetting planes, articulation, and variations in front setbacks, be applied to provide a transition in scale between surrounding development. The existing residences immediately south and east of the site are one-story structures, however, the majority of the other homes along the block and within the immediate vicinity are two to three-stories. The project complies with the maximum allowable height of the zone, and complies with the required setbacks. In addition, the project provides articulation along the facades, architectural projections, a varied roof line, and uses of wood siding. These features aid in reducing perceived bulk and scale and are an adequate transition between the proposed development and the existing one-story homes.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 7404 Monte Vista Avenue, on the northwestern corner of Marine Street and Monte Vista Avenue. The project proposes a 775 square foot first floor addition, a 293 square foot second floor addition (additions total 1,068 square feet), and the interior remodel to the first and second floors, a second floor deck/terrace, and associated site improvements for an existing single-family dwelling unit. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 345 feet from the Pacific Ocean and Marine Street at this location is designated as the first public roadway paralleling the sea. Marine Street is designated as a view corridor with views toward the Pacific Ocean and the proposed project. The proposed development complies with the street side setback requirement along Marine Street which preserves and enhances the framed view down the public right-of-way looking west. In addition, Marine Street contains a physical accessway in

the form of a stairway from the public right-of-way to the tide pools; however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this coastal development since the development would be located on private property. Therefore, this coastal development complies with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1417146 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1417146, a copy of which is attached hereto and made a part hereof.



Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: June 10, 2015

Internal Order No. 24005509



La Jolla Community Planning Association

Date: July 19, 2017

To: Karen Bucey, DPM

RE: **Clausen Duplex 7404 Monte Vista Ave La Jolla-- LJCPA Vote**

On July 6, 2017 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed **Clausen Duplex 7404 Monte Vista Ave La Jolla** as an Action Item on the Consent Calendar.

ACTION ITEM as Noticed:

10.10 Clausen Duplex 7404 Monte Vista Ave La Jolla (Process 3) 10# 24005509 • SUSTAINABLE BUILDING EXPEDITE PROGRAM • Coastal Development permit to construct a 1,068 sq ft addition and modify site retaining walls to an existing duplex residence building located at 7404 Monte Vista Ave. The 7500 sq site is located in the RS-1-7 zone of the La Jolla Community Plan Area and the Coastal Appealable Overlay Zone.

Amendment to Coastal Development Permit #1417146 -Project Address 7404-7406 Monte Vista Avenue

DPR Motion: Findings can be made to amend the existing Coastal Development Permits to maintain the property's original duplex status: **A)** to enlarge Unit 1 (7404 Monte Vista Ave) by 255.5 sf, replace proposed caissons with masonry foundation walls, creating basement/storage/utility space, add interior spiral stair to access basement, modify proposed internal stair to eliminate connection to Upper Unit, **B)** to reduce Unit 2 (7406 Monte Vista Ave) amount of proposed expansion by 63.3 sf, upgrade existing kitchen, add washer/dryer, add new separate deck. DPR vote 6-0-1.

The LJCPA voted to approve the DPR motion on consent 16-0-1.

Sincerely,

Helen Boyden, Vice President (s)
La Jolla Community Planning Association



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title CLAUSEN RESIDENCE Project No. For City Use Only _____

Project Address:
7404 MONTE VISTA AVE LA JOLLA, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
LYNN CLAUSEN
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
7404 MONTE VISTA AVE
 City/State/Zip:
LA JOLLA, CA 92037
 Phone No: 858-459-7945 Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
JACK CLAUSEN
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
7404 MONTE VISTA AVE
 City/State/Zip:
LA JOLLA, CA 92037
 Phone No: _____ Fax No: _____
 Signature: [Signature] Date: 11-25-2015

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title: CLAUSEN RESIDENCE	Project No. (For City Use Only) 458577
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____

Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

STORM WATER QUALITY NOTE CONSTRUCTION BMP'S

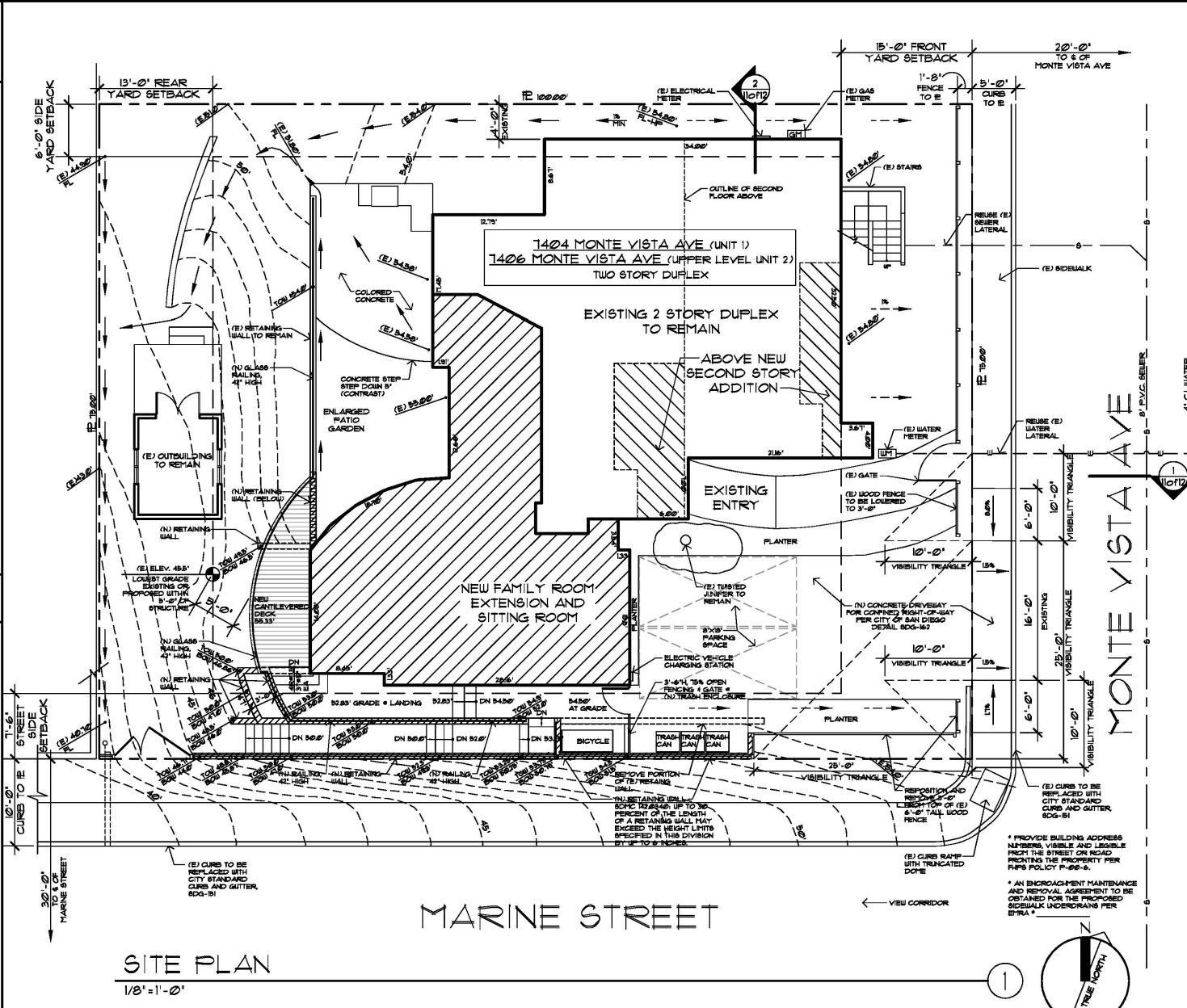
THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 202101 NPEDES NO. CA9210212 (<http://www.surcsb.ca.gov/rwqcc/bv/programs/bd/stormwater.htm>), AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (<http://clerk.dccsannet.gov/rights/site/getcontent/localpdfidmly/objectid/030145180200043>)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND / OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

NOTES

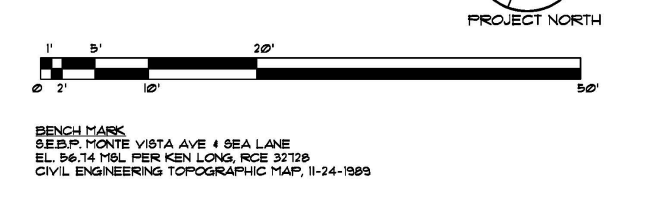
- THE NEW SITE PLAN PROPOSES NEW GRADING AND NEW DRAINAGE SYSTEM ON-SITE.
- EXCAVATION FOR NEW FOUNDATION AND NEW RETAINING WALL ONLY.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF INTO THE ADJACENT STREETS. STORM WATER RUN-OFF SHALL BE DIRECTED TO THE PUBLIC RIGHT-OF-WAY.
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 3, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH CURRENT CITY STORM WATER STANDARDS.
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
- PRIOR TO ANY BUILDING PERMIT BEING ISSUED, ANY EXISTING PUBLIC SEWER LATERAL SCHEDULED FOR REUSE MUST BE INSPECTED BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR USING CLOSED-CIRCUIT TELEVISION (CCTV) TO VERIFY THAT THE LATERAL IS IN GOOD CONDITION, FREE OF ALL DEBRIS, PROPERLY CONNECTED TO A PUBLIC SEWER MAIN, AND IN ALL OTHER WAYS SUITABLE FOR REUSE. IF THE LATERAL IS FOUND TO BE UNSUITABLE FOR REUSE, THE OWNER/PERMITTEE IS REQUIRED TO REPAIR, REMOVE AND REPLACE OR ABANDON AND CAP THE LATERAL AT THE PROPERTY LINE IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE RETAINED OR INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.



SITE PLAN
1/8" = 1'-0"

GRADING TABULATIONS	
TOTAL AMOUNT OF SITE TO BE GRADED:	950 SF
AMOUNT OF CUT:	5* CUBIC YARDS
AMOUNT OF FILL:	10 CUBIC YARDS
MAXIMUM HEIGHT OF FILL SLOPE(S):	0 FEET
MAXIMUM HEIGHT OF CUT SLOPE(S):	0 FEET
AMOUNT OF IMPORT / EXPORT SOIL:	5* CUBIC YARDS
RETAINING / CRIB WALLS:	LENGTH 107 FEET
% OF TOTAL SITE:	13%
MAXIMUM DEPTH OF CUT:	1.4* FEET
MAXIMUM DEPTH OF FILL:	4.8 FEET
SLOPE RATIO:	N/A
SLOPE RATIO:	N/A
MAXIMUM HEIGHT:	4.8 FEET

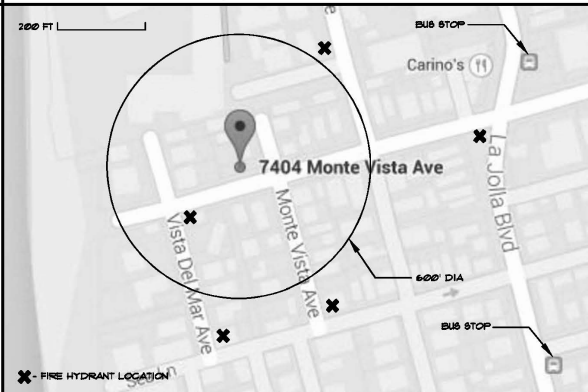
* EXCLUDES BASEMENT EXCAVATION
 AMOUNT OF CUT INCLUDING BASEMENT: 260 CUBIC YARDS
 AMOUNT OF EXPORT INCLUDING BASEMENT: 290 CUBIC YARDS
 MAXIMUM DEPTH OF CUT INCLUDING BASEMENT: 8 FEET



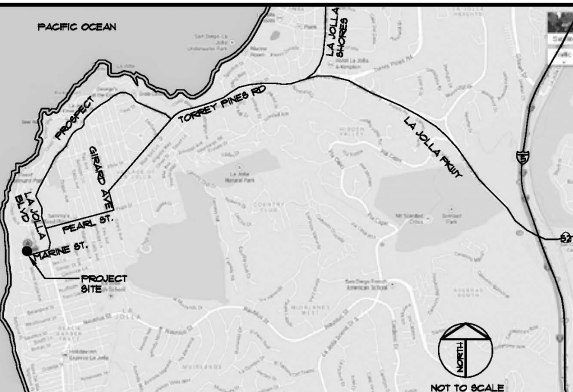
PROPOSED SUSTAINABLE FEATURES

- SOLAR PHOTOVOLTAIC SYSTEM SCALED AT 100% OF HOUSEHOLD POWER NEEDS AND ALSO POWERING TWO ELECTRIC CARS. - 6.7KW PV SYSTEM SIZE (24 MODULES @290 WATTS EACH)
- SOLAR HYDRONICS SYSTEM SCALED TO MEET 100% OF HOUSEHOLD NEEDS.
- INCREASING VENTILATION FLOW IN STAIRWAY VENTILATION CHIMNEY (INCLUDING NIGHT-TIME COOLING IN THE SUMMER).
- RECYCLE GREY WATER FROM BATHROOM SINKS, SHOWERS AND WASHING MACHINE.
- VOICE ACTIVATED FAUCET VALVES IN BATHROOMS, KITCHEN AND LAUNDRY ROOM FOR MAXIMIZING WATER CONSERVATION.

FIRE HYDRANT AND BUS STOP LOCATIONS



VICINITY MAP



LEGEND

- SPOT ELEVATION-PROPOSED
- SPOT ELEVATION-EXISTING
- PROPOSED DRAINAGE CHANNEL OR DRAINAGE PATTERN
- EXISTING DRAINAGE PATTERN TO REMAIN
- EXISTING TOPOGRAPHIC LINE
- PROPERTY LINE
- SETBACK LINE
- NEW STRUCTURE ADDITION
- NEW RETAINING WALL

ZONING INFORMATION

ASSESSOR'S PARCEL NUMBER: 351-012-05
PROJECT LOCATION: 1404 MONTE VISTA AVE (MAIN LEVEL-UNIT 1) 1406 MONTE VISTA AVE (UPPER LEVEL-UNIT 2) LA JOLLA, CA 92031

LEGAL DESCRIPTION:
 LOTS 2, 3 AND 4 OF LA JOLLA BEACH, BLOCK 3, IN THE CITY OF SAN DIEGO, ACCORDING TO THE MAP THEREOF NO. 893 1/2 FILED IN THE OFFICE OF SAID, SAN DIEGO COUNTY, APRIL 28, 1923

PROJECT DESCRIPTION:
 AMENDMENT TO COASTAL DEVELOPMENT PERMIT #417146 TO MAINTAIN THE PROPERTY'S ORIGINAL DUPLEX STATUS AS ESTABLISHED AT TIME OF CONSTRUCTION IN 1948, CITY BUILDING PERMIT 154929 PER COUNTY BUILDING RECORDS. PLAN MODIFICATIONS INCLUDE:

- UNIT 1:**
- REPLACE PROPOSED CAISSONS WITH MASONRY FOUNDATION WALLS, CREATING BASEMENT/STORAGE/UTILITY SPACE.
 - ENLARGEMENT OF SITTING AREA.
 - ADD NEW INTERIOR SPIRAL STAIRS TO ACCESS BASEMENT.
- UNIT 2:**
- REDUCE AMOUNT OF (N) EXPANSION AREA.
 - UPGRADE EXISTING KITCHEN.
 - ADD NEW WASHER/DRYER.
 - ADD NEW SEPARATE DECK.

SITE:

- MODIFICATION TO LAYOUT OF SITE RETAINING WALLS AT THE PATIO.
- ADD NEW CANTILEVERED DECK

YEAR CONSTRUCTED: 1948
PROCESSING REQUIRED: Coastal Development Permit Construction Permits
ZONE: RS-1-7 Coastal Applicable Coastal Height Limit First Public Roadway Overlay
EASEMENTS: No easements found
CODE: 2013 California Building Code, 2013 California Electrical Code, 2013 California Plumbing Code and 2013 California Mechanical Code and 2013 California Fire Code 2013 California Green Code (as amended by City of San Diego Municipal Code)

OCCUPANCY: R-3 (Residence)
USE: Existing use: Duplex-Two dwelling units Proposed use: Duplex-Two dwelling units

GEOLOGIC HAZARD CATEGORY: 53
CONSTRUCTION TYPE: V-N
FIRE SPRINKLER TYPE: N/A

STORIES: 2 story over basement
SOILS CONDITION: Previously Graded
BUILDING HEIGHT: Allowable 30 Feet
LOT SIZE: 1500 SF

FLOOR AREA TABULATIONS:

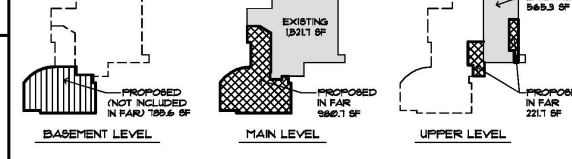
EXISTING FLOOR AREA TABULATIONS:	
Main Level - Unit 1	1521.7 SF
Upper Level - Unit 2	569.3 SF
Sub-total Existing	2091.0 SF

PROPOSED FLOOR AREA TABULATIONS:

Basement Level - Unit 1	105.6 SF (not included in FAR)
Main Level - Unit 1	980.1 SF
Upper Level - Unit 1	131.6 SF
Upper Level - Unit 2	901.5 SF
Sub-total Addition	1988.0 SF

TOTAL EXISTING AND PROPOSED:

Unit 1 (includes main level & attic & upper level) (basement not included)	2634.0 SF
Unit 2 (Upper level)	655.4 SF
Total Existing & Proposed	3289.4 SF



FLOOR AREA RATIO CALCULATIONS:

SITE AREA: 1500 SF
 ALLOWABLE FAR = 4215 SF / 1500 SF = 0.27
 EXISTING FAR = 2091 SF / 1500 SF = 0.21
 PROPOSED FAR = 3289.4 SF / 1500 SF = 0.23

PARKING:
 Total number of parking spaces: 2 (Previously Conforming)

SETBACKS:

	Required	Proposed
Front Yard:	15'-0"	15'-0"
Side Yard (North):	6'-0"	4'-0"
Street Yard (South):	7'-6"	8'-5"
Rear Yard:	15'-0"	24'-2"

SHEET INDEX

- 1 OF 12 - TITLE SHEET / SITE PLAN
- 2 OF 12 - CONSTRUCTION BMP PLAN
- 3 OF 12 - DEMO PLAN
- 4 OF 12 - FOUNDATION / BASEMENT PLAN
- 5 OF 12 - MAIN LEVEL PLAN
- 6 OF 12 - UPPER LEVEL PLAN
- 7 OF 12 - ROOF PLAN
- 8 OF 12 - ELEVATIONS
- 9 OF 12 - ELEVATIONS
- 10 OF 12 - ELEVATIONS
- 11 OF 12 - SECTIONS
- 12 OF 12 - LANDSCAPE PLAN

PROJECT DIRECTORY

OWNER:
 JACK AND LYNN CLAUSEN
 1404 MONTE VISTA AVENUE
 LA JOLLA, CALIFORNIA 92031

ARCHITECT:
 DUCHARME ARCHITECTURE
 LAURA DUCHARME CONROY, AIA
 1142 HERSCHEL AVENUE, SUITE H
 LA JOLLA, CALIFORNIA 92031
 858-454-5125

CIVIL ENGINEER:
 COFFEY ENGINEERING, INC.
 JOHN COFFEY
 10650 SCRIPPS RANCH BLVD, SUITE 210
 SAN DIEGO, CA 92131
 858-831-0111

LANDSCAPE ARCHITECT:
 TODD FRY LANDSCAPE ARCHITECTS
 1920 PRINCESS STREET
 LA JOLLA, CALIFORNIA 92031
 858-459-8025

DUCHARME ARCHITECTURE
 LAURA DUCHARME CONROY AIA ARCHITECT
 1142 HERSCHEL AVENUE SUITE H LA JOLLA CA 92031
 PHONE: 858.454.5125 FAX: 858.414.9102

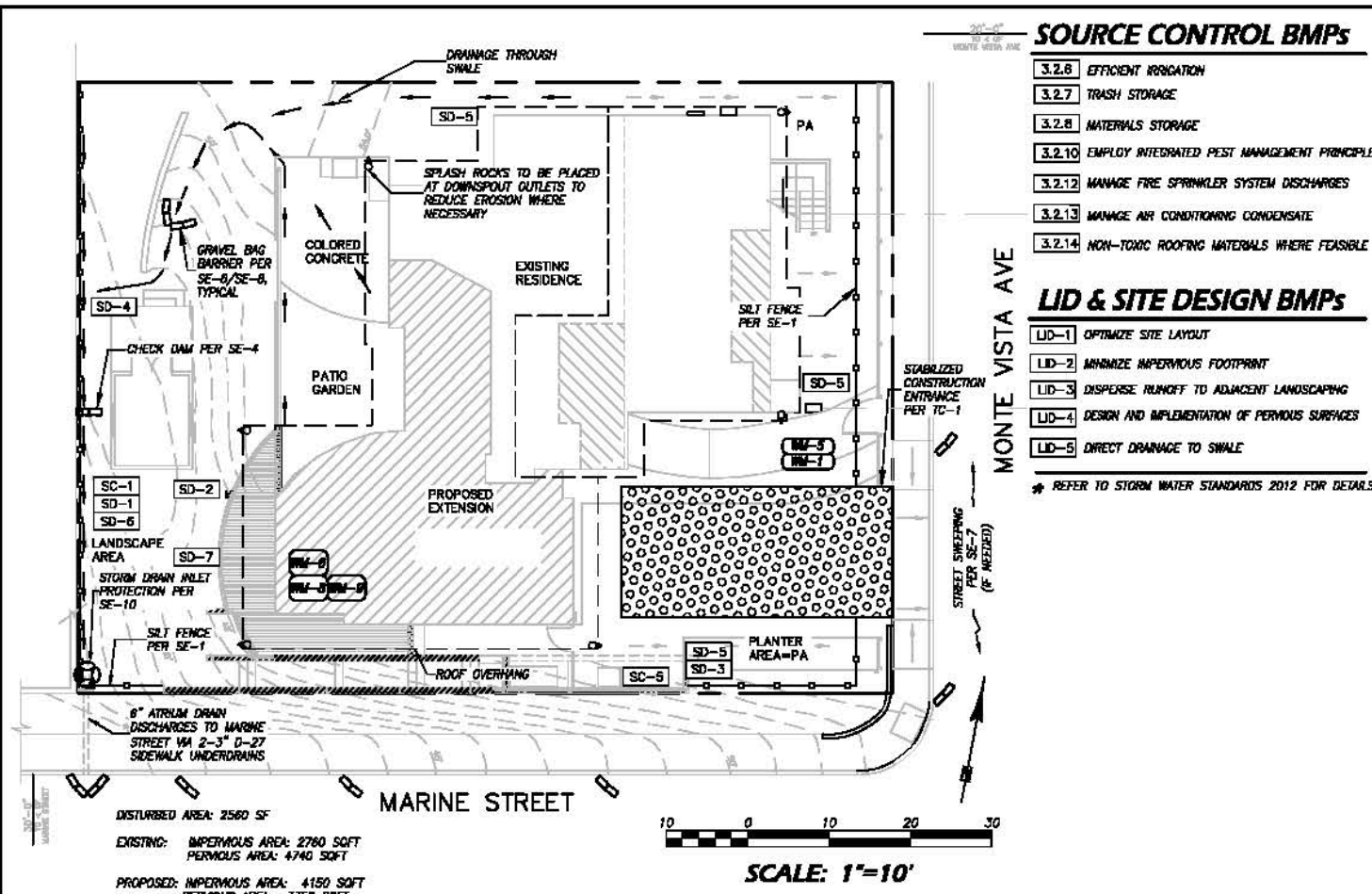
CLAUSEN DUPLEX

1404 & 1406 MONTE VISTA AVE
 LA JOLLA, CA

DATE:
 November 25, 2015
 February 23, 2016 - Full Submittal
 August 15, 2017 - Final

TITLE SHEET/ SITE PLAN

SCALE: 1/8" = 1'-0"
 1 OF 12



Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

- ASBS
a. Projects located in the ASBS watershed.
- High Priority
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
- Medium Priority
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
- Low Priority
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the *Storm Water Standards Manual*.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.

Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the *Storm Water Standards Manual* are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No
- Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

City of San Diego • Development Services • Storm Water Requirements Applicability Checklist Page 3 of 4

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt".

If "no" was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? Yes; PDP exempt requirements apply No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual? Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).

Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project".

If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project".

- New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 619) 448-5000

Storm Water Requirements Applicability Checklist FORM DS-560 October 2016

Project Address: 7404 & 7406 Monte Vista Avenue Project Number (if City Use Only):

SECTION 1. Construction Storm Water BMP Requirements:

All construction sites are required to implement construction BMPs in accordance with the performance standards in the *Storm Water Standards Manual*. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 - Yes; SWPPP required, skip questions 2-4 No; next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff?
 - Yes; WPCP required, skip 3-4 No; next question
- Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 - Yes; WPCP required, skip 4 No; next question
- Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot hole, curb and gutter replacement, and retaining wall encroachments.
 - Yes; no document required

Check one of the boxes below, and continue to PART B:

- If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B
- If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.
- If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

More information on the city's construction BMP requirements as well as CGP requirements can be found at www.sandiego.gov/development-services/stormwater/

If you need more information, please contact the City of San Diego Storm Water Department at (619) 448-5000.

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

- New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site) and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No
- New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more; or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
- New development or redevelopment projects of an automotive repair shops that create and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. Yes No
- Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

- The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.
- The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the *Storm Water Standards Manual* for guidance on determining if project requires a hydromodification plan management.

Michael Rein Agent
Name of Owner or Agent (Please Print) Title
Signature Date 05/04/2017

LEGEND

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE		MAS 45°45'W
STABILIZED CONSTRUCTION ENTRANCE	TC-1	[Symbol]
HAZARDOUS AND CONCRETE WASTE MANAGEMENT	WM-8, WM-8	[Symbol]
SANITARY WASTE (PORTABLE TOILET)	WM-9	[Symbol]
SILT FENCE	SE-1	[Symbol]
INLET PROTECTION	SE-10	[Symbol]
CHECK DAM	SE-4	[Symbol]
GRAVEL BAG BERM/BARRIER	SE-6, SE-8	[Symbol]
MATERIALS DELIVERY AND STORAGE AREA	WM-1	[Symbol]
TEMPORARY TRASH/SOLID WASTE	WM-5	[Symbol]
STREET SWEEPING	SE-7	(NO SYMBOL)
DOWNSPOUT LOCATION		[Symbol]

* STANDARD DRAWINGS (SE-5, WM-5, ETC.) CAN BE FOUND AT THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) WEBSITE: <http://www.casqa.com/>

STORM WATER QUALITY NOTES CONSTRUCTION BMPs

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01, NEXUS AND CASQA'S WEBSITE: http://www.snrwcg.ca.gov/TWQCD/PROGRAMS/SD_STORMWATER.HTM, AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE: http://cdlerdoo.sandnet.gov/rightsite/detocent/local.pdf?dmn_objct=060014018008CA3

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
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COFFEY ENGINEERING, INC.
11400 SCRIPPS BANCH BLVD, SUITE 102, SAN DIEGO, CA 92131 PH (619)831-0111 FAX (619)831-0179

CLAUSEN DUPLEX
7404 & 7406 MONTE VISTA AVENUE
LA JOLLA, CA 92037

DRAWN BY: MR
CHECKED BY: JC
ORIGINAL: 06/08/2015
REVISION 1: 05/05/2017
REVISION 2
REVISION 3
REVISION 4
REVISION 5

CONSTRUCTION BMP PLAN

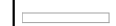
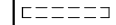
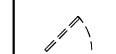
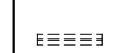
SCALE: 1"=10'

C.1

SHEET 1 OF 1 SHEETS

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

-  (E) WALL TO REMAIN
-  (E) WALL TO BE REMOVED
-  (E) DOOR TO BE REMOVED, UNO TO RETAIN ON SITE FOR REUSE
-  (E) WINDOW TO BE REMOVED, UNO TO RETAIN ON SITE FOR REUSE

EXISTING WALL CALCULATIONS

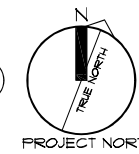
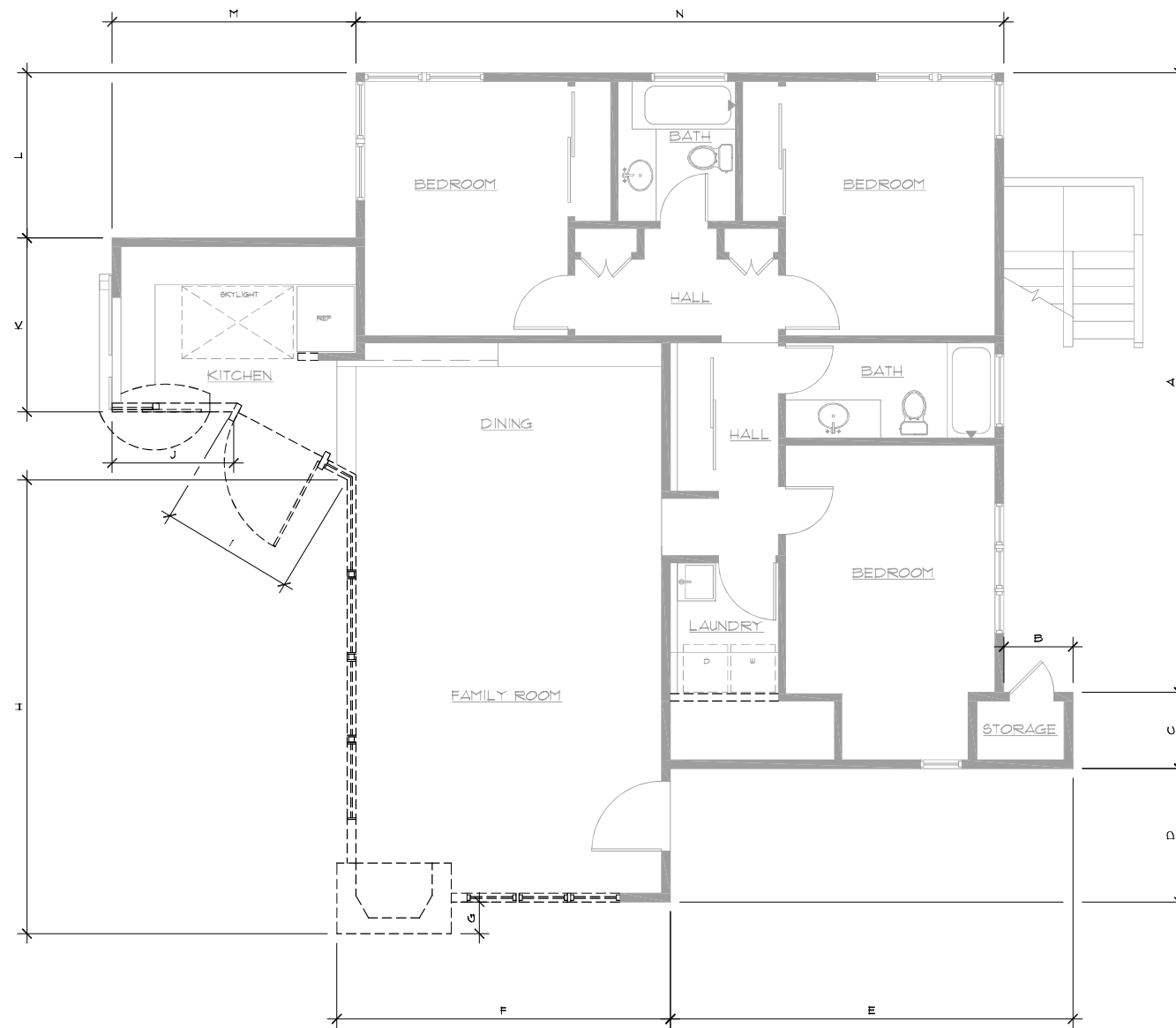
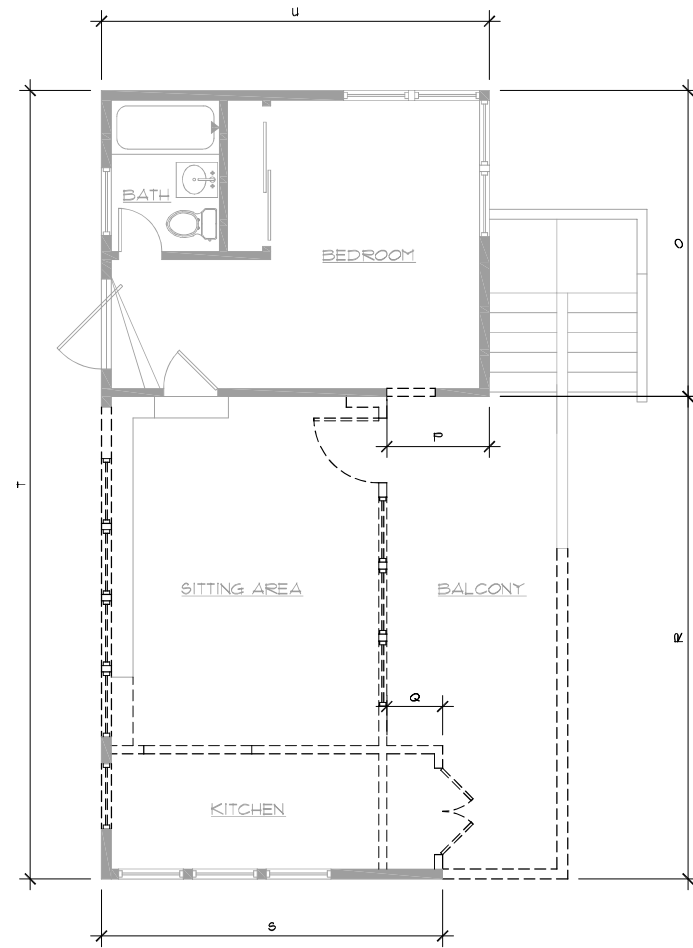
UPPER LEVEL			
	EXISTING	TO REMAIN	REMOVED
P	14'-2"	14'-2"	0
Q	4'-9"	2'-6"	2'-3"
R	2'-7"	0	2'-7"
S	22'-4"	0	22'-4"
T	15'-9.5"	15'-9.5"	0
U	36'-6"	18'-3"	18'-3"
U	18'-0"	18'-0"	0
SUBTOTAL	114'-1.5"	68'-8.5"	45'-5"

EXISTING WALL CALCULATIONS

MAIN LEVEL			
	EXISTING	TO REMAIN	REMOVED
A	32'-6"	32'-6"	0
B	3'-8"	3'-8"	0
C	4'-0"	4'-0"	0
D	7'-0"	7'-0"	0
E	21'-2"	21'-2"	0
F	17'-6"	2'-8"	14'-10"
G	1'-8"	0	1'-8"
H	23'-10"	0	23'-10"
I	7'-0"	0	7'-0"
J	6'-4"	0	6'-4"
K	9'-2"	9'-2"	0
L	8'-8"	8'-8"	0
M	12'-9"	12'-9"	0
N	34'-0"	34'-0"	0
SUBTOTAL	189'-3"	135'-1"	53'-8"

EXISTING WALL CALCULATIONS

TOTAL			
	EXISTING	TO REMAIN	REMOVED
MAIN LEVEL			
SUBTOTAL	189'-3"	135'-1"	53'-8"
UPPER LEVEL			
SUBTOTAL	114'-1.5"	68'-8.5"	45'-5"
TOTAL	303'-4.5"	204'-3.5" (67% REMAINING)	99'-1" (33% REMOVED)



DU CHARME ARCHITECTURE
 LATRA DU CHARME CONROY ALA ARCHITECTE
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 PHONE 858 474 3215 FAX 858 474 3302

CLAUSEN DUPLEX

1404 & 1406 MONTE VISTA AVE
 LA JOLLA, CA








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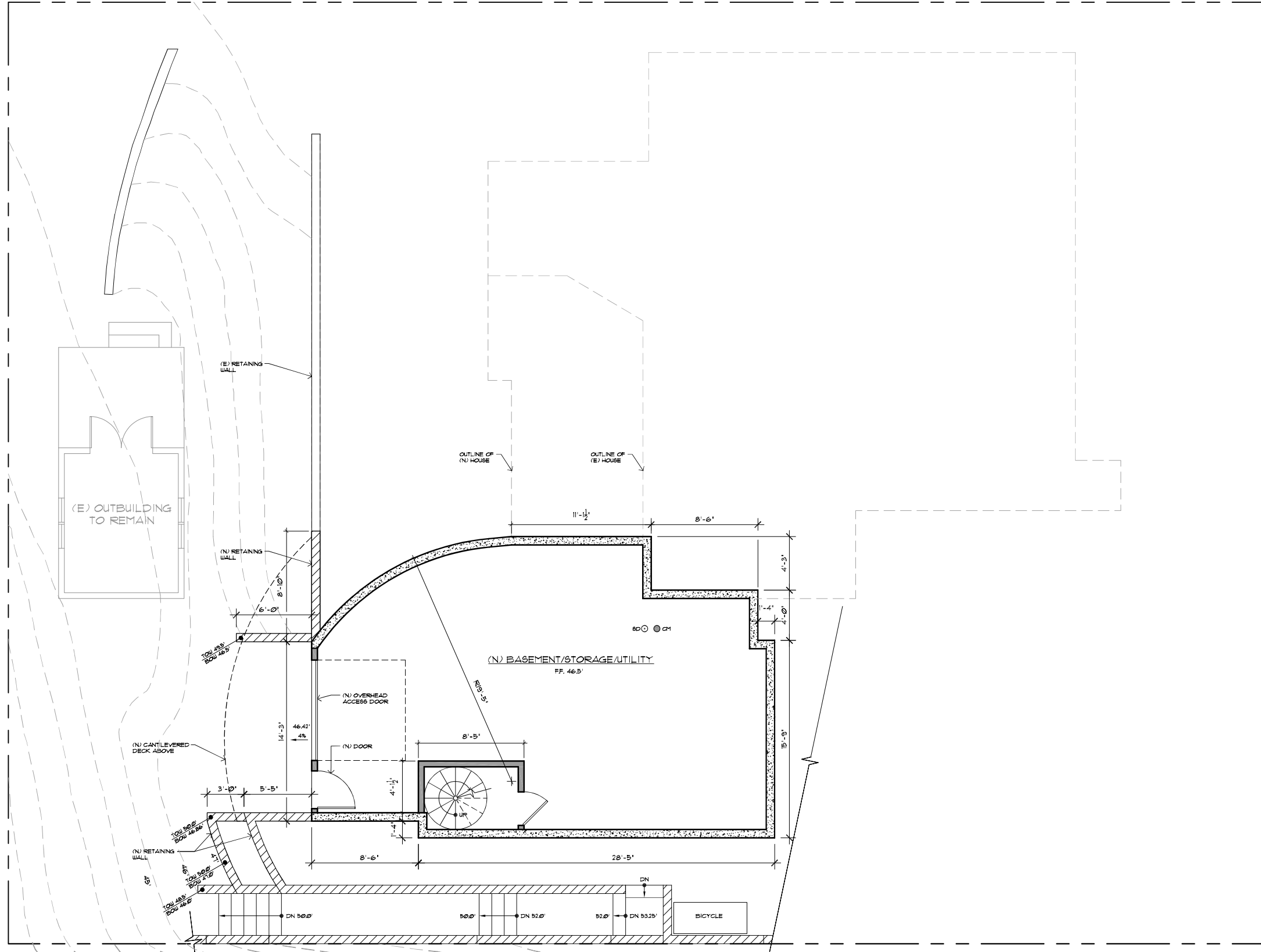
DEMO PLANS

SCALE: 1/4" = 1'-0"

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND

-  (E) 2X WOOD FRAME WALL, TYP, UNO.
-  (N) 2X WOOD FRAME WALL
-  (N) SHOTCRETE RETAINING WALL
-  (N) BLOCK RETAINING WALL
-  EXHAUST FAN
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR




 DU CHARME ARCHITECTURE
 LATRA DU CHARME CONROY ASA ARCHITECT
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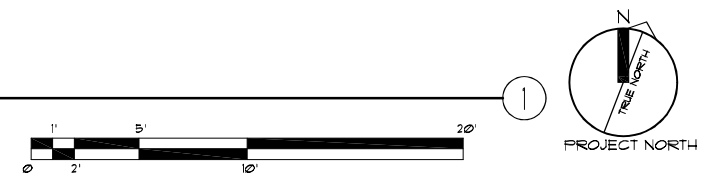
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FOUNDATION / BASEMENT PLAN

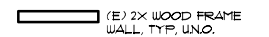
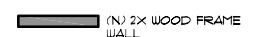
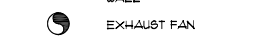


SCALE: 1/4" = 1'-0"

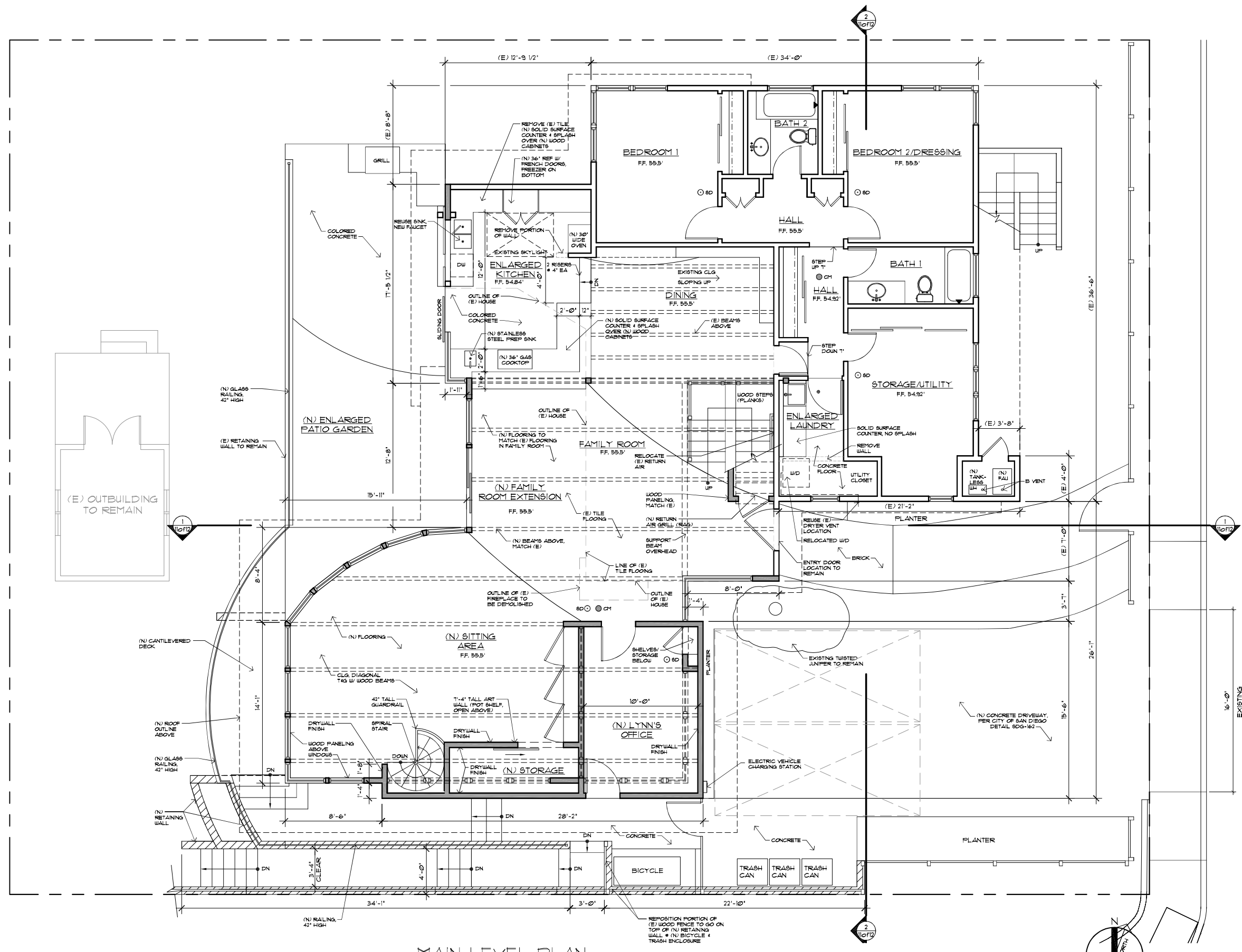
FOUNDATION / BASEMENT PLAN
1/4" = 1'-0"



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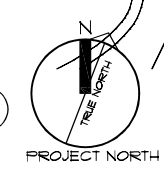
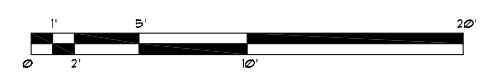
LEGEND

-  (E) 2X WOOD FRAME WALL, TYF, UNCO.
-  (N) 2X WOOD FRAME WALL
-  EXHAUST FAN
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR



MAIN LEVEL PLAN

1/4" = 1'-0"



DUCHARME ARCHITECTURE
LARRY DUCHARME CONSULTING ARCHITECT
7742 WASHINGTON STREET, LA JOLLA, CA 92037
PHONE 858.474.3215 FAX 858.474.3762

CLAUSEN DUPLEX

1404 & 1406 MONTE VISTA AVE
LA JOLLA, CA

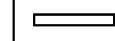


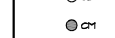
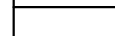
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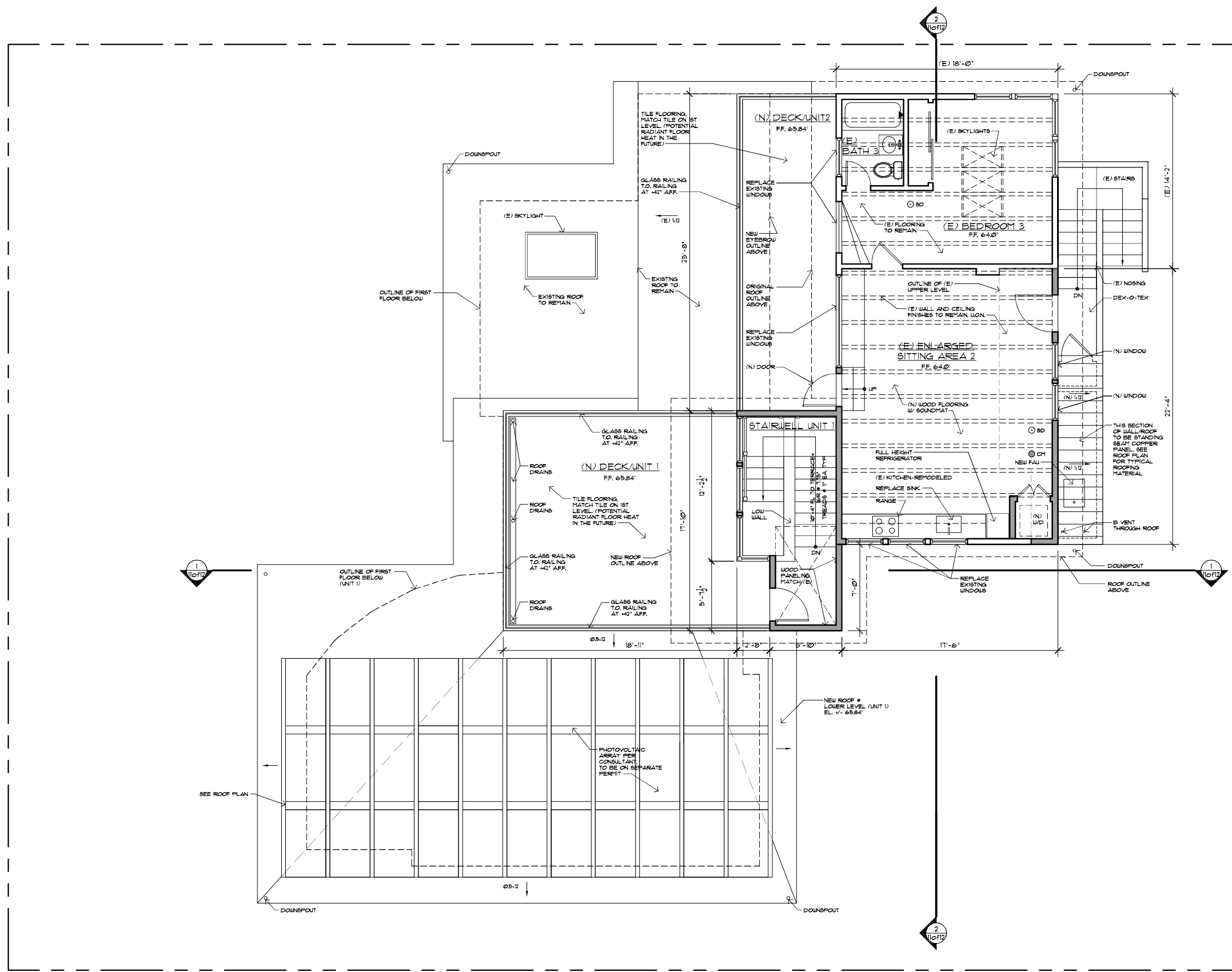
MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

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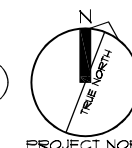
LEGEND

-  (E) 2X WOOD FRAME WALL, TYP, UNO.
-  (N) 2X WOOD FRAME WALL
-  EXHAUST FAN
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR



UPPER LEVEL PLAN

1/4" = 1'-0"



DUCHARME ARCHITECTURE
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CLAUSEN
 DUPLEX
 1404 & 1406 MONTE VISTA AVE
 LA JOLLA, CA




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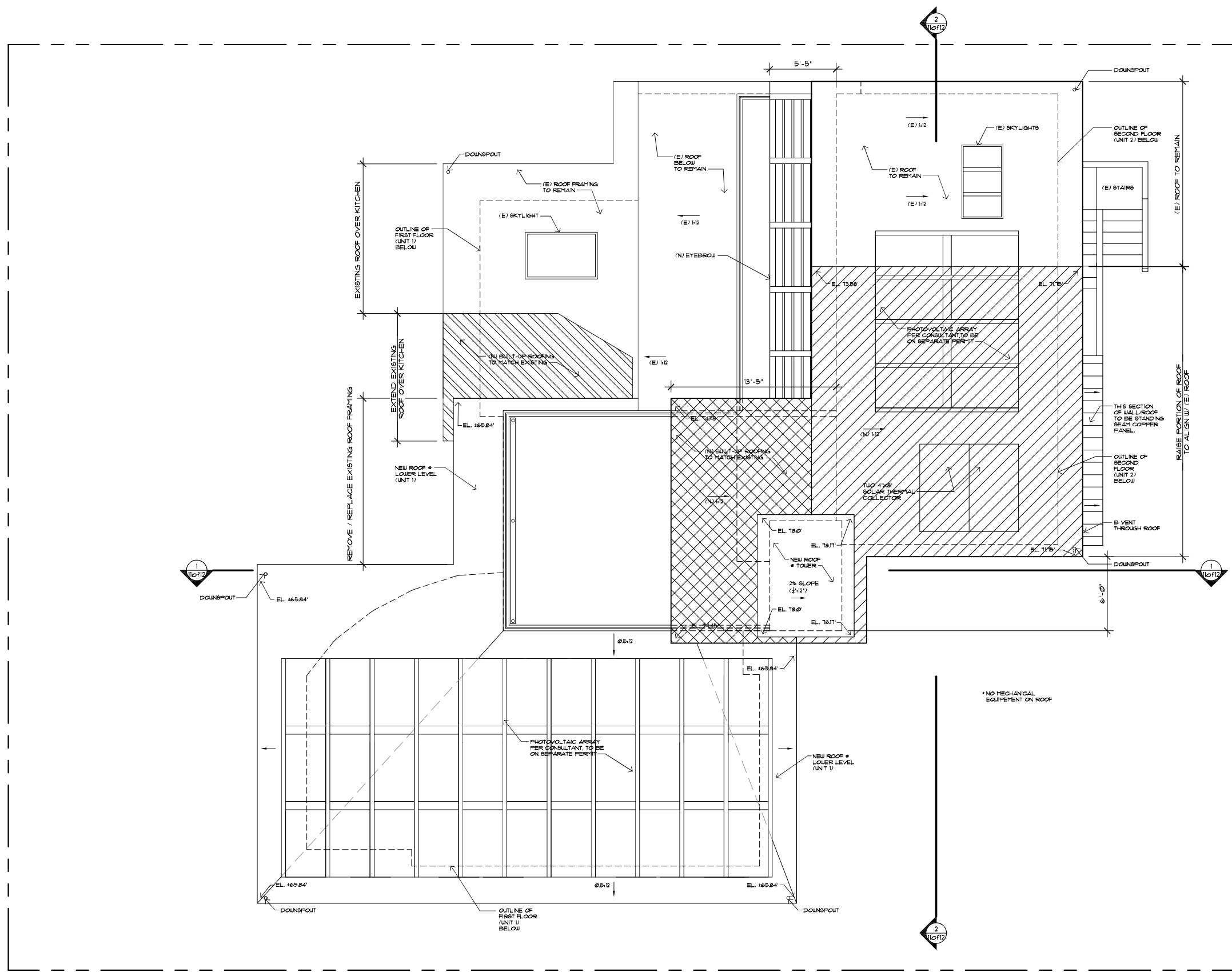
UPPER
 LEVEL PLAN

SCALE: 1/4" = 1'-0"

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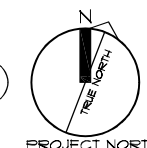
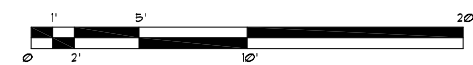
LEGEND

-  RAISE PORTION OF ROOF TO ALIGN W/ (E) ROOF
-  (N) ROOF TO ABUT RAISED ROOF
-  EXTEND (E) ROOF OVER KITCHEN (UNIT 1)



ROOF PLAN

1/4" = 1'-0"



DU CHARME ARCHITECTURE
 LATRA DU CHARME CONROY ALA ARCHITECT
 7742 WASHINGTON AVENUE, SUITE 200, LA JOLLA, CA 92037
 PHONE 951.474.3215 FAX 951.474.3762

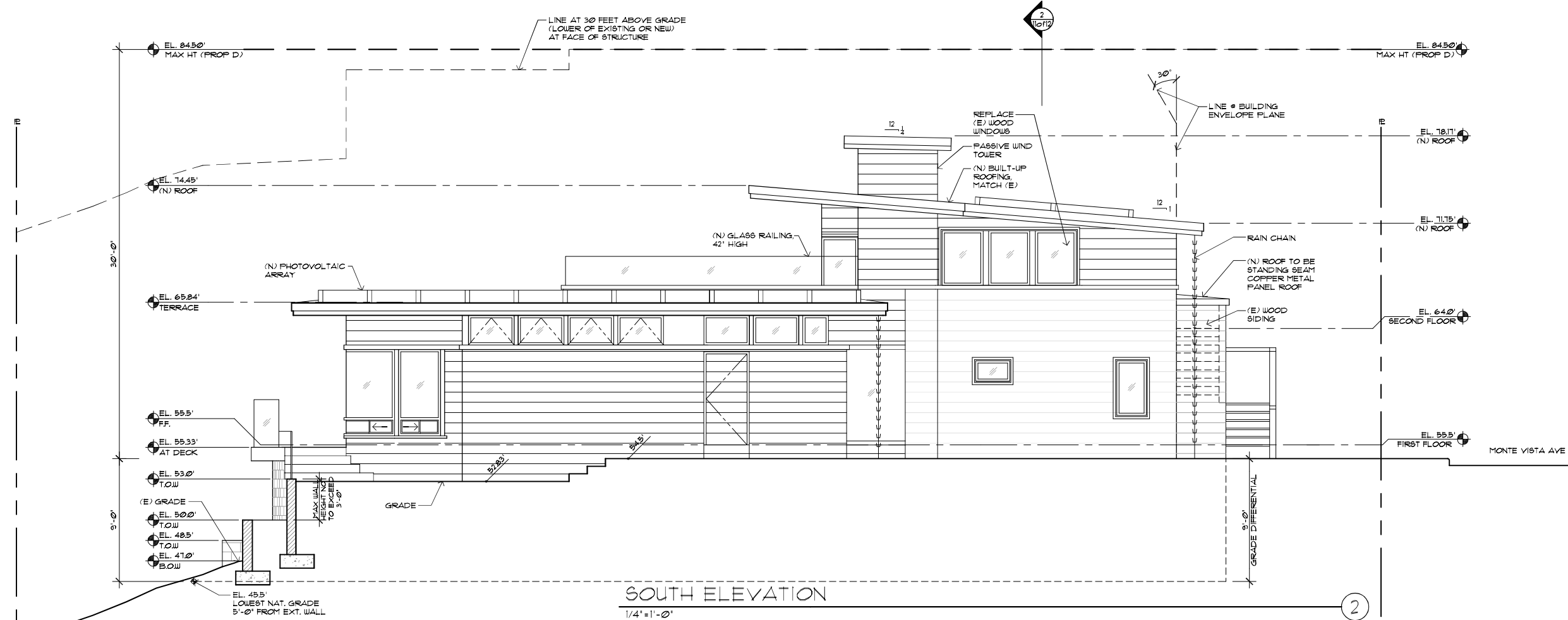
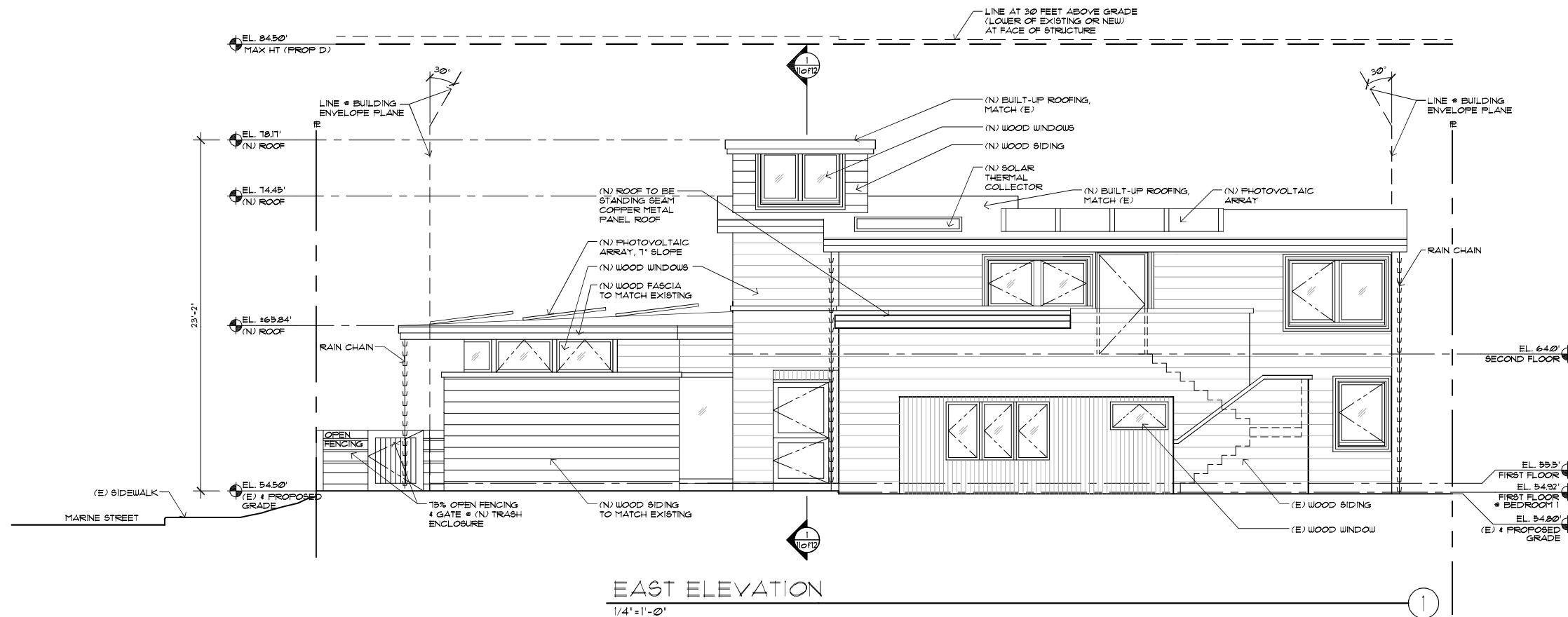
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 LA JOLLA, CA


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ROOF PLAN

SCALE: 1/4" = 1'-0"

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.




DUCHARME ARCHITECTURE
LATRA DUCHARME CONROY ALA ARCHITECT
 1742 RESERVE AVENUE, SUITE 210, LA JOLLA, CA 92037
 PHONE 858.474.3215 FAX 858.474.3762

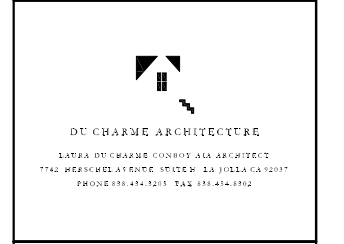
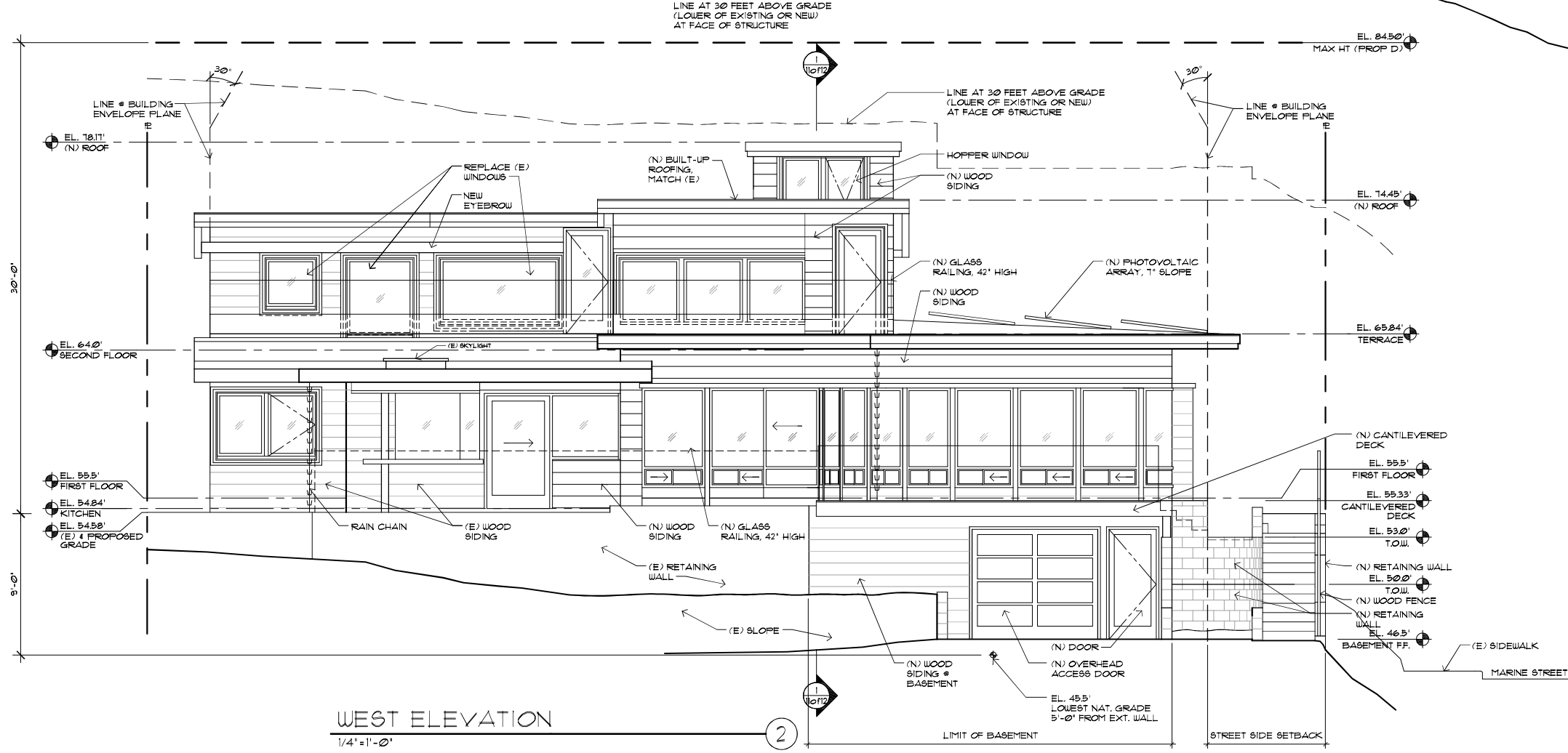
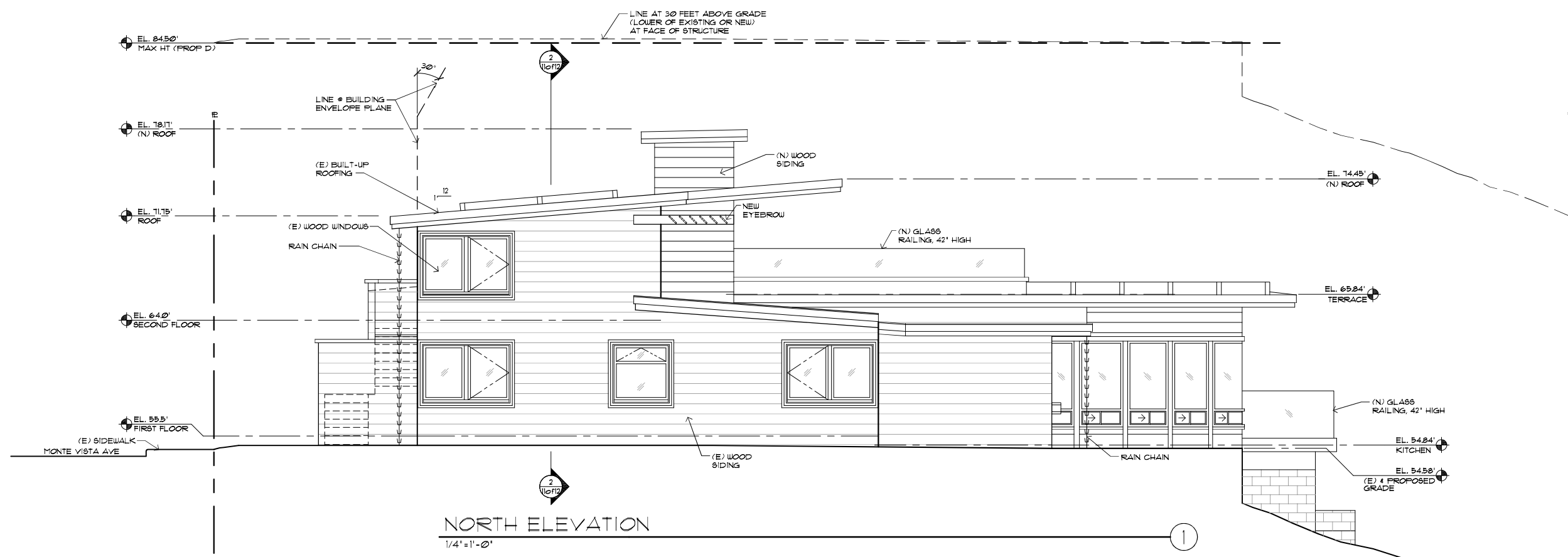
**CLAUSEN
 DUPLEX**
 1404 & 1406 MONTE VISTA AVE
 LA JOLLA, CA

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ELEVATIONS

SCALE: 1/4" = 1'-0"

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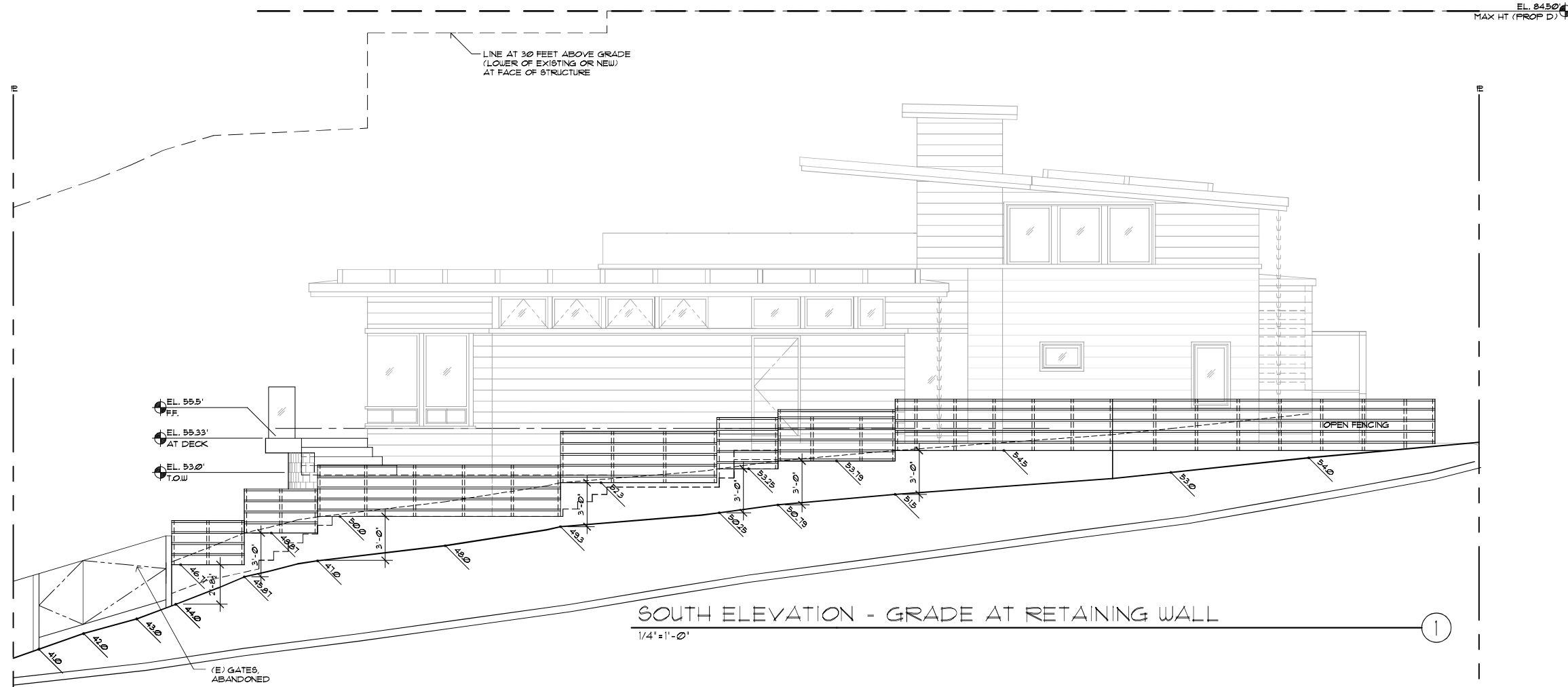


CLAUSEN DUPLEX
 1404 & 1406 MONTE VISTA AVE
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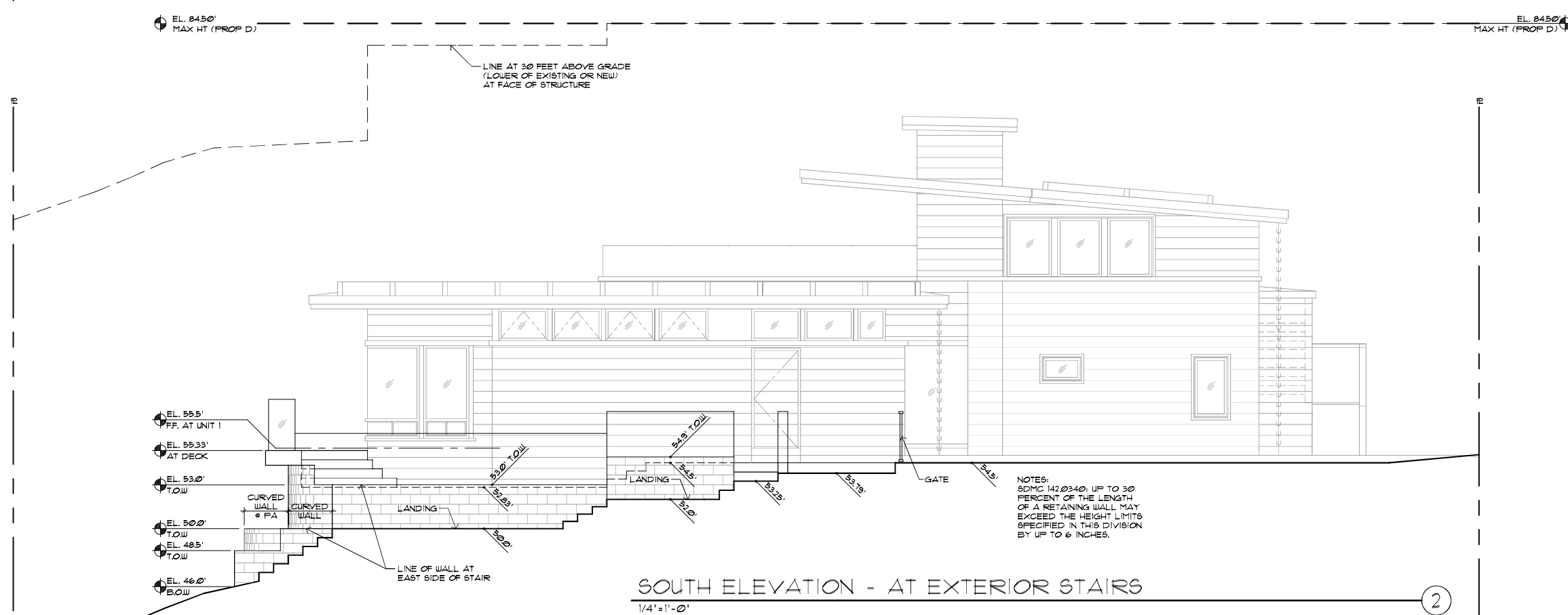
ELEVATION & SECTION
 SCALE: 1/4" = 1'-0"

PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.



SOUTH ELEVATION - GRADE AT RETAINING WALL

1/4" = 1'-0"



SOUTH ELEVATION - AT EXTERIOR STAIRS

1/4" = 1'-0"

NOTES:
SDMC 142.0340: UP TO 30 PERCENT OF THE LENGTH OF A RETAINING WALL MAY EXCEED THE HEIGHT LIMITS SPECIFIED IN THIS DIVISION BY UP TO 6 INCHES.



DU CHARME ARCHITECTURE
LARA DU CHARME CONROY AIA ARCHITECT
1742 WASHINGTON AVENUE SUITE 210 JOLLA CA 92037
PHONE 619.474.3215 FAX 619.474.3762

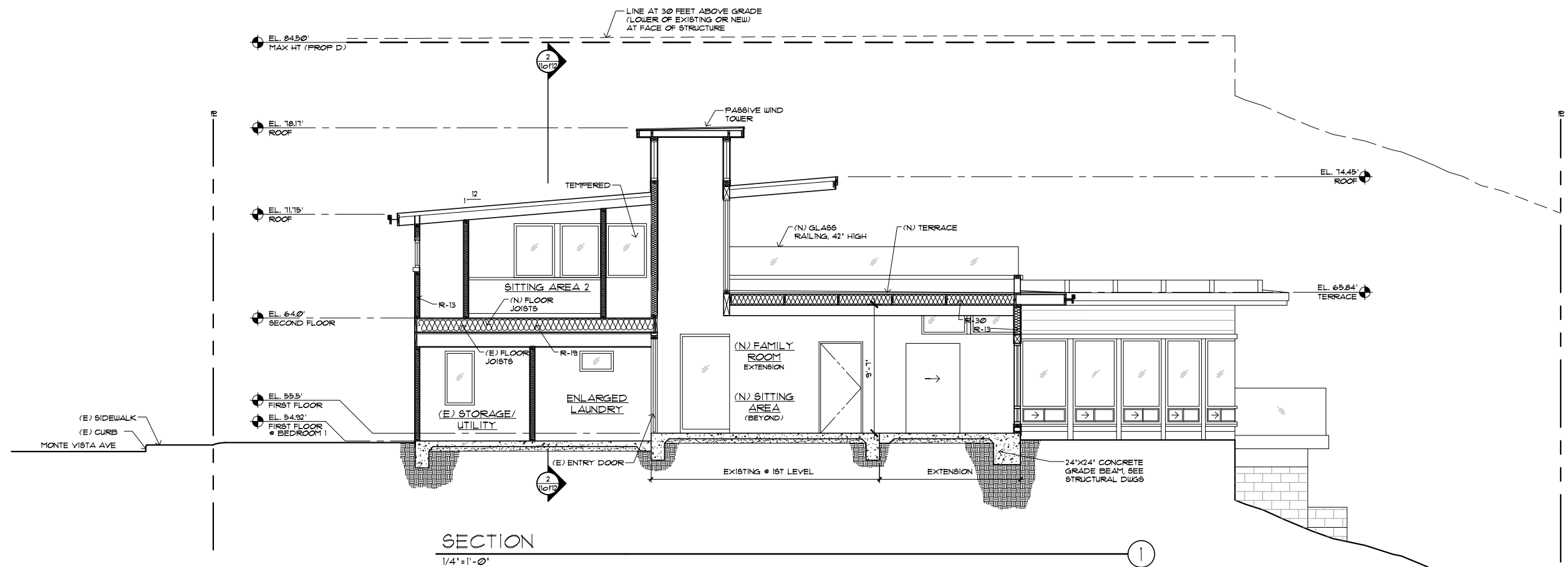
CLAUSEN
DUPLEX

1404 & 1406 MONTE VISTA AVE
LA JOLLA, CA

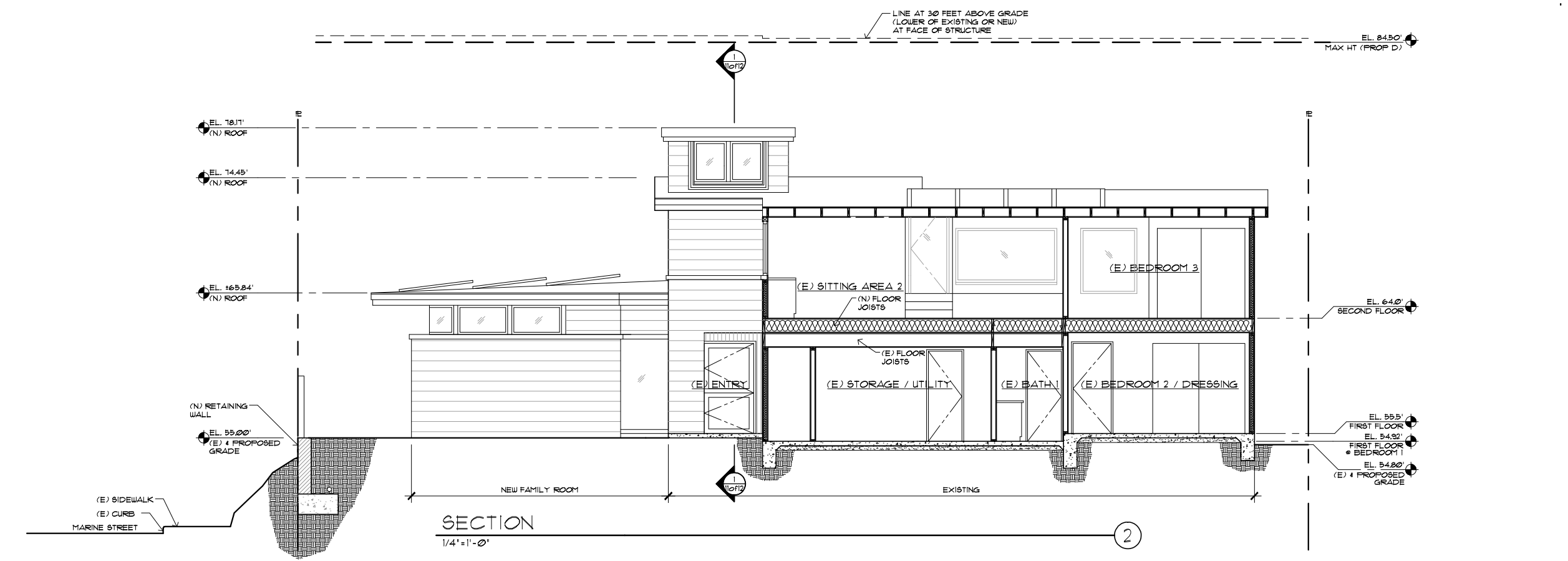
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ELEVATION

SCALE: 1/4" = 1'-0"



SECTION
 1/4" = 1'-0"



SECTION
 1/4" = 1'-0"

DUCHARME ARCHITECTURE
 LAURA DUCHARME CONROY AIA ARCHITECT
 1743 HERSCHEL AVENUE SUITE B LA JOLLA CA 92037
 PHONE 858-454-2888 FAX 858-454-2888

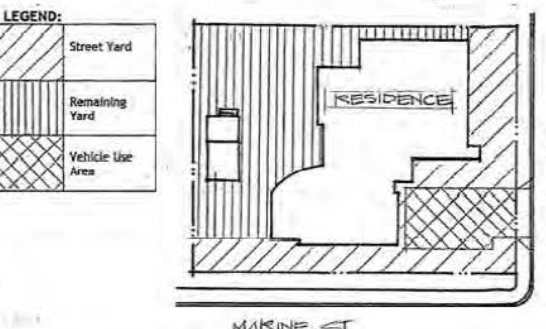
CLAUSEN DUPLEX
 1404 & 1406 MONTE VISTA AVE
 LA JOLLA, CA

DATE:
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SECTIONS
 SCALE: 1/4" = 1'-0"
 11 OF 12

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
Traffic Signal, Stop Sign	23 feet
Underground Utility Lines	5 feet
Above Ground Utility Structure (Transformers, hydrants, utility poles, etc.)	10 feet
Divergers	10 feet
Intersections (intersecting curb lines of two streets)	25 feet

STREET TREES	Required:	Provided:
Street Trees (in Public Right-of-Way): Length of Street Frontage at Monte Vista Ave. (less driveway/curb cuts):		59 feet
Street Trees: Length of Street Frontage at Marine St. (less driveway/curb cuts):	2 (1 per every 30 feet)	2
Street Trees: Length of Street Frontage at Marine St. (less driveway/curb cuts):	3 (1 per every 30 feet)	3



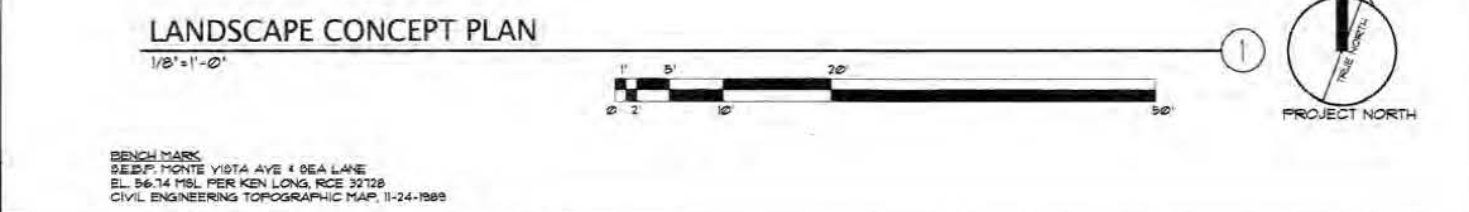
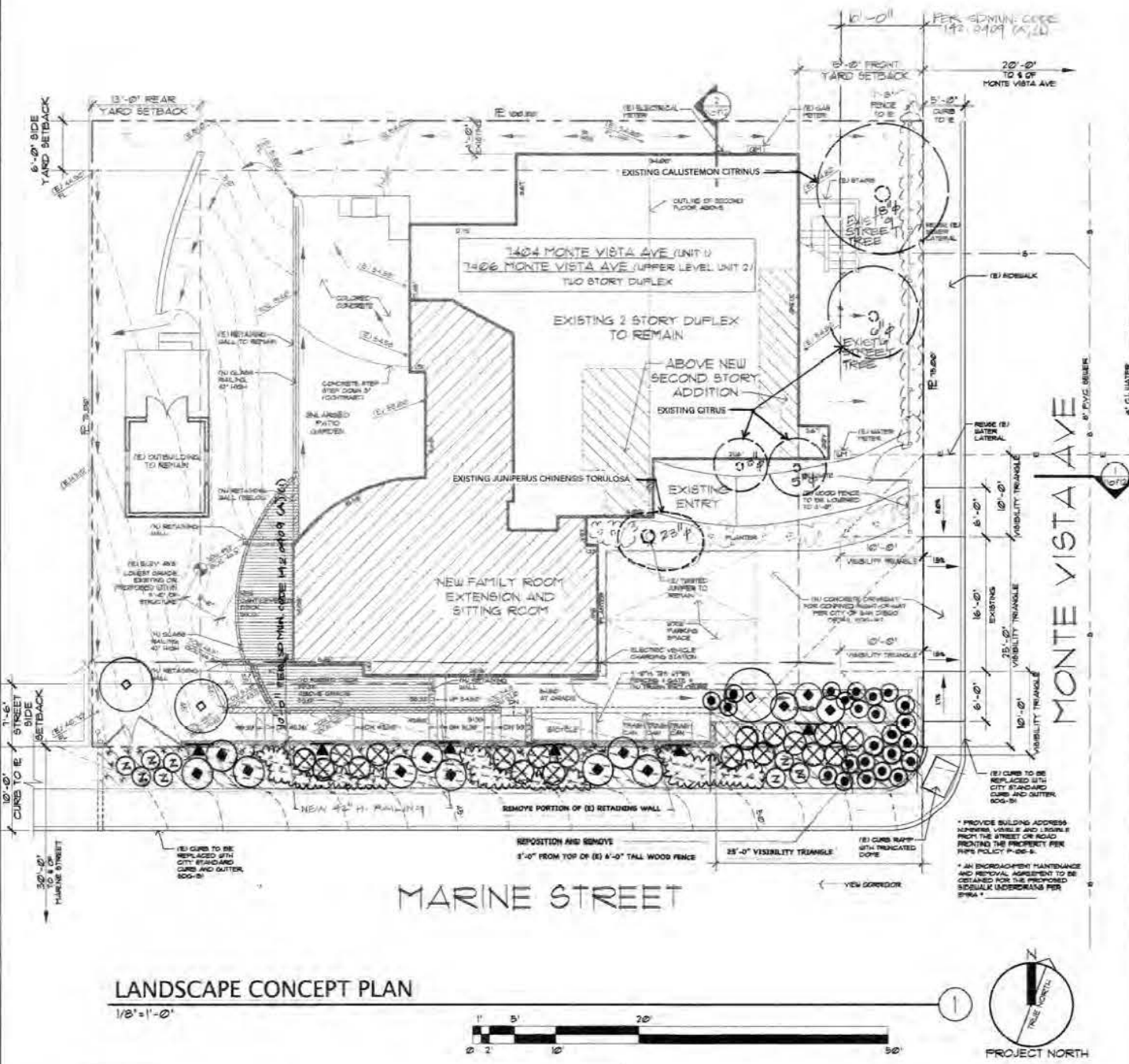
LANDSCAPE CALCULATIONS	Required:	Provided:
Street Yard:		
Total Area:		2543 s.f.
Planting Area: (20% of total area)	509 s.f.	1481 s.f.
Allowable Plant Area Reduction through Excess Plant Points:	318 s.f. (allowed)	N/A
Plant Points:	127 points (0.05 per total s.f.)	1745 points
Points Achieved through Trees:	84 points (1/2 required points)	1435 points
Remaining Yard:	(Previously unimproved property—see landscape review item #2)	N/A
Total Area:		
Planting Area:	140 s.f. per tree	
Plant Points:	60 points	
Points Achieved through Trees:	30 points (1/2 required points)	
Vehicular Use Area Within Street Yard: (Less than 6000 s.f.)		
Total Area:		652 s.f.
Planting Area:	40 s.f. per tree	100 s.f.
Plant Points:	20 points (0.05 per total s.f.)	611 points
Vehicular Use Area Outside Street Yard: (Less than 6000 s.f.)		N/A
Total Area:		
Planting Area:	40 s.f. per tree	
Plant Points:	20 points (0.05 per total s.f.)	

LEGEND

- SPOT ELEVATION-PROPOSED
- SPOT ELEVATION-EXISTING
- PROPOSED DRAINAGE CHANNEL OR DRAINAGE PATTERN
- EXISTING DRAINAGE PATTERN TO REMAIN
- EXISTING TOPOGRAPHIC LINE
- PROPERTY LINE
- SETBACK LINE
- NEW STRUCTURE ADDITION
- NEW RETAINING WALL

CLAUSEN RESIDENCE

1404 MONTE VISTA AVE
LA JOLLA, CA



- PLANTING & IRRIGATION NOTES**
- All required landscaping shall be maintained in a disease, weed, and litter free condition at all times.
 - The permittee or subsequent owners are responsible for the long-term maintenance of all landscape areas consistent with the City of San Diego Land Development Manual Landscape Standards.
 - Irrigation systems are to be installed in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards.
 - All Landscape and Irrigation shall conform to the standards of the City-Wide Landscape Regulations, The City of San Diego Land Development Manual Landscape Standards and other Landscape related City and Regional standards.
 - Irrigation System: Combination of Low-water emission shrub spray heads and Drip Irrigation system.
 - All canopy trees shall be provided with 40 s.f. root zone and planted in an air and water permeable landscape area. The minimum dimension (width) of this area shall be 5 feet.
 - Tree root barriers shall be installed where trees are placed within 5 feet of public improvements, including walks, curbs, or street pavement or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around root ball.
 - No trees or shrubs whose height will be 3'-0" at maturity shall be retained or installed within 5 feet of any publicly maintained water facilities or within 10 feet of any publicly maintained sewer facilities.
 - Existing trees to remain on site within the area of work will be protected in place. The following protection measures shall be provided:
 - Bright yellow or orange temporary fencing to be placed around existing trees at the drip line.
 - Stockpiling, topsoil disturbance, vehicular use, and material storage of any kind is prohibited within the drip line.
 - A tree watering schedule shall be maintained and documented during construction.
 - All damaged trees shall be replaced with tree of equal or greater size.

- DESIGN STATEMENT**
- Use of drought tolerant, adaptive plants wherever possible, consistent with the City of San Diego Land Development Manual.
 - Plants selected to enhance the experience of pedestrians and occupants.

BENCH MARK:
S.E. COR. MONTE VISTA AVE & SEA LANE
E.L. 56.14 MSL PER KEN LONG, RCE 32128
CIVIL ENGINEERING TOPOGRAPHIC MAP, 11-24-1989

SYMBOL	%	SIZE	QUAN	BOTANICAL NAME/COMMON NAME	FORM/FUNCTION	SIZE AT MATURITY	SYMBOL	%	SIZE	QUAN	BOTANICAL NAME/COMMON NAME	FORM/FUNCTION	SIZE AT MATURITY
				SUCH AS: METROSIDEROS EXCELSA	STREET TREE NEW ZEALAND CHRISTMAS TREE	20' h. X 10' w.							
	100%	24" box	3	SUCH AS: SALVIA 'POZO BLUE' SALVIA GREGGII	MEDIUM MASSING SHRUB POZO BLUE SAGE MAGENTA RED TEXAS SAGE	3' h. x 3' w.							
	100%	5 gal	12	SUCH AS: PENSTEMON MARGARITA 'BOP' DIPLACUS PUNCUS DIPLACUS AURIANTICUS 'SIERRA' ASCLEPIAS TUBEROSA	LOW SHRUB BOP PENSTEMON RED MONKEY FLOWER YELLOW MONKEY FLOWER BUTTERFLYWEED	24" h. x 24" w.							
	100%	1 gal	12	SUCH AS: LIMONIUM PEREZII ACHILLEA MILLEFOLIUM CENTRANTHUS RUBER	ACCENT SHRUB STATICE/SEA LAVENDER YARROW JUPITER'S BEARD	18" h. x 18" w.							
	100%	1 gal	24	SUCH AS: ESCHSCHOLZIA CALIFORNICA LUPINUS ALBIFRONS COREOPSIS MARITIMA	SMALL ACCENT PERENNIAL CALIFORNIA POPPY LUPINE COREOPSIS	18" h. x 18" w.							
	100%	1 gal	8	SUCH AS: MACPADYENA UNGUIS GATI	SMALL ACCENT SHRUB CAT'S CLAW VINE	6' h. x 8' w.							
	50%	1 gal	24	SUCH AS: CEONOTHUS 'ANCHOR BAY' ARCTOSTAPHYLOS 'SUNSET' ROSMARINUS 'HUNTINGTON BLUE' LANTANA MONTEVIDENSIS	GROUND COVER ANCHOR BAY CEONOTHUS SUNSET GROUND COVER MANZINITA DWARF PROSTRATE ROSEMARY TRAILING LANTANA (PURPLE)	18" h. x 3' w.							
	50%	flats	as req'd	DROSANTHEMUM FLORIBUNDUM 'ROSEA'	ROSEA ICEPLANT								

EXISTING TO REMAIN	IRREVERSIBLE	(SEE PLAN FOR INDIVIDUAL TRUNK CALIPERS)
1 JUNIPERUS CHINENSIS TORULOSA	15' h.	
3 CITRUS	5'-8' h.	
1 CALISTEMON CITRINUS	15' h.	
11 RHAPHIOLEPIS SPR.	5' h.	
2 BOUGAINVILLEA	5' h.	

DATE:

November 25, 2015

February 23, 2016 - Full Submittal

November 02, 2016 - Resubmittal

May 18, 2017

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

12 OF 12