



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: August 16, 2017 REPORT NO. HO-17-052

HEARING DATE: August 23, 2017

SUBJECT: TORRANCE 3, Process Three Decision

PROJECT NUMBER: [519307](#)

OWNER/APPLICANT: Jennifer Currie/Nakhshab Development & Design, Inc.

### SUMMARY

Issue: Should the Hearing Officer approve the consolidation of ten existing lots into three lots through lot line adjustments and the construction of three single-family dwelling units on three parcels of land and the encroachment of a private driveway within an unimproved portion of the public right-of way located at 549 Torrance Street within the Uptown Community Plan area?

#### Staff Recommendations:

1. Adopt Mitigated Negative Declaration No. 519307, and Adopt the Mitigation Monitoring and Reporting Program; and
2. Approve Site Development Permit No. 1961193.

Community Planning Group Recommendation: On February 7, 2017, the Uptown Planners voted 12-0-1 to recommend approval of the proposed project without conditions.

Environmental Review: Mitigated Negative Declaration No. 519307 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Paleontological Resources. A Mitigation Monitoring and Reporting Program (MMRP) would be implemented with this project, which shall reduce the potential impacts to below a level of significance.

### BACKGROUND

The project site is located at 549 Torrance Street, east of Dove Court, in the RS-1-1 Zone within the Uptown Community Plan area (Attachments 1 through 4). Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 60

CNEL, the Airport Influence Area (SDIA Review Area 2), the Federal Aviation Administration (FAA) Part 77 Noticing Area (SDIA and the North Island Naval Air Station (NAS)). The Uptown Community Plan (1988) designates the approximate 0.56-acre site as Open Space. The Open Space and Recreation Element further identifies the site within Zone 1-Biological/Geological Zone within the Maple/Reynard Canyon Open Space System. Within Zone 1, very low residential density is allowed (one-two dwelling units per acre), and based on the project's ability to conform to lot requirements and allowances to subdivide the site into three lots, each individual lot may be developed with a single-family dwelling unit.

On July 11, 2016, the applicant submitted a ministerial application for three parcel maps under Project No. 499608, which included lot line adjustments and consolidation of portions of the existing lots to create three parcels. The parcel maps were not recorded prior to the submittal of this Site Development Permit application; therefore, all actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in [San Diego Municipal Code \(SDMC\) Section 112.0103](#).

The project site is a rectangular-shaped property situated on the south side of an unimproved portion of the Torrance Street right-of-way, between Curlew Street and Dove Court. The project site is currently vacant and the vegetation on-site consists of non-native grassland and non-native vegetation. The project site is bounded on the north by the Torrance Street right-of-way and residences beyond; and on the east, south and west by existing residences. The adjacent property to the north, located at 628 Torrance Street, was approved in July 1985 an encroachment of a private 20-foot wide driveway and associated improvements along the northern portion of Torrance Street which is accessed from Dove Court. The encroachment approval was part of the grading and public improvements for a 16-unit multi-family development.

The topography along the unimproved Torrance Street rises from 185 feet at the northeastern corner of the project site to 260 feet at the intersection of Dove Court and Torrance Street (approximately a 75-foot differential). The topography of the site rises from 195 feet at the northeastern and southeastern corners to 250 feet at the northwestern and southwestern corners (approximately a 55-foot differential). The site is located above the 100-year floodplain and is not located within or adjacent to the City's Multi Habitat Planning Area. A Biological Resources Report was prepared by Vincent N. Scheidt dated February 24, 2017. The report determined that the project site does not contain any sensitive biological resources, nor does it contain any candidate, sensitive or special status species. Therefore, the site does not contain Environmentally Sensitive Lands (ESL) as defined in [SDMC Section 113.0103](#).

## DISCUSSION

### Community Plan and Zone Updates:

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to [Ordinance No. O-20770](#) N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to [Ordinance No. O-20771](#) N.S. However, the project application was deemed complete on November 2, 2016, and the project is utilizing the Uptown Community Plan (1988) and the zoning regulations that were in effect at the time of the submittal.

Project Description:

The project proposes the consolidation of ten existing lots into three lots through lot line adjustments and the construction of three detached single-family dwelling units totaling 8,334 square feet. Lot A contains a two-story, 2,545-square-foot unit with an attached carport; Lot B contains a three-story, 2,976-square-foot unit with an attached carport; and Lot C contains a two-story, 2,813-square-foot unit with a detached carport. The project also proposes a private 20-foot-wide driveway and associated grading that encroaches within the unimproved portion of the Torrance Street public right-of way and accessed from Dove Court, which will provide access to the three single-family dwelling units.

The applicant is not the record owner of the underlying fee title on the portion of the public right-of way which the driveway encroachment will be located. However, the applicant has obtained and submitted to the City written permission from all the record owners of the underlying fee title to the satisfaction of the City Engineer for the encroachment of a private driveway and associated grading within the unimproved portion of Torrance Street. Due to the topography along the unimproved portion of Torrance Street and the angles for egress and ingress, the proposed driveway would not be able to connect into the existing driveway located at 628 Torrance Street.

The project is not requesting nor requires any deviations from the development regulations. Therefore, development of the project requires a Process Three Site Development Permit (SDP) for private encroachments in the public right-of-way where the applicant is not the record owner of the property on which the encroachment will be located in accordance with [SDMC Section 129.0710\(b\)\(4\)](#). The project incorporates a roof-mounted photovoltaic system consisting of solar panels on each building sufficient to generate at least 50-percent of the project's projected energy consumption, and qualifies as a Sustainable Building. As such the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Affordable and Inclusionary Housing - This project is subject to the requirements of the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance ([SDMC Section 142.1301 et seq.](#)). The applicant will comply with the requirements by pay an in-lieu fee to meet these requirements. Prior to receiving the first residential building permit the applicant must pay the entire fee amount.

Climate Action Plan (CAP) Consistency- A CAP Consistency Checklist was prepared by the applicant and the project was determined to be in conformance with the CAP. The project has been designed to have an energy budget that shows a 15-percent energy improvement to the Title 24, Part 6 Energy Budget. This energy demand reduction will be provided through a combination of on-site renewable energy generation (photovoltaic) and energy performance design elements. The project conserves water by using low-flow fixtures/appliances and also accommodates for future installation of electric vehicle supply equipment in the parking garages to provide an electric vehicle charging station.

Airport Land Use Compatibility - The project site is located within the Airport Land Use Compatibility Overlay Zone and the Airport Influence Area (Review Area 2) for the SDIA as depicted in the adopted

2014 Airport Land Use Compatibility Plan (ALUCP). The project is not located in a Safety Zone as depicted in the ALUCP. The use and density are consistent with the ALUCP; therefore, a consistency determination by the San Diego County Regional Airport Authority is not required. The maximum height of the proposed structure is approximately 246 feet Above Mean Sea Level (AMSL), the FAA Part 77 notification surface for SDIA is below the site at 60 feet AMSL and 201 feet AMSL for North Island NAS. Though the proposed project would exceed the FAA height notification surface, the applicant has submitted a FAA Self-certification Agreement in accordance with the guidelines, stating that a FAA notification pursuant to Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

CONCLUSION:

The proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Uptown Community Plan and the SDMC.

ALTERNATIVES

1. Adopt Mitigated Negative Declaration No. 519307, and Adopt the Mitigation Monitoring and Reporting Program, and Approve Site Development Permit No. 1961193, with modifications.
2. Do Not Adopt Mitigated Negative Declaration No. 519307, and Do Not Adopt the Mitigation Monitoring and Reporting Program, and Deny Site Development Permit No. 1961193, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



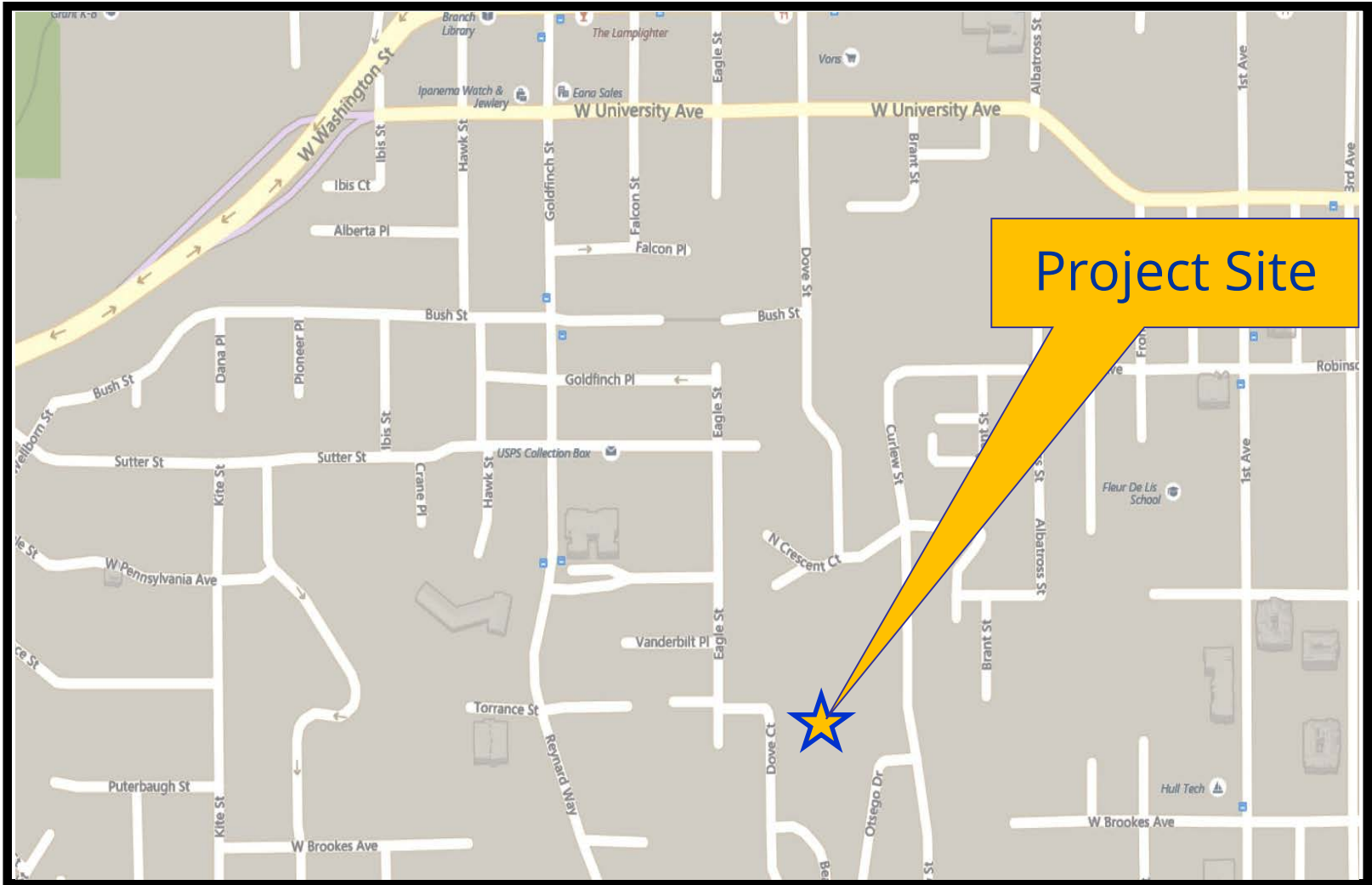
Jeffrey A. Peterson  
Development Project Manager

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Draft Resolution with Findings
7. Draft Permit with Conditions
8. Draft Environmental Resolution with MMRP (MND)
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans

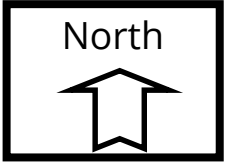
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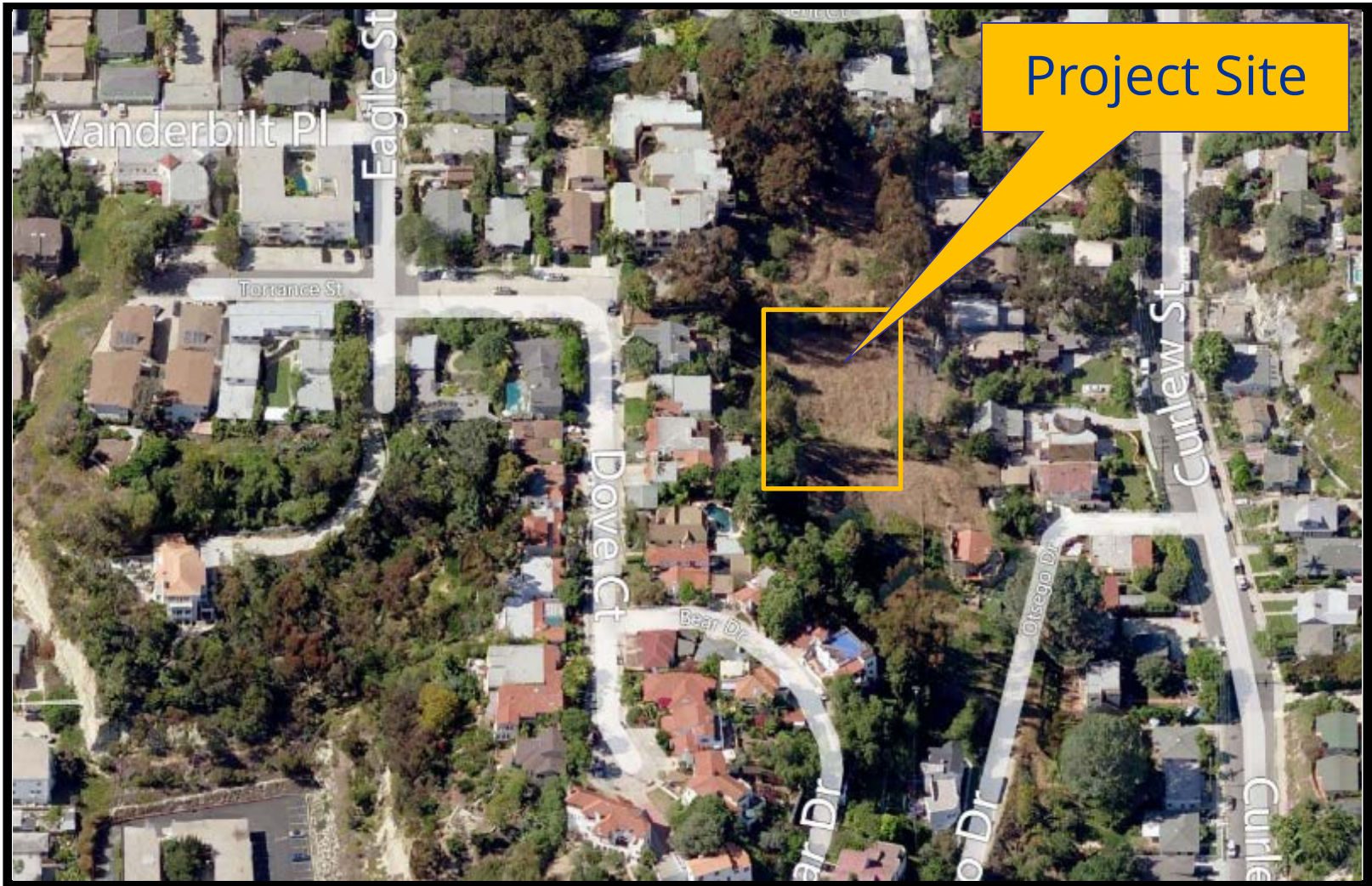




# Location Map

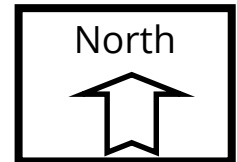
**Torrance 3 - Project No. 519307**  
549 Torrance Street, east of Dove Court





## Aerial Photograph

**Torrance 3 - Project No. 519307**  
549 Torrance Street, east of Dove Court

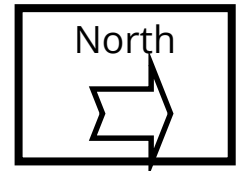


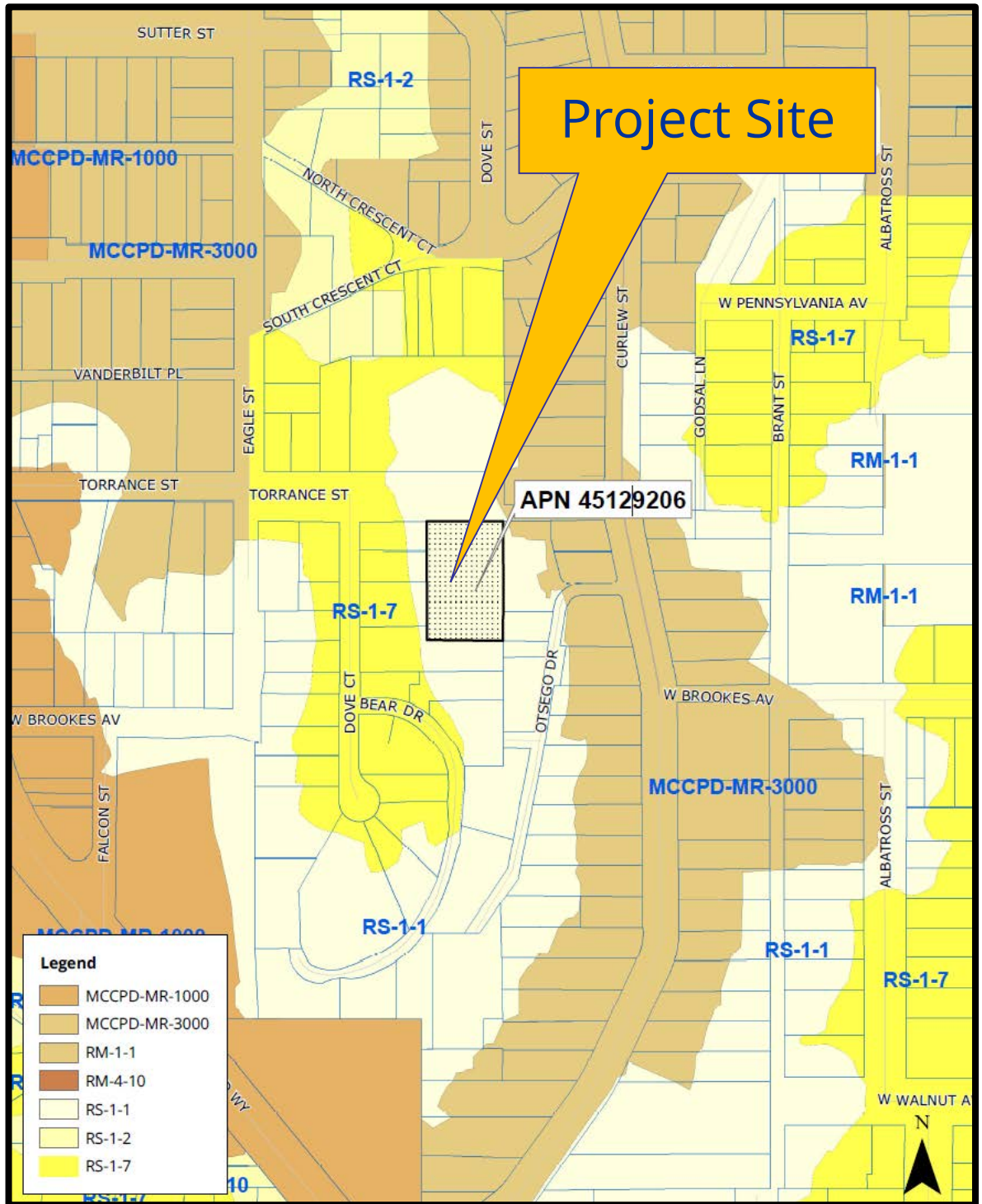




## Aerial Photograph (Looking West)

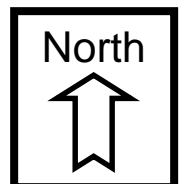
**Torrance 3 - Project No. 519307**  
549 Torrance Street, east of Dove Court





# Zoning Map

























**Torrance 3 - Project No. 519307**  
549 Torrance Street, east of Dove Court

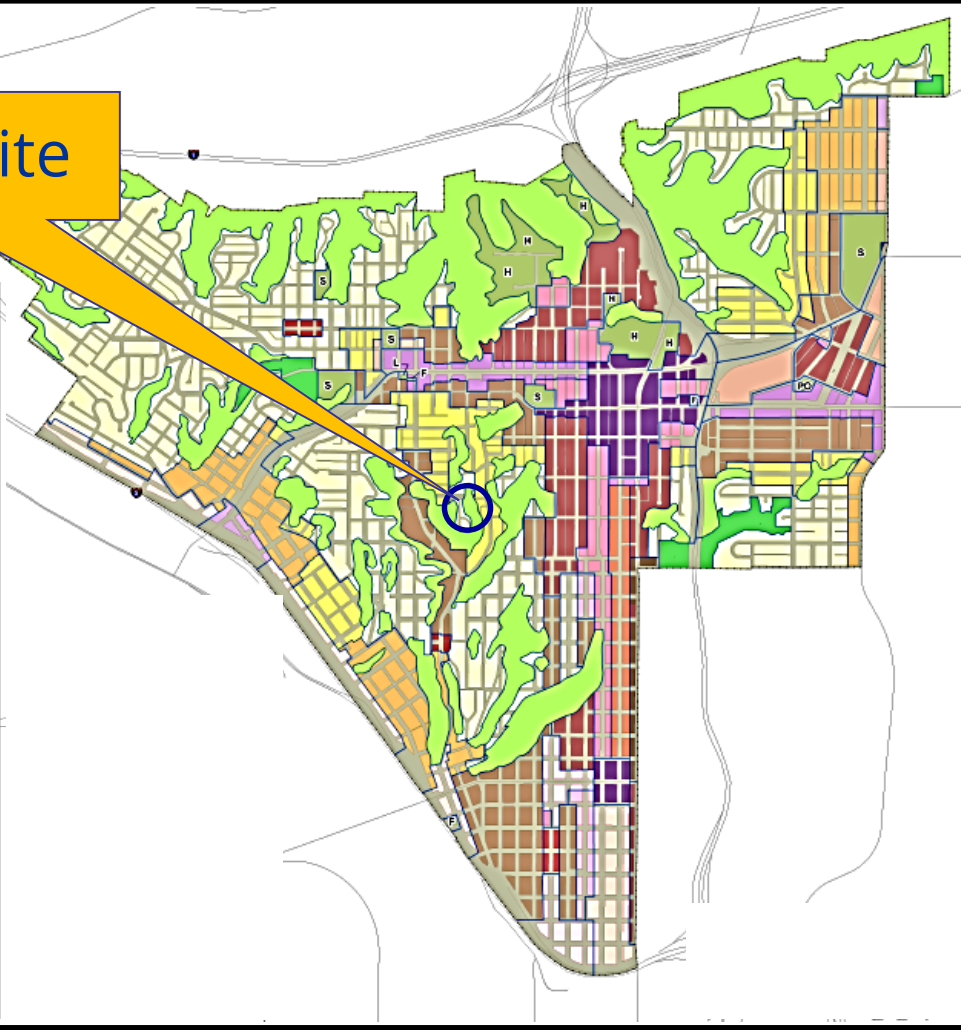




Project Site

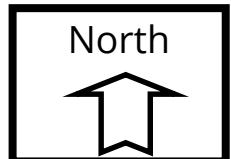
**LEGEND**

-  5-10 du/ac
-  10-15 du/ac
-  15-29 du/ac
-  29-44 du/ac\*
-  44-73 du/ac \*
-  73-110 du/ac
-  Mixed Use / Residential (4)
-  Mixed Use / Residential (5)
-  Mixed Use / Residential (6)
-  Comm. / Residential (3)
-  Comm. / Residential (4)
-  Comm. / Residential (5)
-  Comm. / Residential (6)
-  Office / Residential (3)
-  Office / Residential (4)
-  Office / Residential (5)
-  Neighborhood Commercial (resid. 3)
-  H Hospital
-  S School
-  L Library
-  PO Post Office
-  F Fire Station
-  P Park
-  Open Space



# 1988 Community Land Use Map

**Torrance 3 - Project No. 519307**  
549 Torrance Street, east of Dove Court





**ATTACHMENT 5**

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Torrance 3 - Project No. 519307	
<b>PROJECT DESCRIPTION:</b>	Consolidation of ten existing lots into three lots through lot line adjustments and the construction of three single-family dwelling units on three parcels of land and the encroachment of a private driveway within an unimproved portion of the public right-of way located at 549 Torrance Street	
<b>COMMUNITY PLAN AREA:</b>	Uptown	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Open Space	
<b><u>ZONING INFORMATION:</u></b>		
ZONE: HEIGHT LIMIT: LOT SIZE: FLOOR AREA RATIO: LOT COVERAGE: FRONT SETBACK: SIDE SETBACK: STREETSIDE SETBACK: REAR SETBACK: PARKING:	RS-1-1 24 Feet /30 Feet 40,000 Square Feet 0.45 NA 6 Feet (Minimum) 4 Feet (Minimum) NA 25 Feet 2 Spaces per Dwelling Unit	
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Low Residential and Open Space, RS-1-1 and RS-1-7 Zones	Multi-Family Residential and Open Space
<b>SOUTH:</b>	Open Space, RS-1-1 Zone	Single Family Residential and Open Space
<b>EAST:</b>	Open Space, RS-1-1 Zone	Single Family Residential and Open Space
<b>WEST:</b>	Low Residential and Open Space, RS-1-1 and RS-1-7 Zones	Single Family Residential
<b>DEVIATIONS</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 7, 2017, the Uptown Planners voted 12-0-1 to recommend approval of the proposed project without conditions.	

HEARING OFFICER  
RESOLUTION NO. \_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 1961193  
**TORRANCE 3 - PROJECT NO. 519307 [MMRP]**

WHEREAS, JENNIFER CURRIE, Owner, and NAKHSHAB DEVELOPMENT & DESIGN, INC., Permittee, filed an application with the City of San Diego for a lot line adjustments and consolidation of portions of the existing lots to create three parcels, and the construction of three residential single dwelling units on three parcels of land and the encroachment of a private driveway within the unimproved portion of the adjacent public right-of way (Torrance Street) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1961193), on portions of a 0.56-acre site; and

WHEREAS, the project site is located at 549 Torrance Street in the RS-1-1 Zone within the Uptown Community Plan area. Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 60 CNEL, the Airport Influence Area (SDIA Review Area 2), the Federal Aviation Administration Part 77 Noticing Area (SDIA Lindbergh Field and the North Island Naval Air Station); and

WHEREAS, the project site is legally described as Lots 5, 6, 7, 8, 9, 30, 31, 32, 33, and 34 in Block 444, of the Subdivision of the East Half and the South Quarter of the West Half of Pueblo Lot 1122, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 381, filed in the Office of the County Recorder of San Diego of said County, March 21, 1883, including the alley which lies between Lots 5, 6, 7, 8, 9, and said Lots 30, 31, 32, 33, and 34, which has been closed it Public, excepting the South 100.00 feet of said Lots 30, 31, 32, 33, and 34; and

WHEREAS, on August 23, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1961193, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 23, 2017.

FINDINGS:

**I. Site Development Permit - Section §126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 549 Torrance Street, east of Dove Court, in the RS-1-1 Zone within the Uptown Community Plan area. Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 60 CNEL, the Airport Influence Area (SDIA Review Area 2), the Federal

Aviation Administration (FAA) Part 77 Noticing Area (SDIA and the North Island Naval Air Station (NAS)). The Uptown Community Plan (1988) designates the approximate 0.56-acre site as Open Space. The Open Space and Recreation Element further identifies the site within Zone 1-Biological/Geological Zone within the Maple/Reynard Canyon Open Space System. Within Zone 1, very low residential density is allowed (one-two dwelling units per acre), and based on the project's ability to conform to lot requirements and allowances to subdivide the site into three lots, each individual lot may be developed with a single-family dwelling unit.

On December 16, 2016 (date of final passage), the City Council adopted an updated Uptown Community Plan pursuant to Ordinance No. O-20770 N.S., and a rezone of the properties within the community planning area to citywide zones pursuant to Ordinance No. O-20771 N.S. Both ordinance became effective on January 15, 2017. However, the project application was deemed complete on November 2, 2016, and the project is utilizing the 1988 Uptown Community Plan regulations that were in effect at the time of the submittal.

The project proposes the consolidation of ten existing lots into three lots through lot line adjustments and the construction of three detached single-family dwelling units totaling 8,334 square feet. The project incorporates a roof-mounted photovoltaic system consisting of solar panels on each building sufficient to generate at least 50-percent of the project's projected energy consumption, and qualifies a Sustainable Building. The project is not requesting nor requires any deviations from the development regulations; therefore, the project as proposed would be consistent with the policies of Uptown Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore would not adversely impact the applicable land use plans.

### **2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes the consolidation of ten existing lots into three lots through lot line adjustments and the construction of three detached single-family dwelling units totaling 8,334 square feet. The project also proposes an encroachment of a private 20-foot wide driveway and associated grading within the unimproved portion of the public right-of way (Torrance Street) and accessed from Dove Court, which will provide access to the three single-family dwelling units. The project incorporates a roof-mounted photovoltaic system consisting of solar panels on each of the buildings sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

A Mitigated Negative Declaration (MND) No. 519307 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Paleontological Resources. A Mitigation Monitoring and Reporting Program (MMRP) would be implemented with this project, which shall reduce the potential impacts to below a level of significance.

The project will be required to obtain building permits and a public improvement permit prior to the construction of the residential development. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions are necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1961193, and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project proposes the consolidation of ten existing lots into three lots through lot line adjustments and the construction of three detached single-family dwelling units totaling 8,334 square feet. The project also proposes a private 20-foot-wide driveway and associated grading that encroaches within the unimproved portion of the public right-of way (Torrance Street) and accessed from Dove Court, which will provide access to the three single-family dwelling units. The project incorporates a roof-mounted photovoltaic system consisting of solar panels on each of the buildings sufficient to generate at least 50 percent of the project's projected energy consumption and green roofs on each of the dwelling units.

The applicant is not the record owner of the underlying fee title on the portion of the public right-of way which the driveway encroachment will be located. However, the applicant has obtained and submitted to the City written permission from all the record owners of the underlying fee title to the satisfaction of the City Engineer for the encroachment of a private driveway and associated grading within the unimproved portion of the Torrance Street. The project is not requesting nor requires any deviations from the development regulations; therefore, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Land Development Code (LDC).

**O. Supplemental findings—Public Right-of Way Encroachments**

**1. The proposed encroachment is reasonably related to public travel, or benefits a public purpose, or all record owners have given the applicant written permission to maintain the encroachment on their property;**

The project proposes the consolidation of ten existing lots into three lots through lot line adjustments and the construction of three detached single-family dwelling units totaling

8,334 square feet. The project also proposes a private 20-foot-wide driveway and associated grading that encroaches within the unimproved portion of the public right-of-way (Torrance Street) and accessed from Dove Court, which will provide access to the three single-family dwelling units.

The project site is a rectangular-shaped property situated on the south side of an unimproved portion of the Torrance Street right-of-way, between Curlew Street and Dove Court. The project site is currently vacant and the vegetation on-site consists of non-native grassland and non-native vegetation. The project site is bounded on the north by the Torrance Street right-of-way and residences beyond; and on the east, south and west by existing residences. The adjacent property to the north, located at 628 Torrance Street, was approved in July 1985 for an encroachment of a private 20-foot-wide driveway and associated improvements along the northern portion of Torrance Street which is accessed from Dove Court. The encroachment approval was part of the grading and public improvements for a 16-unit multi-family development.

The topography along the unimproved Torrance Street rises from 185 feet at the northeastern corner of the project site to 260 feet at the intersection of Dove Court and Torrance Street (approximately a 75-foot differential). The topography of the site rises from 195 feet at the northeastern and southeastern corners to 250 feet at the northwestern and southwestern corners (approximately a 55-foot differential). Due to the topography along the unimproved portion of Torrance Street and the angles for egress and ingress, the proposed driveway would not be able to connect into the existing driveway located at 628 Torrance Street.

The applicant is not the record owner of the underlying fee title on the portion of the public right-of-way which the driveway encroachment will be located. However, the applicant has obtained and submitted to the City permission from all the record owners of the underlying fee title to the satisfaction of the City Engineer for the encroachment of a private driveway and associated grading within the unimproved portion of the Torrance Street.

### **2. The proposed encroachment does not interfere with the free and unobstructed use of the public right-of-way for public travel;**

The project site is a rectangular-shaped property situated on the south side of an unimproved portion of the Torrance Street right-of-way, between Curlew Street and Dove Court. The project site is currently vacant and the vegetation on-site consists of non-native grassland and non-native vegetation. The project site is bounded on the north by the Torrance Street right-of-way and residences beyond; and on the east, south and west by existing residences. The adjacent property to the north, located at 628 Torrance Street, was approved in July 1985 for an encroachment of a private 20-foot-wide driveway and associated improvements along the northern portion of Torrance Street which is accessed from Dove Court. The encroachment approval was part of the grading and public improvements for a 16-unit multi-family development.



The topography along the unimproved Torrance Street rises from 185 feet at the northeastern corner of the project site to 260 feet at the intersection of Dove Court and Torrance Street (approximately a 75-foot differential). The topography of the site rises from 195 feet at the northeastern and southeastern corners to 250 feet at the northwestern and southwestern corners (approximately a 55-foot differential). Due to the topography along the unimproved portion of Torrance Street and the angles for egress and ingress, the proposed driveway would not be able to connect into the existing driveway located at 628 Torrance Street. Therefore, the proposed new driveway would not interfere with the free and unobstructed use of the public right-of way for public travel.

**3. The proposed encroachment will not adversely affect the aesthetic character of the community; and**

The project site is located at 549 Torrance Street, east of Dove Court, and Uptown Community Plan (1988) designates the approximate 0.56-acre site as Open Space. The Open Space and Recreation Element further identifies the site within Zone 1-Biological/Geological Zone within the Maple/ Reynard Canyon Open Space System. Within Zone 1, very low residential density is allowed (one-two dwelling units per acre), and based on the project's ability to conform to lot requirements and allowances to subdivide into site into three lots, each individual lot may be developed with a single-family dwelling unit. The Urban Design element objective of the community plan is to ensure that hillside development is unobtrusive and of the same character and scale as the surrounding quality development. The proposed three dwelling units are within the same bulk and scale as the surrounding development and are integrated into the hillside as to minimize grading.

In addition, the community plan outlines objectives for Hillsides and Open Space where development which are on any portion of a property within designated open space should maintain existing views and public access to canyon areas, and adapt to the natural terrain. The proposed development does not impair public access to the adjacent canyon, but maintains the existing views and adapts to the natural terrain by providing deck and balconies, and maintaining a small structural footprint via stepped, multi-tier development. Therefore, the encroachment of a private driveway within the unimproved public right-of-way for the proposed three dwelling units would not adversely affect the aesthetic character of the community.

**4. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law; and**

The project proposes an encroachment of a private 20-foot-wide driveway and associated grading within the unimproved portion of the public right-of way (Torrance Street) and accessed from Dove Court, which will provide access to three proposed single-family dwelling units located at 549 Torrance Street. The applicant is not the record owner of the underlying fee title on the portion of the public right-of way which the driveway encroachment will be located. However, the applicant has obtained and submitted to the City written permission from all the record owners of the underlying

fee title to the satisfaction of the City Engineer for the encroachment of a private driveway and associated grading within the unimproved portion of the Torrance Street.

MND No. 519307 has been prepared for the project in accordance with CEQA Guidelines, which addresses potential impacts to Paleontological Resources. A MMRP would be implemented with this project, which shall reduce the potential impacts to below a level of significance. Therefore, the proposed encroachment would not violate any other Municipal Code provisions or other local, state, or federal law.

**5. For coastal development in the coastal overlay zone, the encroachment is consistent with Section 132.0403 (Supplement Use Regulations of the Coastal Overlay Zone).**

The project site is located at 549 Torrance Street, east of Dove Court, in the Uptown Community Plan area. The site is not located within a coastal overlay zone; therefore, SDMC Section 132.0403 does not apply.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1961193 is hereby GRANTED by the Hearing Officer to the referenced Owner and Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1961193, a copy of which is attached hereto and made a part hereof.

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Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

Adopted on: August 23, 2017

Internal Order No. 24007065

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

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INTERNAL ORDER NUMBER: 24007065

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1961193  
**TORRANCE 3 - PROJECT NO. 519307 [MMRP]**  
HEARING OFFICER

This Site Development Permit No. 1961193 is granted by the Hearing Officer of the City of San Diego to JENNIFER CURRIE, Owner, and NAKHSHAB DEVELOPMENT & DESIGN, INC., Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The 0.56-acre site is located at 549 Torrance Street in the RS-1-1 Zone within the Uptown Community Plan area. Additionally, the project site is within the Airport Land Use Compatibility Plan Noise Contours (CNEL) San Diego International Airport (SDIA) 60 CNEL, the Airport Influence Area (SDIA Review Area 2), the Federal Aviation Administration Part 77 Noticing Area (SDIA Lindbergh Field and the North Island Naval Air Station). The project site is legally described as Lots 5, 6, 7, 8, 9, 30, 31, 32, 33, and 34 in Block 444, of the Subdivision of the East Half and the South Quarter of the West Half of Pueblo Lot 1122, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 381, filed in the Office of the County Recorder of San Diego of said County, March 21, 1883, including the alley which lies between Lots 5, 6, 7, 8, 9, and said Lots 30, 31, 32, 33, and 34, which has been closed it Public, excepting the South 100.00 feet of said Lots 30, 31, 32, 33, and 34.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a lot line adjustments and consolidation of portions of the existing lots to create three parcels, and the construction of three residential single dwelling units on three parcels of land and the encroachment of a private driveway within the unimproved portion of the adjacent public right-of way (Torrance Street), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 23, 2017, on file in the Development Services Department.

The project shall include:

- a. Lot line adjustments and consolidation of portions of the existing lots to create three parcels (Lots A-C); and
- b. The construction of three detached single-family dwelling units on the three parcels of land. Lot A contains a two-story, 2,545-square-foot unit with an attached carport; Lot B

contains a three-story, 2,976-square-foot unit with an attached carport; and Lot C contains a two-story, 2,813-square-foot unit with a detached carport;

- c. Encroachment of a private 20-foot-wide driveway and associated grading within the unimproved portion of the public right-of way (Torrance Street);
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking;
- f. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 7, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the



Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 519307, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION NO. 519307 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Paleontological Resources

**CLIMATE ACTION PLAN REQUIREMENTS:**

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**AFFORDABLE HOUSING REQUIREMENTS:**

15. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

**AIRPORT REQUIREMENTS:**

16. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

**GEOLOGY REQUIREMENTS:**

17. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or

update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

18. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**ENGINEERING REQUIREMENTS:**

19. The project proposes to import material to the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

20. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

22. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Curlew Street Right-of-Way.

23. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private improvements including a non-City Standard driveway, retaining wall, water services, storm drain system and sewer main system encroaching into the Torrance Street Right-of-Way.

24. Prior to the issuance of any building permits, the Owner/Permittee shall record a Shared Access Agreement with all property owners adjacent to Torrance Street from Dove Court to the project site east property line extended, per approved Exhibit "A," satisfactory to the City Engineer.

25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a non-City Standard 25-foot wide concrete driveway, adjacent to the site in the Torrance Street Right-of-Way, satisfactory to the City Engineer.

26. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

27. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMP necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

28. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

29. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

30. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

31. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

32. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).

33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

34. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

36. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

37. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS**

39. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

40. Prior to the issuance of first occupancy approval, the owner/permittee shall install signage and striping on Torrance Street and Dove Court as shown on sheet C.2 Preliminary Traffic and Signage Plan of Exhibit "A," satisfactory to the City Engineer.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

41. Prior to any non-right-of-way construction permit, the Owner/Permittee shall assure that all proposed public water and sewer facilities within the public right-of-way must be located and labeled on both the Site Plan, and on an approved City Construction Record Drawing (D-Sheet), so as to clearly convey their location relative to the nearest property line and their point of connection to the City's existing public water and sewer infrastructure.

42. Prior to the issuance of any non-right-of-way construction permit, the Owner/Permittee shall assure (via permit and bond) that all public water and sewer facilities will be constructed in accordance with the Site Plan associated with this discretionary permit.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

## ATTACHMENT 7

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 23, 2017 and [Approved Resolution Number].



**ATTACHMENT 7**

Permit Type/PTS Approval No.: SDP/1961193  
Date of Approval: August 23, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Jeffrey A. Peterson  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**JENNIFER CURRIE**  
Owner

By \_\_\_\_\_  
Jennifer Currie

**NAKSHAB DEVELOPMENT & DESIGN, INC**  
Permittee

By \_\_\_\_\_  
Name:  
Title:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
RESOLUTION NO. \_\_\_\_\_  
ADOPTED ON \_\_\_\_\_  
MITIGATED NEGATIVE DECLARATION NO. 519307

WHEREAS, on November 2, 2016, Soheil Nakhshab submitted an application to the Development Services Department for Site Development Permit for the Torrance 3 project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on August 23, 2017; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 519307 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

## ATTACHMENT 8

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manger  
Development Services Department

ATTACHMENT(S):      Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**

MITIGATION MONITORING AND REPORTING PROGRAM

SITE DEVELOPMENT PERMIT NO. 1961193

PROJECT NO. 519307

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 519307 shall be made conditions of **SITE DEVELOPMENT PERMIT NO. 1961193** as may be further described below.

**PALEONTOLOGICAL RESOURCES**

**I. Prior to Permit Issuance**

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading

Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored  
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
  - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

### **III. During Construction**

- A. Monitor Shall be Present During Grading/Excavation/Trenching
  1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
  2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
  3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
  1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the

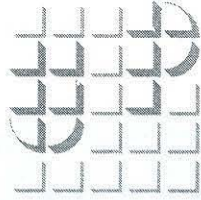
- discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
    - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
    - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
    - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

**IV. Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.
    - a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
    - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
    - c. Potentially Significant Discoveries  
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
    - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**V. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
  - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
    - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with the San Diego Natural History Museum  
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
  - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  - 4. MMC shall provide written verification to the PI of the approved report.
  - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
  - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
  - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
  - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
  - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
  - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.



# UPTOWN PLANNERS

## MEMORANDUM OF MOTION

MOTION APPROVED ON FEBRUARY 7, 2017

BY THE BOARD OF UPTOWN PLANNERS

Motion Approved By Uptown Planners on February 7, 2017:

The board of Uptown Planners passed the following motion regarding the 549 Torrance Street project ("Torrance 3 SDP") at its February 7, 2017 meeting; the project was noticed on the agenda as indicated below:

**549 TORRANCE STREET ("TORRANCE 3 SDUs – SDP") – Process Three – Mission Hills** -- Site Development Permit for public road encroachment, and construction of three new residential single dwelling units on single lots for a total of 8334 square feet of construction. The 0.56 acre site is located at 549 Torrance Street in the RS-1-1 base zone.

After the applicant made a presentation and several members of the public spoke, following which the board passed a motion approving the project as presented.

Voting YES 12      Voting NO 0      Abstain 1 (non-voting chair)  
Recusal 1

  
Leo Wilson  
Chair, Uptown Planners





# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title** \_\_\_\_\_ **Project No. For City Use Only**  
 Torrance 3 519307  
**Project Address:**  
 Torrance Street, San Diego, CA 92103

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

Name of Individual (type or print):  
 Soheil Nakhshab  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 2900 4th Ave. Ste. 100  
 City/State/Zip:  
 San Diego, CA 92103  
 Phone No: ( 619 ) 255.7257 Fax No: ( 619 ) 255.7833  
 Signature: \_\_\_\_\_ Date: 10/24/2016

Name of Individual (type or print):  
 JENNIFER CURRIE  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 1283 JOHNSON AVE.  
 City/State/Zip:  
 SAN DIEGO, CA 92103  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

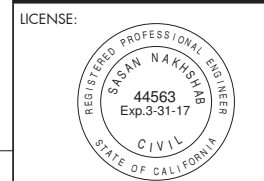
# TORRANCE 3

TORRANCE STREET  
SAN DIEGO, CA 92103  
APN-451-292-06-00  
**(3) NEW SINGLE FAMILY RESIDENCES**



**NAKSHAB**  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

1 - LANDSCAPE	L-1 LANDSCAPE CONCEPT
2 - CIVIL	L-2 LANDSCAPE WATER BUDGET

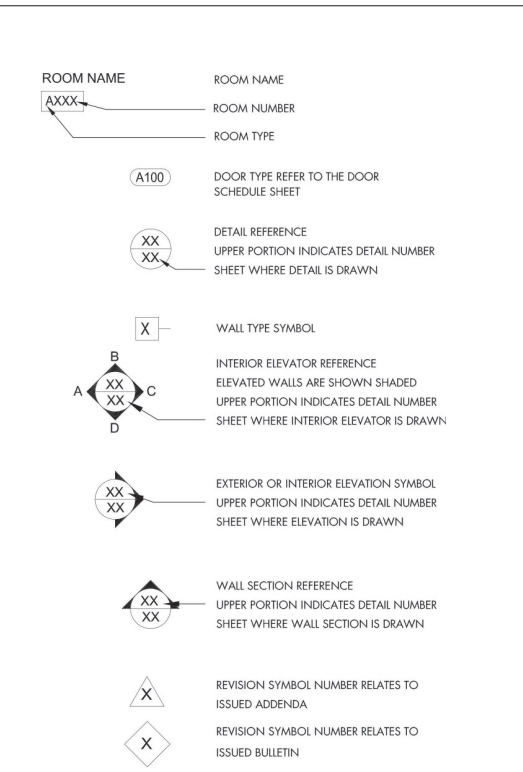
## GENERAL NOTES

**GENERAL:**

- THE SPECIFICATIONS, INCLUDED HEREWITH, ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHAL, THE CITY OF SAN DIEGO BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSTRUED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
  - 2016 CALIFORNIA BUILDING CODE (BASED ON THE 2009 IBC)
  - 2016 CALIFORNIA ELECTRICAL CODE
  - 2016 CALIFORNIA MECHANICAL CODE
  - 2016 CALIFORNIA PLUMBING CODE
  - 2016 CALIFORNIA ENERGY CODE
  - 2016 CALIFORNIA RESIDENTIAL CODE
  - 2016 CALIFORNIA GREEN BUILDING CODE
  - AMERICANS WITH DISABILITIES ACT
- CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL, ELECTRICAL ITEMS, ETC. (WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONS OR DISCREPANCIES.
- ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE AFOREMENTIONED CODES.

THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA- TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO. REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATING REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES, CONFLICT, THE MORE STRINGENT SHALL APPLY. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM THE BUILDING OFFICIALS AND THE LOCAL FIRE MARSHAL BEFORE THE BUILDING IS OCCUPIED. FIRE DEPT. APPROVAL SHALL BE REQUESTED PRIOR TO FRAMING INSPECTION.

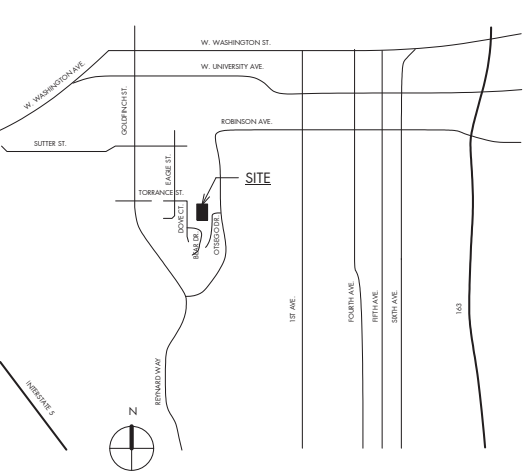
## SYMBOL LEGEND



## ABBREVIATIONS

AC ASPHALT CONCRETE	EXT EXTERIOR	PL PLATE/PROPERTY LINE
ACT ACOUSTICAL CEILING TILE	FD FLOOR DRAIN	PL LAM PLASTIC LAMINATE
ALUM ALUMINUM	FEC FIRE EXTINGUISHER CABINET	FLU FLOOR FINISH
ALT ALTERNATE	FHC FIRE HOSE CABINET	FPC POLISHED
AP ACCESS PANEL	FIN FINISH	PR PAIR
ARCH ARCHITECT	FIX FIXTURE	PRT PRESSURE TREATED
BD BOARD	FLR FLOOR	PNT PAINTED
BIDG BUILDING	FT FEE	QTY QUANTITY
BL'G BLOCKING	FLBR FLOORING	RADIS RADIUS
BM BEAM	GA GAUGE	ROOF DRAIN REFERENCE
BOT BOTTOM	GALV GALVANIZED	REF REFLECTING
BOU CABINET	GRAB GRAB BAR	REIN REINFORCING
CAB CABINET	GR GLASS	ROOM ROOM
CAR CARPET	GSM GALVANIZED SHT. METAL	ROOF OPENING
CEM CEMENT	GYP GYPSUM	RUB RUBBER
CEM CENTERLINE	HDR HEADER	SC SCHEDULE
CLG CLEAR	HDRW HARDWOOD	SHR SHOWER
CT CERAMIC TILE	HGT HEIGHT	SHT SHEET
CTR COUNTER	HORIZ HORIZONTAL	SIM SIMILAR
COL COLUMN	INS INSIDE DIAMETER	SPEC SPECIFICATIONS
CONSTR CONSTRUCTION	INSUL INSULATION	SQ SQUARE
CONT CONTIGUOUS	INT INTERIOR	ST STL STAINLESS STEEL
CORR CORRIDOR	JAN JANITOR	STD STANDARD
DBL DOUBLE	JAM LAMINATE	STOR STORAGE
DEPT DEPARTMENT	LH LONG LEG HORIZONTAL	STRUC STRUCTURE
DF DRINKING FOUNTAIN	LW LONG LEG VERTICAL	SUSP SUSPENDED
DIA- DIAMETER	LGT LGT WEIGHT	TELE TELEPHONE
DIM DIMENSION	MAX MAXIMUM	TEMP TEMPORARY
DISP DISPENSER	MCH MECHANICAL	THK THICK
DN DOWN	MIN MINIMUM	TYP TYPICAL
DR DRAIN	MISC MISCELLANEOUS	UNO UNLESS OTHERWISE NOTED
DET DETAIL	NIC NOT IN CONTRACT	VCT VINYL COMPOSITION TILE
DWG DRAWING	NO# NUMBER	VERT VERTICAL
DWR DRAWER	NOT TO SCALE	VEST VESTIBULE
EA EXPANSION JOINT	OC ON CENTER	VF VERTICAL FIELD
ELECT ELECTRICAL	OCF OUTSIDE DIAMETER	W/ WITH
ENCL ENCLOSURE	OCF OWNER FURNISHED/ CONTRACTOR INSTALLED	WO WITHOUT
EQ EQUAL	OPN OPENING	WGT WEIGHT
EW EACH WAY	OPP OPPOSITE	
EWC ELECT WATER COOLER		
EWG EXISTING		
FR FINISHING TO REMAIN		

## VICINITY MAP



## PROJECT DATA

ZONE-	RS-1-1
APN-	451-292-06-00
(E) USE-	EMPTY LOT
PROPOSED USE-	CONSTRUCT (3) (N) SUSTAINABLE LEED SINGLE-FAMILY HOMES
HISTORIC-	NO
TYPE OF CONSTRUCTION-	VB
SPRINKLERED-	YES
OCCUPANCY-	R-3
MAX HEIGHT-	24/30
<b>LOT A:</b>	
LOT SIZE-	5,703.7 SQ.FT.
SETBACKS -	FRONT- 6 FT SIDE- 4 FT & 8 FT REAR - 25 FT
F.A.R. ALLOWABLE-	.45 x 5703.7 = 2,566.67 S.F.
F.A.R. ACTUAL-	2566 S.F.
ALLOWABLE LOT COVERAGE-	50% (.50x5,703.7 = 2,851.85)
PROPOSED LOT COVERAGE-	1957 S.F.
ALLOWABLE FRONT YARD HARDSCAPE -	60%
PROPOSED FRONT YARD HARDSCAPE -	124.35F/444.35F = 27.9%
<b>LOT B:</b>	
LOT SIZE-	6,653.12 SQ.FT.
SETBACKS -	FRONT - 6 FT SIDE - 4 FT REAR - 25 FT
F.A.R. ALLOWABLE-	.45 x 6,653.12 = 2,993.90 S.F.
F.A.R. ACTUAL-	2976 SF
ALLOWABLE LOT COVERAGE-	50% (.50x6,653.12 = 3,326.56 S.F.)
PROPOSED LOT COVERAGE-	1959 S.F.
ALLOWABLE FRONT YARD HARDSCAPE -	60%
PROPOSED FRONT YARD HARDSCAPE -	0/148.35F = 0%
<b>LOT C:</b>	
LOT SIZE-	12,274.25 SQ.FT.
SETBACKS -	FRONT - 6 FT SIDE - 4 FT REAR - 25 FT
F.A.R. ALLOWABLE-	.45 x 12,274.25 = 5,523.41 S.F.
F.A.R. ACTUAL-	3145 S.F.
ALLOWABLE LOT COVERAGE -	50% (.50x12,274.25 = 6,137.125 S.F.)
PROPOSED LOT COVERAGE-	1987 S.F.
ALLOWABLE FRONT YARD HARDSCAPE -	60%
PROPOSED FRONT YARD HARDSCAPE -	0/148SF = 0%

## PLAN DIRECTORY

0 - GENERAL	T1.0 TITLE SHEET	
	T1.1 GENERAL NOTES	
	T1.2 CAL GREEN NOTES	
1 - ARCHITECTURE	A0.0 SITE PLAN	2 - CIVIL
	A0.2 FIRE ACCESS PLAN	C.1 PRELIMINARY GRADING AND DRAINAGE PLAN
A0.3A "A" FLOOR AREA CALCULATIONS		3 - LANDSCAPE
A0.3B "B" FLOOR AREA CALCULATIONS		L-1 LANDSCAPE CONCEPT
A0.3C "C" FLOOR AREA CALCULATIONS		L-2 LANDSCAPE WATER BUDGET
A2.0A "A" FIRST LEVEL FLOOR PLAN		
A2.1A "A" STREET LEVEL FLOOR PLAN		
A2.2A "A" ROOF PLAN		
A2.0B "B" FIRST LEVEL FLOOR PLAN		
A2.1B "B" SECOND LEVEL FLOOR PLAN		
A2.2B "B" STREET LEVEL FLOOR PLAN		
A2.3B "B" ROOF PLAN		
A2.0C "C" FIRST LEVEL FLOOR PLAN		
A2.1C "C" STREET LEVEL FLOOR PLAN		
A2.2C "C" ROOF PLAN		
A4.0A "A" EAST & WEST ELEVATIONS		
A4.1A "A" NORTH & SOUTH ELEVATIONS		
A4.0B "B" EAST ELEVATION		
A4.1B "B" WEST ELEVATIONS		
A4.2B "B" NORTH ELEVATION		
A4.3B "B" SOUTH ELEVATION		
A4.0C "C" NORTH AND EAST ELEVATIONS		
A4.1C "C" SOUTH & WEST ELEVATIONS		
A5.0A "A" SECTIONS		
A5.1A "A" SECTIONS		
A5.2A "A" SECTIONS		
A5.0B "B" SECTIONS		
A5.1B "B" SECTIONS		
A5.0C "C" SECTIONS		
A5.1C "C" SECTIONS		

## FIRE SPRINKLERS (DEFERRED SUBMITTAL)

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, INSTALLED IN ACCORDANCE WITH NFPA 13 OR CRC SECTION R313 IN THE DWELLING, INCLUDING THE CARPORTS WITH HABITABLE SPACE ABOVE.

THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED.

TO AVOID DELAYS IN CONSTRUCTION, FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF FIRE SPRINKLER PLANS.

IT IS UNDERSTOOD THAT PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS, AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF THE DEFERRED ITEMS LISTED.

WE UNDERSTAND THAT WE WILL NOT BE AUTHORIZED ANY INSPECTION OF THE DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS.

## SCOPE OF WORK

10 EXISTING LOTS CONSOLIDATED INTO 3 LOTS PER PTS#499608. CONSTRUCT (3) (N). SUSTAINABLE LEED GOLD HOUSES TO BE REVIEWED UNDER SUSTAINABLE EXPEDITE PROGRAM - SINGLE FAMILY HOME.

### LEGAL DESCRIPTION

PORTIONS 5-9 AND 3-34 OF BLOCK 444, MAP 530 IN THE CIT OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, IN THE OFFICE OF THE COUNTY RECORDER. APN 451-292-06-00

### FAA CERTIFICATION

I, SASAN NAKHSHAB DO HEREBY CERTIFY THAT THE STRUCTURES OR MODIFICATION TO EXISTING STRUCTURES SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(g) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

## PROJECT DIRECTORY

OWNER-	JENNIFER CURRIE 1283 JOHNSON AVE. SAN DIEGO, CA 92103 619.886.6000
ARCHITECT	NAKSHAB DEVELOPMENT & DESIGN, INC. 340 15TH ST, SUITE 1 SAN DIEGO, CA 92101 619.255.7257
CIVIL-	COFFEY ENGINEERING, INC. 10660 SCRIPPS RANCH BLVD SAN DIEGO, CA 92131
SOILS	ALLIED EARTH TECHNOLOGY 7915 SILVERTON AVENUE, SUITE 317 SAN DIEGO, CA 92126

## SHEET TITLE:

TITLE SHEET	
PROJECT NO.:	NDD16-004
DATE:	7.3.17
SHEET NO.:	T1.0





CAL GREEN NOTES

1. TABLE 4.303.2:

FIXTURE TYPE	FLOW RATE	MAXIMUM FLOW
SHOWERHEADS		2GPM @ 80 PSI
LAVATORY FAUCETS		1.5GPM @ 60PSI
RESIDENTIAL KITCHEN FAUCETS		1.8GPM @60 PSI
WATER CLOSETS		1.28 GALLONS/FLUSH
FLUSHOMETER TANK		
FLUSHOMETER VALVE		
HYDRAULIC WATER CLOSETS		
URINALS		0.5 GALLONS/FLUSH

- INCLUDES SINGLE AND DUAL FLUSH WATER CLOSETS WITH AN EFFECTIVE FLUSH OF 1.28 GALLONS OR LESS. SINGLE FLUSH TOILETS- THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME TESTED IN ACCORDANCE WITH ASME A112.19.233.2.DUAL FLUSH TOILETS- THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS DEFINED AS THE COMPOSITE AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. FLUSHVOLUMES WILL BE TESTED IN ACCORDANCE WITH ASME A112.19.2 AND ASME A112.19.14.
- LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI. PER SEC 4.303.3 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN TABLE 4.303.3.
- PER CGC SECTION 4.304.2, AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
  - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED. THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN NEEDS AS WEATHER CONDITIONS CHANGE.
  - WEATHER BASED CONTROLLERS SHALL HAVE SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSORS.
- PER SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
  - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
  - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- PER 2010 GREEN CODE SEC 4.507.2, HEATING AND AIR CONDITIONING EQUIPMENT WAS SIZED USING ENERGYPRO ASHRAE SOFTWARE. PLEASE REFERENCE TITLE 24 REPORT.
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TOT HE ENFORCING AGENCY. (SECTION 4.406.1)
- BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH. (SECTION 4.410.1)
 

MANUAL TO INCLUDE THE FOLLOWING:

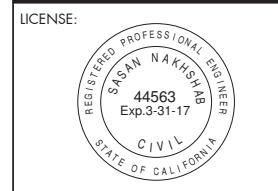
  - DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
  - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
    - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
    - ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
    - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
    - LANDSCAPE IRRIGATION SYSTEMS.
    - WATER RE-USE SYSTEMS
  - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
  - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
  - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.
  - INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
  - INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM FOUNDATION.
  - INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO CAULKING, PAINTING GRADING AROUND THE BUILDING, ETC.
  - INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
  - A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

- A COPY OF A COMPLETE OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.
- AN OWNER MANUAL CERTIFICATE SHUOLD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVED TO THE BUILDING OWNER. A COPY OF THE CERTIFICATION FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2
- DURING CONSTRUCTION, END OF DUCT OPENINGS ARE TO BE SEALED AND MECHANICAL EQUIPMENT SHALL BE COVERED. CGC 4.504.1
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS SET IN SECTION 4.504.2.2 AND TABLE 4.504.3 OF CALGREEN.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.2.3 OF THE CALIFORNIA GREEN BUILDING CODE.
- A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. (SECTION 4.504.3) A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR, AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
  - VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
  - PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM.
  - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
  - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
- HARDWOOD PLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.504.5 AND TABLE 4.504.5 OF CALGREEN.
- A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORIN, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
- MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION.
- THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3.
- EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTE, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 TO 80 PERCENT.
- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS. B. WHERE SOTRM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2
- SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING THE BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). CGC 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.
- FOR NEW RESIDENTIAL CONSTRUCTION WHERE LANDSCAPE IRRIGATION WATER IS PLANNED, A WATER BUDGET SHALL BE DEVELOPED THAT CONFORMS TO LOCAL LANDSCAPE ORDINANCE OR THE CALIFORNIA DEPARTMENT OF WATER RESOURCED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT.
- A MINIMUM OF 50% OF CONSTRUCTION WATE IS TO BE RECYCLED.
- CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATED WASTE MANAGEMENT, PER CGC 4.408.2

- PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREE BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:  
**CAL GREEN NOTES**

PROJECT NO.:  
NDD16-004

DATE:  
7.3.17

SHEET NO.:  
**T1.2**



**NAKHSHAB**  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION
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PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

SITE PLAN

PROJECT NO.:

NDD16-004

DATE:

7.3.17

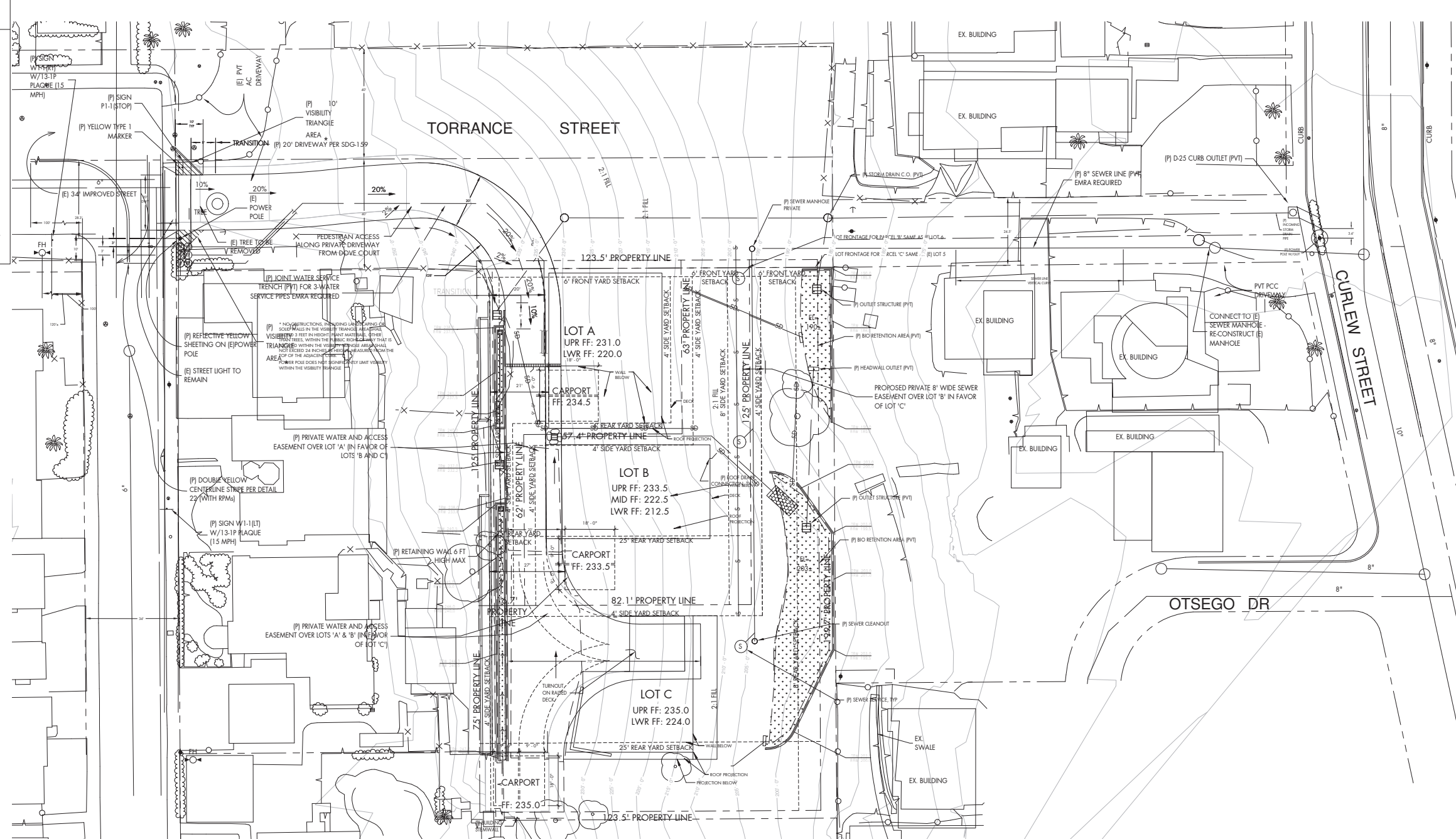
SHEET NO.:

**A0.0**

ATTACHMENT 11

**GRADING TABULATIONS**

TOTAL SITE TO BE GRADED:	0.81 ACRES
% OF TOTAL SITE:	81%
AMOUNT OF CUT:	1,050 CUBIC YDS
MAX DEPTH OF CUT:	11.5 FEET
AMOUNT OF FILL:	4,050 CUBIC YDS
MAX DEPTH OF FILL:	15.0 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	43 FEET
SLOPE RATIO:	2:1
MAXIMUM HEIGHT OF CUT SLOPE(S):	10 FEET
SLOPE RATIO:	1.5:1
AMOUNT OF IMPORT SOIL:	3,000 CUBIC YDS
RETAINING/ CRIB WALLS:	LENGTH: 490 FEET
MAXIMUM HEIGHT:	6.0 FEET



**SITE PLAN**  
1" = 20'-0"

**SOILS REPORTS NOTES**

THE STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

OWNER(S) \_\_\_\_\_  
SOHEIL NAKHSHAB

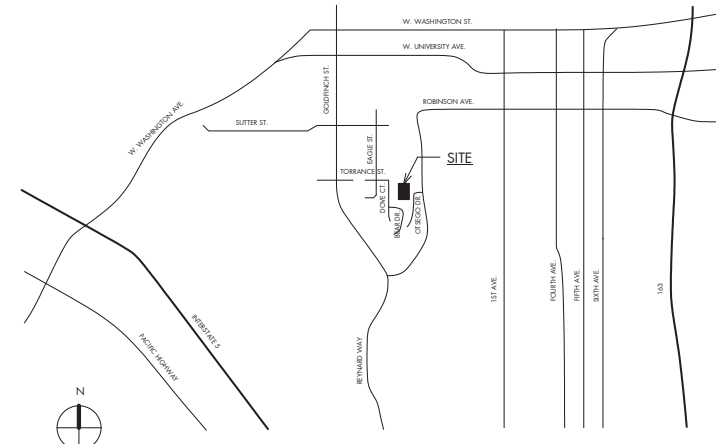
**PALEONTOLOGICAL NOTES**

THE APPLICANT CONSENTS TO IMPLEMENTING A PALEONTOLOGICAL RESOURCES MITIGATION, MONITORING, AND REPORTING PROGRAM DURING GRADING AND EXCAVATION.

**WATER/SEWER NOTES**

- ALL PROPOSED WATER AND SEWER FACILITIES WITHIN THE PUBLIC ROW OR PUBLIC EASEMENT (PUBLIC AND PRIVATE) MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER AND SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, AND PRACTICES PERTAINING THERETO.
- ALL WATER SERVICES TO THE SITE (EXCEPT SINGLE FAMILY DOMESTIC SERVICE LINES, AND SINGLE FAMILY DOMESTIC COMBINES SERVICE LINES WHERE THE RESIDENTIAL FIRE SPRINKLER SYSTEM UTILIZES PASSIVE PURGE DESIGN) MUST PASS THROUGH A PRIVATE ABOVE GROUND BACKFLOW PREVENTION DEVICE (BFPD). BFPDS ARE TO BE LOCATED ON PRIVATE PROPERTY (EXCEPT WHERE SHOWN HEREON WITHIN THE TORRANCE STREET RIGHT-OF-WAY AS SHOWN HEREON WITH EMRA), IN LINE WITH THE SERVICE, AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.

**VICINITY MAP**



**GENERAL NOTES**

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER/BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/ INSTALLATION FOR THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND AREA AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

NOTICE TO THE APPLICANT OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/ INSTALLATION FOR THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND AREA AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P00-6 (UFC 901.4.4)

**STORM DRAINS**

STORM WATER QUALITY NOTES  
CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL QUALITY CONTROL BOARD" SAN DIEGO REGION ORDER No. 2001-01; NPDES No. CAS0108758.

- NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SIL, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
  - ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAINS IS 40% OR GREATER.
  - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON THE SITE.
  - THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
  - ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
  - THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

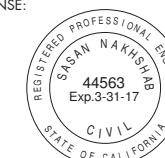


NAKHSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.255.7257  
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WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

FIRE ACCESS PLAN

PROJECT NO.:

NDD16-004

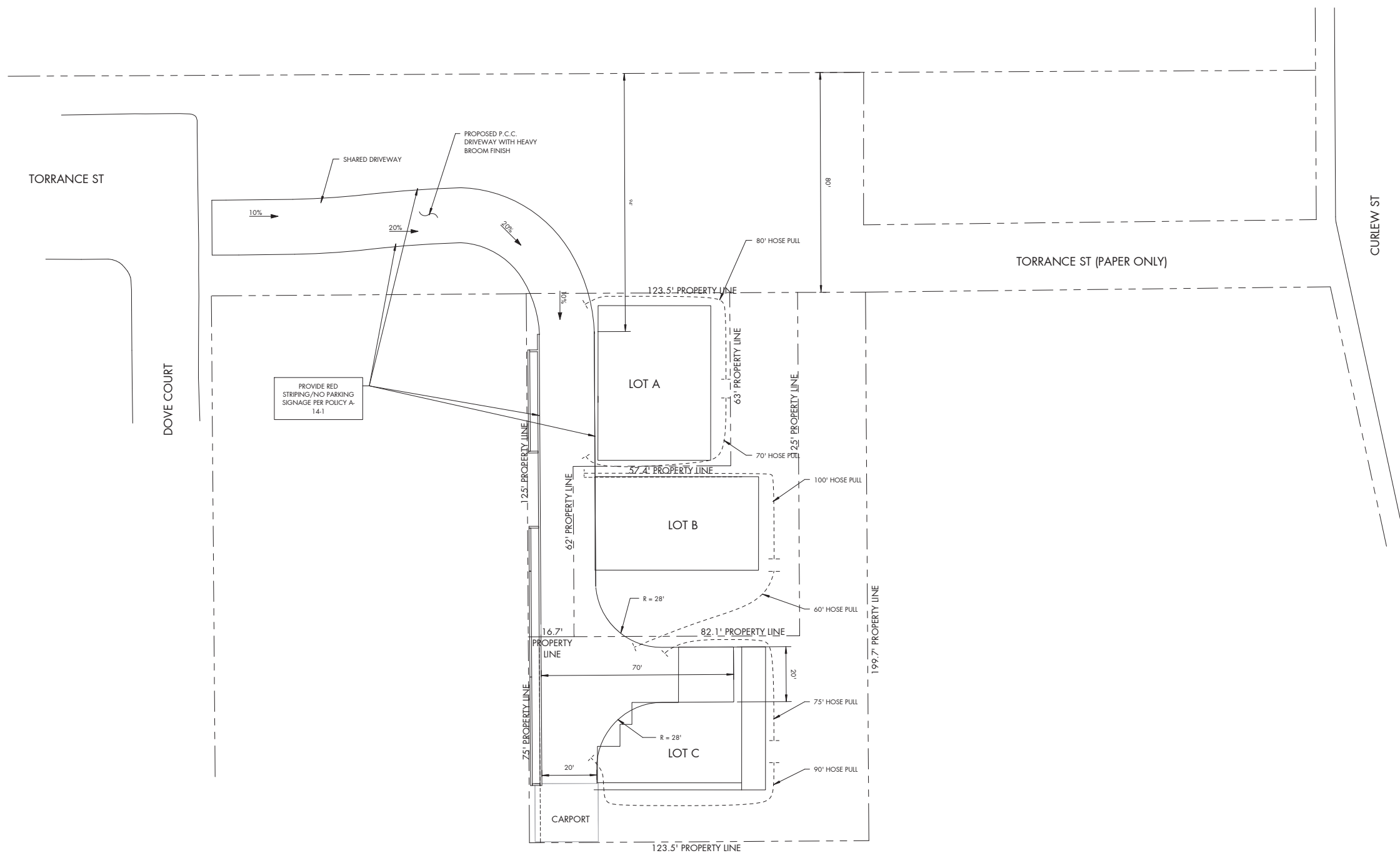
DATE:

7.3.17

SHEET NO.:

**A0.2**

ATTACHMENT 11



FIRE ACCESS PLAN  
1" = 20'-0"

FIRE ACCESS NOTES:

- BUILDING ADDRESS NUMBERS MUST BE VISIBLE AND LEGIBLE FROM THE STREET OF ROAD FRONTING THE PROPERTY PER SDMC 95.0209 (FROM DOVE COURT)
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OR FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (CFC 503.2.3)
- DEAD-END FIRE APPARATUS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (CFC 503.2.5)
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBER OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.





**NAKSHAB**  
DEVELOPMENT DESIGN  
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LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"A" FLOOR AREA  
CALCULATIONS

PROJECT NO.:

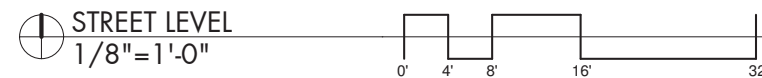
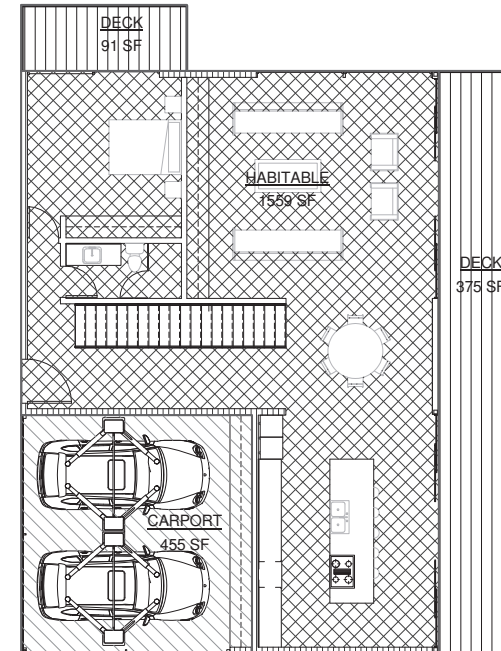
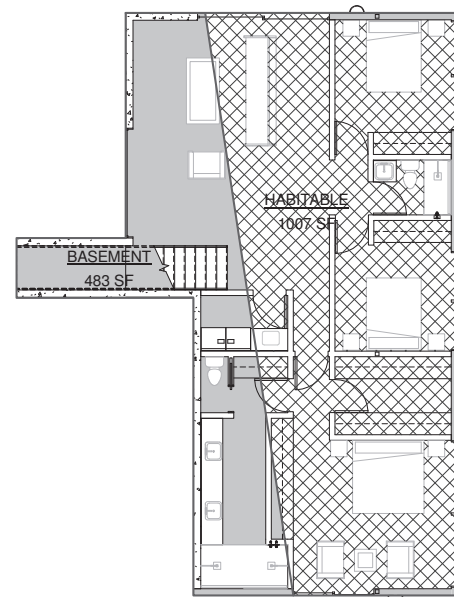
NDD16-004

DATE:

7.10.17

SHEET NO.:

**A0.3A**



**FAR LEGEND**

- BASEMENT** EXCLUDED FROM F.A.R. PER SDMC 113.0234(a)(2)(B)
- CARPORT** EXCLUDED FROM F.A.R.
- DECK** EXCLUDED FROM F.A.R.
- HABITABLE** INCLUDED IN F.A.R.

LEVEL 1			STREET LEVEL		
LABEL	F.A.R.	NON-F.A.R. AREA	LABEL	F.A.R.	NON-F.A.R. AREA
HABITABLE	1007	0	HABITABLE	1559	0
BASEMENT	0	483	DECK	0	451
			CARPORT	0	455
<b>TOTAL:</b>	<b>1007</b>	<b>483</b>	<b>TOTAL:</b>	<b>1559</b>	<b>906</b>

ALLOWABLE F.A.R.:

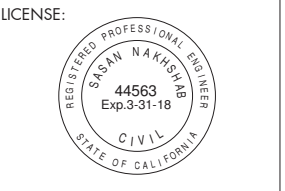
$$.45 \times 5703.7 = 2,567 \text{ S.F.}$$

**OCCUPANCY AREAS**

	LEVEL 1	STREET LEVEL
R-3:	1007 SF	1559 SF
<b>TOTAL ACTUAL F.A.R.: 2566 SF</b>		
<b>2,566 SF &lt; 2,567 SF</b>		



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

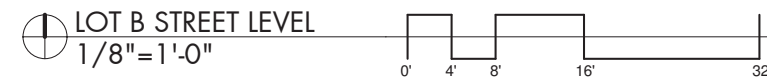
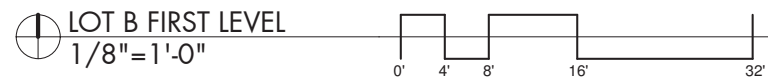
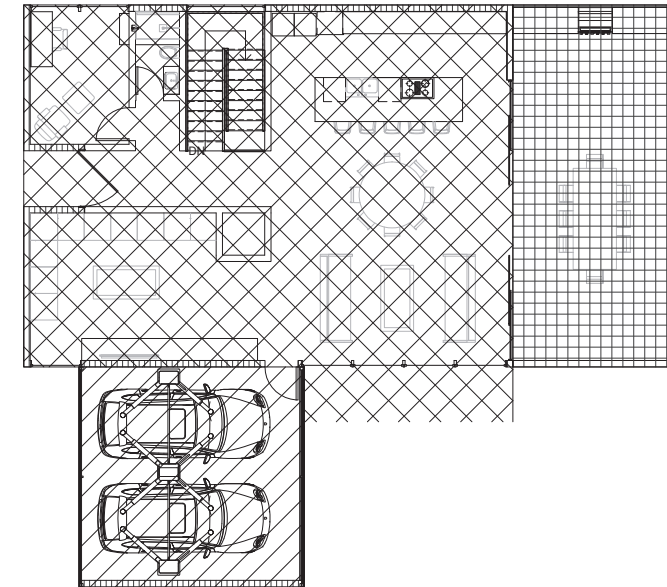
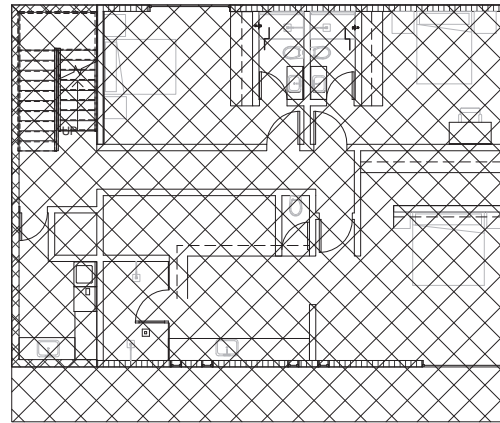
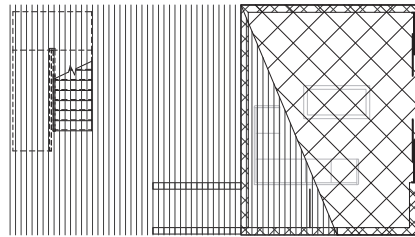
SHEET TITLE:  
"B" FLOOR AREA  
CALCULATIONS

PROJECT NO.:  
NDD16-004

DATE:  
7.3.16

SHEET NO.:  
**A0.3B**

ATTACHMENT 11



**LEGEND**

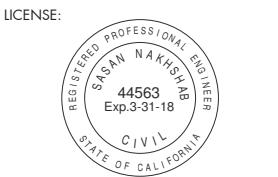
	HABITABLE SPACE - INCLUDED IN F.A.R.
	BASEMENT AREA - EXCLUDED FROM F.A.R.
	CARPORT - EXCLUDED FROM F.A.R.
	DECK - EXCLUDED FROM F.A.R.

FLOOR AREAS				OCCUPANCY AREAS					
LEVEL 1:	AREA	LEVEL 2:	AREA	STREET LEVEL:	AREA	LEVEL 1:	LEVEL 2:	STREET LVL:	
LIVABLE:	243	LIVABLE:	1268	LIVABLE:	1465	R-2:	243 SF	1268 SF	1465 SF
BASEMENT:	69			DECK:	494				
		TOTAL:	1,268	CARPORT:	400				
TOTAL:	312					TOTAL ACTUAL F.A.R.: 2,976 SF			
				TOTAL:	2,359				





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

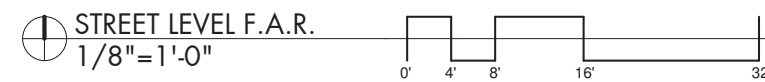
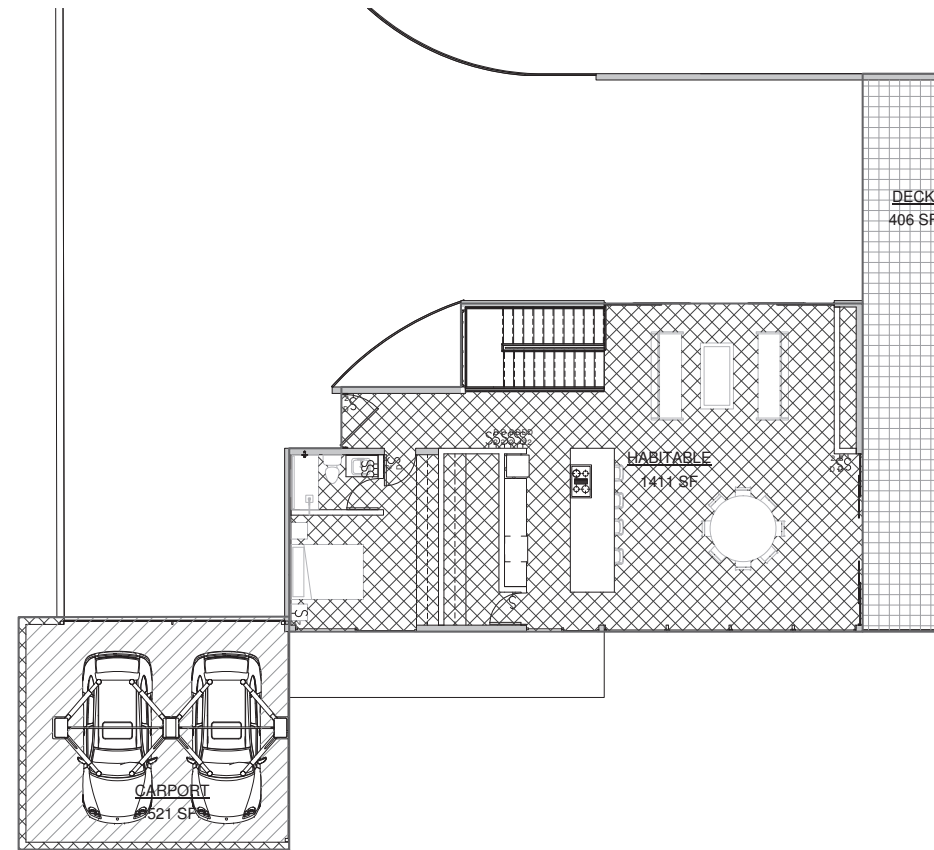
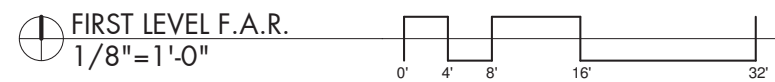
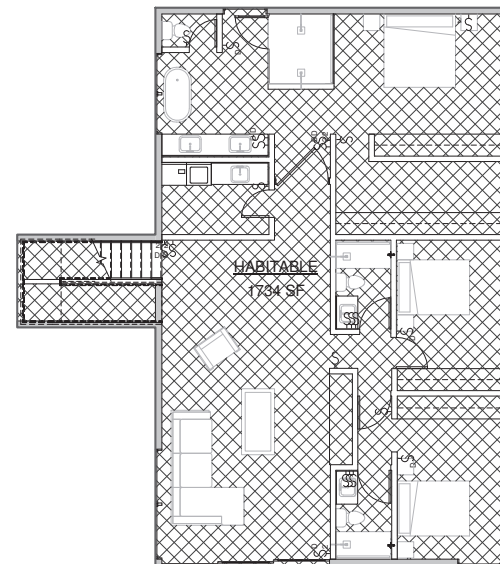
APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:  
**"C" FLOOR AREA CALCULATIONS**

PROJECT NO.:  
NDD16-004

DATE:  
7.17.17

SHEET NO.:  
**A0.3C**



F.A.R. LEGEND

- CARPORT EXCLUDED FROM F.A.R.
- DECK EXCLUDED FROM F.A.R.
- HABITABLE INCLUDED IN F.A.R.

LEVEL 1			STREET LEVEL		
LABEL	F.A.R.	NON-F.A.R. AREA	LABEL	F.A.R.	NON-F.A.R. AREA
HABITABLE	1734	0	HABITABLE	1411	0
			DECK	0	406
			CARPORT	0	521
TOTAL:	1734	148	TOTAL:	1411	927

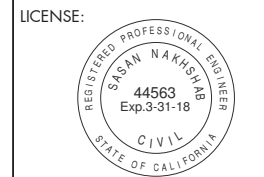
ALLOWABLE F.A.R.:

$$.45 \times 12,274.25 = 5,523.41 \text{ S.F.}$$

OCCUPANCY AREAS		
	LEVEL 1	STREET LEVEL
R-3:	1734 SF	1411 SF
TOTAL ACTUAL F.A.R.: 3145 SF		
3,145 SF < 5,523 SF		



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
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REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

ATTACHMENT 11

FLOOR PLAN GENERAL NOTES

- ALL INTERIOR DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL - ALL EXTERIOR DIMENSIONS SHOWN ARE TO FINISHED FACE OF SHEATHING (CONTRACTOR TO FIELD VERIFY) U.O.N. ON PLAN.
- ALL FRAMING SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES.
- ALL NAILING SHALL CONFORM TO THE CURRENT CBC NAILING SCHEDULE.
- ALL HEADERS SHALL HAVE 1-2x FULL HEIGHT, STUD AT EACH END OF ALL HEADERS.
- ALL INTERIORS WALLS ARE 2x4 STUDS AT 16" O.C. WITH GYPSUM BRD. ON BOTH SIDES.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED.
- COORDINATE EXACT LOCATIONS OF FIXTURES WITH OWNER.
- INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CBC SEC. 907.
- REFER TO STRUCTURAL SHEETS FOR NAILING SCHEDULE AND SHEARWALL SCHEDULE.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED W/ ALL NEW HOSE BIBS.
- PROVIDE ULTRA-LOW FLUSH TOILETS AND MAX. 2.2 GPM FLOW ON FAUCETS.
- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED .5 INCHES IN HEIGHT
- STATE HEALTH AND SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE
- COMBUSTIBLE AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 507 AND TABLE 5.1.
- PROVIDE AT LEAST ONE 20 AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- ALL RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH NEC ARTICLE 210-52(A).
- ANY F.A.U. CLOSET OR AICOVE PROVIDED SHALL BE 12 INCHES WIDER THAN THE FURNACE(S) INSTALLED.
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES SHALL BE INSTALLED IN MASTER BATHROOM, GARAGE, OUTDOORS AND KITCHEN COUNTERTOPS
- IN SHOWERS AND TUB-SHOWER COMBINATION, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- NEW WATER CLOSETS AND ASSOCIATED VALVES, IF ANY, SHALL USE NO MORE THAN 1.6 GALLONS PER FLUSH.
- IN KITCHENS AND DINING AREAS OF DWELLING UNITS, A RECEPTACLE SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12". RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTERTOPS 12" x 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE.
- STRUCTURAL MEMBERS SUPPORTING AN OCCUPANCY SEPARATION MUST HAVE THE SAME FIRE-RESISTIVE RATING AS THE SEPARATION.
- STRUCTURAL ELEMENTS EXPOSED IN WALLS REQUIRED TO BE FIRE-RESISTIVE CONSTRUCTION DUE TO LOCATION OF PROPERTY MUST HAVE THE SAME FIRE-RESISTIVE RATED PROTECTION AS THE WALL, OR AS REQUIRED FOR THE STRUCTURAL FRAME FOR THE TYPE OF CONSTRUCTION, WHICHEVER IS GREATER.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE OF THE GROUND UNDER THE STRUCTURE.
- ALL FOUNDATION PLATES OR SILLS ON CONCRETE OR MASONRY IN CONTACT WITH EARTH MUST BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- INSTALL OCCUPANCY SENSORS IN ALL BATHROOMS FOR LOCAL EXHAUST.
- BEDROOM BRANCH CIRCUITS WILL BE ARC FAULT CIRCUIT PROTECTED
- DECK WATERPROOFING: MANUFACTURER-PII-DEK - ICC ES ESR-2097 PII-DEK FINISH
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHORIDE (CPVC) AND CROSSLINKED POLETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING
- ATTIC/UNDERFLOOR INSULATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- HERS VERIFICATION REQUIRED TO CONFIRM WHOLE-BUILDING VENTILATION AIRFLOW.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHRUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- DOORS BETWEEN GARAGE AND DWELLING SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'FOR FUTURE SOLAR PHOTOVOLTAIC.'
- THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'EV CAPABLE.'

FLOOR PLAN KEYNOTES

①

WALL ASSEMBLY LEGEND FOR DETAILED WALL ASSEMBLIES SEE T1.3

- 2x6 EXTERIOR WALL
- 2x4 INTERIOR WALL
- 

SHEET TITLE:

"A" FIRST LEVEL

PROJECT NO.:

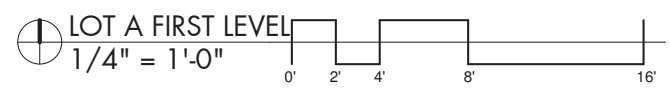
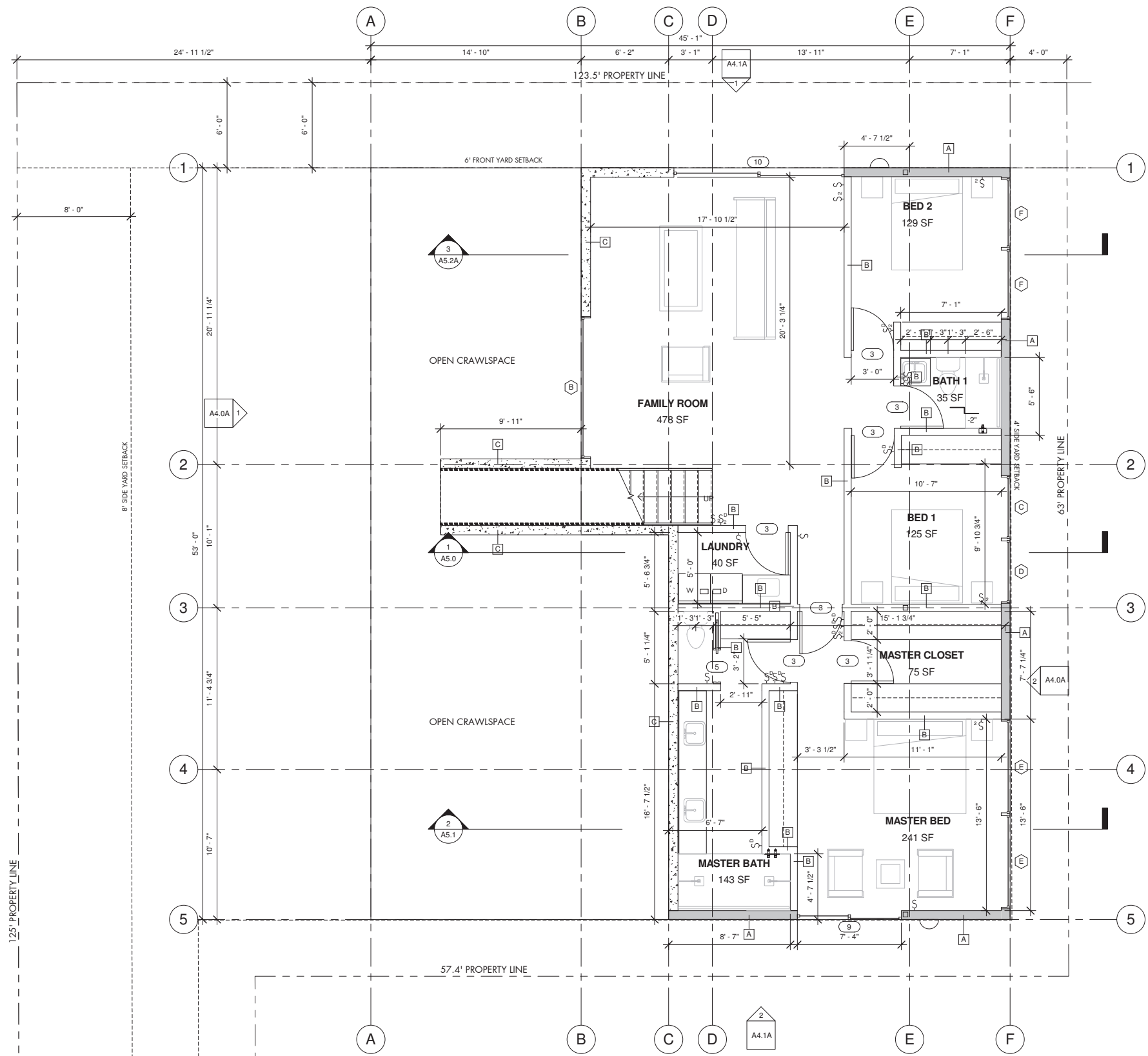
NDD16-004

DATE:

7.10.17

SHEET NO.:

**A2.0A**



123.5' PROPERTY LINE

8' SIDE YARD SETBACK

OPEN CRAWLSPACE

OPEN CRAWLSPACE

63' PROPERTY LINE

57.4' PROPERTY LINE

A4.1A

A4.0A

A4.0A

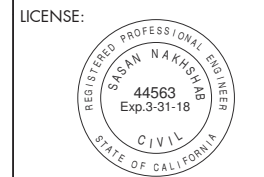
A4.1A

LOT A FIRST LEVEL

1/4" = 1'-0"



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:	ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

ATTACHMENT 11

FLOOR PLAN GENERAL NOTES

- ALL INTERIOR DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL - ALL EXTERIOR DIMENSIONS SHOWN ARE TO FINISHED FACE OF SHEATHING (CONTRACTOR TO FIELD VERIFY) U.O.N. ON PLAN.
- ALL FRAMING SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES.
- ALL NAILING SHALL CONFORM TO THE CURRENT CBC NAILING SCHEDULE.
- ALL HEADERS SHALL HAVE 1-2x FULL HEIGHT, STUD AT EACH END OF ALL HEADERS.
- ALL INTERIORS WALLS ARE 2x4 STUDS AT 16" O.C. WITH GYPSUM BRD. ON BOTH SIDES.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED.
- COORDINATE EXACT LOCATIONS OF FIXTURES WITH OWNER.
- INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CBC SEC. 907.
- REFER TO STRUCTURAL SHEETS FOR NAILING SCHEDULE AND SHEARWALL SCHEDULE.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED W/ ALL NEW HOSE BIBS.
- PROVIDE ULTRA-LOW FLUSH TOILETS AND MAX. 2.2 GPM FLOW ON FAUCETS.
- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED .5 INCHES IN HEIGHT
- STATE HEALTH AND SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE
- COMBUSTIBLE AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 507 AND TABLE 5.1.
- PROVIDE AT LEAST ONE 20 AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- ALL RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH NEC ARTICLE 210-52(A).
- ANY F.A.U. CLOSET OR ALCOVE PROVIDED SHALL BE 12 INCHES WIDER THAN THE FURNACE(S) INSTALLED.
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES SHALL BE INSTALLED IN MASTER BATHROOM, GARAGE, OUTDOORS AND KITCHEN COUNTERS
- IN SHOWERS AND TUB-SHOWER COMBINATION, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- NEW WATER CLOSETS AND ASSOCIATED VALVES, IF ANY, SHALL USE NO MORE THAN 1.6 GALLONS PER FLUSH.
- IN KITCHENS AND DINING AREAS OF DWELLING UNITS, A RECEPTACLE SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12". RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTERTOPS 12" x 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE.
- STRUCTURAL MEMBERS SUPPORTING AN OCCUPANCY SEPARATION MUST HAVE THE SAME FIRE-RESISTIVE RATING AS THE SEPARATION.
- STRUCTURAL ELEMENTS EXPOSED IN WALLS REQUIRED TO BE FIRE-RESISTIVE CONSTRUCTION DUE TO LOCATION OF PROPERTY MUST HAVE THE SAME FIRE-RESISTIVE RATED PROTECTION AS THE WALL, OR AS REQUIRED FOR THE STRUCTURAL FRAME FOR THE TYPE OF CONSTRUCTION, WHICHEVER IS GREATER.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE OF THE GROUND UNDER THE STRUCTURE.
- ALL FOUNDATION PLATES OR SILLS ON CONCRETE OR MASONRY IN CONTACT WITH EARTH MUST BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- INSTALL OCCUPANCY SENSORS IN ALL BATHROOMS FOR LOCAL EXHAUST.
- BEDROOM BRANCH CIRCUITS WILL BE ARC FAULT CIRCUIT PROTECTED
- DECK WATERPROOFING: MANUFACTURER:PII-DEK - ICC ES ESR-2097 PII-DEK FINISH
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHORIDE (CPVC) AND CROSSLINKED POLETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING
- ATTIC/UNDERFLOOR INSULATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
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- DOORS BETWEEN GARAGE AND DWELLING SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
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FLOOR PLAN KEYNOTES

①

WALL ASSEMBLY LEGEND FOR DETAILED WALL ASSEMBLIES SEE T1.3

- A 2x6 EXTERIOR WALL
- B 2x4 INTERIOR WALL
- C 8" CONCRETE

SHEET TITLE:

"A" STREET LEVEL

PROJECT NO.:

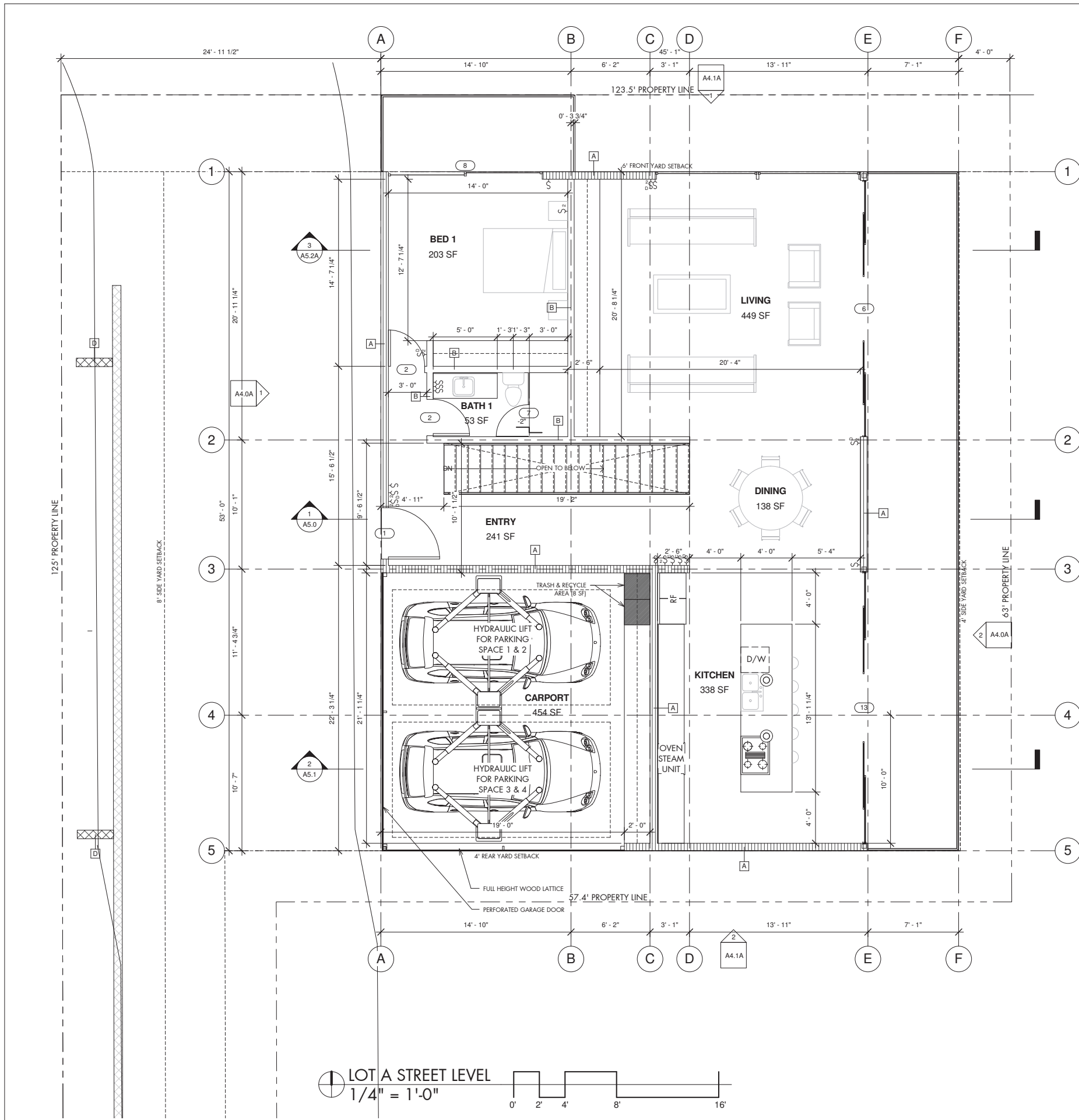
NDD16-004

DATE:

7.10.17

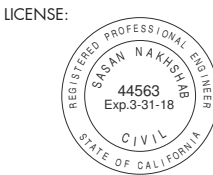
SHEET NO.:

A2.1A





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"A" ROOF PLAN

PROJECT NO.:

NDD16-004

DATE:

7.10.17

SHEET NO.:

**A2.2A**

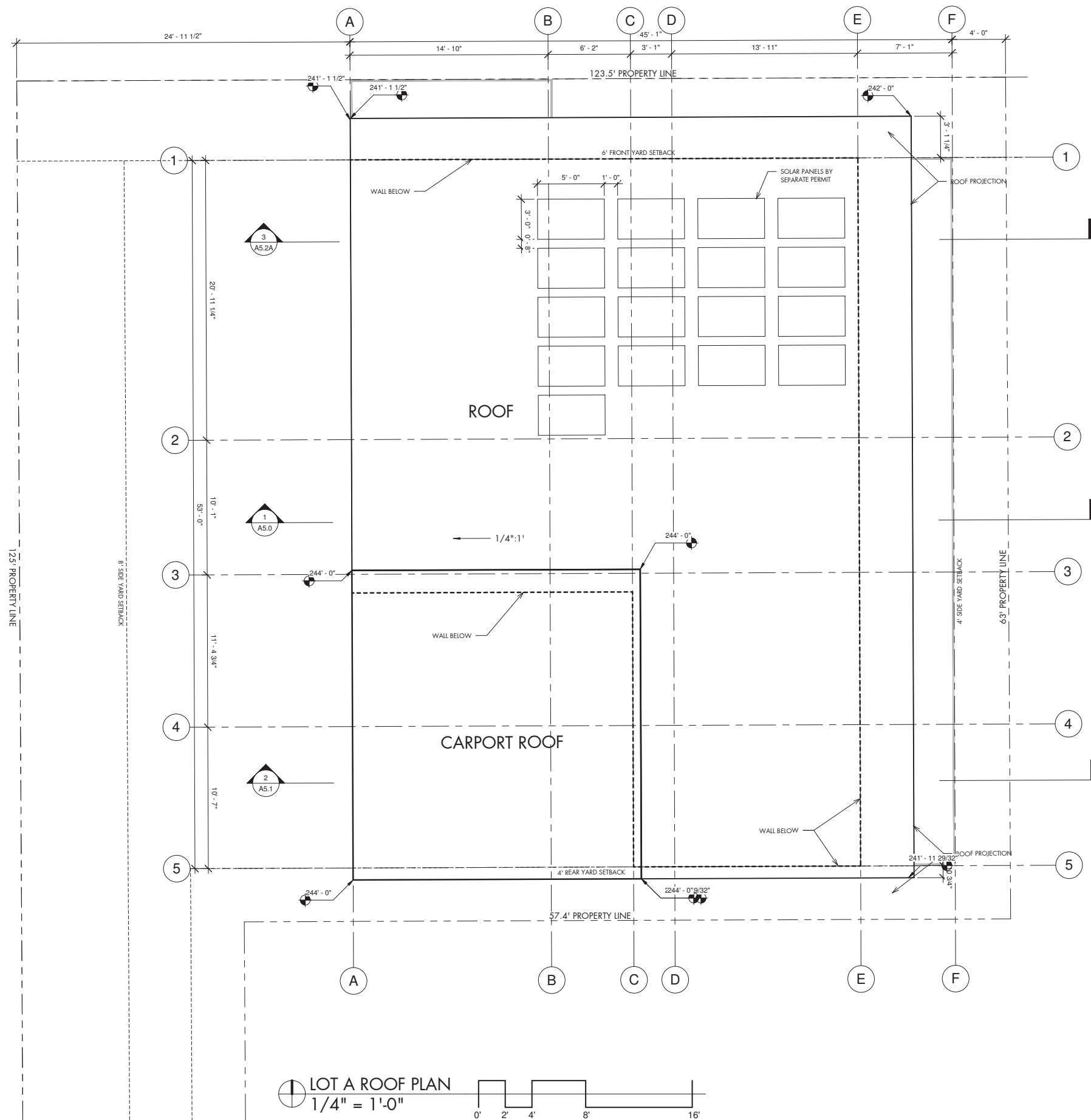
ROOF PLAN GENERAL NOTES

- ALL NEWLY CONSTRUCTED ROOFS SHALL BE A CLASS "A" ROOF ASSEMBLY (SAN DIEGO MUNICIPAL CODE SEC. 145.0202). NOTE: CLASS "A" ROOF ASSEMBLIES AND ROOF COVERINGS SHALL BE LISTED AND IDENTIFIED BY AN APPROVED TESTING AGENCY. ICC ESR 2018
  - ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS
- SOLAR ZONES:**
- SOLAR ZONES, PROVIDING SPACE FOR FUTURE SOLAR PHOTOVOLTAIC PANELS, ARE REQUIRED ON ROOFS PER THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS. ES 110-10(b)
  - THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM RATING OF 200 AMPS.
  - RESERVED SPACE MUST BE PROVIDED AT THE MAIN ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR PHOTOVOLTAIC SYSTEMS. THE CIRCUIT BREAKER SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION AND SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC." THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER.
  - ELECTRICAL CONDUIT SHALL BE INSTALLED TO ACCOMMODATE FUTURE INSTALLATION OF A ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM, COMPLYING WITH THE FOLLOWING:
    - ONE CONDUIT RUN SHALL ORIGINATE AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO THE SOLAR ZONE AREA AND SHALL TERMINATE AT A MINIMUM 4" SQUARE JUNCTION BOX LOCATED WITHIN 72" HORIZONTALLY AND 12" VERTICALLY OF A MAIN ELECTRICAL PANEL.
    - A SECOND CONDUIT RUN SHALL ORIGINATE AT THE JUNCTION BOX AND TERMINATE AT THE ELECTRICAL PANEL
    - THE CONDUIT SHALL BE MINIMUM 1" DIAMETER LISTED ELECTRICAL METALLIC RACEWAY
    - THE JUNCTION BOX AND THE SEGMENT OF CONDUIT RUN IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC."

ROOF PLAN KEYNOTES

①

ROOF PLAN LEGEND

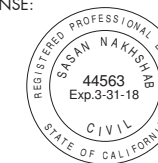


LOT A ROOF PLAN  
1/4" = 1'-0"



**NAKSHAB**  
DEVELOPMENT DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"B" FIRST LEVEL

PROJECT NO.:

NDD16-004

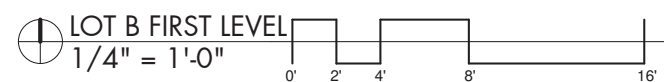
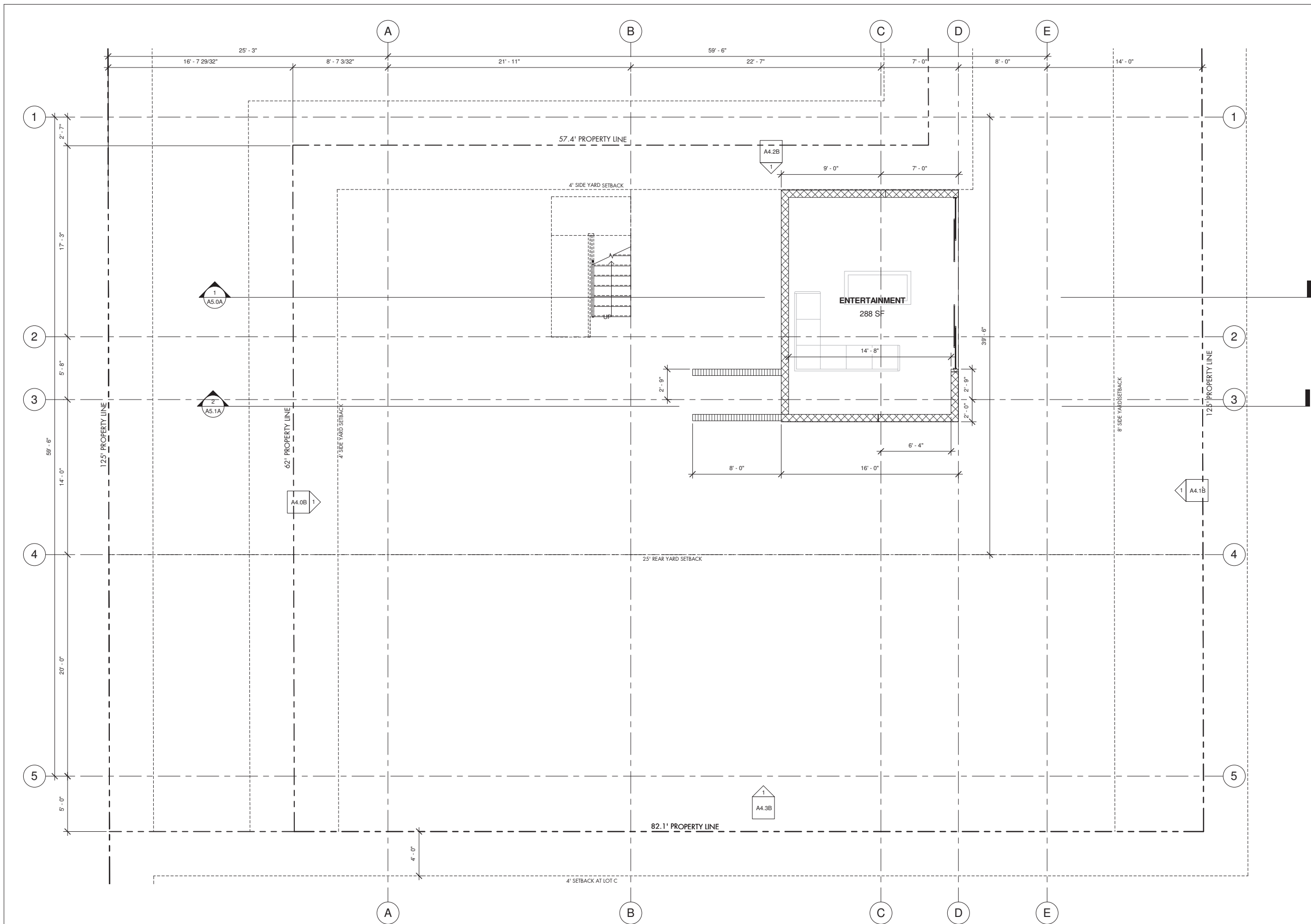
DATE:

7.3.16

SHEET NO.:

**A2.0B**

ATTACHMENT 11



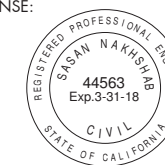




NAKHSHAB  
DEVELOPMENT.DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
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ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

SHEET TITLE:

"B" SECOND LEVEL

PROJECT NO.:

NDD16-004

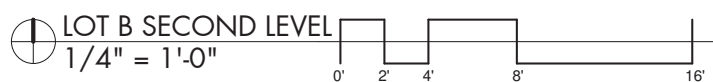
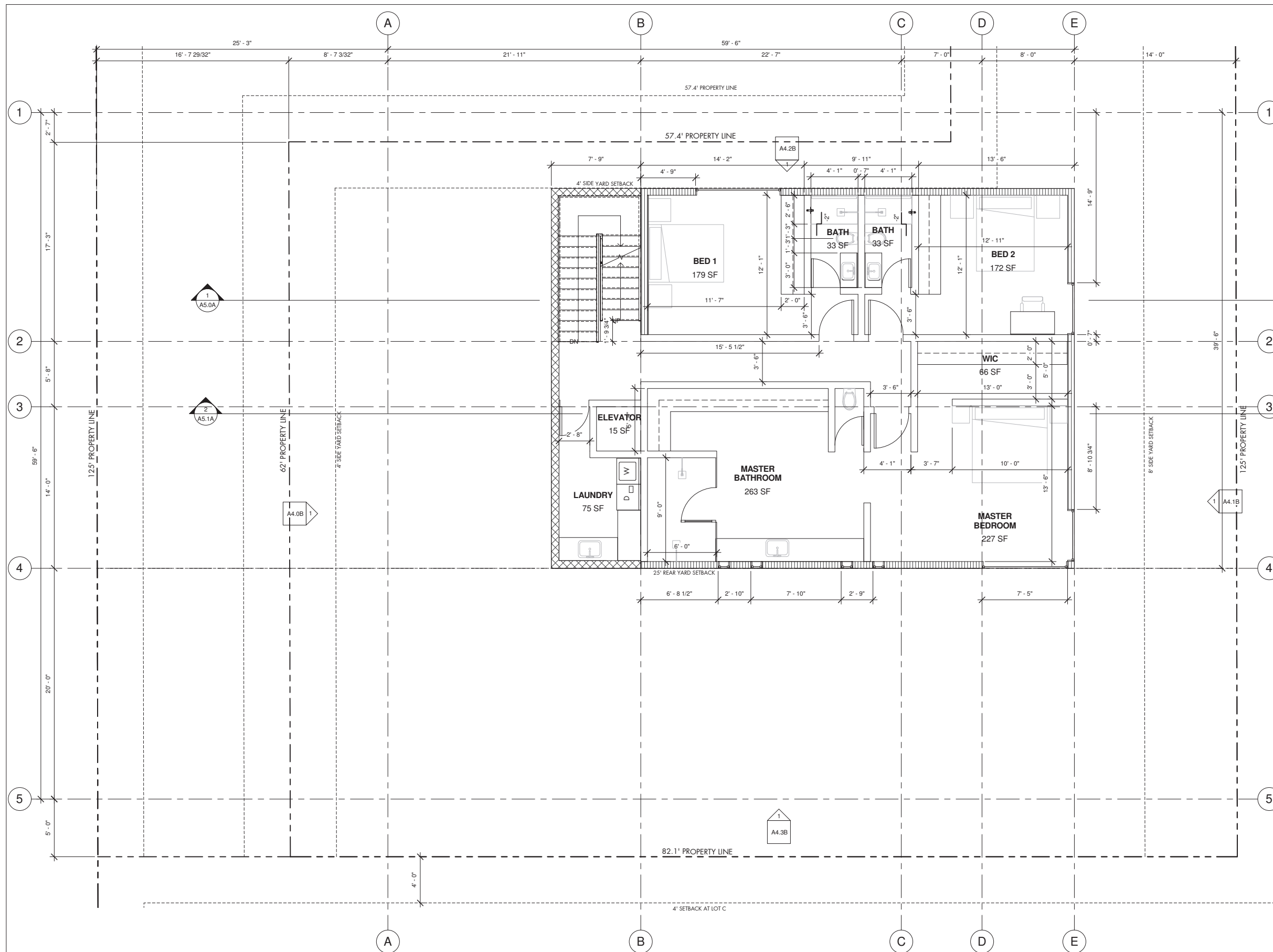
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7.3.16

SHEET NO.:

A2.1B

ATTACHMENT 11

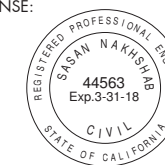




NAKSHAB  
DEVELOPMENT DESIGN

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340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
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ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

SHEET TITLE:

"B" STREET LEVEL

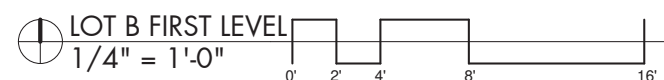
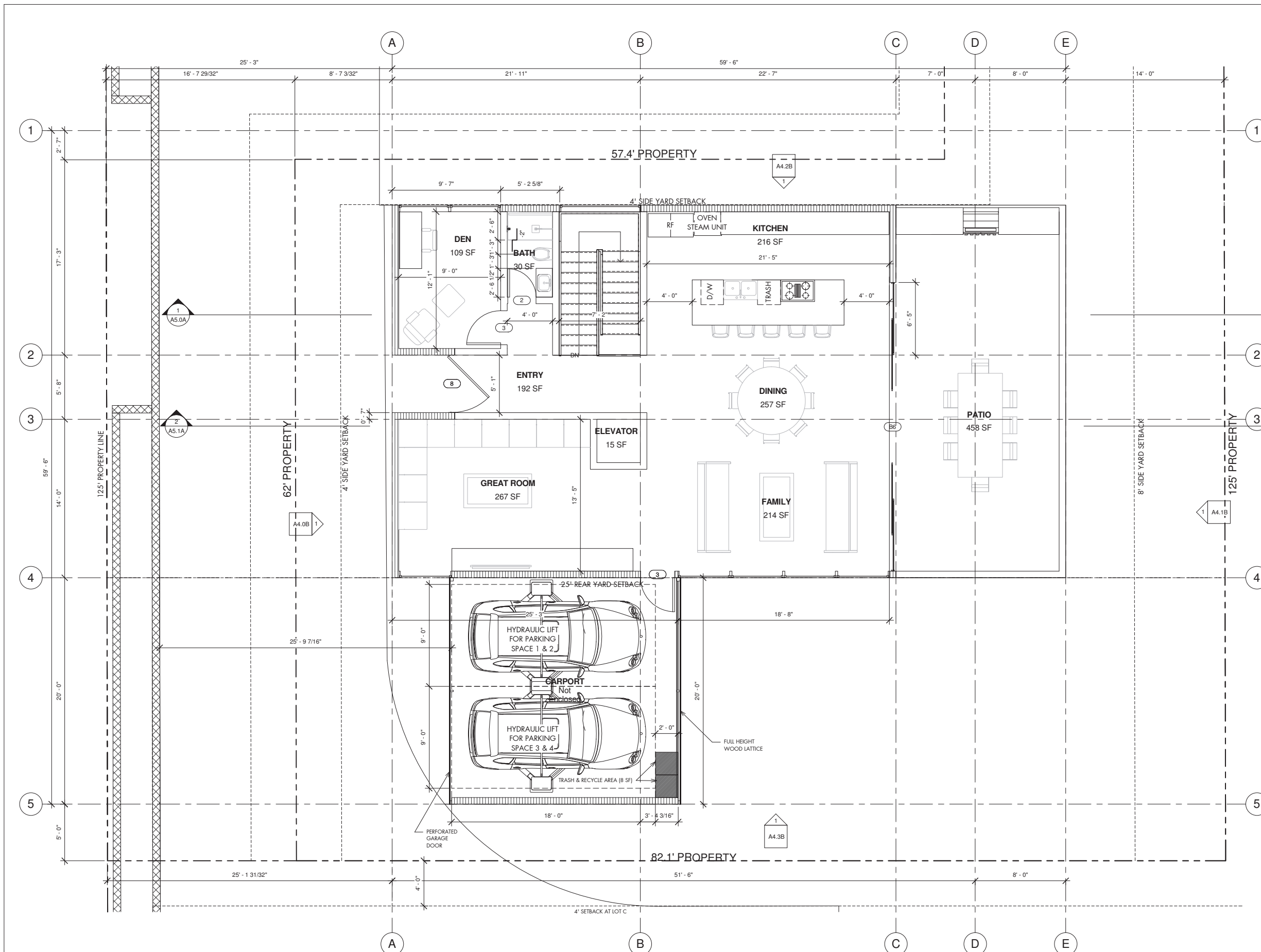
PROJECT NO.:  
NDD16-004

DATE:  
7.3.16

SHEET NO.:

A2.2B

ATTACHMENT 11





**NAKSHAB**  
DEVELOPMENT DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"B" ROOF PLAN

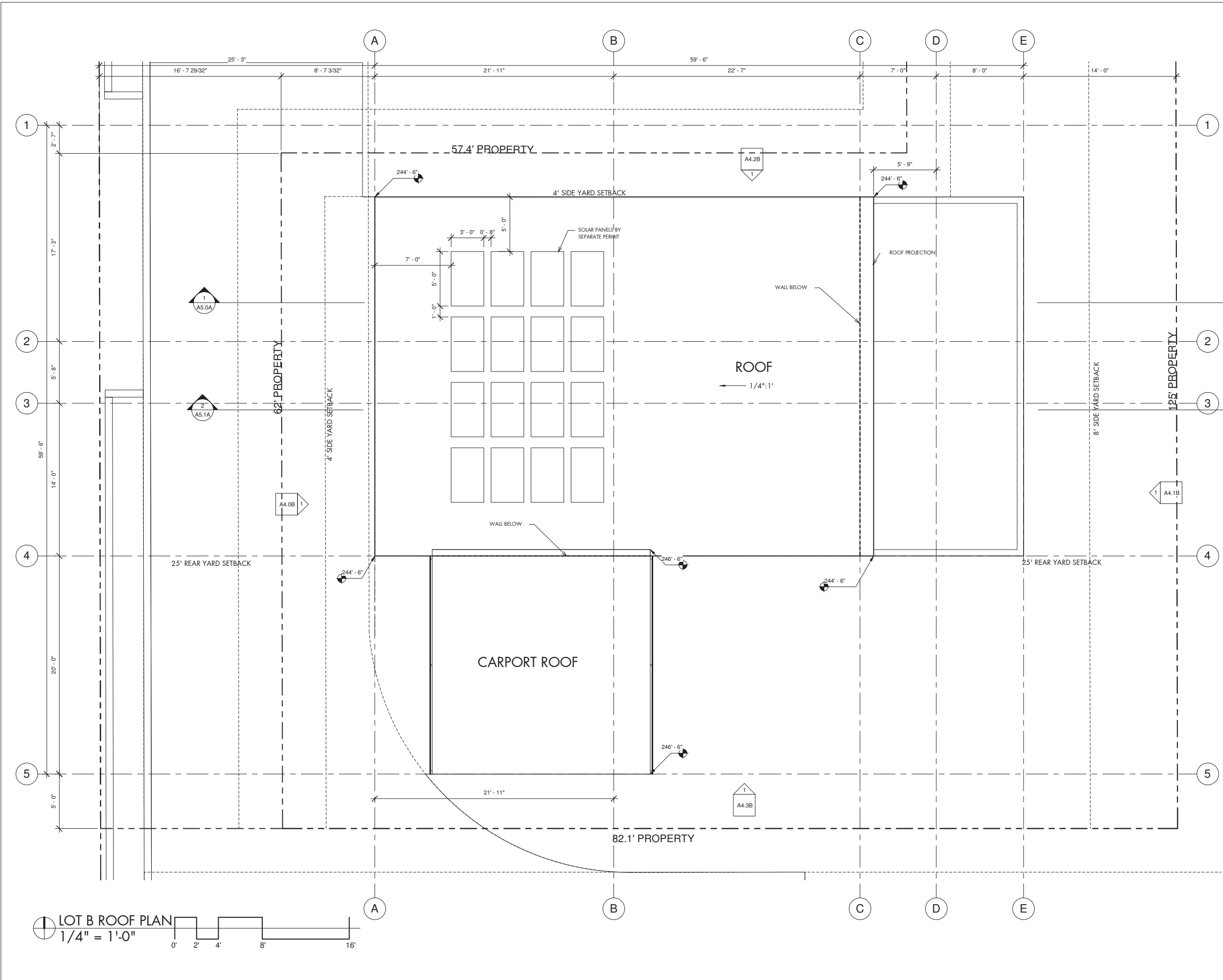
PROJECT NO.: NDD16-004

DATE: 7.3.16

SHEET NO.:

**A2.3B**

ATTACHMENT 11



LOT B ROOF PLAN  
1/4" = 1'-0"





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
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PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

ATTACHMENT 11

FLOOR PLAN GENERAL NOTES

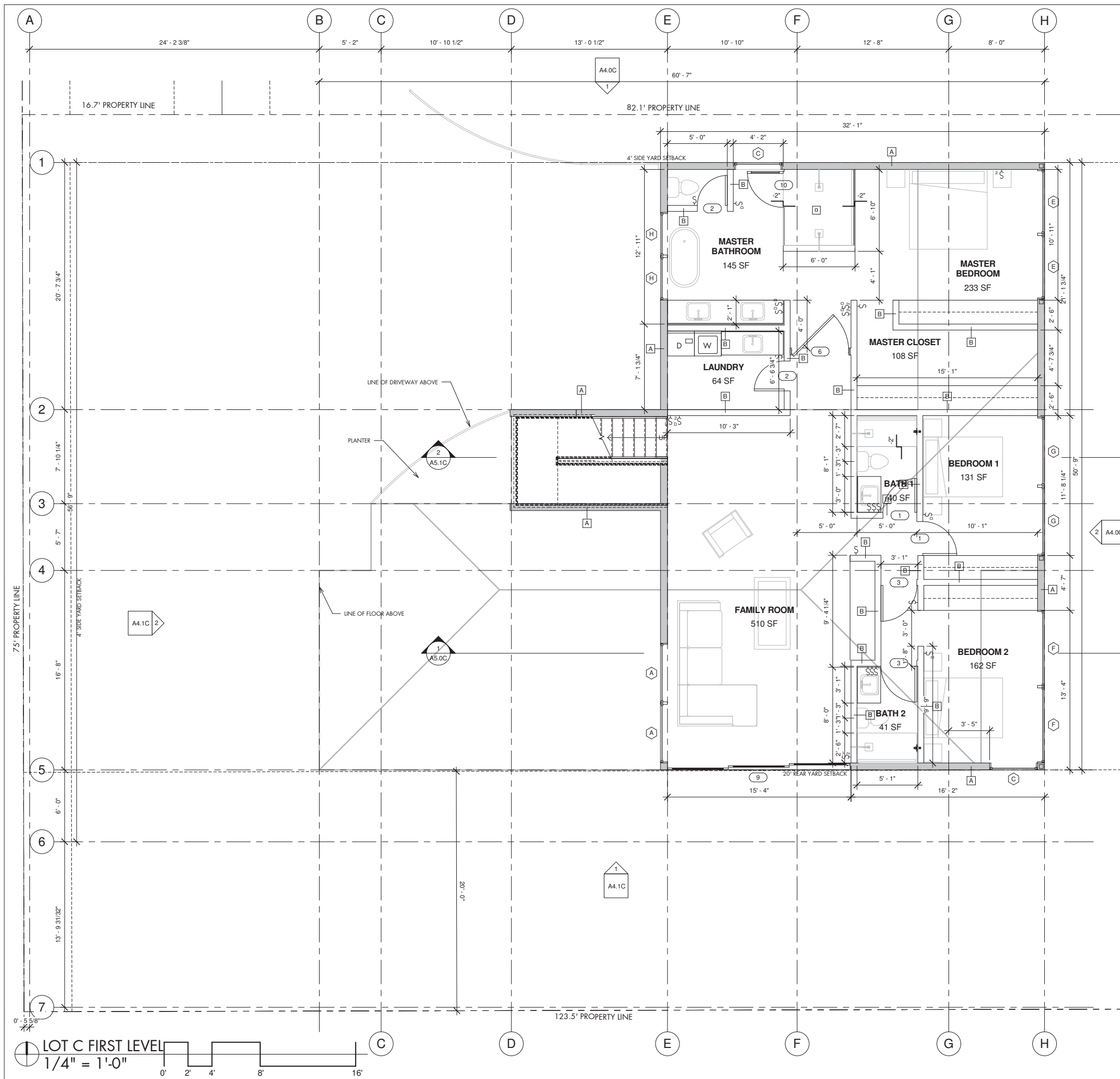
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- ALL NAILING SHALL CONFORM TO THE CURRENT CBC NAILING SCHEDULE.
- ALL HEADERS SHALL HAVE 1-2x FULL HEIGHT, STUD AT EACH END OF ALL HEADERS.
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- COMBUSTIBLE AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 507 AND TABLE 5-1.
- PROVIDE AT LEAST ONE 20 AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- ALL RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH NEC ARTICLE 210-52(A).
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FLOOR PLAN KEYNOTES

①

WALL ASSEMBLY LEGEND FOR DETAILED WALL ASSEMBLIES SEE T1.3

- A 2x6 EXTERIOR WALL
- B 2x4 INTERIOR WALL
- C 8" CONCRETE



SHEET TITLE:

"C" FIRST LEVEL

PROJECT NO.:

NDD16-004

DATE:

7.17.17

SHEET NO.:

**A2.0C**



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

ATTACHMENT 11

FLOOR PLAN GENERAL NOTES

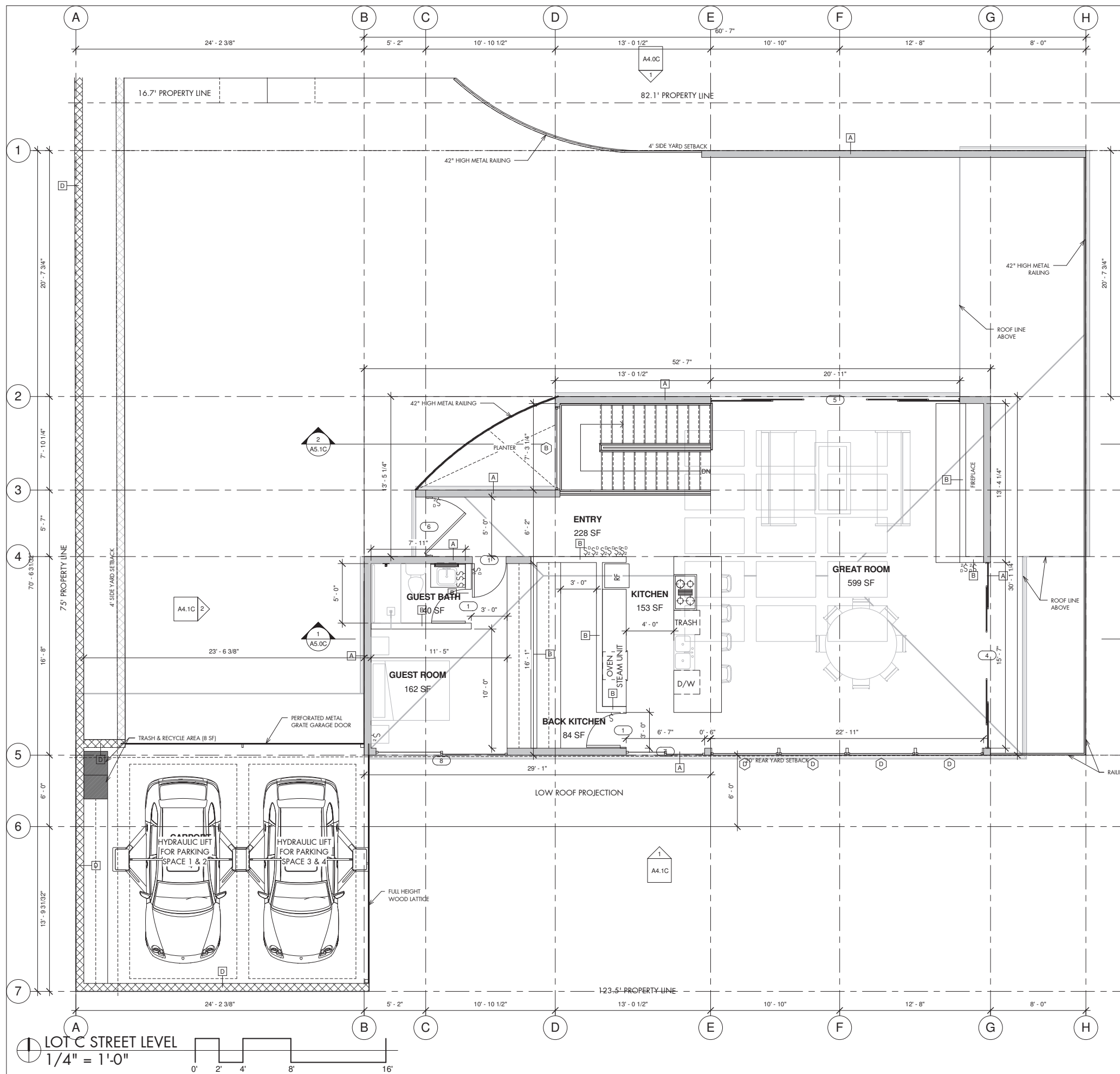
- ALL INTERIOR DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL - ALL EXTERIOR DIMENSIONS SHOWN ARE TO FINISHED FACE OF SHEATHING (CONTRACTOR TO FIELD VERIFY) U.O.N. ON PLAN.
- ALL FRAMING SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES.
- ALL NAILING SHALL CONFORM TO THE CURRENT CBC NAILING SCHEDULE.
- ALL HEADERS SHALL HAVE 1-2x FULL HEIGHT. STUD AT EACH END OF ALL HEADERS.
- ALL INTERIORS WALLS ARE 2x4 STUDS AT 16" O.C. WITH GYPSUM BRD. ON BOTH SIDES.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED.
- COORDINATE EXACT LOCATIONS OF FIXTURES WITH OWNER.
- INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CBC SEC. 907.
- REFER TO STRUCTURAL SHEETS FOR NAILING SCHEDULE AND SHEARWALL SCHEDULE.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED W/ ALL NEW HOSE BIBS.
- PROVIDE ULTRA-LOW FLUSH TOILETS AND MAX. 2.2 GPM FLOW ON FAUCETS.
- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED .5 INCHES IN HEIGHT
- STATE HEALTH AND SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE
- COMBUSTIBLE AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 507 AND TABLE 5.1.
- PROVIDE AT LEAST ONE 20 AMP CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
- ALL RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH NEC ARTICLE 210-52(A).
- ANY F.A.U. CLOSET OR ALCOVE PROVIDED SHALL BE 12 INCHES WIDER THAN THE FURNACE(S) INSTALLED.
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES SHALL BE INSTALLED IN MASTER BATHROOM, GARAGE, OUTDOORS AND KITCHEN COUNTERS
- IN SHOWERS AND TUB-SHOWER COMBINATION, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- NEW WATER CLOSETS AND ASSOCIATED VALVES, IF ANY, SHALL USE NO MORE THAN 1.6 GALLONS PER FLUSH.
- IN KITCHENS AND DINING AREAS OF DWELLING UNITS, A RECEPTACLE SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12". RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTERTOPS 12" x 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE.
- STRUCTURAL MEMBERS SUPPORTING AN OCCUPANCY SEPARATION MUST HAVE THE SAME FIRE-RESISTIVE RATING AS THE SEPARATION.
- STRUCTURAL ELEMENTS EXPOSED IN WALLS REQUIRED TO BE FIRE-RESISTIVE CONSTRUCTION DUE TO LOCATION OF PROPERTY MUST HAVE THE SAME FIRE-RESISTIVE RATED PROTECTION AS THE WALL, OR AS REQUIRED FOR THE STRUCTURAL FRAME FOR THE TYPE OF CONSTRUCTION, WHICHEVER IS GREATER.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE OF THE GROUND UNDER THE STRUCTURE.
- ALL FOUNDATION PLATES OR SILLS ON CONCRETE OR MASONRY IN CONTACT WITH EARTH MUST BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- INSTALL OCCUPANCY SENSORS IN ALL BATHROOMS FOR LOCAL EXHAUST.
- BEDROOM BRANCH CIRCUITS WILL BE ARC FAULT CIRCUIT PROTECTED
- DECK WATERPROOFING: MANUFACTURER-PLI-DEK - ICC ES ESR-2097 PLI-DEK FINISH
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHORIDE (CPVC) AND CROSSLINKED POLETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING
- ATTIC/UNDERFLOOR INSULATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- HERS VERIFICATION REQUIRED TO CONFIRM WHOLE-BUILDING VENTILATION AIRFLOW.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHRUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- DOORS BETWEEN GARAGE AND DWELLING SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'FOR FUTURE SOLAR PHOTOVOLTAIC.'
- THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'EV CAPABLE.'

FLOOR PLAN KEYNOTES

①

WALL ASSEMBLY LEGEND FOR DETAILED WALL ASSEMBLIES SEE T1.3

- A 2x6 EXTERIOR WALL
- B 2x4 INTERIOR WALL
- C 8" CONCRETE



SHEET TITLE:

"C" STREET LEVEL

PROJECT NO.:

NDD16-004

DATE:

7.17.17

SHEET NO.:

**A2.1C**



NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"C" ROOF PLAN

PROJECT NO.:

NDD16-004

DATE:

7.17.17

SHEET NO.:

**A2.2C**

ATTACHMENT 11

ROOF PLAN GENERAL NOTES

- ALL NEWLY CONSTRUCTED ROOFS SHALL BE A CLASS "A" ROOF ASSEMBLY (SAN DIEGO MUNICIPAL CODE SEC. 145.0202). NOTE: CLASS "A" ROOF ASSEMBLIES AND ROOF COVERINGS SHALL BE LISTED AND IDENTIFIED BY AN APPROVED TESTING AGENCY. ICC ESR 2018
- ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

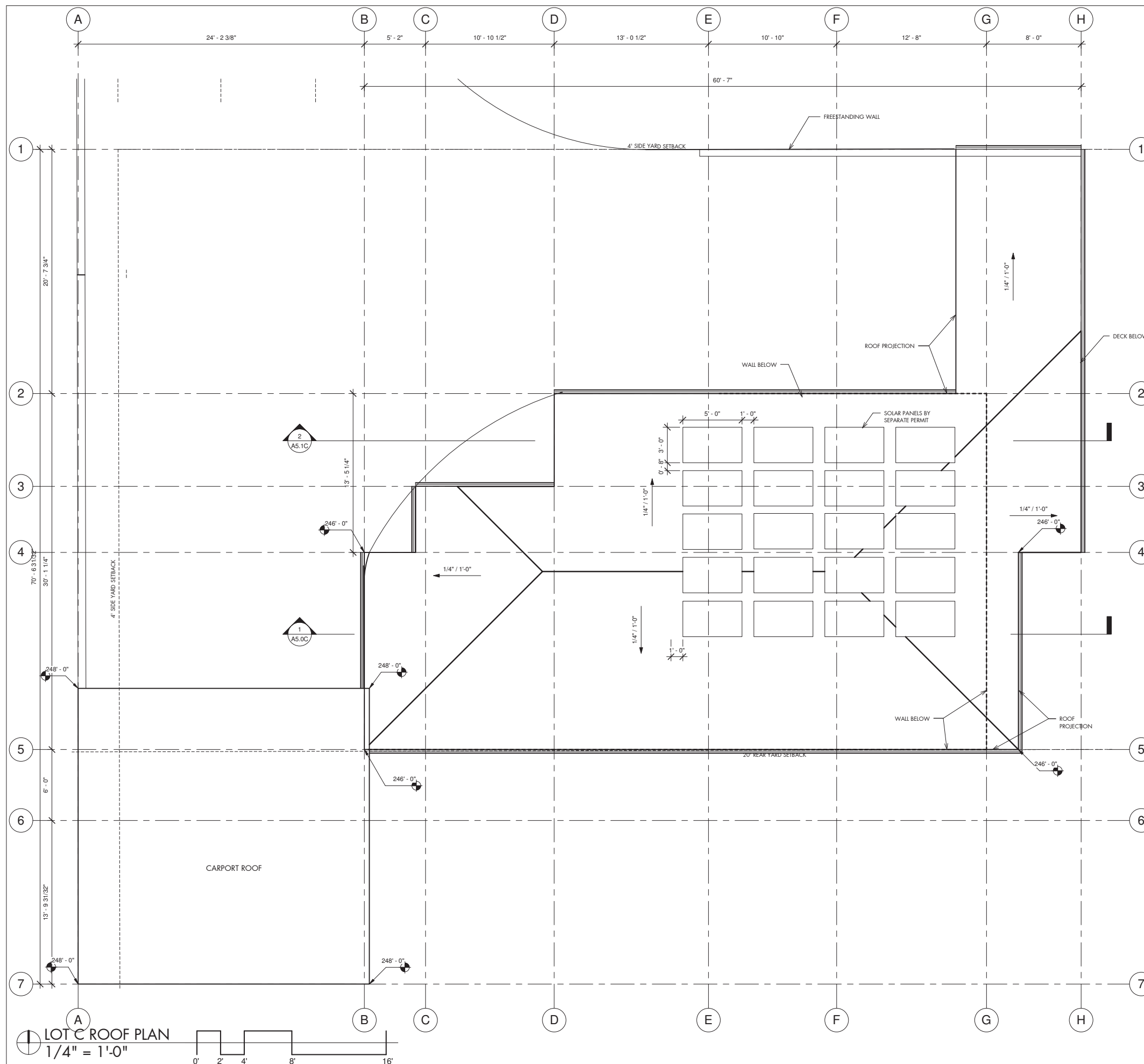
SOLAR ZONES:

- SOLAR ZONES, PROVIDING SPACE FOR FUTURE SOLAR PHOTOVOLTAIC PANELS, ARE REQUIRED ON ROOFS PER THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS. ES 110-10(b)
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM RATING OF 200 AMPS.
- RESERVED SPACE MUST BE PROVIDED AT THE MAIN ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR PHOTOVOLTAIC SYSTEMS. THE CIRCUIT BREAKER SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION AND SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC." THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER.
- ELECTRICAL CONDUIT SHALL BE INSTALLED TO ACCOMMODATE FUTURE INSTALLATION OF A ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM, COMPLYING WITH THE FOLLOWING:
  - ONE CONDUIT RUN SHALL ORIGINATE AT A READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO THE SOLAR ZONE AREA AND SHALL TERMINATE AT A MINIMUM 4" SQUARE JUNCTION BOX LOCATED WITHIN 72" HORIZONTALLY AND 12" VERTICALLY OF A MAIN ELECTRICAL PANEL.
  - A SECOND CONDUIT RUN SHALL ORIGINATE AT THE JUNCTION BOX AND TERMINATE AT THE ELECTRICAL PANEL
  - THE CONDUIT SHALL BE MINIMUM 1" DIAMETER LISTED ELECTRICAL METALLIC RACEWAY
  - THE JUNCTION BOX AND THE SEGMENT OF CONDUIT RUN IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC."

ROOF PLAN KEYNOTES

①

ROOF PLAN LEGEND



LOT C ROOF PLAN  
1/4" = 1'-0"

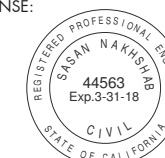




NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
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WWW.NDDINC.NET

LICENSE:



REVISIONS:  
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

SHEET TITLE:  
"A" EAST & WEST  
ELEVATIONS

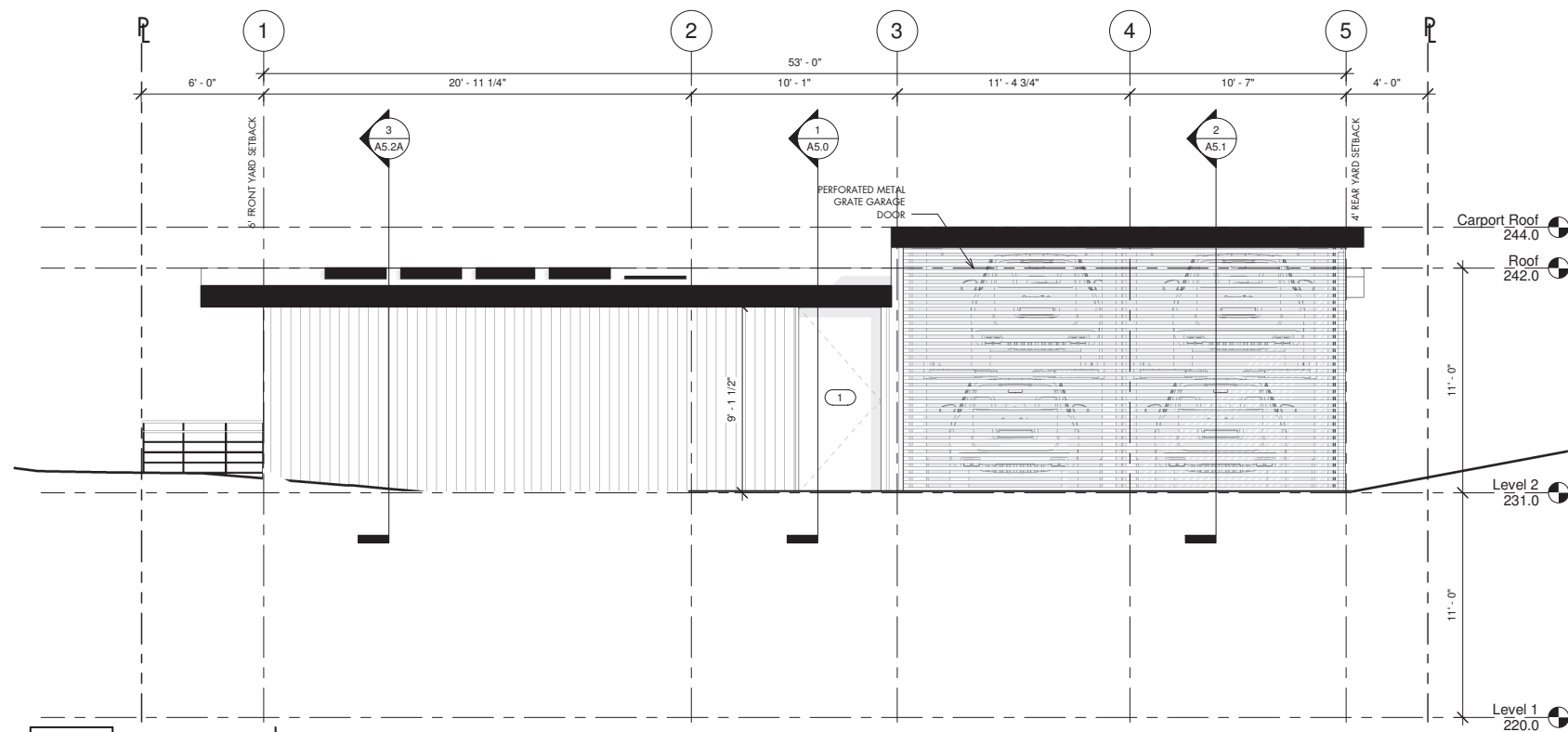
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NDD16-004

DATE:  
7.10.17

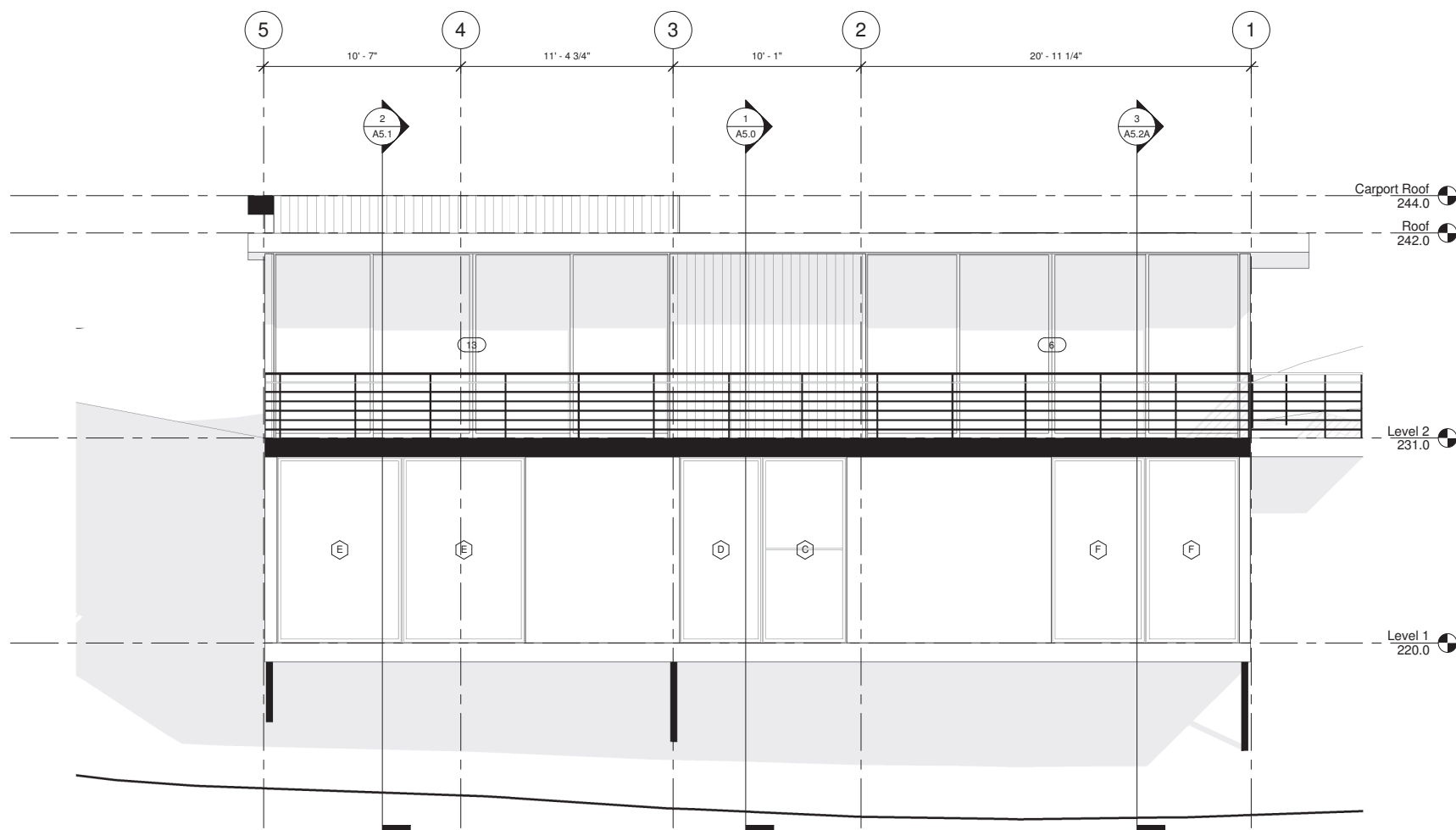
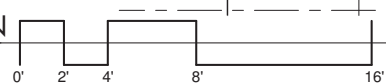
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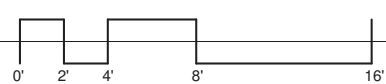
ATTACHMENT 11



LOT A WEST ELEVATION  
1/4"=1'-0"



LOT A EAST ELEVATION  
1/4"=1'-0"



EXTERIOR ELEVATION KEYNOTES

①

EXTERIOR ELEVATION FINISH LEGEND

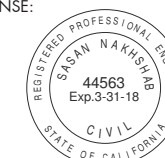
- WHITE VERTICAL HARDIE BOARD SIDING
- BLACK FASCIA
- CMU
- STONE



NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
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340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
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LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION
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PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

ATTACHMENT 11

SHEET TITLE:

"A" NORTH &  
SOUTH ELEVATIONS

PROJECT NO.:

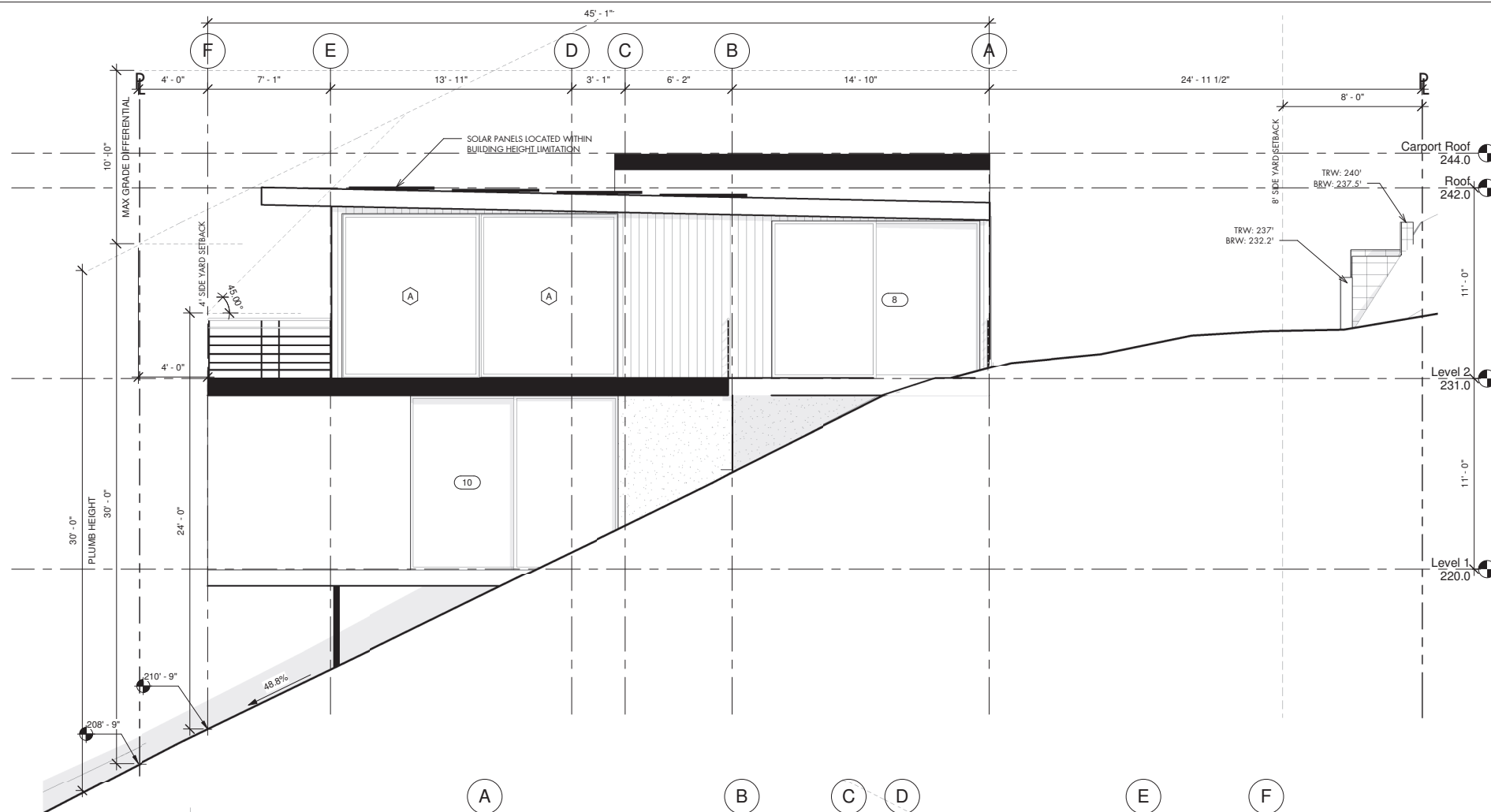
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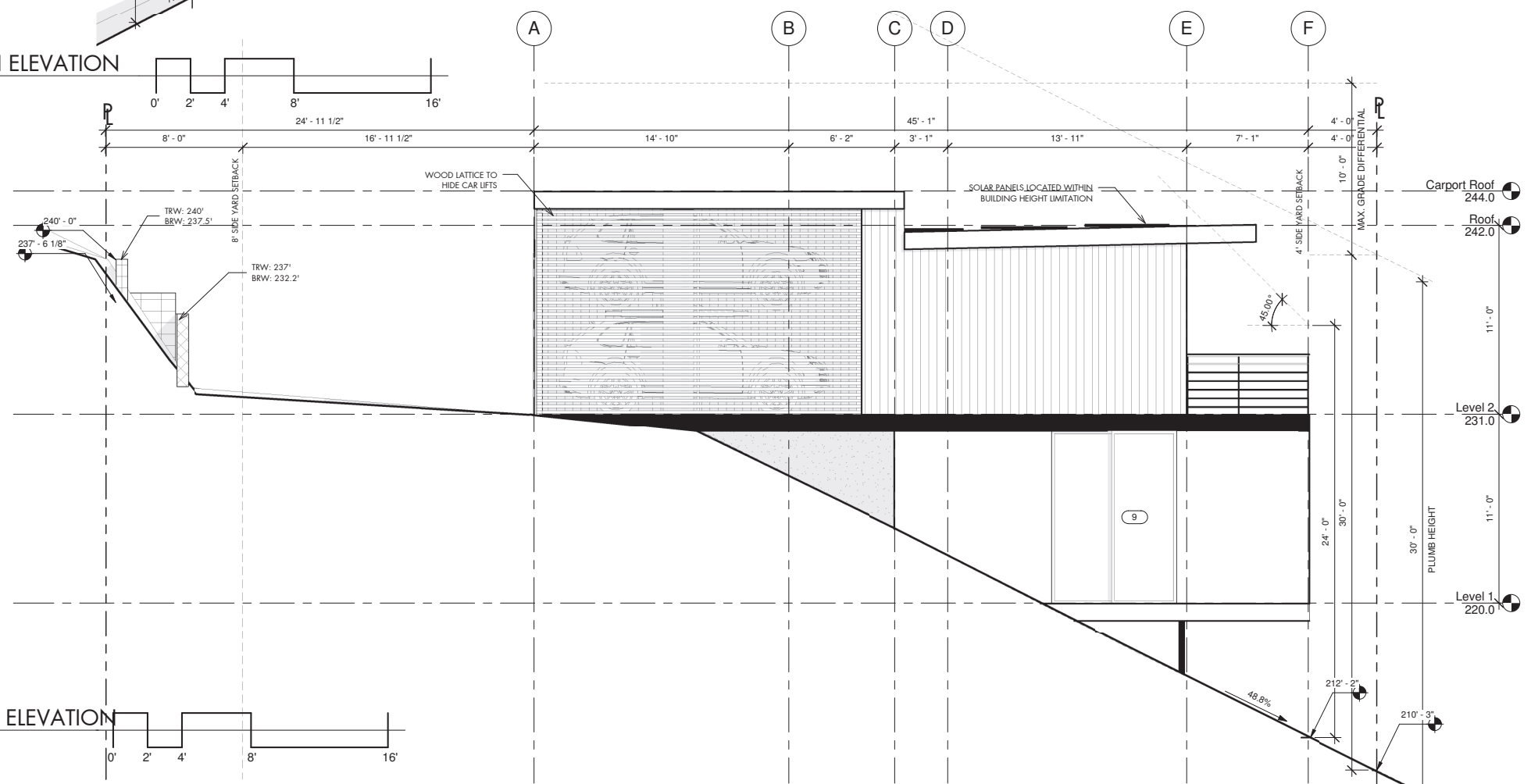
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SHEET NO.:

A4.1A



LOT A NORTH ELEVATION  
1/4" = 1'-0"



LOT A SOUTH ELEVATION  
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

①

EXTERIOR ELEVATION FINISH LEGEND

- WHITE VERTICAL HARDIE BOARD SIDING
- BLACK FASCIA
- CMU
- STONE





NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
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GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
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ITEM	DATE	DESCRIPTION
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PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"B" EAST ELEVATION

PROJECT NO.:

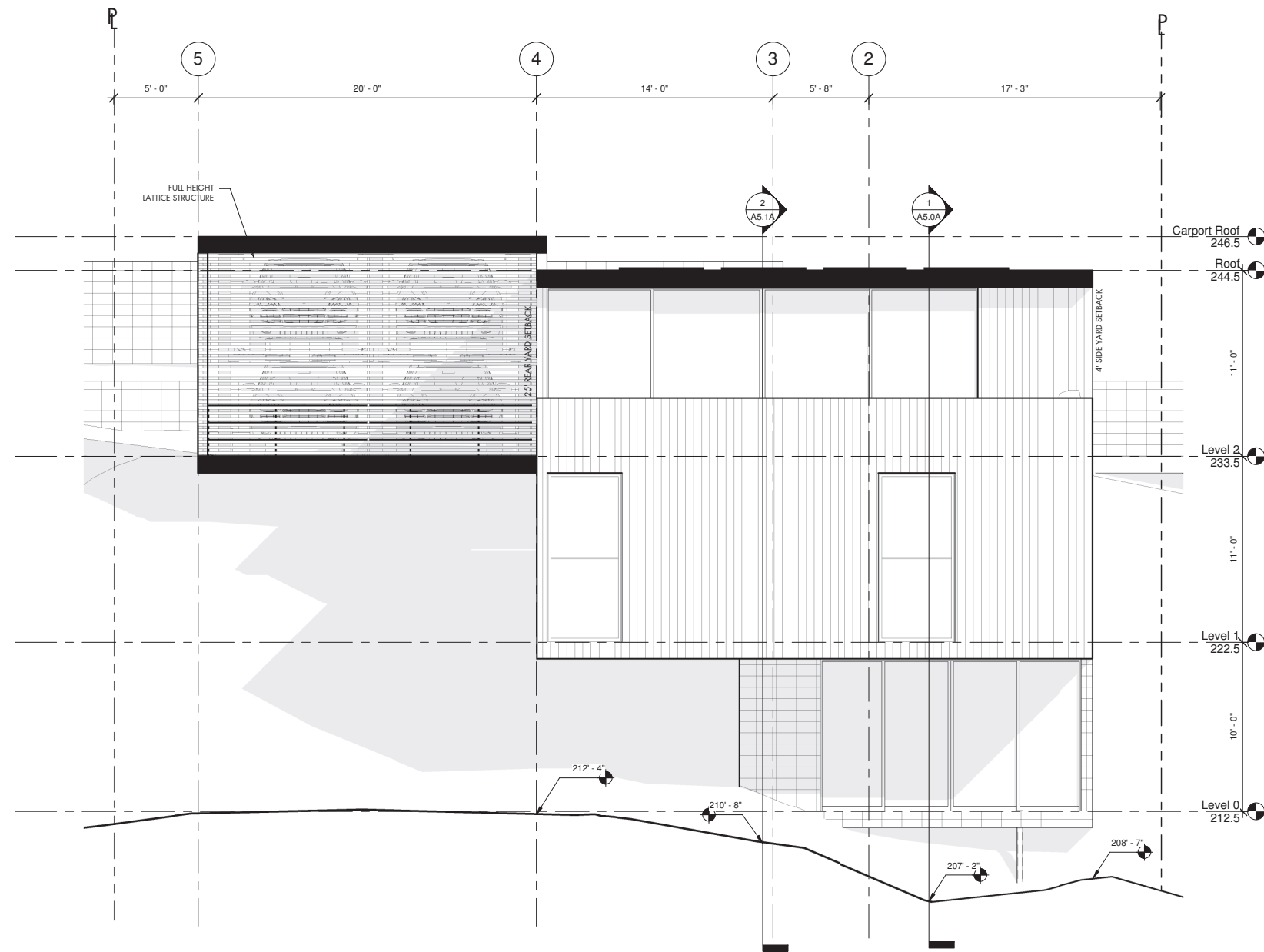
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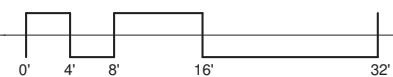
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SHEET NO.:

**A4.1B**



LOT B EAST ELEVATION  
1/4" = 1'-0"





NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"B" WEST  
ELEVATION

PROJECT NO.:

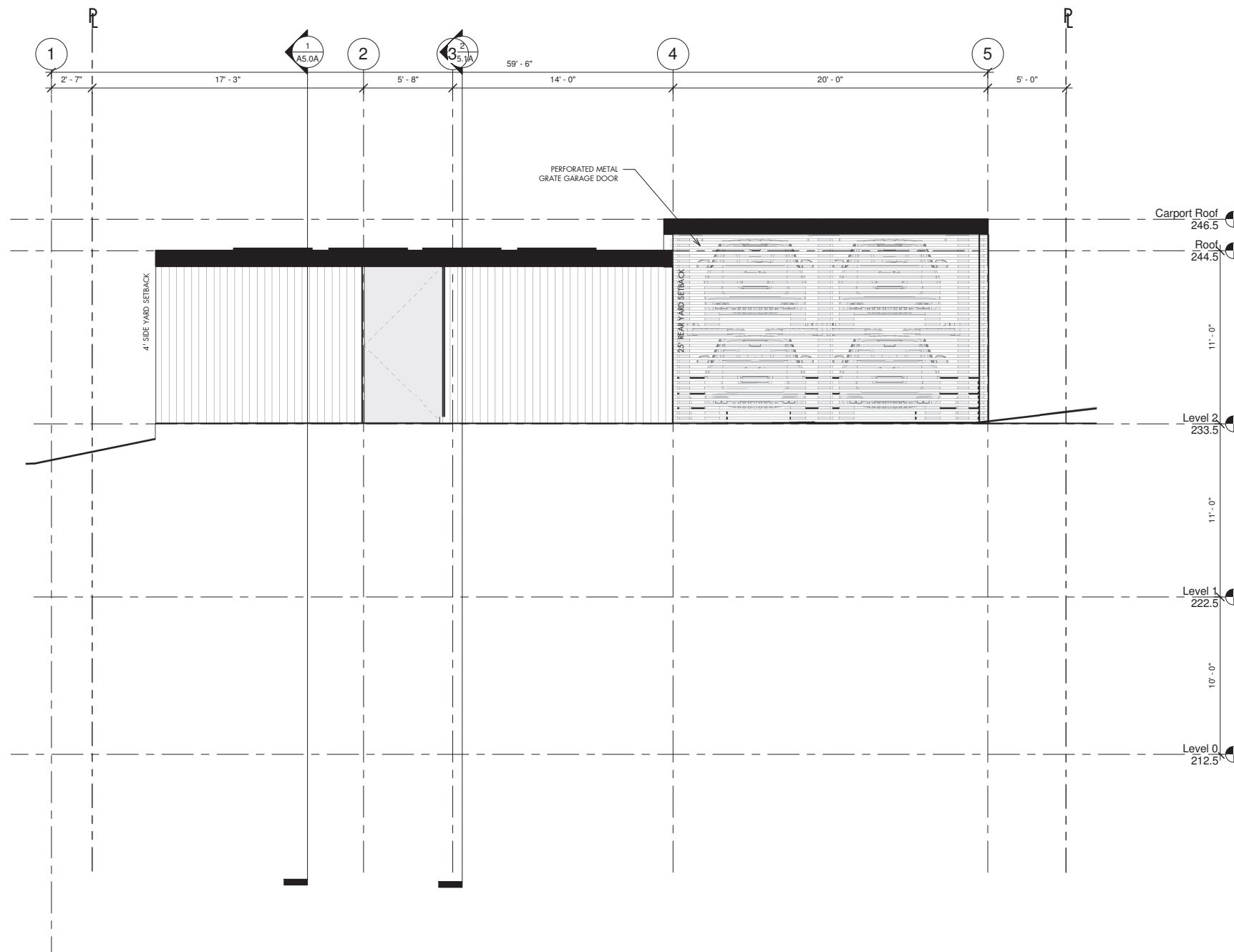
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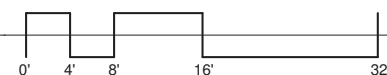
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**A4.0B**



LOT B WEST ELEVATION

1/4" = 1'-0"





NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
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P:619.255.7257  
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ITEM DATE DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

SHEET TITLE:

"B" NORTH  
ELEVATION

PROJECT NO.:

NDD16-004

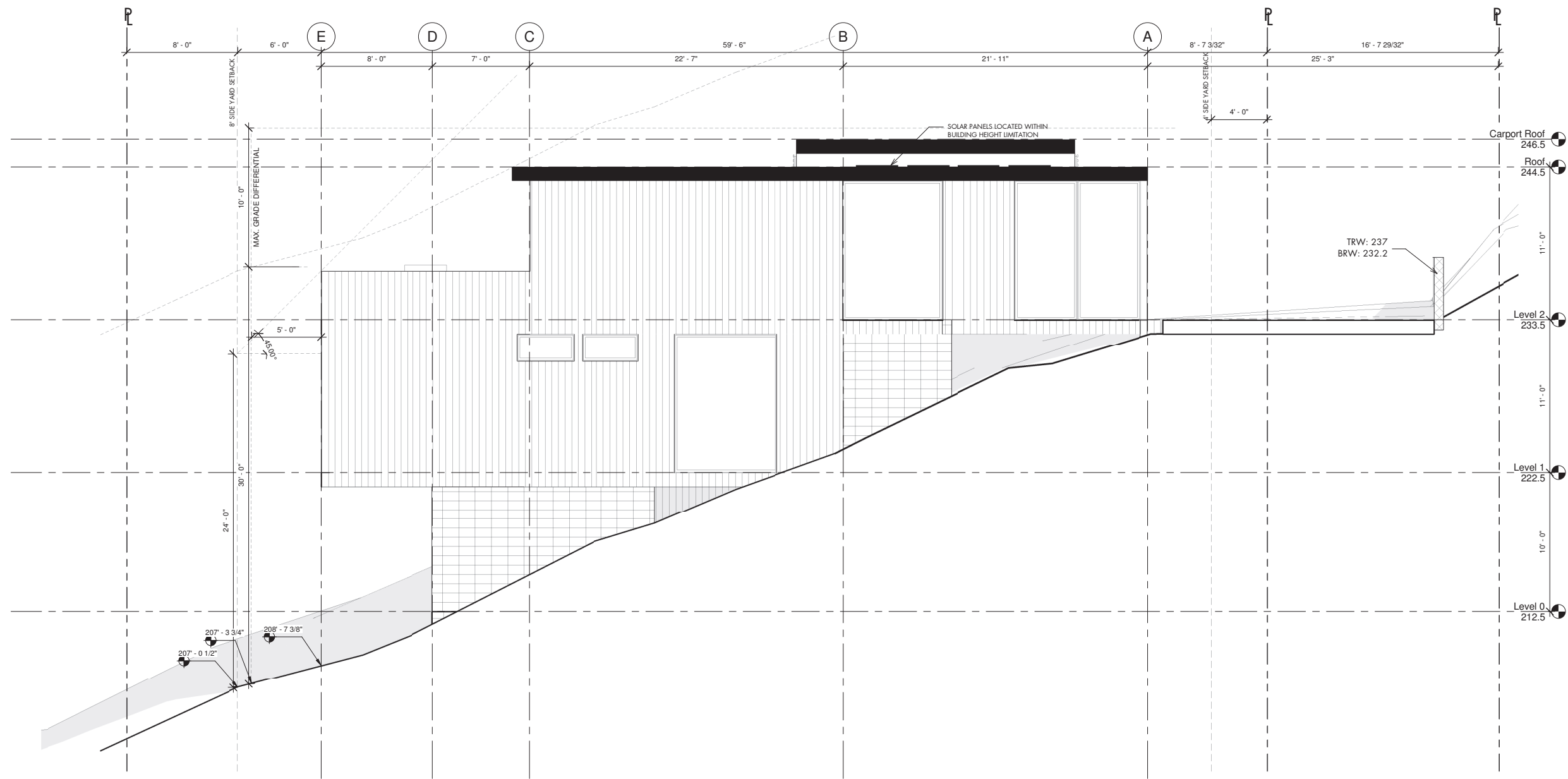
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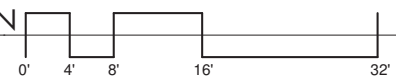
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ATTACHMENT 11



LOT B NORTH ELEVATION

1/4" = 1'-0"



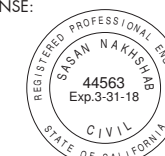




NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
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LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"B" SOUTH  
ELEVATION

PROJECT NO.:

NDD16-004

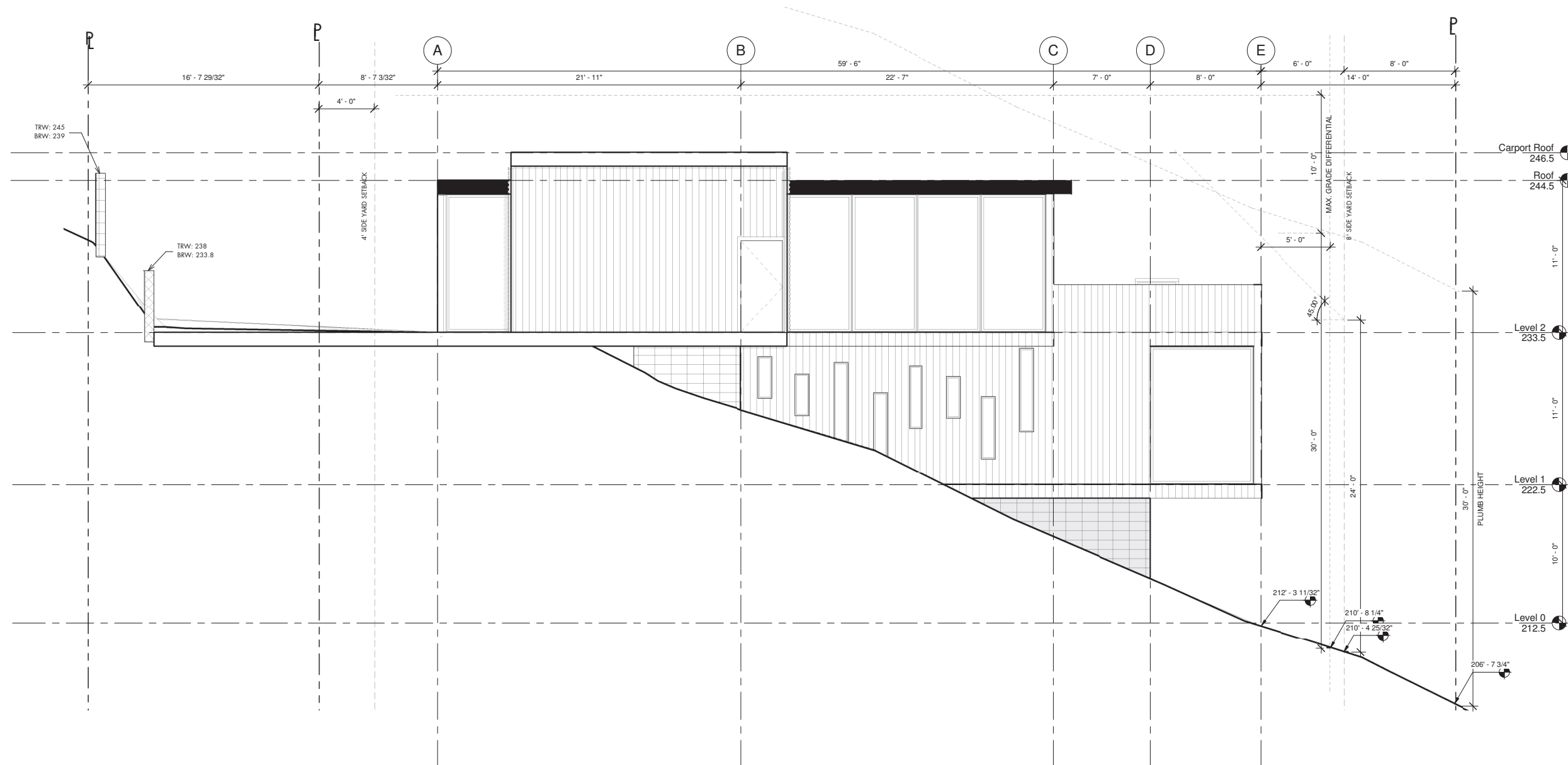
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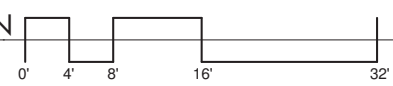
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ATTACHMENT 11



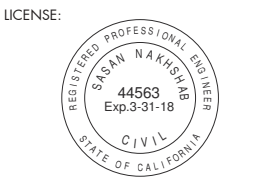
LOT B SOUTH ELEVATION

1/4"=1'-0"





**NAKSHAB**  
DEVELOPMENT DESIGN  
ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
P: 619.255.7257  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:  
"C" NORTH & EAST  
ELEVATIONS

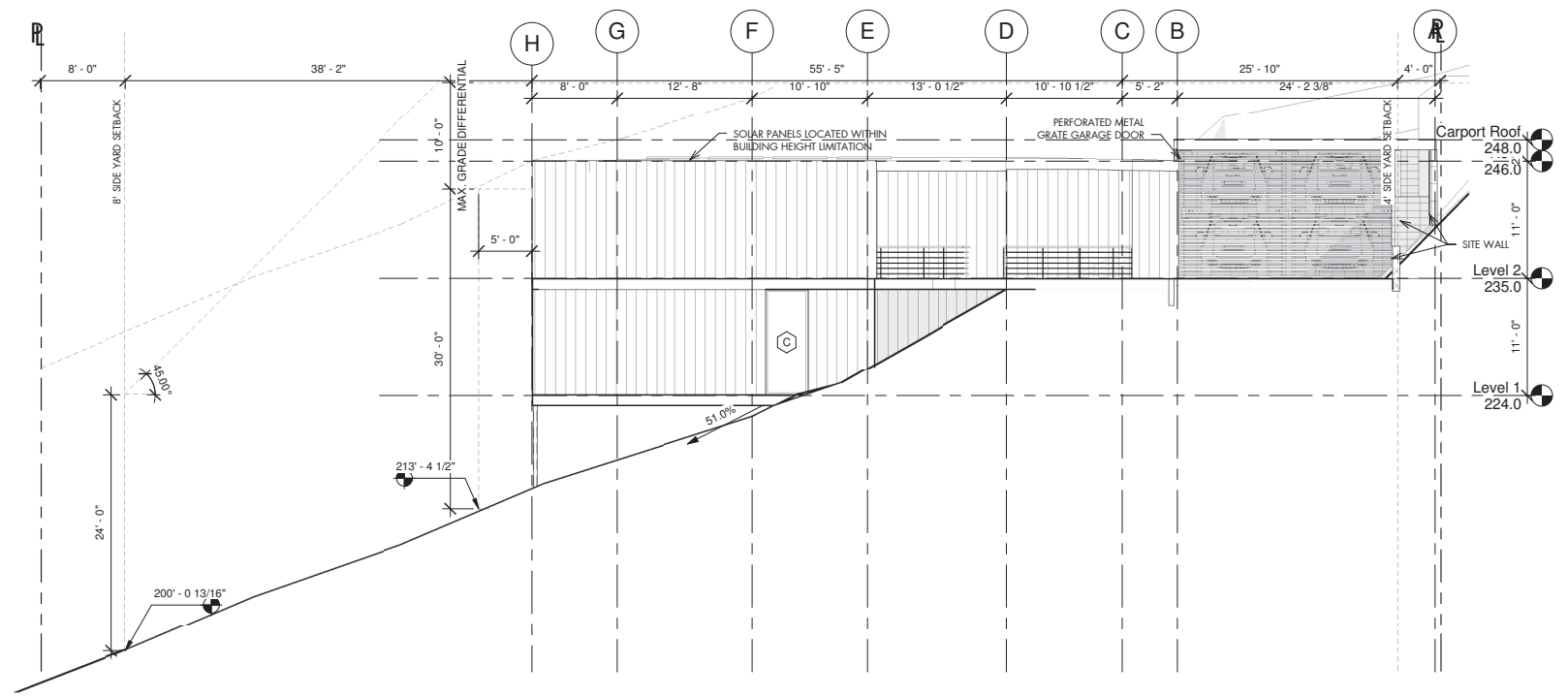
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NDD16-004

DATE:  
7.17.17

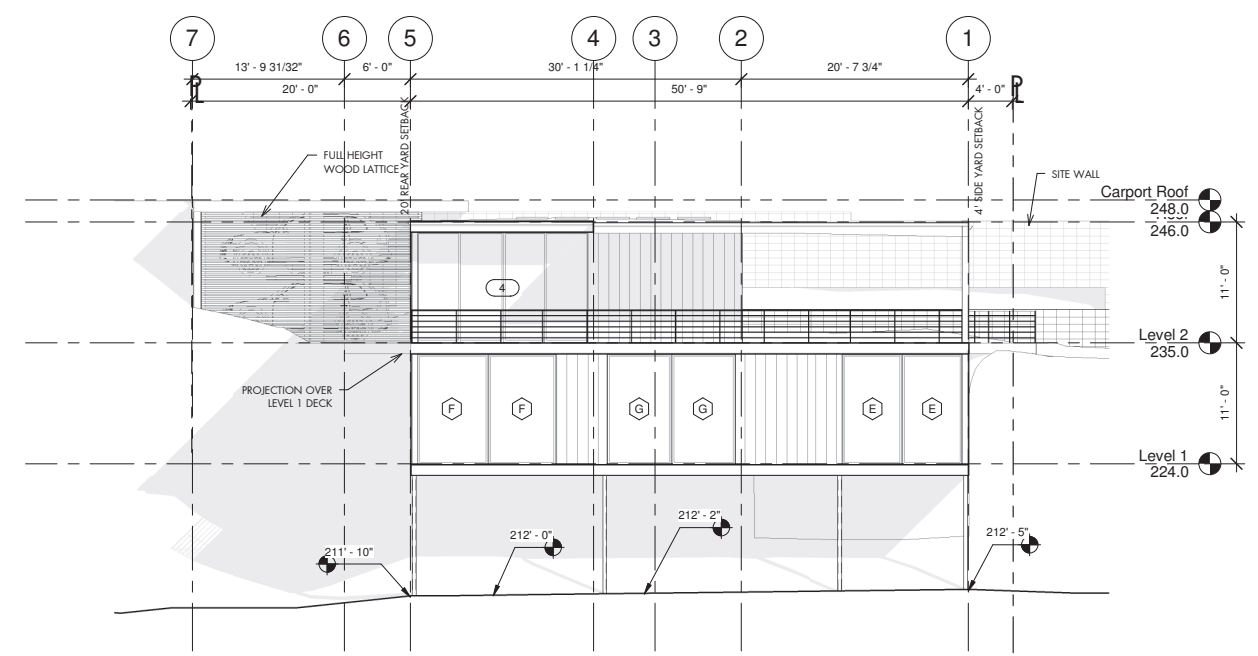
SHEET NO.:

**A4.0C**

ATTACHMENT 11



LOT C NORTH ELEVATION  
1/8" = 1'-0"



LOT C EAST ELEVATION  
1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

①	
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EXTERIOR ELEVATION FINISH LEGEND

	WHITE VERTICAL HARDIE BOARD SIDING
	BLACK FASCIA
	CMU
	STONE



NAKSHAB  
DEVELOPMENT.DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
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PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"C" SOUTH &  
WEST ELEVATIONS

PROJECT NO.:

NDD16-004

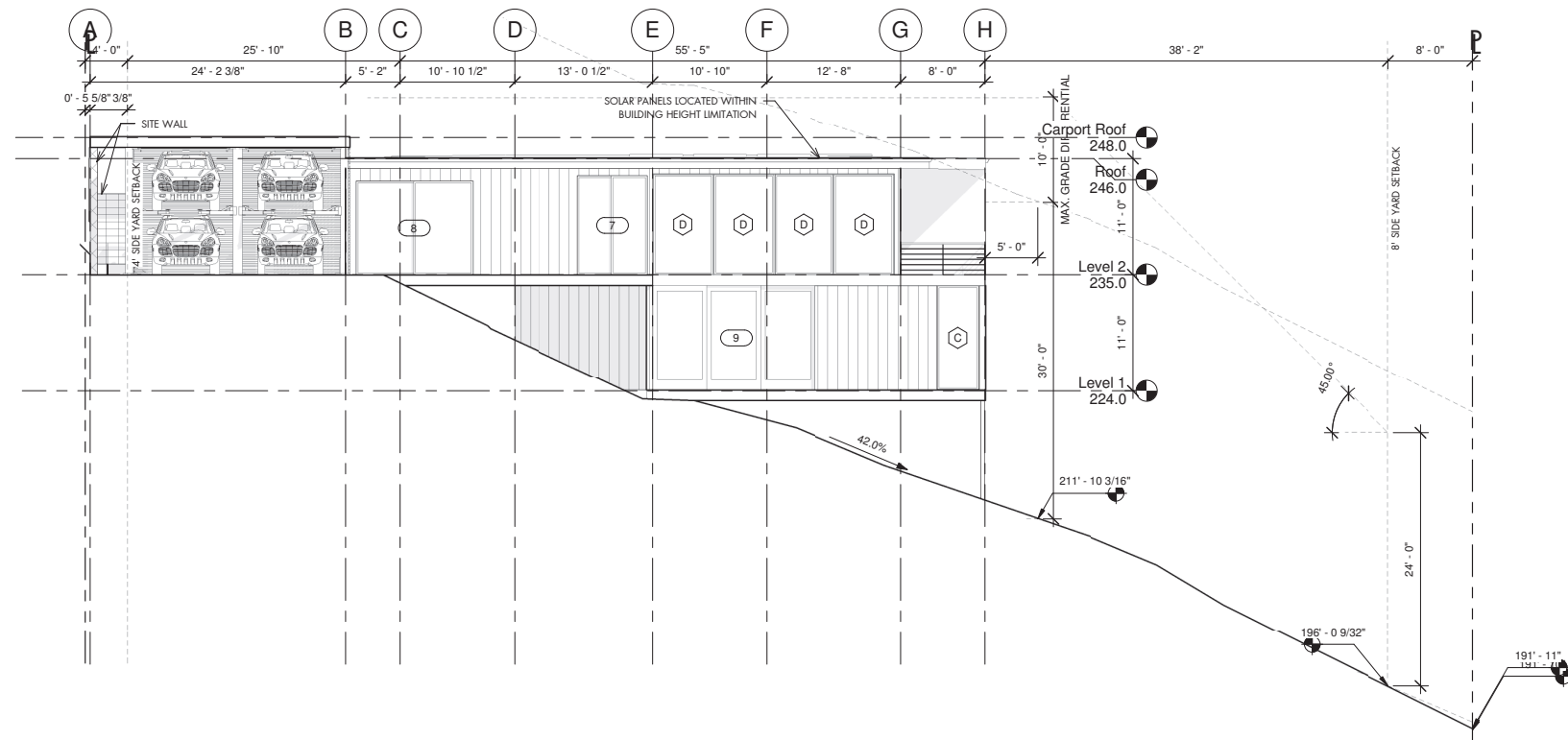
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7.17.17

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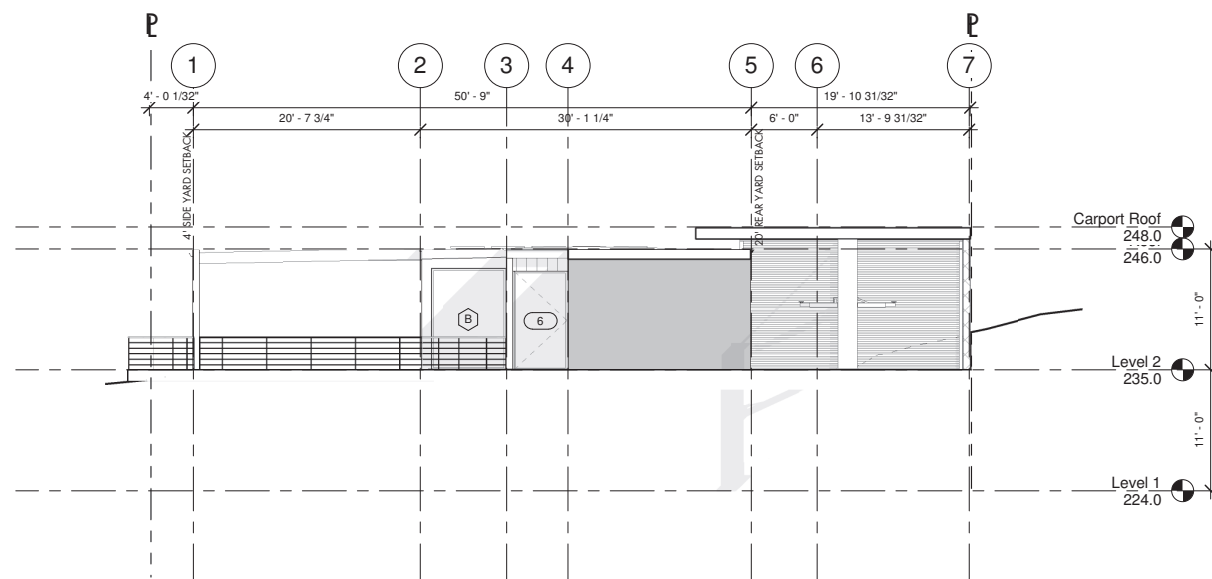
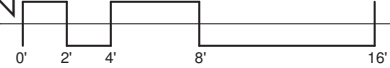
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ATTACHMENT 11



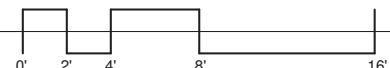
LOT C SOUTH ELEVATION

1/8" = 1'-0"



LOT C WEST ELEVATION

1/8" = 1'-0"





NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
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340 15TH ST SUITE 1  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"A" SECTIONS

PROJECT NO.:

NDD16-004

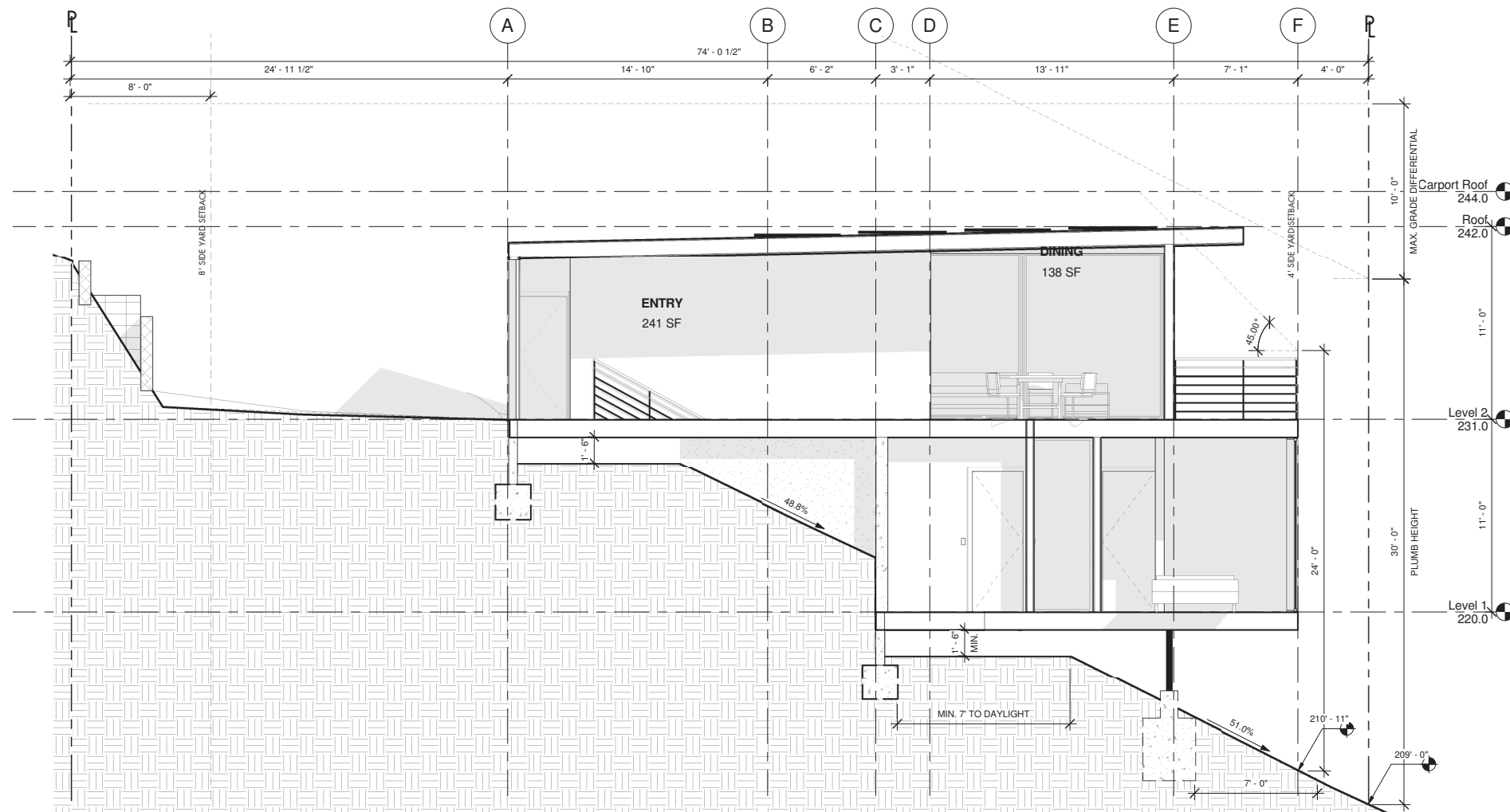
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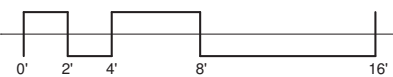
SHEET NO.:

**A5.0A**

ATTACHMENT 11



SECTION 1  
1/4" = 1'-0"





NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
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LICENSE:



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ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"A" SECTIONS

PROJECT NO.:

NDD16-004

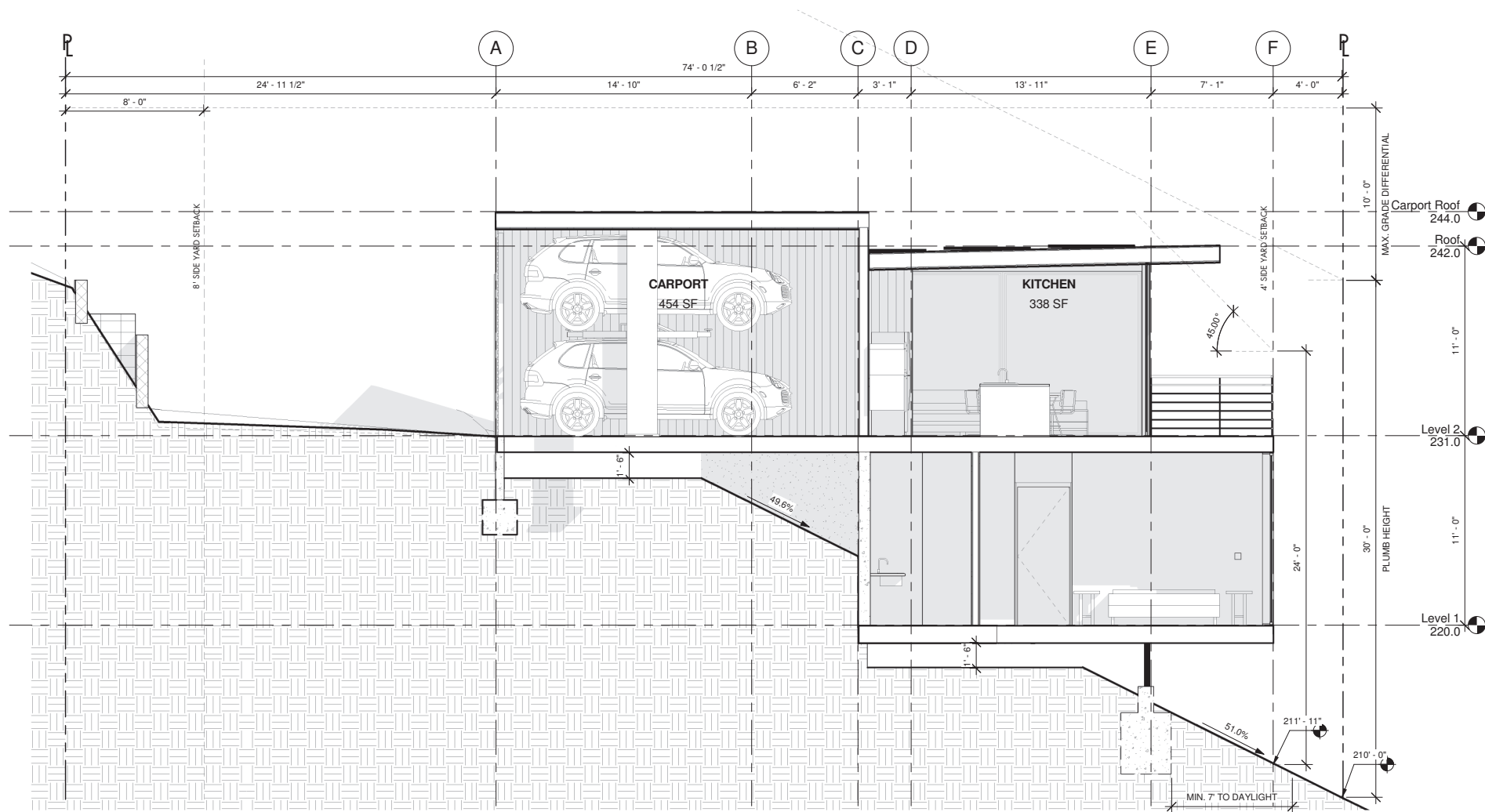
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7.10.17

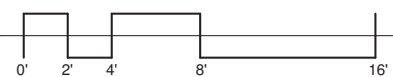
SHEET NO.:

**A5.1A**

ATTACHMENT 11

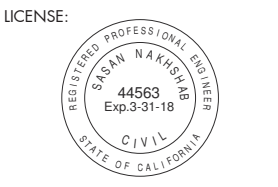


SECTION 2  
1/4" = 1'-0"





ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"A" SECTIONS

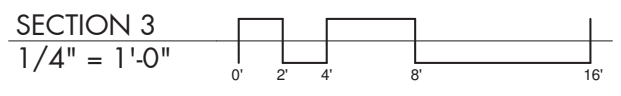
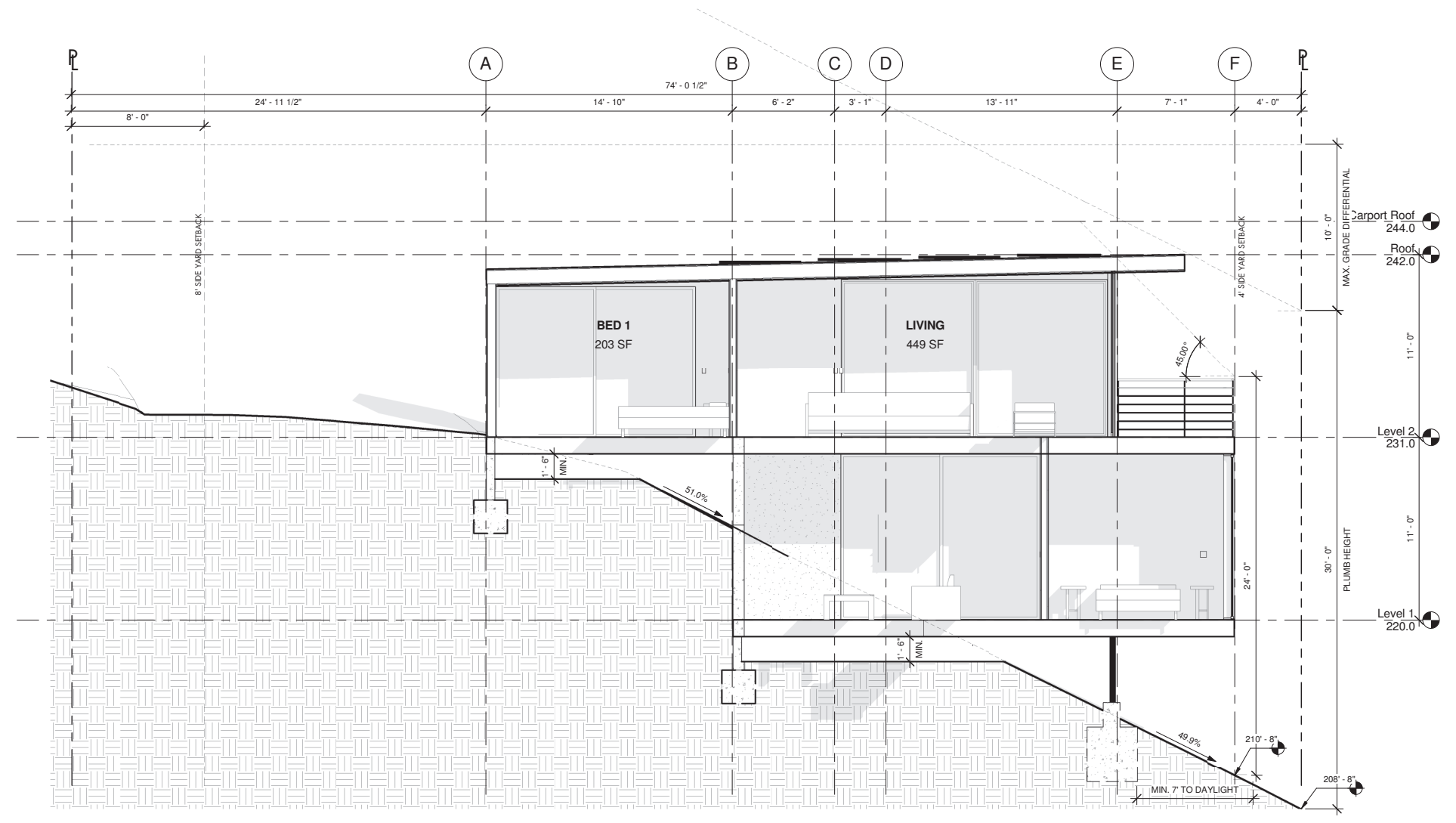
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NDD16-004

DATE:  
7.10.17

SHEET NO.:

**A5.2A**

ATTACHMENT 11





NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

**TORRANCE 3**

SHEET TITLE:

"B" SECTIONS

PROJECT NO.:

NDD16-004

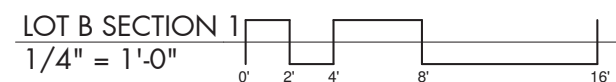
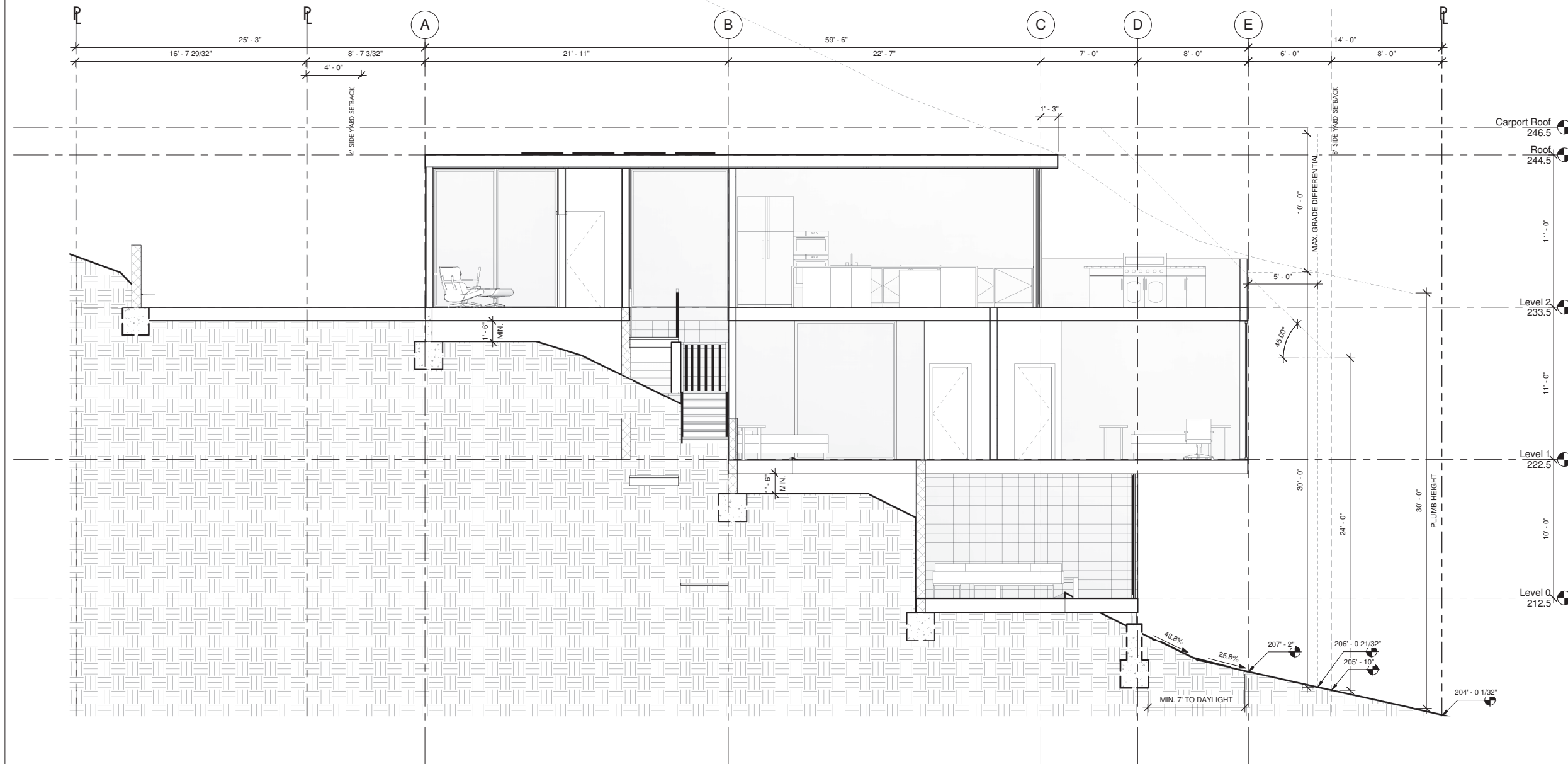
DATE:

7.3.16

SHEET NO.:

**A5.0B**

ATTACHMENT 11







NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST SUITE 1  
SAN DIEGO, CA 92101  
P:619.255.7257  
F:619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103

TORRANCE 3

SHEET TITLE:

"B" SECTIONS

PROJECT NO.:

NDD16-004

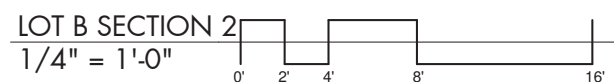
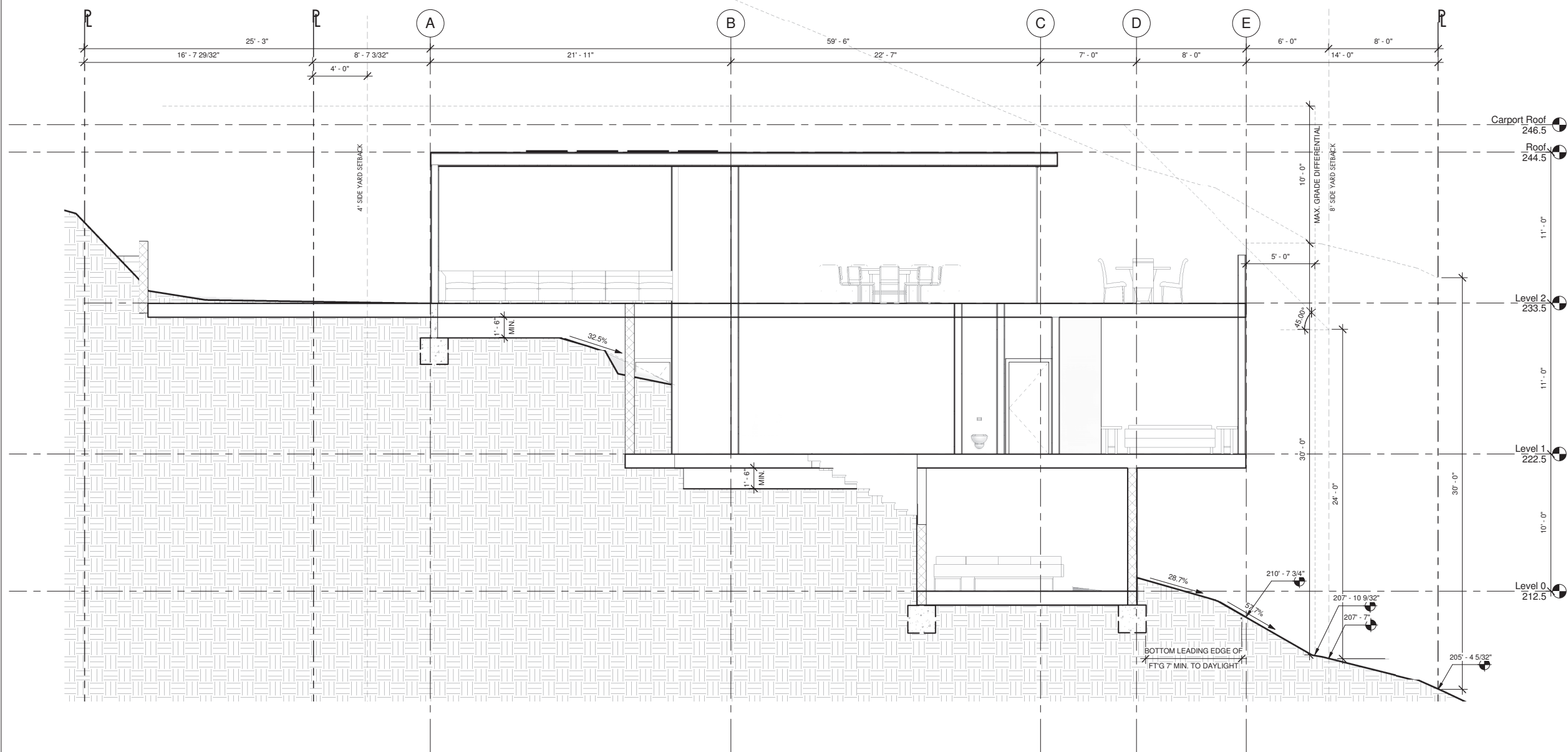
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7.3.16

SHEET NO.:

A5.1B

ATTACHMENT 11



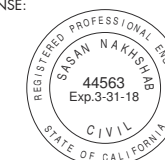


NAKSHAB  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN

340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
P: 619.255.7257  
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REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"C" SECTIONS

PROJECT NO.:

NDD16-004

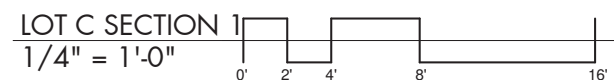
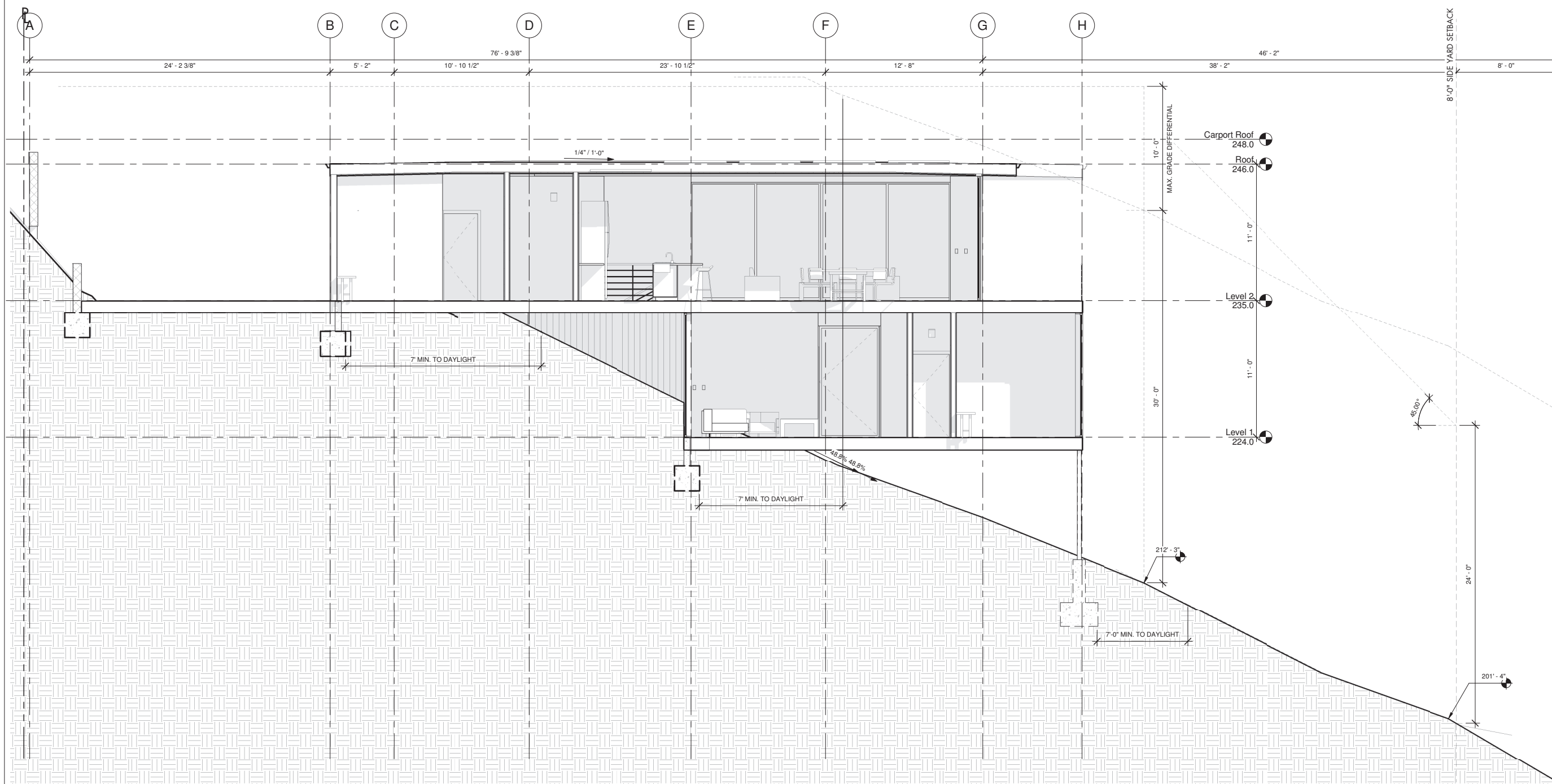
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7.17.17

SHEET NO.:

**A5.0C**

ATTACHMENT 11

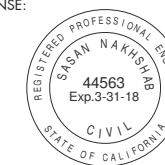




NAK H S H A B  
DEVELOPMENT DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
340 15TH ST. SUITE 1  
SAN DIEGO, CA 92101  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:

"C" SECTIONS

PROJECT NO.:

NDD16-004

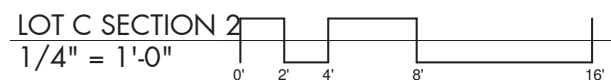
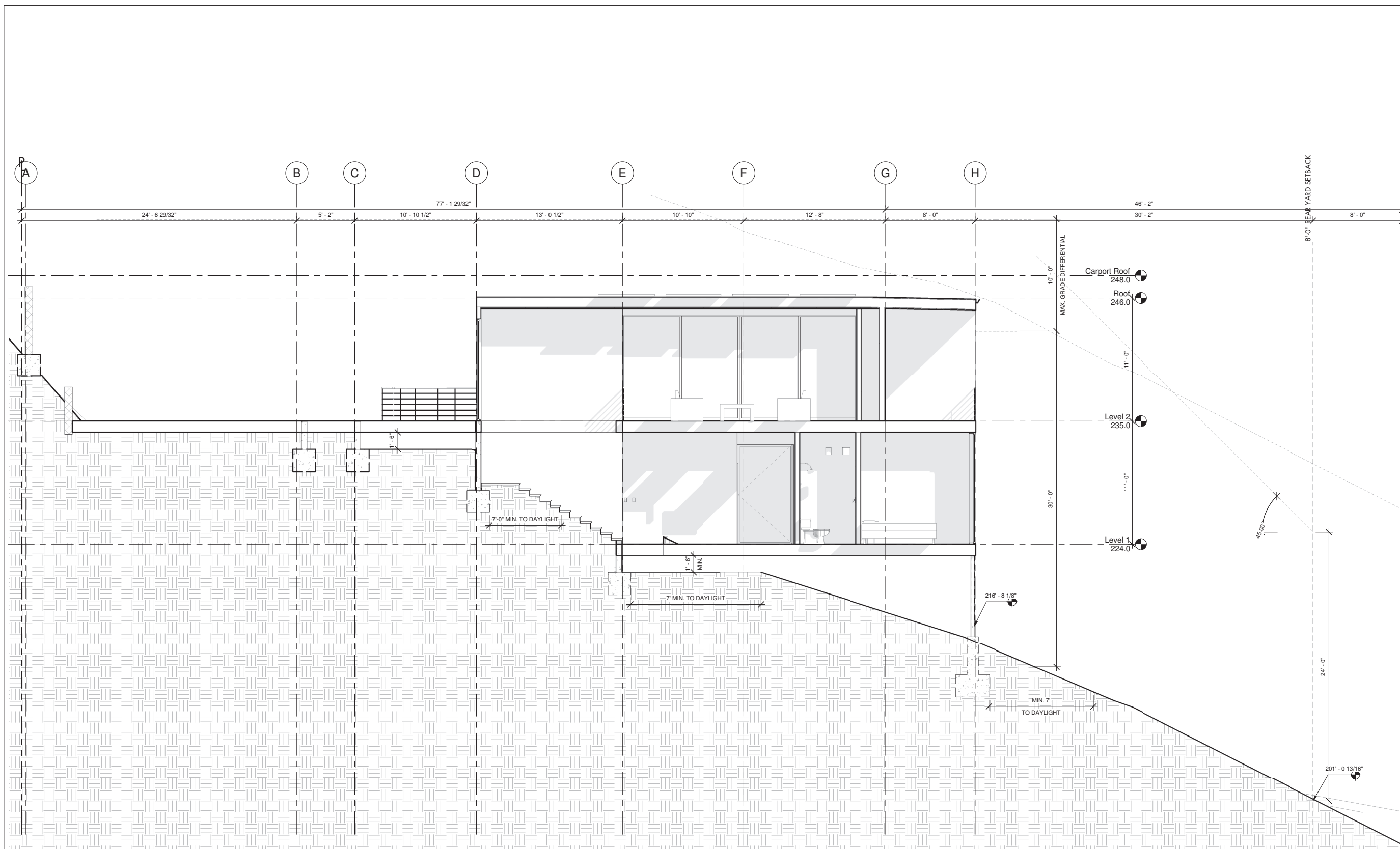
DATE:

7.17.17

SHEET NO.:

**A5.1C**

ATTACHMENT 11





**WATER AND SEWER NOTES**

- ALL PROPOSED WATER AND SEWER FACILITIES WITHIN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT (PUBLIC AND PRIVATE) MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER AND SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, AND PRACTICES PERTAINING THERETO.
- ALL WATER SERVICES TO THE SITE (EXCEPTING SINGLE FAMILY DOMESTIC SERVICE LINES, AND SINGLE FAMILY DOMESTIC/FIRE COMBINED SERVICE LINES WHERE THE RESIDENTIAL FIRE SPRINKLER SYSTEM UTILIZES PASSIVE PURGE DESIGN) MUST PASS THROUGH A PRIVATE ABOVE GROUND BACK FLOW PREVENTION DEVICE (BFPD). BFPDs ARE TO BE LOCATED ON PRIVATE PROPERTY (EXCEPT WHERE SHOWN WITHIN TORRANCE STREET R.O.W. HEREON), IN LINE WITH THE SERVICE, AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPDs TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.

**STORMWATER NOTES**

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION PERMIT ISSUANCE.
- DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-00040Q, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. R9-2013-0001, OR SUBSEQUENT ORDER. IN ACCORDANCE WITH ORDER NO. 2009-00040Q, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
- PRIOR TO THE ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDID#) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO THE FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION 11.C OF ORDER NO. 2009-00040Q AND A COPY SHALL BE SUBMITTED TO THE CITY.

**LEGEND**

DESCRIPTION	SYMBOL
<b>EXISTING</b>	
PROPERTY LINE (RECORD)	---
RIGHT OF WAY	---
STREET CENTERLINE	---
CONTOUR	---
EDGE OF PAVING	---
SPOT ELEVATION	100.00
BUILDING FOOTPRINT	---
SEWER MAIN	---
WATER MAIN	---
FIRE HYDRANT	---
CHAIN LINK FENCE	---
WOOD FENCE	---
CHAIN LINK FENCE	---
FREE STANDING WALL	---
RETAINING WALL	---
TREE; PLANT; PALM	---
STREET LIGHT	---
<b>PROPOSED</b>	
PROPERTY LINE (ADJUSTED)	---
CONTOUR	---
STREET CENTERLINE	---
EDGE OF PAVING	---
SPOT ELEVATION	100.00
BUILDING FOOTPRINT	---
BIO RETENTION AREA (PVT)	---
FREE STANDING WALL	---
RETAINING WALL	---
SEWER LATERAL (PVT)	---
STORM DRAIN LINE (PVT)	---
DRAINAGE SWALE OR DIRECTION OF FLOW	---
DRAIN INLET/CATCH BASIN	---
TRENCH DRAIN	---
RIP RAP ENERGY DISSIPATOR	---
WATER SERVICE W/BACKFLOW PREVENTION	---
RE-CONSTRUCT SEWER MANHOLE	---
PARCEL DESIGNATION	(X)

**ABBREVIATIONS**

FRONT YARD SETBACK	FSB EXISTING	(E)
REAR YARD SETBACK	RSB PROPOSED	(P)
SIDE YARD SETBACK	SSB CLEAN OUT	C.O.
UPPER	UPR PRIVATE	PVT
LOWER	LWR TYPICAL	TYP
FINISH FLOOR	FF	

**SOURCE OF TOPOGRAPHY**

FIELD TOPO BY:  
COFFEY ENGINEERING, INC.  
(BY AERIAL METHODS - DATED 2/24/16)  
JOHN S. COFFEY, PLS 8733, EXP 6/30/2018

**BENCHMARK**

NWBP AT OTSEGO DRIVE AND CURLEW STREET  
ELEV.=159.882, NGVD 29, CITY OF SAN DIEGO VERT CONTROL BOOK

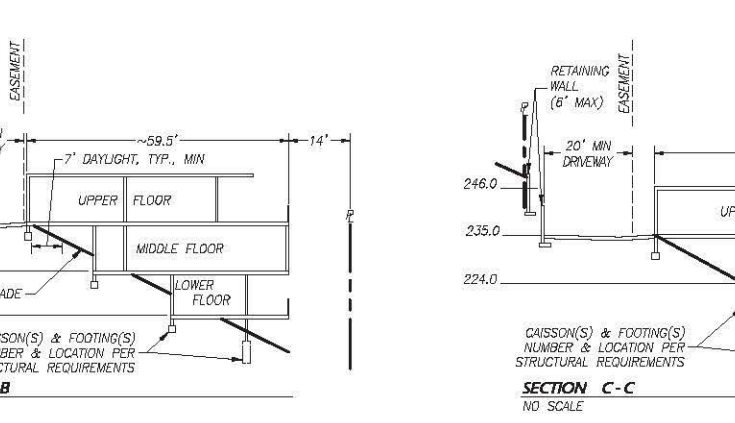
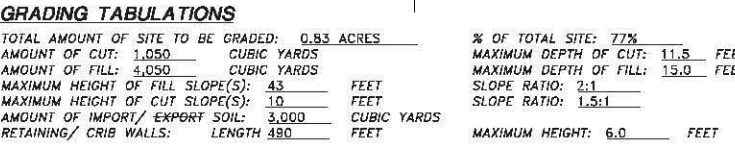
**NOTE:**  
THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO EXISTING HILLSIDE AREAS OR ADJACENT PROPERTIES.

**SHEET INDEX**

SHEET DESCRIPTION	SHEET #
PRELIMINARY GRADING & DRAINAGE	1
PRELIMINARY TRAFFIC & SIGNAGE	2

**GRADING TABULATIONS**

TOTAL AMOUNT OF SITE TO BE GRADED:	0.53 ACRES	% OF TOTAL SITE:	77%
AMOUNT OF CUT:	1,050 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	11.5 FEET
AMOUNT OF FILL:	1,050 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	15.0 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	43 FEET	SLOPE RATIO:	2:1
MAXIMUM HEIGHT OF CUT SLOPE(S):	19 FEET	SLOPE RATIO:	1.5:1
AMOUNT OF IMPORT/EXPORT SOIL:	3,000 CUBIC YARDS	MAXIMUM HEIGHT:	6.0 FEET
RETAINING/ CRIB WALLS:	LENGTH 490 FEET		



**PROPOSED LOT AREAS**

PARCEL	AREA (SQ. FT.)
A	5,692
B	6,650
C	12,326

**COFFEY ENGINEERING, INC.**  
1644 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (619) 431-0111 FAX (619) 431-0179



**TORRANCE STREET**  
**TORRANCE STREET**  
SAN DIEGO, CA 92103

DRAWN BY: GC/DK  
CHECKED BY: JC  
ORIGINAL: 5/30/17  
REVISION 1  
REVISION 2  
REVISION 3  
REVISION 4  
REVISION 5

**PRELIMINARY GRADING AND DRAINAGE PLAN**

SCALE: 1"=20'

**C.1**

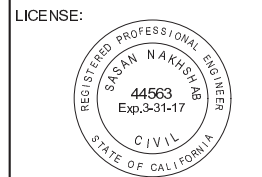
SHT 1 OF 2 SHTS





NAKSHAB  
DEVELOPMENT.DESIGN

ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P: 619.255.7257  
F: 619.255.7833  
WWW.NDDINC.NET



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN: 451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA 92103  
**TORRANCE 3**

SHEET TITLE:  
**LANDSCAPE CONCEPT**

PROJECT NO.:  
NDD16-004

DATE:  
12.19.16

SHEET NO.:

ATTACHMENT 11

L-1

**TORRANCE 3  
PLANTING LEGEND**

GENERAL TREES						
QTY.	SYM.	BOTANICAL NAME	COMMON NAME	FUNCTION	FORM	MATURE SIZE
		QUERCUS AGRIFOLIA	COAST LIVE OAK TREE	SHADE	BROAD	40'TALL X 25'WIDE
		POPULUS NIGRA PLATANUS RACEMOSA	LOMBARDI POPLAR CALIFORNIA SYCAMORE	FOCAL SHADE	UPRIGHT BROAD	20'TALL X 10' WIDE 40'TALL X 30' WIDE
ACCENT TREE						
QTY.	SYM.	BOTANICAL NAME	COMMON NAME	FUNCTION	FORM	MATURE SIZE
		ACACIA PENDULA	WEeping ACACIA	ACCENT	WEeping	15'TALL X 15'WIDE
		CERCIDIUM X 'DESERT MUSEUM'	PALO VERDE	ACCENT	UPRIGHT	25'TALL X 25'WIDE
		CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	ACCENT	ROUND	25'TALL X 20'WIDE
LARGE SHRUBS						
QTY.	SYM.	BOTANICAL NAME	COMMON NAME			
		CEANOTHUS 'RAY HARTMAN'	CALIFORNIA WILD LILAC			
		PODOCARPUS ELONGATUS 'ICEE BLUE'	ICEE BLUE PODOCARPUS			
		PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY			
		RHUS INTEGRIFOLIA	LEMONADE BARRY			
MEDIUM-SMALL SHRUBS						
SYM.	BOTANICAL NAME	COMMON NAME				
	CEANOTHUS GROUNDCOVER	GROUNDCOVER CALIFORNIA LILAC				
	ARCTOSTAPHYLOS GROUNDCOVER	GROUNDCOVER MANZANITA				
	HETEROMELES ARBUTIFOLIA	TOYON				
	MAHONIA REPENS	CREeping BARBERRY				
	PENSTEMON 'MARGARITA BOP'	BEARD TONGUE				
	SALVIA MICROPHYLLA 'HOT LIPS'	HOT LIPS SALVIA				
GRASSES AND GRASS-LIKE PLANTS						
SYM.	BOTANICAL NAME	COMMON NAME				
	CHONDROPETALUM TECTORIUM	CAPE RUSH				
	ELYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE BLUE OAT GRASS				
	FESTUCA GLAUCA	BLUE FESQUE				
	JUNCUS PATENS	CALIFORNIA GRAY RUSH				
	CAREX TUMULICOLA	SEDGE GRASS				
	LOMANDRA SPP.	LOMANDRA SPECIES				
SUCCULENTS/CACTI						
SYM.	BOTANICAL NAME	COMMON NAME				
	AGAVE SPP.	CENTURY PLANT				
	EUPHORBIA SPP.	EUPHORBIA				
	ALOE SPP.	ALOE				

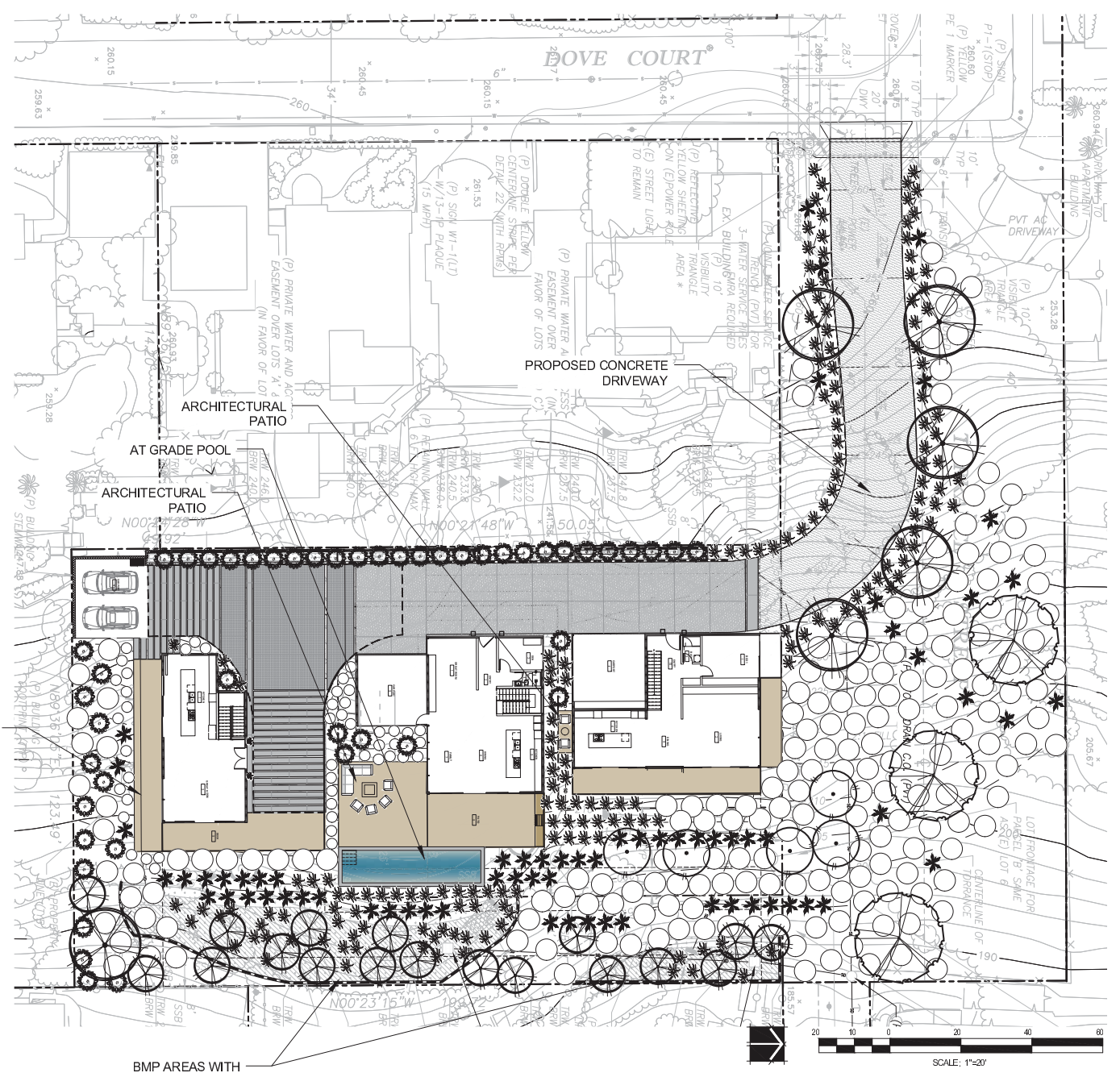
**NOTES:**

- ALL NON-SLOPE PLANTING AREAS OUTSIDE THE BMP'S SHALL BE COVERED WITH A 2" LAYER OF DECOMPOSED GRANITE CALIFORNIA GOLD/ OR 3" LAYER OF BARK MULCH UNLESS SHOWN OTHERWISE ON PLAN. BMP AREAS SHALL BE MULCHED WITH A 3" THICK LAYER OF BARK MULCH.
- ALL SUCCULENTS REQUIRE CACTUS MIX OR OTHER APPROVED SOIL TYPE TO BE PLACED MIN. 12" AROUND THE BASE OF EACH PLANT. NO BARK MULCH.
- ALL TREES PLANTED WITHIN 5' OF HARDSCAPE MUST BE INSTALLED WITH A ROOT BARRIER ALONG THE HARDSCAPE EDGE SPANNING OUT 5' IN EACH DIRECTION FROM THE CENTER OF THE TREE FOR A TOTAL LENGTH OF 10'.
- REFER TO IRRIGATION NOTES FOR IRRIGATION RECOMMENDATIONS.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE COUNTY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND ALL OTHER LANDSCAPE RELATED COUNTY AND REGIONAL STANDARDS.
- ERADICATE ALL INVASIVE SPECIES WITHIN CONSTRUCTION AREA.
- CONTRACTOR TO SETUP A PRE-CONSTRUCTION WALKTHROUGH TO TAG EXISTING PLANTS TO REMAIN AND EXISTING PLANTS TO BE DEMOLISHED. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED. IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
  - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE TRIPLINE.
  - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
  - ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS WILL BE SEALED WITH WOOD PAINT AS MANUFACTURED BY FLINTKOTE OR APPROVED EQUAL. A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 6-IN OR GREATER IN DIAMETER.
  - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
  - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
  - CONTRACTOR TO ENSURE THAT NEW TREE LOCATIONS ARE SPOTTED PER LANDSCAPE ARCHITECT'S SITE DIRECTION. TREE INSTALLATION SHALL ALSO INCLUDE COORDINATION OF DELIVERY AND PROTECTION OF TREES PRIOR TO INSTALLATION, KNOWLEDGE OF UNDERGROUND UTILITIES, PROPER DRAINAGE, AND STAKING PER STANDARD DETAIL.
  - ALL DEAD OR DYING PLANT MATERIAL, INCLUDING TREES SHALL BE REMOVED FROM THE PROPERTY. ALL TREES TO REMAIN SHALL BE THINNEED/ PRUNED/ LACED OUT AS NECESSARY TO PROMOTE HEALTHY NEW GROWTH AND MAINTAINED APPEARANCE.
  - PROPOSED LANDSCAPING SHALL MAINTAIN REQUIRED CLEARANCES FROM MECHANICAL EQUIPMENT, SEDGE BOXES, WHILE STILL SCREENING THEM FROM VIEW.

**IRRIGATION RECOMMENDATIONS:**  
CONTRACTOR SHALL INSTALL RAINBIRD XT-700 DRIP TUBING PER MANUFACTURERS INSTRUCTIONS IN ALL NEW PLANTING AREAS. HIGHLY EFFICIENT MP ROTATORS SHALL BE USED FOR OVERHEAD IRRIGATION ON SLOPE AREAS. HYDROZONES SHALL BE GROUPED BY PLANT NEEDS AND SOLAR EXPOSURE. TREE BUBBLERS ARE REQUIRED FOR ALL TREES AND VINES AND SHALL BE ON A SEPARATE ZONE. ANY POTS SHALL BE IRRIGATED W/ DRIP TUBING ON A SEPARATE ZONE. ZONES SHALL BE CONTROLLED AUTOMATICALLY WITH A RAIN SHUTOFF ENABLED CONTROLLER.

**MAINTENANCE:** ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

ANY REQUIRED PLANTING THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL SHOWN ON THE APPROVED PLAN. REQUIRED SHRUBS OR TREES THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15 GALLON SIZE OR 60-INCH BOX SIZE MATERIAL, RESPECTIVELY. DEVELOPMENT SERVICES MAY AUTHORIZE ADJUSTMENT OF THE SIZE AND QUANTITY OF REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN INACCESSIBLE AREAS OR WHERE THE EXISTING PLANT BEING REPLACED IS LARGER THAN A 15 GALLON SHRUB OR 60-INCH BOX TREE.



BMP AREAS WITH  
RETAINING WALL PER CIVIL  
ENGINEER. SOIL MEDIA  
DEPTH SHALL BE 3' TO  
SUPPORT TREE GROWTH.

**TORRANCE 3 - LANDSCAPE DESIGN STATEMENT**

**DESIGN INTENT STATEMENT:**  
THE LANDSCAPE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE PASSIVE LANDSCAPE SPACES FOR THE RESIDENTS' ENJOYMENT WHILE RESTORING AN APPROPRIATE PLANT PALETTE TO THE CANYON SETTING. PLANT MATERIAL SHALL COMPLIMENT AND GROUND THE ARCHITECTURE WHILE STABILIZING SLOPES AND CONSERVING PRECIOUS RESOURCES - SPECIFICALLY POTABLE WATER. THE DESIGN OF OUTDOOR SPACES AND LOCATION OF PLANT MATERIAL WILL LEAD TO ENHANCEMENT OF THE HUMAN SCALE AND EXPERIENCE. THE PROJECT PROPOSES IMPROVEMENTS TO LANDSCAPE ALONG THE NEW ENTRY DRIVEWAY AND GRADED SLOPE AREAS, AND WILL CONTRIBUTE TO THE SURROUNDING CANYON ECOLOGY WITH THE INCLUSION OF SELECT NATIVE PLANTS. OUTDOOR PATIO AREAS PROVIDE SEATING AND GATHERING SPACES FOR THE INDIVIDUAL HOMES. BRUSH MANAGEMENT BEST PRACTICES HAVE BEEN CONSIDERED IN BOTH PLANT PLACEMENT AND PLANT SELECTION. THERE IS NO USE OF TURF ON THE PROJECT. THIS ASPECT OF THE DESIGN WILL SAVE WATER, SAVE MAINTENANCE COSTS AND SIGNIFICANTLY REDUCE CARBON EMISSIONS FROM LAWN MOWERS AND TRIMMING EQUIPMENT OVER THE LIFE OF THE PROJECT.

**MINIMUM TREE SEPARATION DISTANCE**  
IMPROVEMENT MINIMUM DISTANCE TO STREET TREE  
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET  
UNDERGROUND UTILITY LINES - 5 FEET (10" FOR SEWER)  
ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
DRIVEWAY (ENTRIES) - 10 FEET  
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

**NOTES:**  
1. REFER TO CIVIL PLAN FOR BMP SECTIONS, GRADING & DRAINAGE  
2. REFER TO SHEET L-2 FOR WATER USE CALCULATIONS



WATER BUDGET CALCULATIONS

WATER EFFICIENT LANDSCAPE WORKSHEET							
Irrigation Point of Connection (P.O.C.) #1							
REFERENCE EVAPOTRANSPIRATION (ETO) 47							
Hydro zone #	Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	Estimated Total Water Use (ETWU)
<b>REGULAR LANDSCAPE AREAS</b>							
1	MEDIUM WATER	0.50	DRIP	0.90	0.45	3340	1503.00
2	MEDIUM WATER	0.50	ROTATOR	0.70	0.35	15028	5259.80
3	MEDIUM WATER	0.50	ROTATOR	0.70	0.35	2572	900.20
<b>TOTAL</b>						<b>20940</b>	<b>7663.00</b>
<b>SPECIAL LANDSCAPE AREAS</b>							
<b>TOTAL</b>						<b>0</b>	<b>0</b>
<b>ETWU TOTAL</b>						<b>223390</b>	
<b>MAXIMUM WATER ALLOWANCE (MAWA)</b>						<b>335605</b>	
<b>IRRIGATION EFFICIENCY (IE) AVERAGE</b>						<b>73.1</b>	

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)			
ET o =	47 in/yr	RESIDENTIAL	0.55
LA =	20940 sq ft	NON RESIDENTIAL	0.44
SLA =	0 sq ft		
ETAF =	0.55		
$(Eto)(0.62)[(ETAF \times LA) + (1 - ETAF) \times SLA]$			
$MAWA = (Eto)(0.62)[(0.55 \times LA) + (1 - 0.55) \times SLA]$			
MAWA =	47 (0.62)[(0.55x 20940	+	0.45 X 0
<b>MAXIMUM APPLIED WATER ALLOWANCE= 335605 gal. per year</b>			

ETAF				
	TOTAL ETAF x AREA	TOTAL AREA	AVERAGE ETAF	SITEWIDE ETAF
REGULAR LANDSCAPE AREAS	7663.00	20940	0.37	
ALL LANDSCAPE AREAS	7663.00	20940	n/a	0.37

ETAF	
Residential	0.55 or below
Non-residential	0.45 or below

Hydrozone Category	PF-Plant Factor
High Water Use	0.7-1.0
Moderate Water Use	0.4-0.6
Low Water Use	0.1-0.3
Very Low Water Use	0-0.1
Special Landscape Area	1.00
Reclaimed water = Special Landscape Area	
*Artificial Turf & Temporary Irrigated areas = low water	

Irrigation Method Code	IE - Irrigation Efficiency
Filter Pipe for Pools/Spa	1.00
Drip/Subsurface	0.90
Bubblers	0.85
Rotors	0.75
Rotators	0.70
Overhead Spray	0.60

IRRIGATION RECOMMENDATIONS:

ALL IRRIGATION EQUIPMENT SHALL BE DESIGNED AND INSTALLED PER CITY OF SAN DIEGO REQUIREMENTS.

CONTRACTOR SHALL INSTALL RAINBIRD XT-700 DRIP TUBING, OR EQUAL, PER MANUFACTURERS INSTRUCTIONS IN ALL NEW PLANTING AREAS.

HIGHLY EFFICIENT MP ROTATORS SHALL BE USED FOR OVERHEAD IRRIGATION ON SLOPE AREAS.

HYDROZONES SHALL BE GROUPED BY PLANT NEEDS AND SOLAR EXPOSURE.

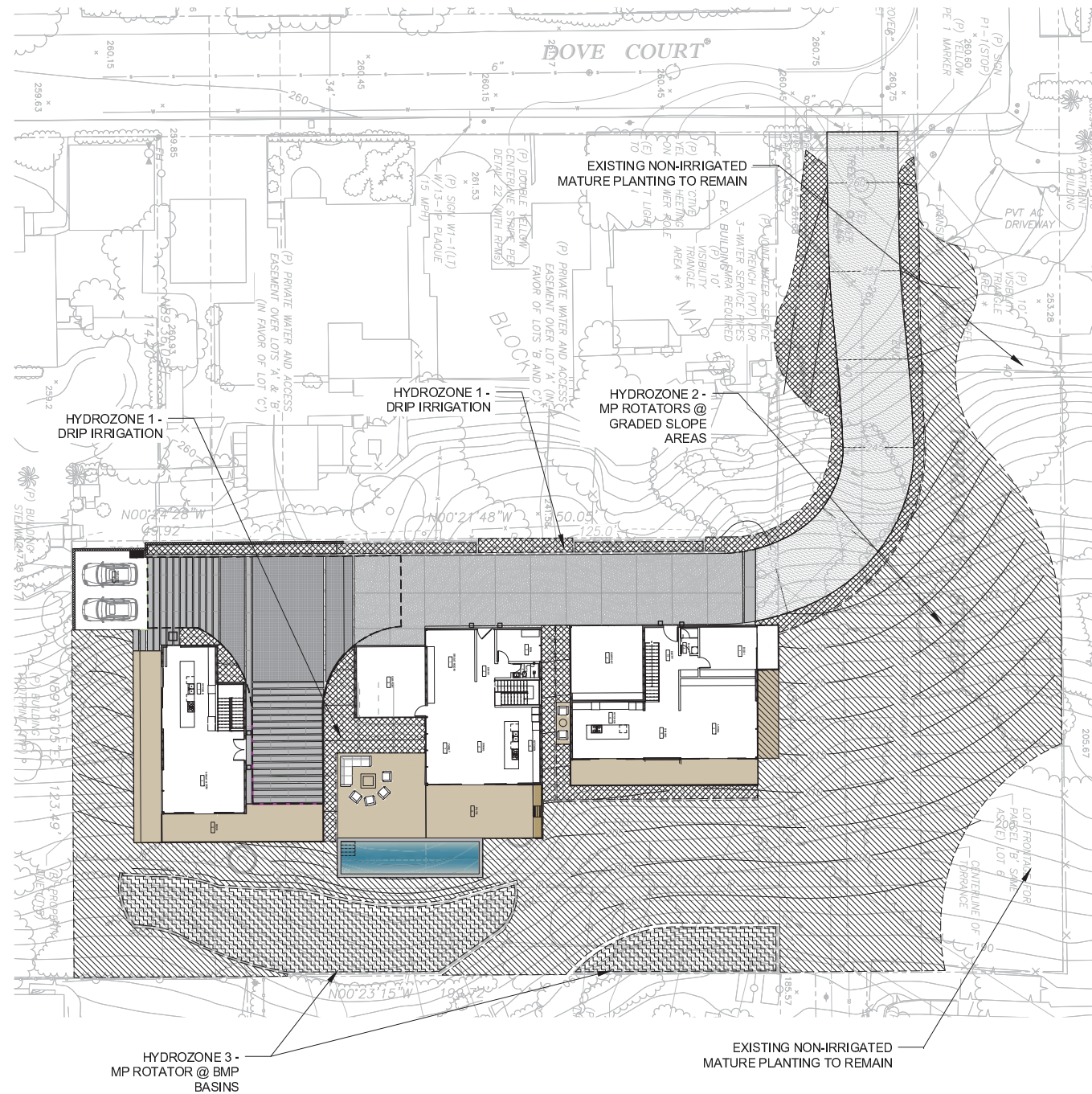
TREE BUBBLERS ARE REQUIRED FOR ALL TREES AND VINES AND SHALL BE ON A SEPARATE ZONE. ANY POTS SHALL BE IRRIGATED W/ DRIP TUBING ON A SEPARATE ZONE.

ZONES SHALL BE CONTROLLED AUTOMATICALLY WITH A WEATHER SENSOR ENABLED SMART CONTROLLER.

SOIL MOISTURE SENSORS SHALL BE INSTALLED IN ALL BMP BASINS

NO OVERHEAD SPRAY IRRIGATION IS TO BE INSTALLED WITHIN 2' OF IMPERMEABLE HARDSCAPE.

ALL PROPOSED IRRIGATION WILL UTILIZE POTABLE WATER



ARCHITECTURE  
ENGINEERING  
BUILD  
GREEN  
2900 4TH AVE SUITE 100  
SAN DIEGO, CA 92103  
P:619.255.7257  
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WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

APN:  
451-292-06-00  
TORRANCE STREET  
SAN DIEGO, CA  
92103  
**TORRANCE 3**

SHEET  
TITLE:

LANDSCAPE  
WATER BUDGET

PROJECT NO.:

NDD16-004

DATE:

12.19.16

SHEET NO.:

L-2