



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 7, 2016 REPORT NO. HO-16-063
HEARING DATE: September 14, 2016
SUBJECT: 1141 FELSPAR TOWNHOMES CDP TM. Process Three Decision
PROJECT NUMBER: [466647](#)
OWNER/APPLICANT: Pacific Beach 2012 LTD/Maggie Rowland

SUMMARY:

Issue: Should the Hearing Officer approve the creation of four dwelling units under construction, into a condominium development located at 1141-1143 Felspar Street in the Pacific Beach Community Planning area?

Staff Recommendation:

1. APPROVE Coastal Development Permit No. 1642820.
2. APPROVE Tentative Map No. 1642821, including a waiver of the requirement to underground existing overhead utilities.

Community Planning Group Recommendation: On June 22, 2016, the Pacific Beach Community Planning Group voted 10-1-0 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 15, 2016, and the opportunity to appeal that determination ended August 30, 2016.

BACKGROUND / DISCUSSION

The 0.14-acre site located at 1141-1143 Felspar Street and is currently being developed as a four-unit, three-story multi-family development. The site is zoned RM-2-5, Coastal (Non-appealable), Coastal Height Limit, and Parking Impact Overlay zones. The Pacific Beach Community plan designates the site as Medium-Density Residential at a density of 15-29 dwelling units per acre (du/ac), and the proposed density of 29 dwelling units per acre (four units on a 0.14-acre site) is in conformance with this designation. The RM-2-5 zone allows multiple dwelling units on a single-

parcel at a rate of one unit per 1,500 square feet of lot area therefore the 0.14-acre site can accommodate four residential units. The structure is three stories in height, approximately 6,099 square feet in area and contains four attached garage parking spaces and four surface parking spaces. The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674.

The proposal includes a request to waive the requirement to underground existing overhead utilities. The proposed subdivision qualifies under the guidelines of San Diego Municipal Code in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. Therefore, the project complies with the applicable zoning and development regulations of the Land Development Code. The project requires a Coastal Development Permit and a Tentative Map for a subdivision.

Conclusion:

Staff has reviewed the requested Coastal Development Permit and Tentative Map and found the project to be in conformance with the applicable sections of the San Diego Municipal Code and have submitted draft findings for consideration (Attachments 4 and 6). Therefore, staff recommends the Hearing Officer approved the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1642830 and Tentative Map No. 164282, with modifications.
2. Deny Coastal Development Permit No. 1642830 and Tentative Map No. 164282, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

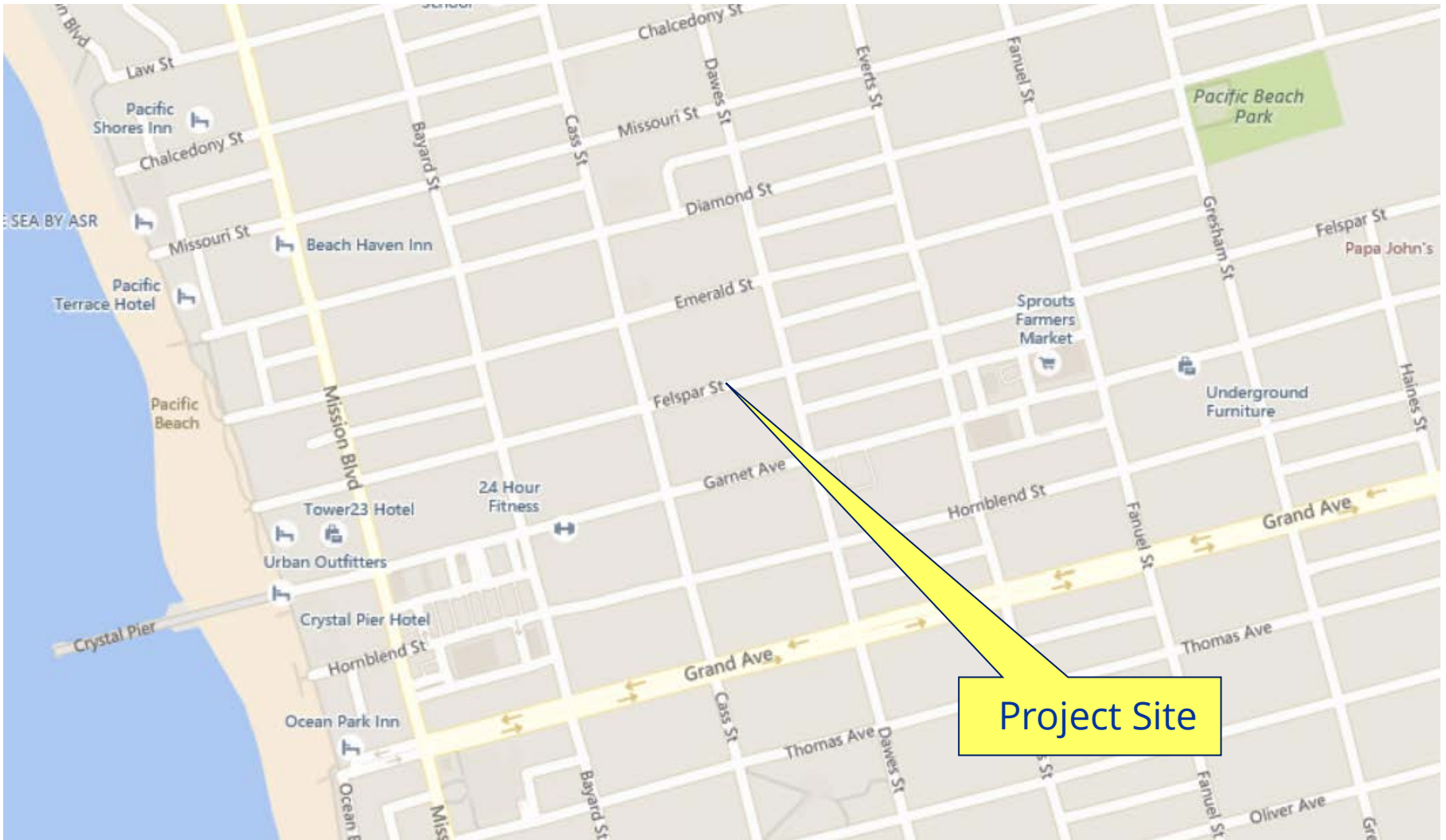


Jeff Robles, Development Project Manager

Attachments:

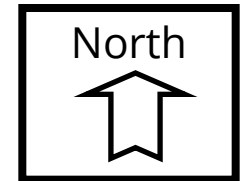
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Map Resolution
7. Draft Map Conditions
8. Environmental Exemption
9. Community Planning Group Recommendation

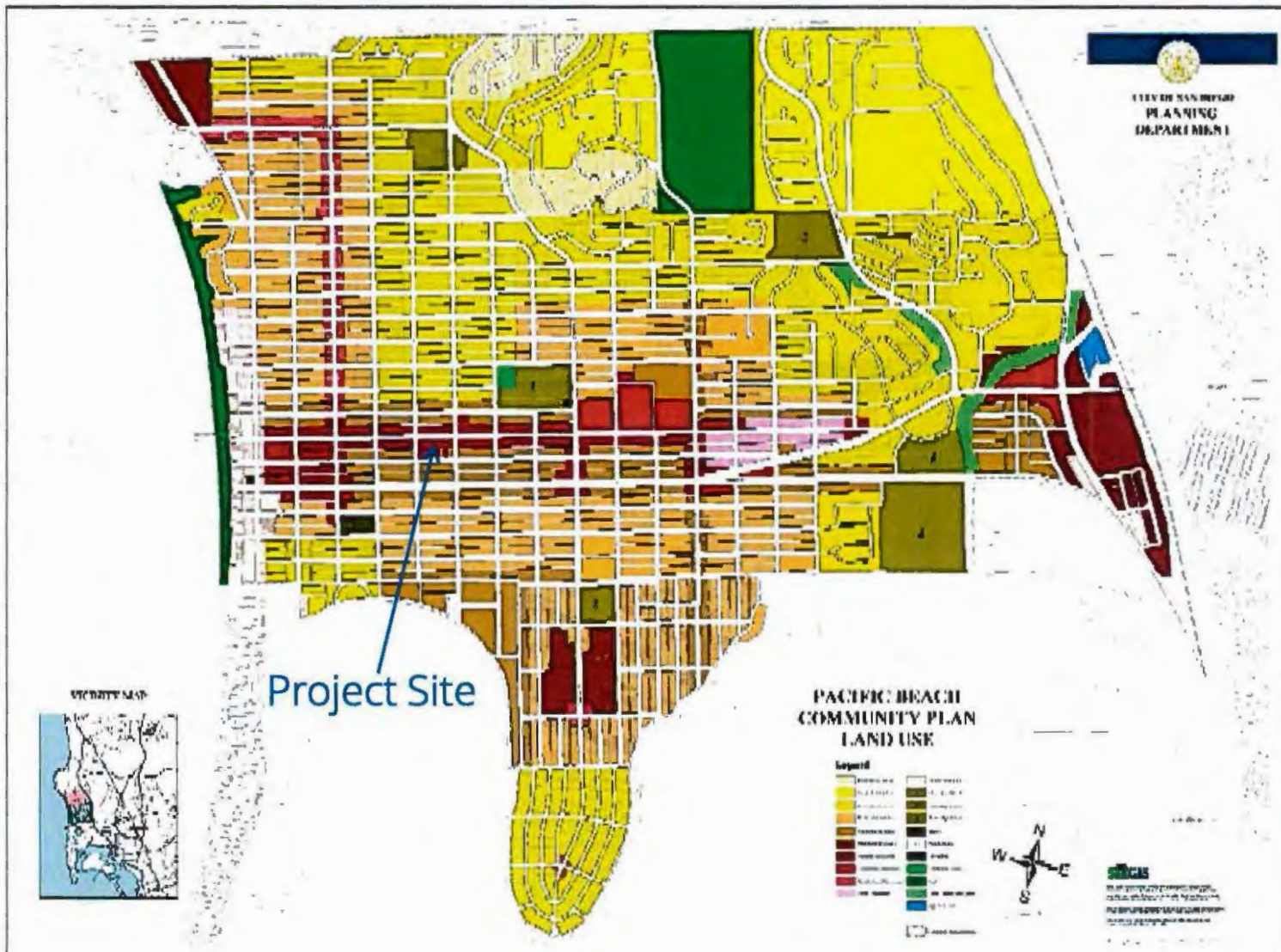
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

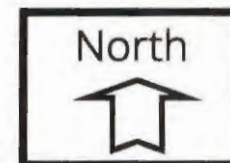
**1141 Felspar Townhomes CDP TM - 1141 Felspar St.
PROJECT NO 466647**





Land Use Map

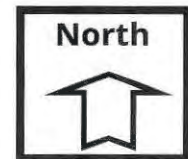
1141 Felspar Townhomes CDP TM - 1141 Felspar St.
PROJECT NO 466647





Location Aerial Photo

1141 Felspar Townhomes CDP TM - 1141 Felspar St.
PROJECT NO 466647



HEARING OFFICER RESOLUTION NO. _____
 COASTAL DEVELOPMENT PERMIT NO. 1642820
1141 FELSPAR TOWNHOMES CDP TM - PROJECT NO. 466647

WHEREAS, Pacific Beach 2012 LTD, Owner/Permittee, filed an application with the City of San Diego for a permit to create four condominium units from an existing four-unit, three-story development currently under construction (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1642820), on portions of a 0.14 acre-site;

WHEREAS, the project site is located at 1141-1143 Felspar Street, in the RM-2-5, Coastal (Non-appealable), Coastal Height Limit, and Parking Impact Overlay zones within the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Lots 11 and 12 in block 197 of Pacific Beach, according to Map No. 697 and 854;

WHEREAS, on September 14, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1642820 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on August 15, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 14, 2016.

FINDINGS:

Coastal Development Permit - Section 126.0708

- The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed subdivision of the four-unit building, currently under construction, would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The Pacific Beach Community Plan does not identify an existing or proposed physical accessway nor a public view corridor on or adjacent to the site. The proposed coastal development will enhance and protect public views to and

along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan by not encroaching into any scenic coastal area or public views.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The site is not located on or adjacent to environmentally sensitive lands. The project site is located in a built urbanized location. An environmental review is found to be exempt from environmental review under the California Environmental Quality Act (CEQA) Guidelines. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Pacific Beach Community plan designates the site as Medium-Density Residential at a density of 15-29 dwelling units per acre (du/ac), and the proposed density of 29 dwelling units per acre (four units on a 0.14-acre site) is in conformance with this designation. The RM-2-5 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 1,500 square feet of lot area therefore the 0.14-acre site can accommodate four residential units. The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan density range. The Certified Implementation Program for the Local Coastal Program requires compliance with zoning regulations. Because the Project complies with all zoning regulations and does not propose or require deviations, the Project conforms to the Local Coastal Program and complies with the Certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 1141-1143 Felspar Street and is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1642820 is hereby GRANTED by the Hearing Officer to the

referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1642820, a copy of which is attached hereto and made a part hereof.

Jeff Robles
Development Project Manager
Development Services

Adopted on: September 14, 2016

IO#: 24006437

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006437 SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1642820
1141 FELSPAR TOWNHOMES CDP TM
PROJECT NO. 466647
HEARING OFFICER

This Coastal Development Permit No. 1642820 is granted by the Hearing Officer of the City of San Diego to Pacific Beach 2012, LTD, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] 126.0707. The 0.14-acre site is located at 1141 Felspar Street in the RM-2-5, Coastal (Non-appealable), Coastal Height Limit, and Parking Impact Overlay zones of the Pacific Beach Community Plan. The project site is legally described as: Lots 11 and 12 in block 197 of Pacific Beach, according to Map No. 697 and 854.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to create four residential condominiums described and identified by size, dimension, quantity, type and location on the approved exhibits [Exhibit "A"] dated September 14, 2016, on file in the Development Services Department.

The project shall include:

- a. Creation of four residential condominium units from a four-unit, three-story development permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674;
- b. No additional development rights are granted as a result of this subdivision of land.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 28, 2019.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" conditions. Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed permit and the conditions contained therein.

ENGINEERING REQUIREMENTS:

9. This Permit shall comply with all Conditions of Tentative Map No. 1642821.
10. The Owner/Permittee shall comply with all conditions and requirements in Coastal Development Permit No. 1452973.

PLANNING REQUIREMENT:

11. The Owner/Permittee shall post a copy of each approved discretionary Permit and Tentative Map in its sales office for consideration by each prospective buyer.

TRANSPORTATION REQUIREMENTS:

12. The "Den" area as shown on the Exhibit "A" shall not be converted to any other use including a bedroom.
13. The restriction on the change of use for "Den" area shall be reflected and disclosed on any future lease or sales agreements of the dwelling units.
14. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer.
15. Owner/Permittee shall maintain a minimum of eight off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party, on whom fees, dedications, reservations or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 14, 2016.

DRAFT

HEARING OFFICER RESOLUTION NUMBER R-_____

TENTATIVE MAP NO.1642821
1141 FELSPAR TOWNHOMES TM CDP
PROJECT NO. 466647

WHEREAS, Pacific Beach 2012 LTD, a California Limited Partnership, Subdivider, and Vernon V. Franck, Engineer, submitted an application to the City of San Diego for a Tentative Map, No. 1642821, for the subdivision of four residential condominium units (under construction) totaling approximately 7,000 square feet and to waive the requirement to underground existing offsite overhead utilities located at 1141-1143 Felspar Street. The 0.14- acre site is in the RM-2-5 zone, Coastal (Non-appealable) Overlay Zone, Coastal Height Limit, and Parking Impact Overlay zones of the Pacific Beach Community Plan, within the Pacific Beach Community Plan Area. The project site is located north of Garnet Street and south of Emerald Street. The property is legally described as Lots 11 and 12 in Block 197 of Pacific Beach, Map Nos. 697 and 854; and

WHEREAS, the Map proposes the Subdivision of a 0.14-acre site from two lots to one lot for a four-unit condominium development; and

WHEREAS, on August 15, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the proposed activity is exempt from CEQA pursuant to Section 15301 (Existing facilities) of the State CEQA Guidelines and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is four; and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code section 144.0242(c)(1)(B) because the subdivision involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on September 14, 2016, the Hearing Officer of the City of San Diego considered Tentative Map No. 1642821, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code sections 125.0440, 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1642821:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals and objectives of the applicable land use plan.

The Pacific Beach Community plan designates the site as Medium-Density Residential at a density of 15-29 dwelling units per acre (du/ac), and the proposed density of 29 dwelling units per acre (four units on a 0.14-acre site) is in conformance with this designation. The RM-2-5 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 1,500 square feet of lot area therefore the 0.14-acre site can accommodate four residential units. The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan. Therefore, the proposed

subdivision and its design or improvement are consistent with the policies, goals and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project proposes to create four residential condominium units on a 0.14-acre site. The proposed development of four residential condominium units have been designed to comply with all applicable development regulations of the RM-2-5 Zone, including height, setback, density, landscaping, and parking, no deviations are requested. The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. Therefore, the project complies with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development.

The Pacific Beach land use plan designates the proposed project site for Medium Density Residential use at a density of 15-29 dwelling units per acre (du/ac). The proposed density of 29 du/ac (four units on a 0.14-acre site) is in conformance with the Residential Subarea of the Community Plan. The Residential Land Use Designations and RM-2-5 zone allow multiple dwelling units on a single-parcel.

The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. Therefore, the project is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish, wildlife or their habitat.

The project site is located within an urbanized environment where there are no watercourses or environmentally sensitive lands harboring fish or wildlife on or adjacent to the site. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The project

has been designed in conformance with all applicable development regulations. The proposed subdivision and improvements have been designed to comply with all applicable Federal, State and Local land use policies including the California Subdivision Map Act and the City of San Diego Land Development Code. Therefore, the design of the subdivision will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 0.14-acre project site does not contain any public easements that have been acquired by the public at large for access through or use of property within the proposed subdivision. Therefore, the design of the subdivision or the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The existing building as designed includes building materials, architectural treatments, placement and selection of plan materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities. The construction of the multi-family homes would not be impeded or inhibited from incorporating any future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The proposed subdivision of the existing four-unit building would allow condominium ownership and does not involve any physical changes to the building. The development was permitted under Coastal Development Permit No. 1452973, and Construction Permit Project No. 434674. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. Those regional needs were balanced against the needs for public services and the available fiscal and environmental resources and found that the Tentative Map to create a condominium development from an existing development would not impact the housing needs of the Pacific Beach Community Plan.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 164282, including the waiver of the requirement to underground existing

offsite overhead utilities, is hereby granted to Pacific Beach 2012, LTD, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Jeff Robles
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006437

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HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP NO. 1642821
1141 FELSPAR TOWNHOMES CDP TM
PROJECT NO. 466647

ADOPTED BY RESOLUTION NO. _____ ON SEPTEMBER 14, 2016

GENERAL

1. This Tentative Map will expire on September 28, 2019.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Map shall conform to the provisions of Coastal Development Permit No. 1642820.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

7. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices on each water service (domestic, fire and irrigation), in a

manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

10. The Subdivider shall prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
11. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
12. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

13. A Parcel Map is required to consolidate the existing lots into one lot and to subdivide the ownership interest.
14. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
15. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
16. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
17. The Tentative Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

PUBLIC UTILITIES DEPARTMENT

18. Prior to the recordation of any map, the Owner/Permittee is required to provide evidence to the City Engineer that all separately titled units which share private water or sewer service connections to the City's public water and sewer systems have been encumbered by CC&Rs written to ensure that the operation and maintenance of all shared private water and/or sewer facilities will be provided for in perpetuity.
19. Prior to the recordation of any map, the Subdivider must obtain a Permit to Work in the ROW for the purpose of relocating any sewer lateral currently located under or within 5' of any driveway within the public ROW.
20. Prior to the recordation of any map, the Subdivider must ensure that any proposed "PRIVATE" sewer lines within a public ROW or public easement are located and labeled on a City Construction Record Drawing (D or B-sheet) so as to clearly convey all of the following: the sewer line's identity as "PRIVATE", its location relative to the nearest property line, its authorization to encroach (i.e. the approved EMRA #), and its point of connection to the public sewer collection system.
21. Prior to the recordation of any map, the Subdivider must ensure that any existing public sewer lateral scheduled for reuse is inspected by a California licensed plumbing contractor using closed-circuit television (CCTV) to verify that the lateral is in good condition, free of all debris, properly connected to a public sewer main, and in all other ways suitable for reuse. If the lateral is found to be unsuitable for reuse, the Subdivider is required to repair, remove and replace, or abandon and cap the lateral at the property line in a manner satisfactory to the Public Utilities Director.
22. Prior to the recordation of any map, the Subdivider shall ensure that all public water and/or sewer facilities necessary to serve the development (including services and laterals) are complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
23. Prior to the recordation of any map, the Subdivider is required to ensure that all water services to the site (including domestic, irrigation and fire) pass through a private above ground back-flow prevention device (BFPD). BFPDs are typically located just outside the public ROW in-line with the water service. The Public Utilities Department does not allow BFPDs to be located below grade or within any structure.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such

NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422
 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

Project No.: 466647

Project Title: FELSPAR TOWNHOMES

PROJECT LOCATION-SPECIFIC: This project is located at 1141-1143 Felspar St., San Diego, CA 92109 within the Pacific Beach Community Plan

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: Tentative Map (TM) and Coastal Development Permit (CDP) for the creation of four residential condominium units currently under construction. The construction of the condominium units was previously approved under CDP No. 1452973. The proposed development is one building, three stories high, with a garage on the first floor. The project is located at 1141-1143 Felspar Street, and the 0.143 acre site is in the RM-2-5 zone in the Parking Impact (Coastal) Overlay Zone (PIOZ), Coastal Overlay Zone (Non-Appealable Area 2), and Coastal Height Limitation Overlay Zone within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan, Council District 2. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with public utilities in place to serve the facility.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Ted Montag, 1106 Second Street # 255, Encinitas CA 92024. (760) 635-7633

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: 15301(k) (Existing Facilities)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (k) (Existing Facilities). The exemption is appropriate because 15301 (k) allows for division of existing multiple family or single-family residences into common-interest ownership and subdivision of existing commercial or industrial buildings, where no physical changes occur and which are not otherwise exempt. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were indentified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Jeffrey Szymanski / SENIOR PLANNER
SIGNATURE/TITLE

8/15/2016
DATE

CHECK ONE:

SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

Robles, Jeff

From: Maggie Roland [maggie@mrolandsd.com]
Sent: Tuesday, July 19, 2016 7:33 PM
To: Brian Curry
Cc: Robles, Jeff; Kiersten Eckstrom; Henish Pulickal
Subject: RE: 6-22-2016 Meeting - PTS 466647

Thanx Brian-

Maggie Roland
 MRoland Associates
PLEASE NOTE AS OF 1-4-16
NEW ADDRESS
3752 Park Blvd., Suite 701
 San Diego, CA. 92103
 619-578-2916 o
 619-985-9256 c

From: Brian Curry [mailto:brian.curry77@gmail.com]
Sent: Tuesday, July 19, 2016 7:21 PM
To: Maggie Roland <maggie@mrolandsd.com>
Cc: jwrobles@sandiego.gov; Kiersten Eckstrom <kiersten@mrolandsd.com>; Henish Pulickal <henish.pulickal@gmail.com>
Subject: Re: 6-22-2016 Meeting - PTS 466647

The final vote was 10-1-0 in favor.

On Tue, Jul 19, 2016 at 3:18 PM, Maggie Roland <maggie@mrolandsd.com> wrote:

Hello Brian-

I am finalizing our Tentative Map for the Hearing Officer, and we need the results of the vote from the meeting.

We were approved on June 22, 2016, Item No. 7(2) PTS 466647, 1141 Felspar / Previously approved 4-plex. Tentative Map for Condominium Purposes. All but one Board Member approved the project for Condominium Purposes with the request that the façade be changed from the property next door so they do not look identical.

Can you please get the results to me and our Project Manager Jeff Robles, who is copied on this email? Thanx in advance for your time.



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other Condo Conversion

Project Title: 1141 Felspar Townhomes Project No. For City Use Only

Project Address:
1141-1143 Felspar Street, San Diego, CA. 92109

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

GRADING NOTES

| | |
|-----------------------------------|------------------------------------|
| Total amount of site to be graded | 3680 s.f. (foundations) |
| Percent of total site graded | 57 |
| Area of 25% or greater slope | 52 cu. yd. (footings) |
| Amount of fill | 0 (MIN. DEPTH 2" PER FOOT) |
| Max. hgt. of cut slope | 0 |
| Amount of export | 52 cu. yd. (subject to compaction) |
| Retaining walls | 0 |

PLANNING NOTES

1. Trash/recycle cans to be kept in enclosure slab area per site plan.
2. There are no proposed or existing easements.
3. Plans have been designed to comply with disabled access requirements.
4. There are no existing or proposed bus stops.
5. No exterior mechanical equipment exists (gas meters to be screened by landscaping).
6. Provide recycle storage in cabinets of each kitchen of min. 2.5 cu. ft.
7. Provide non-recycle trash storage in each kitchen of min. 2.5 cu. ft.
8. Provide building address numbers that are visible and legible from the street for each unit.
9. Dwellings are for rent.

ENGINEERING NOTES

1. IF EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE DAMAGED DURING CONSTRUCTION, THE REQUIRED PERMITS FOR THE REPLACEMENT OR REPAIR OF THE DAMAGE SHALL BE OBTAINED.
2. ALL EXCAVATED MATERIAL SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2003 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.
3. PRIOR TO THE FOUNDATION INSPECTION, AN ELEVATION CERTIFICATE SIGNED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED CERTIFYING THE PAD ELEVATION, BASED ON USGS DATUM, IS CONSISTENT WITH EXHIBIT 'A', SATISFACTORY TO THE CITY ENGINEER.
4. DRAINAGE SHOWN IS MINIMUM REQUIREMENT (18).
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR ANY ONGOING PERMANENT BMP MAINTENANCE.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CH. 16, ART. 2, DIV. 1 (GRADING REGULATIONS) OF THE SDCG, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX B OF THE CITY'S STORM WATER STANDARDS.
8. TOPOGRAPHY BASED UPON SURVEY BY METROPOLITAN MAPPING (VERSION FRANKLIN PLS 7927), DATED APRIL, 2013.
9. SEE SHEET U FOR SITE PERMEABILITY NOTES.
10. ANY AND ALL WORK IN THE RIGHT-OF-WAY TO BE DONE UNDER SEPARATE PERMITS.
11. NO GRADING IS PROPOSED.
12. THERE ARE NO EXISTING OR PROPOSED PUBLIC OR PRIVATE EASEMENTS ASSOCIATED WITH ANY WATER OR OTHER FACILITIES.
13. All required EMRAs associated with work to be done within a public ROW or other public easement must be approved by the City and recorded by the County prior to the issuance of any construction permit authorizing the work.

SPRINKLER NOTES

1. The estimated residential sprinkler plans required by Section R313 of the 2015 California Residential Code or when required by Section 903 of the 2015 California Building Code has been deferred.
 2. In construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or foundation inspection when the installation of fire sprinkler plans is deferred. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans.
 3. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement.
- Owner Signature: _____
- Water meters for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.

IMPERVIOUS AREAS on LOT

Existing impervious areas (house, slabs, walks, etc.) 1600 s.f.
Proposed impervious areas: 4890 s.f.

Difference (increase): 3290 s.f.
Percentage increase: 3290/1600 = 205%

TOTAL DISTURBED AREA of LOT (Lot area = 6243 s.f.)
(new installations on entire site: structures, walks, slabs, landscape)

100% of lot: 6243 s.f.
(including 1081 s.f. of new landscape area: 17% of lot)

NOTE:

A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition 13). The pre-construction inspection must be scheduled and observed by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services Office at (858) 497-9376, if you have any questions pertaining to the pre-construction inspection.

BACKFLOW PROTECTION

1. PROVIDE APPROVED BACKFLOW DEVICE FOR THE WATER SERVICE TO THE BUILDING.
2. ASSEMBLY FOR DOMESTIC METER TO BE 75" PER CITY STD. DRWG. 80W-27.
3. LOCATE ASSEMBLY DOWNSTREAM FROM METER PRIOR TO THE FIRST USE OF THE WATER.
4. DEVICE TO BE LOCATED ON PRIVATE PROPERTY, LOCATE IN SCULPTURE OR NEXT TO THE BUILDING OUTSIDE OF ANY EASEMENTS (SEE PLAN).

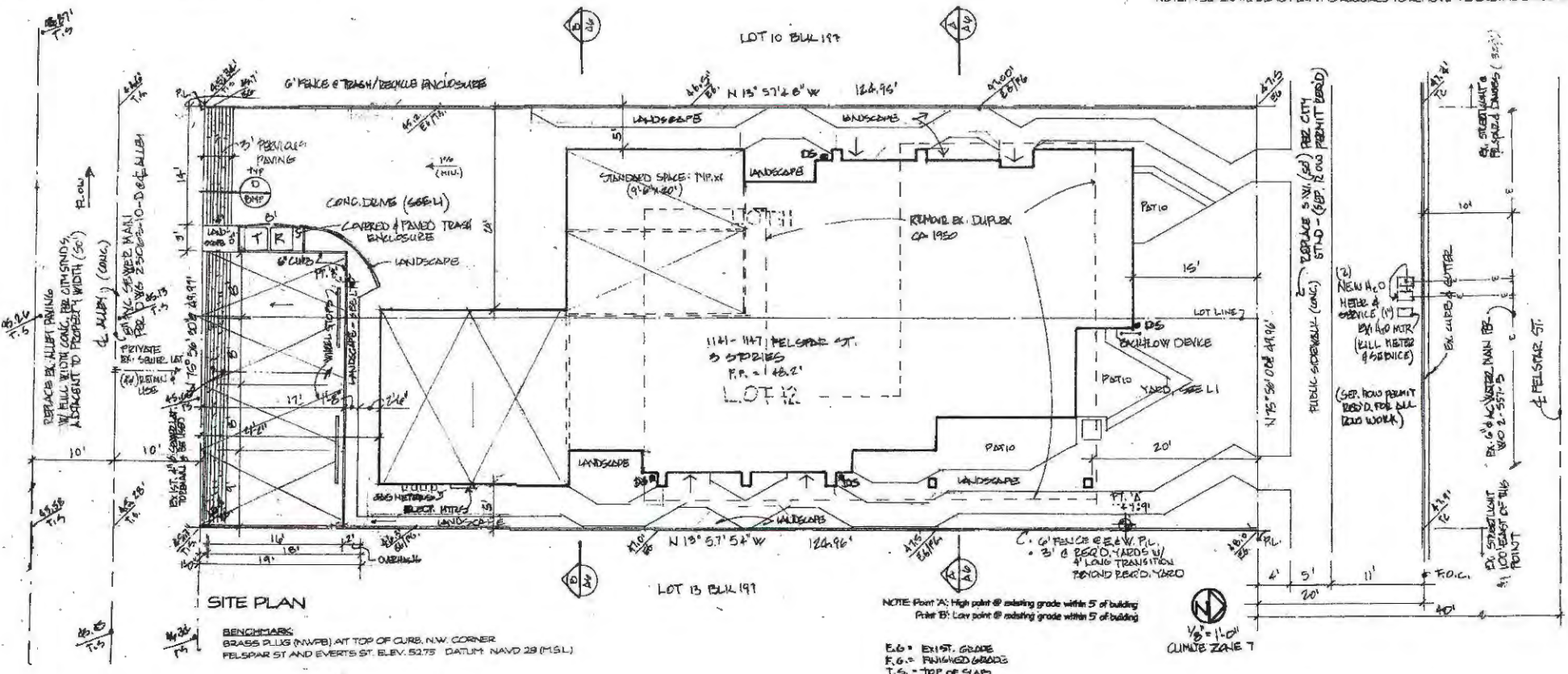
Note: Builders constructing new for-sale residential units must provide a checklist of universal accessibility features to potential purchasers of a home. (Assembly Bill 1406 (Chapter 848 of Statutes of 2003) adopted Section 17859.6 of the Health and Safety Code, effective January 26, 2006.) (New Issue)

Note: Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabetical letters. Numbers shall have a minimum stroke width of 0.5 inch and be a minimum of 4 inches high for single family dwellings and duplexes and 12 in. high for all others. (C) CBC 501.2 and municipal code)

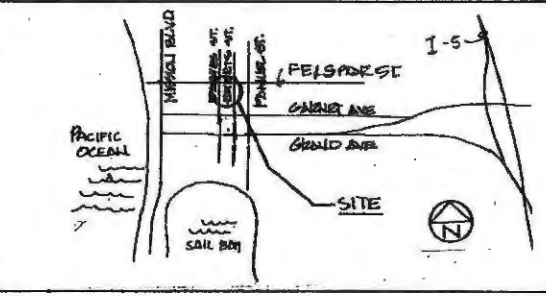
HOUSE NUMBERS TO BE VISIBLE AND LEGIBLE

NOTE: ALL REQUIRED PERMITS MUST BE OBTAINED FROM FIRE PLAN CHECK BEFORE THE BUILDING IS OCCUPIED.

NOTE: A SEPARATE DEMO PERMIT IS REQUIRED TO REMOVE THE EXISTING STRUCTURES.



VICINITY MAP



PROJECT DATA

SCOPE OF WORK REMOVE EXISTING STRUCTURES (UNDER DEMO PERMIT), CONSTRUCT TWO, THREE STORY DUPLEX CONDOMINIUM BUILDINGS (W/ FIREWALL SEPARATION) W/ ATTACHED GARAGE SPACES AND 4 SURFACE PARKING SPACES. (SEE "CBC NOTES" THIS SHEET)

APN: 415-623-04-00
LEGAL LOTS 11 & 12, BLOCK 197 OF PACIFIC BEACH, MAP 791

ZONE: RM-2.5
BUILDING AREAS (SQ FT) (SEE TABLE ON A1 FOR PER UNIT AND PER FLOOR DATA)

LIVING: GFA 6099 CBC 5645
GARAGE: GFA 836 CBC 790
DECK: 1080 (NON-GFA)

FAR ALLOWED: 135 W/ 1025 LIVING AREA (637 S.F.), 3375 PARKING (207)
FAR ACTUAL: 11 W/ 98 LIVING (6099 S.F.), 13 PARKING (836 S.F.)
COVERAGE: N/R

ALLOWABLE AREAS: R3/VB (SPRINKLERED) UNLIMITED PER 2018 CBC TABLE 503
U OCCUPANCY: UP TO 1000 S.F. PER CBC 406.1 (836 ACTUAL)

OCCUPANCY CLASS: R3 AND U
CONSTRUCTION TYPE: VB SPRINKLERED
CURRENT USE: DUPLEX PROPOSED USE: TWO DUPLEXES

ZONING OVERLAYS: COASTAL (CITY), COASTAL HEIGHT LIMIT, PARKING PERMITS REQUIRED: COP, DEMO (SEPARATE), BUILDING (NO GRADING PROPOSED), TENTATIVE PARCEL, MAP

CODES IN EFFECT: 2018 CBC, CRC, CFC, CHC, CXC, CJC, 2018 NEC, CAC TITLE 24

PARKING REQUIREMENTS:
4 UNITS @ 2 BEDROOMS EACH = 4 x 2 x 8 SPACES
PARKING PROVIDED: 8 SPACES

CBC NOTES:

1. PER SINGLE DISCIPLINE REVIEWS 145868 AND 169948, THIS DESIGN MEETS THE REQUIREMENTS FOR CBC SEC 1009A.2.1 BY THE USE OF GARAGE #2 AND THE FIRST FLOOR OF UNIT #2.
2. PER SDR 169948, THIS DESIGN CREATES TWO DUPLEX UNITS BY THE USE OF THE TWO HOUR FIREWALL (PER CBC 703.1) AS SHOWN ON THE PLANS THUS RESULTING IN AN R3 OCCUPANCY CLASSIFICATION.
3. PER CBC TABLE 704.8 NOTE 9, PROTECTED AND UNPROTECTED EXTERIOR WALL ARE UNLIMITED IN R3 OCCUPANCIES WITH FIRE SEPARATIONS GREATER THAN 5 FEET ALL SEPARATIONS IN THIS PROJECT ARE EQUAL TO OR GREATER THAN 5'-0".

DRAWING INDEX

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| A2 | SECOND FLOOR PLAN | | |
| A3 | THIRD FLOOR PLAN | | |
| A4 | ROOF PLAN | ME-1 | FIRST FLOOR MECH/ELECT. PLAN & NOTES |
| A5 | EXTERIOR ELEVATIONS | ME-2 | SECOND " " " " " " |
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| A11 | PENETRATION NOTES | L-2 | IRRIGATION PLAN |
| | | L-3 | LANDSCAPE DETAILS |
| | | BMP | CONSTR. & PERM. BMP NOTES, PLANS, DETAILS |
| S1 | GENERAL STRUCTURAL NOTES | | |
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| S4 | THIRD FLOOR FRAMING PLAN | | |
| S5 | ROOF FRAMING PLAN | | |
| DB-9 | DETAILS | | |

PROJECT PRINCIPALS

OWNER:
PACIFIC BEACH 2012, LTD.
200 SAN DIEGUITO DEVELOPMENT
1008 SECOND STREET, PHB 255
SAN DIEGO, CA 92104
760-695-7633

ARCHITECT:
DAN LINN
5732 BELLEVUE AVE
LA JOLLA, CA 92037
858/459-8108

LANDSCAPE ARCHITECT:
OUTSIDE DIMENSIONS
STEVEN AMES
15748 PASCO PENASCO
ESCONDIDO, CA 92025
619/971-2943

CIVIL ENGINEERING/SURVEYOR:

PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
LA JOLLA, CA 92037

PROJECT ADDRESS: 1141-1147 FELSPAR STREET,
SAN DIEGO, CALIFORNIA 92109

PROJECT TITLE: FELSPAR TOWNHOMES
SHEET TITLE: SITE PLAN, PROJECT DATA

ORIGINAL DATE: _____
PROJECT NUMBER: _____
SHEET 1 OF 9
REVISION 1: 5/13/15 REVISION 4: _____
REVISION 2: 6/15/15 REVISION 5: _____
REVISION 3: _____ REVISION 6: _____

Daniel Linn architect
5732 Bellevue Avenue La Jolla, CA 92037
858 459-8108 fax 858 459-8118
© COPYRIGHT 2015 ALL RIGHTS RESERVED

FELSPAR TOWNHOMES
FOUR TOWNHOME DWELLINGS
1141-1147 FELSPAR STREET
SAN DIEGO, CALIFORNIA 92109

DATE: 7/10/15

REVISIONS

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T



4. Subcontractor shall take all necessary measures to fully protect adjacent properties and the utility lines shown on these contract documents and any other lines not shown on these documents.

5. The work consists of furnishing all labor, equipment, materials, services and performing all operations necessary for all work shown, including securing and paying for the grading permits.

6. Surface grade shall be based on 1'-6" station below grade or equivalent of 1111' per 100' slope.

7. All slopes, cuts and fills shall be covered from the soil to a depth of at least 1'-0" below the surface of the ground in the area to be completed by the building or proposed structure.

8. **Excavation**

A. Contractor to verify locations of underground utilities prior to excavation.

B. Excavate to lines, grades and elevations as required by drawings or governing regulations. Level and clean bottom of footing excavations and keep free of standing water. No suspended fills or permitted water footings.

9. **Fill and Backfilling**

A. Backfill and fill under slabs shall be layered in levels not more than 6" deep, compacted and tamped with mechanical vibrator compacted to a 95% optimum density. Fill material shall be free from debris, vegetable matter and other foreign substances.

B. Protect compressed surfaces against damage while backfilling with one layer of 1/2" gypsum board.

10. **Finish Grades**

A. Slope grade away from building to prevent standing water against building.

B. Finish grading to provide uniform foundation between points where elevations are shown, unless noted otherwise.

C. All debris, rocks and other deleterious material shall be removed leaving the ground ready for paving and landscaping.

D. All finish grades to be 1" below level of sidewalks and a minimum of 6" below finish floor line, unless noted otherwise.

DIVISION 22 - ASPHALT PAVING

1. **Work** - Furnish and install Asphaltic concrete paving work complete including road base, subgrade, and 2" thick wearing surface for ground surfaces receiving asphaltic concrete paving.

2. **Submittals** - Submit samples to a minimum of 5', being to optimum mixture content and compact to a minimum 98% optimum density.

3. **Preparation** - Finish to required elevations, uniform and smooth, so that all areas drain and shall be free of standing water.

4. **Soil Stabilization** - At all areas requiring asphaltic concrete paving, apply approved soil stabilizer per manufacturer's recommendations.

5. **Asphaltic Concrete Paving**

A. Subgrade preparation: Minimum 2 x 4 with 2 x 3 x 12" long stakes (2-1/4" galvanized nails each stake).

B. Base course: 6" crushed rock.

C. Wearing surface: 2" thick, 95-100% penetration; minimum 1/2" sand.

D. Seal coat: Apply 2 coats per manufacturer's specifications.

DIVISION 3 - CONCRETE

1. **Work** - Furnish, install and finish concrete such as complete, including grading under slabs, plastic membrane, formwork, reinforcing, etc. and placement of bolts and anchors as specified by other sections.

2. **Materials**

A. Portland Cement shall conform to ASTM C 150 Type I or Type II.

B. Aggregate to be normal sand-gravel aggregate conforming to ASTM C 33.

C. Water shall be clean and free of deleterious amounts of acids, alkalis, salts or organic materials.

D. Reinforcing steel bars shall be deformed bars conforming to ASTM A615-60 Grade 60, unless noted otherwise.

E. Reinforcing mesh shall be welded wire fabric conforming to ASTM A-185-73.

F. The wire shall conform to ASTM A 82 16 gauge black annealed.

G. Expansion joint fillers to be 1/2" thick, depth as required, non-bituminous.

H. Form materials: Lumber to be "Western or better" Douglas Fir. Plywood to be 3/4" thick exterior grade 28-13 or better.

3. **Formwork** - Form shall be composed of 1 part cement, 3 parts sand, 4 parts of 1/2" maximum aggregate, and maximum water-cement ratio of 0.50 for minimum compressive strength of 4000 psi at 28 days from date of initial pour.

4. **Formwork**

A. Place plastic membrane under all interior slabs; lay all edges min. 12". Concrete shall be sealed in all forms, around reinforcement and embedded items and into corners.

B. Joints, corners, holes, doors and all inserts shall be accurately located and securely held in place until concrete has hardened.

C. Shaped surfaces immediately after removal of forms and before concrete is cured. Patch and pour joints, voids, stone pockets, and tie holes in concrete surfaces to be repaired.

D. Reinforcing steel shall have a minimum lap distance of 30 diameters in concrete. Unless shown otherwise in details, furnish 90 degree or spacer bars at approximately 36" o.c. in all footings to keep reinforcing in place.

E. Maximum concrete cover on reinforced slabs: Footings 3", exposed walls 1", walls against earth 2", slabs 3/4", columns 1-1/2".

5. **Finishing**

A. Exterior and Garage slabs: steel trowel (float) slope to drains where indicated on drawings.

B. Exposed exterior slabs to be broom finish, rock salt finish and/or exposed aggregate finish as indicated. Exterior slabs to slope away from building.

DIVISION 4 - MASONRY

1. **Work** - Furnish and install all masonry work complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Cement mortar mix: One part Portland Cement, 1/4 part minimum to 1/2 part maximum lime, and not less than 2-1/2 and not more than 3 times the sum of the volumes of the cement and lime used, and shall conform to ASTM C 270 with a minimum compressive strength of 1800 psi.

B. Cement shall be composed of 1 part Portland Cement, 1/10 part lime, 2-1/4 to 3 parts sand. A maximum of 2 parts pea gravel may be added in excess of 2" or more in either horizontal dimension. Minimum compressive strength of 3000 psi at 28 days.

C. Concrete masonry units shall be hollow load-bearing units, conforming to ASTM C90-70, Grade S-1.

D. Reinforcing steel shall be deformed bars conforming to ASTM A 615-60, Grade 60, unless noted otherwise.

E. The wire shall conform to ASTM A82; 16 gauge, black annealed.

DIVISION 5 - METALS

1. **Work** - Furnish and install all metal work complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6 - WOODWORK

1. **Work** - Furnish and install all woodwork complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

1. **Work** - Furnish and install all woodwork complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6A - ROOF SYSTEMS (Omit 6A - SEE STRUCTURAL DRAWINGS)

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6B - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6C - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6D - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6E - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6F - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6G - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6H - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6I - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6J - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6K - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6L - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6M - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6N - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6O - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6P - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6Q - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

DIVISION 6R - ROOF SYSTEMS

1. **Work** - Furnish and install all roof systems complete, including masonry repair and masonry reinforcing.

2. **Materials**

A. Structural steel shapes, plates, bars and rolled sections shall conform to ASTM A 36-70.

B. Steel pipe shall conform to ASTM A 53-60, Grade B and shall be seamless.

C. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-88, Grade B and shall be seamless.

D. Anchors, bolts and fasteners shall conform to ASTM A 307-67, and ASTM A 563-66.

E. Materials and workmanship shall comply with A.I.S.C. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

1. **Work** - Furnish and install all glass and glazing, complete including glass cleaning and/or wood windows and doors as scheduled or otherwise indicated on drawings, mirrors, tub and shower enclosures.

2. **Materials** - All glass shall conform to Federal Specification DD-C-453 and Chapter 28 of the UBC.

3. **Installation**

A. Windows and Doors: Double strength "P" or better.

B. Glazing Glass Doors: Tempered glass min. 3/8" thick with label as per Chapter 28 UBC.

C. Shower: 1/2" polished plate glass.

D. Tub and Shower Enclosures: Locations as indicated on drawings-to be of shatter-resistant material.

E. Caulking compound: One applied, non-hardening, under to match adjacent work.

F. Window windows and doors: Each frame finished with (with painted house finish) as selected by Owner with plastic frame covers and screen frame to match down unless indicated otherwise.

G. All exterior windows and sliding glass doors to be weather stripped and labeled as complying with the air infiltration requirements set forth in the American National Standard Institute Standards A136.1, A136.2, A136.3 and A136.4 (ANSI Standards for window windows).

H. All doors and windows to be fully weather stripped.

DIVISION 6S - FINISH MASONRY

1. **Work** - Furnish and install all finish masonry complete including weatherstripping and thresholds (See Division 05 for garage door hardware).

2. **Materials**

A. Provide allowances as directed by Owner. All hardware to be selected by Owner unless indicated otherwise on drawings.

B. The hardware shall be fitted prior to the painting and then removed and replaced completed before final installation of the hardware (except for door bolts).

3. **Weatherstripping and Thresholds**

A. Weatherstripping: All doors (with integral weatherstripping at all exterior doors).

B. Thresholds: Aluminum (with integral weatherstripping at all exterior doors).

C. Provide aluminum threshold and self-cleaning device at all doors leading from a garage space to a living space.

DIVISION 6T - LATH AND PLASTER

1. **Work** - Furnish and install all plastering work complete, including grounds, concrete and casings.

2. **Materials**

A. All other work shall comply with references specifications published by the California Building and Plastering Contractors' Association.

B. All plastering application shall comply with Chapter 17 of the UBC.

3. **Reinforcing Mesh**

A. Walls: 2 mesh application over 1-1/2" galvanized wire mesh and 1/2" felt.

B. Slabs: 2 mesh. G.I. bars spaced at 18" on center of a type which will allow trapped water to drain from the exterior of the building.

C. Finish coat: 7/16" texture (unless noted otherwise), color to be selected.

D. Metal lath: 1/8" high rib expanded metal lath at areas and soffits.

E. Color(s): As selected and directed by owner.

DIVISION 6U - Gypsum Board

1. **Work** - Furnish and install all Gypsum Board work complete.

2. **Materials**

A. Wall Finishes: at walls, ceilings, etc. as detailed or as per roofing manufacturer's specifications. Finishes provided under Division 7.

B. Gypsum Board: As detailed.

C. Wood shingles shall be laid with not less than 1/2" wide strips of 3/8" felt shingled between each course. No felt shall be applied to the weather below shingle butts. Provide 1 x 4 T&G butt-joint sheathing at all exposed areas (i.e. eaves, rakes, etc.) and double starter course of shingles at eaves.

D. Waterproof membrane where indicated shall consist of 3/8" felt 6" up adjacent walls with 2 layers 20 x 20 mesh applied over felt and top topped in place using 150# asphalt per 100 sq. ft. Top in place final layer of 1/2" asphalt estimated felt.

E. Plywood sheathing to be 5/8" exterior ply with exterior glue.

F. Wood shingles and shingle exposure to be per UBC.

G. Provide clay tile roofing shown, per Owner and manufacturer. Install per UBC.

H. Built-up roofing with gravel surfacing to be on minimum 3 layers of 1/2" hot asphalt felt. (Use 300# gravel for conventional roofing and 400# gravel if one-hour roofing is required).

I. Asphalt shingles to be laid over 1/2" felt, laid horizontally and lapped 1" horizontally shingles laid diagonally on roof slopes. Use 1/2" diameter aluminum (10-1/2 to 12 gauge) roofing nails with heads of at least 3/8" diameter.

DIVISION 6V - ROOFING

1. **Work** - Furnish and install all roofing work complete, including flashing, gravel slope, gutters, downspouts, supports, etc. as shown.

2. **Materials**

A. Sheet metal shall be galvanized, flashing, gutters, downspouts, counter-flashing and gravel slope shall be minimum 28 gauge unless so specified otherwise.

3. **Installation** - All work shall conform to the "International Sheet Metal and Air Conditioning Contractors National Association, Inc. unless otherwise shown or specified.

DIVISION 6W - THERMAL INSULATION

1. **Work** - Furnish and install all thermal insulation.

2. **Materials**

A. Exterior walls of heated and/or cooled interior spaces to be insulated to provide an R" value of 13, minimum, unless noted otherwise.

B. Ceiling of heated and/or cooled interior spaces to be insulated to provide an R" value of 38, minimum, unless noted otherwise.

C. Wood floors of heated and/or cooled interior spaces adjacent to exterior to be insulated to provide an R" value of 30, unless noted otherwise.

DIVISION 6X - EXTERIOR FINISHES

1. **Work** - Furnish and install all exterior finishes complete as scheduled.

2. **Materials**

A. Vinyl Tiles: 12 x 12 x 3/32" thick unless noted otherwise.

B. Sheet Vinyl: Cushion back.

C. Adhesives: As recommended by the manufacturer.

3. **Color and Pattern** - To be selected by Owner.

4. **Installation**

A. Subfloors shall be clean, dry free and dry.

B. Materials shall be applied per manufacturer's recommendations.

C. Set backs of walls of plywood underlayment prior to application of resilient floor covering.

D. Thoroughly clean and polish upon completion of installation.

DIVISION 6Y - CARPETING

1. **Work** - Furnish and install all carpeting and padding as scheduled.

2. **Materials** - To be selected. Provide allowances for carpeting as directed by Owner.

3. **Installation**

A. Lay carpeting and padding in accordance with manufacturer's recommendations. Carpeting shall be securely anchored to floor and free from all wrinkles and excess lines.

B. Provide metal carpet edge strip at line of material change from carpet to other floor finishes.

DIVISION 6Z - GARAGE DOORS

1. **Work** - Fabricate and install garage doors complete as indicated on drawings, complete with hardware.

2. **Materials**

A. Doors: 2 x 3 frame clad with 3/4" plywood (exterior grade) with trim, moldings, etc. per exterior elevations (or as indicated).

B. Hardware: Trolley or rollers counter balanced spring-up hardware with roller bearing pivots. Hardware shall be appropriate to size and weight of doors.

C. Automatic openers where indicated shall be as selected by Owner.

3. **Installation** - Doors to be installed square in opening, adjusted and counter balanced for proper operation including final finishing.

DIVISION 05 - FINISHES

- 1. Scope - Furnish and install all ceramic tile complete including backing and less grout.
2. Standards - All work to conform with the recommendations of the Tile Council of America and their current standards.
3. Materials - Ceramic wall and counter tiles: Color and pattern to be selected by Owner.
4. Installation - Shall conform to the Tile Council of America Installation Guide National, latest edition.

DIVISION 07 - PAINTING, STAINING & FINISHING

- 1. Scope - Furnish all labor and materials to complete painting, staining and finishing work including preparation of surfaces other than those that are factory finish.
2. Materials - Paint and stain materials shall be as manufactured by Amicon, Cabot, Ben-Moreno, Frasco, Glidden, Kwal & Lambert, Sherwin-Williams.
3. Preparation of Surfaces - Surfaces shall be clean and dry, and in suitable condition for finish specified.
4. Workmanship - Each coat shall be uniformly applied, well brushed out and free of brush marks, runs, sags or drips.

- 5. Exterior Finishes - All exterior roof, including siding, walling, fascia, trim, exposed beams etc.: 2 coats stain unless noted otherwise.
6. Interior Finishes - Kitchens, bathrooms: Dealer and one coat semi-gloss enamel.
7. Ventilation, exhaust (except shading): Finish as specified for adjoining room.

- 8. Exterior Finishes - All exterior roof, including siding, walling, fascia, trim, exposed beams etc.: 2 coats stain unless noted otherwise.
9. Exposed metal, including vent pipes, exhaust vents, grilles, etc.: color shall match adjacent surface. 2 coats exterior paint over primer.
10. Masonry surfaces: 2 coats exterior paint over black filler unless noted otherwise.

- 11. Kitchen, bathrooms: Dealer and one coat semi-gloss enamel.
12. All other rooms: Dealer and one coat flat paint.
13. Exposed joists and beams: 2 coats of stain unless noted otherwise.
14. Ventilation, exhaust (except shading): Finish as specified for adjoining room.

DIVISION 08 - SPECIALTIES

- 1. Scope - Furnish and install Specialties complete and operable.
2. Materials - Bathrooms accessories as selected by Owner and/or listed on drawings.
3. Metal pre-fabricated fireplaces per drawings and details.
4. Chimneys shall extend a minimum of 2'-0" above that part of the roof through which it passes or any point of the building within 10'-0" of the point of chimney/roof intersection.

DIVISION 12 - PLUMBING

- 1. Scope - Furnish and install plumbing work complete and operable, including trenching and backfilling.
2. Materials - Waste and soil pipe: Service weight, cast iron; conform with ASTM A74 or approved plastic pipe.
3. Domestic water piping: Type "M" copper tubing, fitting - wrought copper or cast bronze (or galvanized iron) with 30-50 soldered joints for above grade.
4. Vent piping (over 2"): Standard weight cast iron.
5. Valves, stops, cocks: Chicago or approved equal.

DIVISION 13 - HEATING AND AIR CONDITIONING

- 1. Scope - Furnish and install heating and/or air conditioning system(s) complete and operable.
2. Standards - Shall be in compliance with the latest adopted edition of the CA Mechanical Code and any other governing mechanical codes.
3. Design temperatures: 1. Winter: 70 degrees inside for heating. 2. Summer: 75 degrees inside for cooling.
4. Installation - All equipment installation as per manufacturer's specifications.

DIVISION 14 - MECHANICAL AND ELECTRICAL

- 1. Scope - Furnish and install mechanical and electrical work complete and operable.
2. Standards - Shall be in compliance with the latest adopted edition of the National Electrical Code and any other governing electrical codes.
3. Calculations and Sizing - Contractor to supply and submit to the Building Department load calculations as necessary for approval prior to commencing work.
4. Installation - All equipment installation as per manufacturer's specifications.
5. Workmanship - All electrical work shall be in accordance with the latest adopted edition of the National Electrical Code.

DIVISION 15 - MECHANICAL AND ELECTRICAL

- 1. Scope - Furnish and install mechanical and electrical work complete and operable.
2. Standards - Shall be in compliance with the latest adopted edition of the National Electrical Code and any other governing electrical codes.
3. Calculations and Sizing - Contractor to supply and submit to the Building Department load calculations as necessary for approval prior to commencing work.
4. Installation - All equipment installation as per manufacturer's specifications.
5. Workmanship - All electrical work shall be in accordance with the latest adopted edition of the National Electrical Code.

DIVISION 16 - MECHANICAL AND ELECTRICAL

- 1. Scope - Furnish and install mechanical and electrical work complete and operable.
2. Standards - Shall be in compliance with the latest adopted edition of the National Electrical Code and any other governing electrical codes.
3. Calculations and Sizing - Contractor to supply and submit to the Building Department load calculations as necessary for approval prior to commencing work.
4. Installation - All equipment installation as per manufacturer's specifications.
5. Workmanship - All electrical work shall be in accordance with the latest adopted edition of the National Electrical Code.

NOTE: Where a conflict exists between the specifications on this and the previous sheet and notes, etc. other places in the drawings, the other notes shall apply. ALL WORK TO COMPLY WITH THE 2013 CBC, CFC, CMC, CFC & 2013 NEC

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note: "As needed necessary to facilitate future installation of Electric Vehicle Charger"
note: "Access shall be not less than 36" (914 mm) diameter to accommodate a 600/200/740-volt branch circuit."
note: "Recovery shall originate at the main service or subpanel and terminate in a listed cabinet, box or other enclosure in close proximity to the proposed location of the EV charger."
note: "Access shall be continuous at enclosed, inaccessible or restricted areas and spaces."
note: "The service panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and receptacle reserved for permanent installation of a branch circuit overcurrent protective device."
note: "The service panel or subpanel circuit directory shall identify a) the ungrounded (live) conductors for future EV charging as 'EV CAPABLE' and b) the recovery termination location as 'EV CAPABLE'."

GREEN BUILDING CODE NOTES (2013 CBC)

- 16. "Automatic fire-protection systems installed at the time of final inspection shall be weathered." (CBC 4.304.1)
17. "Jobs and openings, Annular spaces around pipes, electric cables, conduits, or other openings in exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency." (CBC 4.408.1)
18. "A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per CBC Section 4.408.1 and City ordinance. (New Issue)
19. "Before final inspection, a complete operation and maintenance manual shall be provided to the building owner or owner. Contractor or owner shall submit an affidavit that confirms the delivery of the manual." (CBC 4.410.1)
20. "Duct openings and other sealed air distribution component openings shall be covered during construction." (CBC 4.504.1)
21. "Adhesives, sealants and caulks shall be compliant with VOC and other toxic component limits." (CBC 4.504.2.1) (New Issue)
22. "Paints, stains and other coatings shall be compliant with VOC limits." (CBC 4.504.2.2)
23. "Aerosol paints and coatings shall be compliant with product weighted MR limits for VOC and other toxic compounds." (CBC 4.504.2.3)
24. "Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building inspector." (CBC 4.504.2.4)
25. "Carpet and carpet systems shall be compliant with VOC limits. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building inspector." (CBC 4.504.3)
26. "Fifty percent of floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score program." (CBC 4.504.4)
27. "Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with formaldehyde emission standards. A letter from the installer and or the building owner certifying what material has been used and demonstrating its compliance with the Code must be submitted to the building inspector." (CBC 4.504.5)
28. "Building materials with visible signs of water damage shall not be installed. Walls and floor framing shall not be enclosed when framing members exceed 19% moisture content."
29. "The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter. A certificate of compliance indicating date of test, location and results issued by the framer subcontractor or General contractor must be submitted to the building inspector." (CBC 4.505.2)
30. "Exhaust fans which terminate outside the building are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.
31. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wind or wetness rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
32. The 2015 Green Code Sec 4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances."
33. "A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per Section 4.408.1 and City ordinance. (New Issue)
34. "Before final inspection, a complete operation and maintenance manual shall be provided to the building owner or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such." (Section 4.410.1)
35. "Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ASHRAE Air Toxics Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CALGREEN. (New Issue)
36. "Faucets. Residential lavatory faucets shall have a maximum flow rate of 1.5 gallons per minute at 60 psi and a minimum flow rate of not less than 0.8 gallons per min. at 20 psi.
37. Shower heads: single shower heads shall have a maximum flow rate of not more than 2.0 gallons per minute at 60 psi. Multiple showerheads when served by a single valve, shall have a combined flow rate not to exceed 2.0 gallons per minute.
38. All water closets shall have an effective flush volume of not more than 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
39. Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 gallons at 60 psi but must default back to the 1.8 gallons per minute. (New Issue)
40. "A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixture installed. A copy of the certification can be obtained from the development services department. (New Issue)
41. "A certification completed and signed by the general contractor, subcontractor or building owner certifying that the material flooring, carpet, composite wood, particle board etc. comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code. A copy of the certification form can be obtained from the development services department.
42. "Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following:
1. VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products compliant with CHPS criteria certified under the GreenSmart Children's School program.
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers." (Version 1.1, February 2010) also known as Specification 01350)
43. "A copy of a complete operation and maintenance manual as outlined in the notes above will be delivered to the building owner prior to final inspection. (New Issue)
44. "General Contractor or a home owner certifying that a copy of the manual has been delivered to the building owner. A copy of the certification form can be obtained from the development services department.
45. "Before final inspection, a complete operation and maintenance manual shall be provided to the building owner or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such." (Section 4.410.1) A sample of the manual is available on the Housing and Community Development (HCD) web site. The manual should include in addition to other aspects the following:
1) Direction to the building owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2) Operation and maintenance instructions for the following:
a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
b. Roof and yard drainage, including gutters and downspouts.
c. Space conditioning systems, including condensers and air filters.
d. Landscape irrigation systems.
e. Water re-use systems.
3) Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4) Public transportation and/or carpooling options available in the area.
5) Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain such humidity levels.
6) Information about water-conservation landscape and irrigation design and controllers which conserve water.
7) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from foundation.
8) Information on required routine maintenance measures, including, but not limited to caulking, painting, grading around the building etc.
9) Information about state solar energy and incentive programs available.
10) A copy of all special inspection verifications required by the enforcing agency in this code.



ASP 2

UNIT FLOOR AREA TABULATIONS

| | UNIT A | B | C | D | TOTAL |
|-----------------------|--------|------|------|------|-------|
| 1 ST FLOOR | 383 | 361 | 685 | 371 | 1800 |
| 2 ND FLOOR | 700 | 773 | 506 | 797 | 2776 |
| 3 RD FLOOR | 434 | 434 | 204 | 451 | 1523 |
| LIVING TOTAL | 1517 | 1568 | 1395 | 1619 | 6099 |
| DECKS | 264 | 314 | 175 | 337 | 1090 |
| GARAGES | 285 | 286 | 208 | 211 | 870 |

BUILDING (DUPLEX) TOTALS:
 *GROSS DUPLEX: UNITS A+B+C = 1517 + 1596 = 2913 LIVING GFA
 *NET DUPLEX: UNITS B+C+D = 1568 + 1619 = 3187 " "

GREEN CODE NOTES

- 17 "Automatic fire-alarm systems installed at the base of each inspection shall be weather sealed." (CGSBC 4.504.1)
- 18 "Joints and openings, exterior spaces around pipes, electric cables, conduits, or other openings in exterior walls shall be protected against the passage of outside air by closing such openings with weather resistant, concrete masonry or similar material acceptable to the enforcing agency." (CGSBC 4.608.1)
- 19 "A minimum of 50 percent of the construction waste generated at the site is directed to recycle or salvage per CGSBC Section 4.605.1 and City ordinance.
- 20 "Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of the maintenance manual." (CGSBC 4.410.)
- 21 "Duct openings and other related air distribution component openings shall be covered during construction." (CGSBC 4.504.1)
- 22 "Adhesives, sealants and caulk shall be compliant with VOC and other toxic compound limits." (CGSBC 4.504.2.1) (New Issue)
- 23 "Paints, stains and other coatings shall be compliant with VOC limits." (CGSBC 4.504.2.2)
- 24 "Aerosol paints and coatings shall be compliant with product weight based limits for VOC and other toxic compounds." (CGSBC 4.504.2.1)
- 25 "Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building inspector." (CGSBC 4.504.2.4)
- 26 "Carpet and carpet systems shall be compliant with VOC limits. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building inspector." (CGSBC 4.504.3)
- 27 "75 percent of floor area meeting resistant flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score program." (CGSBC 4.504.4)

- 28 "Particulate, medium density fiberboard (MDF), and hardwood plywood used in interior finish cover certifying what material has been used and documenting its compliance with the Code must be submitted to the building inspector." (CGSBC 4.504.5)
- 29 "Building materials with visible signs of water damage shall not be installed. Walls and floor framing shall not be enclosed when framing members exceed 19% moisture content."
- 30 "The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter. A certificate of compliance indicating date of test, location and results issued by the framer subcontractor or General contractor must be submitted to the building inspector." (CGSBC 4.505.3)
- 31 "Exhaust fans which terminate outside the building are provided in every bathroom that contains a shower or tub. Exhaust fans shall have a separate wind or weather resistant system, fans must be controlled by a thermostat with separate thermostat for each fan."
- 32 "Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wind or weather rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input."
- 33 "Per 2010 Green Code Sec 4.503.1 Any installed gas fireplace shall be a direct-vent sealed-distribution type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances."

PLAN NOTES: (TYP.) ATTACHMENT 11

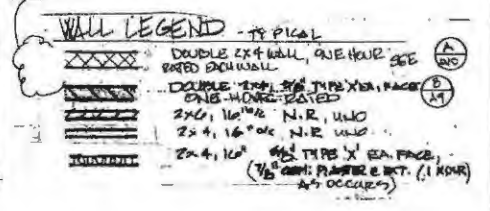
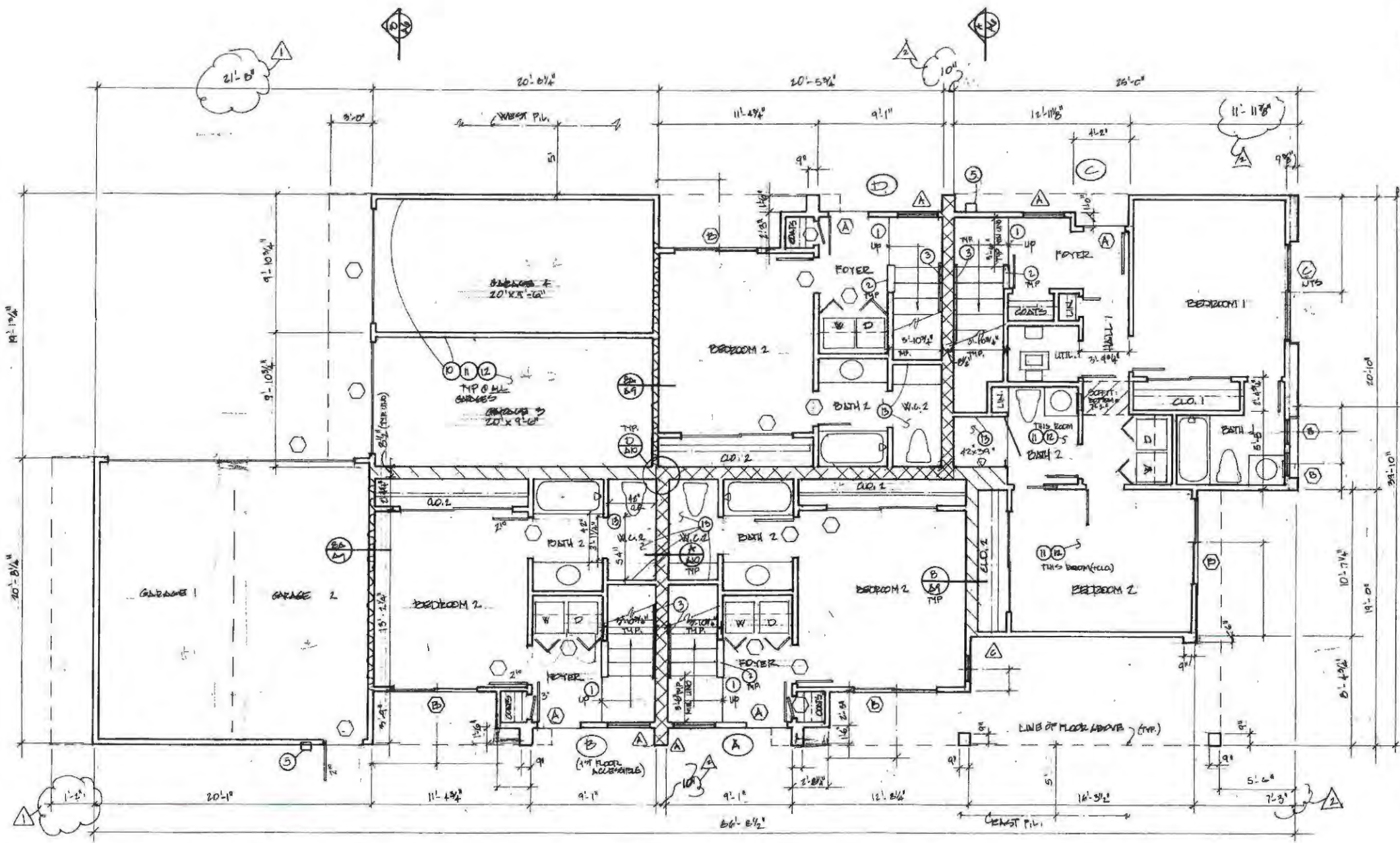
- 1 STAIRS: 1/2" R 2 7/8" EA. RUN = 10'4 1/2" NOSE (MIN. D) WITH 1/2" R 2 7/8" MIN. RADIUS - 6" DIA. MIN. DIA. 2" OR 2 1/2" DIA.
- 2 GUNDRILL: 8" x 42" ABOVE TREAD/NOSE, MAX. BALUSTER SPACING: 4"
- 3 HANDRAIL: 2" DIA. ABOVE TREAD/NOSE, MAX. BALUSTER SPACING: 4", BETWEEN RAIL TO WALL OR POST RAIL TO MIN. 1 1/2"
- 4 METAL FIREPLACE: 1/2" NON-COMBUSTIBLE HEARTH, BY DESSAPATI, 10000-1042 (OR EQV.) INSTALL PER MFG SPEC.
- 5 FIRE EXTINGUISHERS: IN COMM - RECESSED CAB. IN WALL 2-1/2' DIA.
- 6 MAINTAIN ONE HOUR RATING (IN RATED WALLS) BEHIND FIREPLACES, TUBS, MTD. CABINETS, CHIMNEYS, SOFFITS, ETC.
- 7 SEE SMT. #10-12 FOR ELECTRICAL & PLUMBING PENETRATION NOTES
- 8 MAINTAIN 7'-0" MIN. HEIGHT IN HALLS, KITCHENS, DINING (MIN) MAINTAIN MIN. 7'-0" DIA. FOR ALL HORIZONTAL BEAMS
- 9 SEE SMT. #9 FOR DRAFT & FIRESTOP NOTES
- 10 3/8" TYPE 'X' GYP. BD. ON ALL WALLS & ALL CEILING (EX. FACE)
- 11 2-1/8" TYPE 'X' GYP. BD. 4' RESIL. CHANNEL (2" DIA) AT CORNERS
- 12 HOLE, SPT. 1 ONE HOUR RATED FLOOR/CGL (RATED ONLY BEHIND FIREPLACES)
- 13 3/8" TYPE 'X' GYP. BD. ON ALL C/LG/WALLS & LIN. & C/LG. PARTS (UNDERCOUNTER AREAS)
- 14 DECK FINISHES: "DEC-O-TEX" POLYURETHANE COATING 1CC/BSF 1751 (OR EQV.) 7'-0" x 7'-0" FLYWOOD 1/4" BLOCKED DECK, CLASS 'A' RECEIVING & RETROFITTING
- 15 STAIRS: 1/2" R 2 7/8" EA. RUN = 10'4 1/2" NOSE, W = 4 2/4"

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FELSPAR TOWNHOMES
 FOUR TOWNHOME DWELLINGS
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 SAN DIEGO, CALIFORNIA 92109

△ 5/11/14
 △ 9/2/15
 PER AGREEMENT BY PUB. OFFICIAL

A1



FIRST FLOOR PLAN

- SEE MFG PER SMOKE & CO DETECTORS

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 SAN DIEGO, CALIFORNIA 92109

PROJECT TITLE: FELSPAR TOWNHOMES

SHEET TITLE: _____
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____

SHEET OF: _____

REVISION 1: 5/11/14 REVISION 4: _____
 REVISION 2: _____ REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

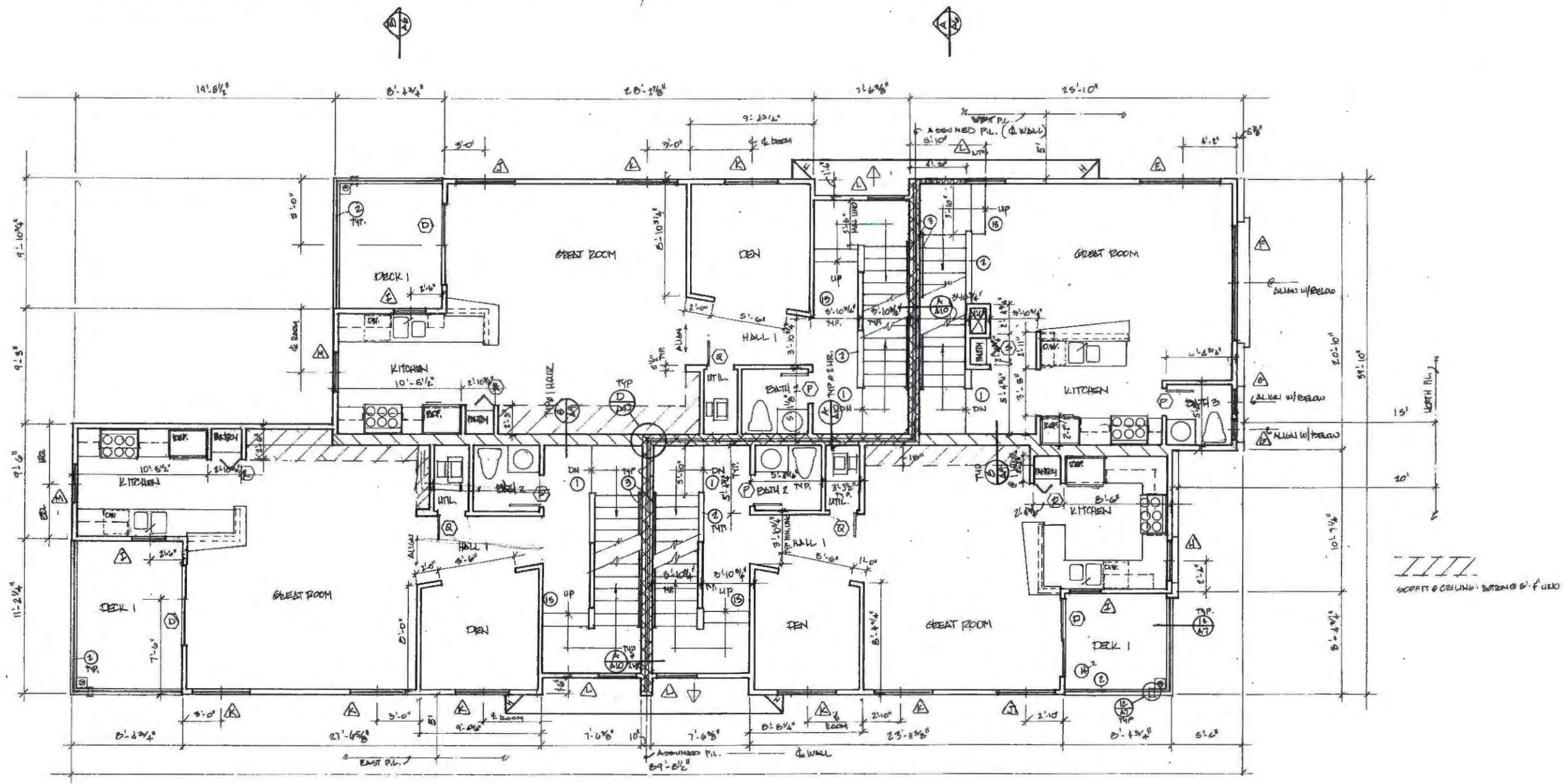
ACCESSIBILITY NOTES:
(FOR UNIT 'B', FIRST FLOOR ONLY)

- 22 Interior passage doors serving multifamily units shall have hardware centered between 30 inches (762 mm) and 44 inches (1118 mm) above the floor, and be operable with a single effort by lever type hardware. (Sec. 1134A.8)
- 23 All dimensions pertaining to the accessibility provisions shall be shown / noted in the plans as "_____ inches clear."
- 24 The minimum height of water closet seats shall be 15 inches (381 mm) above the floor. (Sections 1134A.3-3 and 1134A.7-3.)
- 25 Water closet controls shall be mounted no more than 44 inches (1118 mm) above the floor. The force required to activate controls shall be no greater than 5 pound-force (22.2 N). (Sections 1134A.3-3 and 1134A.7-4.)
- 26 Bathrooms or powder rooms required to be accessible shall have at least one accessible lavatory. Where mirrors or towel fixtures are provided, at least one of each shall be mounted with the bottom edge no higher than 40 inches (1016 mm) from the floor. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 27 Vanities and lavatories shall be installed with the centerline of the fixture a minimum of 18 inches (457 mm) horizontally from an adjoining wall or fixture to allow for forward approach. When parallel approach is provided, lavatories shall be installed with the centerline of the fixture a minimum of 24 inches (610 mm) horizontally from an adjoining wall or fixture. The top of the fixture rim shall be a maximum of 34 inches (864 mm) above the finished floor. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 28 Cabinets under lavatories are acceptable provided the bathroom has space to allow a parallel approach by a person in a wheelchair and the lavatory cabinets are designed with adaptable knee and toe space. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 29 The knee space shall be at least 30 inches (762 mm) wide and 8 inches deep (203.2 mm), at least 20 inches (508 mm) high at the front face, reducing to not less than 27 inches (686 mm) at a point 8 inches (203.2 mm) back from the front edge. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 30 The knee and toe space required for a sink shall be provided by one of the following:
- The space beneath the lavatory shall be left clear and unobstructed.
- Any cabinet beneath the lavatory shall be removable without the use of specialized knowledge or specialized tools or,
- Doors to the cabinet beneath the lavatory shall be removable or operable to provide the required unobstructed knee and toe space. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 31 The finished floor beneath the lavatory shall be extended to the wall. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 32 Hot water and drain pipes exposed under lavatories shall be insulated or otherwise covered. There shall be no sharp or abrasive surfaces under lavatories. (Sections 1134A.2, 1134A.3 and 1134A.8)
- 33 Water closets shall be located within bathrooms in a manner that permits a grab bar to be installed on one side of the fixture. In locations where water closets are adjacent to walls or bathtubs, the centerline of the fixture shall be a minimum of 18 inches (457 mm) from the obstacle. The other (non grab bar) side of the water closet shall be a minimum of 8 inches (457 mm) from the centerline of the fixture to the finished surface of adjoining walls, vanities or from the edge of a lavatory. (Sec. 1134A.7-1)
- 34 Provide nominal 6 inch (152.4 mm) high reinforcement on both sides or one side and rear of water closets placed adjacent to a side wall. Install reinforcement between 32 (813 mm) and 38 inches (965 mm) above the floor. Rear backing shall be at least 40 inches (1016 mm) long. Side reinforcement shall be a maximum of 12 inches (305 mm) from the rear wall extending a minimum of 28 inches (690 mm) in front of the water closet. If water closets are not placed adjacent to a side wall, provide for installation of floor-mounted, foldaway or similar alternative grab bars. (Sec. 1134A.7-2)
- 35 Switches, outlets and controls for bathrooms and powder rooms shall comply with Section 1142A. (Sections 1134A.2 and 1134A.3)
- 36 Install grab bar reinforcements at each end of a bathtub, 32 to 38 inches (813 mm to 965 mm) above the floor, starting at the front face of the tub extending 24 inches minimum to the back for bathtubs with surrounding walls. Provide grab bar reinforcements at the bathtub back wall starting within 6 inches (152 mm) above the bathtub rim, extending up to at least 38 inches above the floor, and extending horizontally to within 6 inches of the end walls. Bathtubs without surrounding walls in multifamily units shall have reinforcing installed for floor mounted grab bars. (Sec. 1134A.6-2)
- 37 The current governing California Building Code is more restrictive than the California Electrical Code. To avoid any confusion please the following notes on both the architectural and electrical plans.
38 Switch and control heights. The top of the outlet box for switches used to control thermostats, and other environmental controls shall be located no higher than 48 inches (1219 mm) and no lower than 15 inches (381 mm) to the bottom of the box above the floor. (Sections 404.8 of the California Electric Code, 1136A.2 and 1142A.2)

- Fire Sprinkler Alarm Notes**
- (A) Provide an automatic fire alarm system per section 907.2.8.2 and smoke alarms per section 907.2.8. The alarms must be checked and approved by the fire department.
 - (B) Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19.
 - (C) "During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC 1415.1."
 - (D) "Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 14. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 28."
 - (E) "Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 603.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego."
 - (F) "Complete plans and specifications for all fire extinguishing systems, including automatic sprinkler and standpipe systems and other special fire extinguishing systems and related appearances shall be submitted to the City of San Diego for review and approval prior to installation." CFC 901.2
 - (G) "Complete plans and specifications for fire alarm systems shall be submitted to the City of San Diego Development Services for review and approval prior to installation." CFC 907.1.1"

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FELSPAR TOWNHOMES
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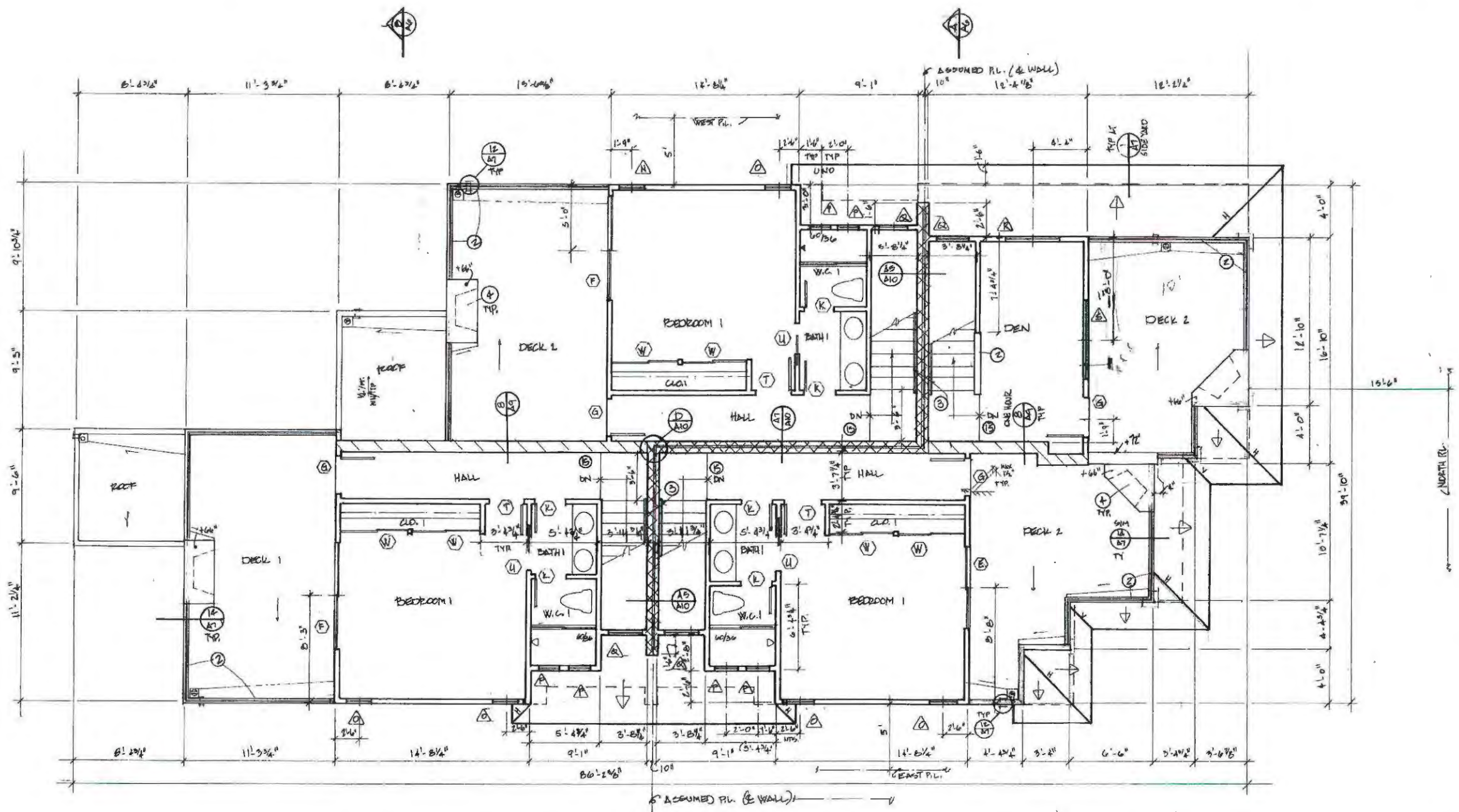
SECOND FLOOR PLAN

- SEE ME2 FOR SMOKE & CO DETECTORS
- SEE A1 FOR PLAN NOTES & WALL LEGEND

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PROJECT TITLE: FELSPAR TOWNHOMES
SHEET TITLE: _____
ORIGINAL DATE: _____
PROJECT NUMBER: _____
SHEET NUMBER: _____
REVISION 1: 5/11/14 REVISION 4: _____
REVISION 2: _____ REVISION 5: _____
REVISION 3: _____ REVISION 6: _____

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FELSPAR TOWNHOMES
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THIRD FLOOR PLAN
 - SEE A1 PER PLAN NOTES: ① & WALL LEGEND
 - 600 MBS PER SMOKE & CO DETECTORS

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 PROJECT TITLE: FELSPAR TOWNHOMES
 SHEET TITLE: _____
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
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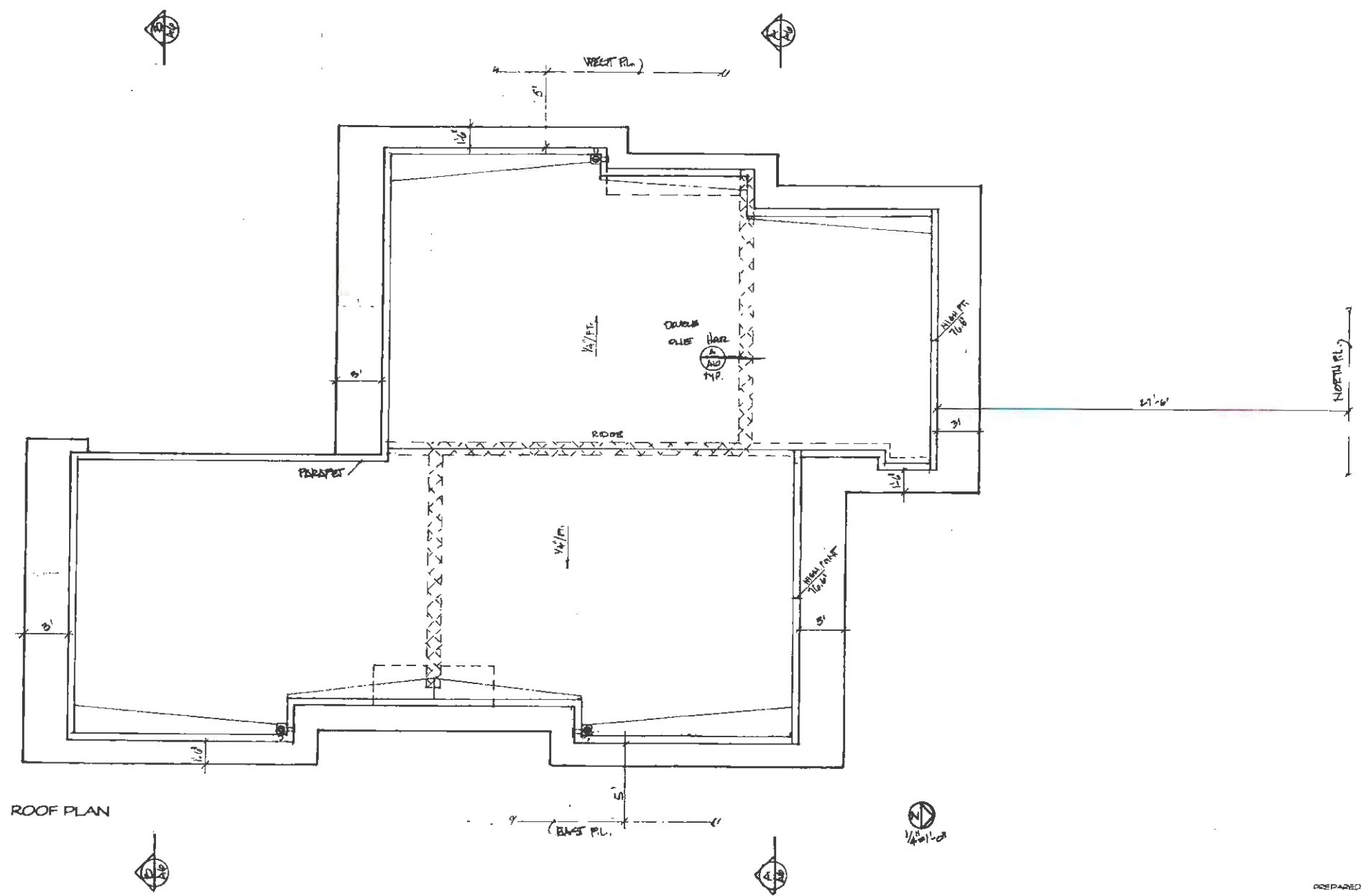
A3

ROOF NOTES

- 1 SLOPED ROOF PITCHES TO BE 2 / 12 UNO
- 2 FLAT ROOFS TO SLOPE MIN 1/8" PER FT.
- 3 ROOFING MATERIAL AT 2 / 12 ROOFS AND FASCIA PER PLAN STANDING SEAM METAL CLASS 'A' RATED ASSEMBLY. INSTALL PER MFG. SPEC. AND LOCAL CODE. ROOFING OVER 1" LAYER OF 30# BUILDING PAPER OR PER MFG. SPEC.
- 4 FLAT ROOF, 3-PLY BUILT-UP ROOFING, CLASS 'A' RATED ASSEMBLY OR SINGLE PLY TORCH-DOWN BY DBTEN, ICBO NERASS OR EQUAL, CLASS 'A' RATED ASSEMBLY.
- 5 ALL PENETRATIONS TO BE TOWARDS REAR OF BUILDINGS
- 6 ALL PENETRATIONS TO BE FULLY FLASHED/COUNTER FLASHED WITH 16 OZ. COPPER
- 7 ALL VALLEYS TO BE FLASHED W/ 16 OZ. COPPER
- 8 PROVIDE ROOF DRAINS TO DOWNSPOUTS AND OVERFLOWS TO DAYLIGHT AT FLAT AREAS PER PLAN
- 9 DECK COATING, 'DEX-O-TEX' (KCC/ESR 1757) OR EQUAL. INSTALL PER MFG. SPEC. AND LOCAL CODE.

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ROOF PLAN

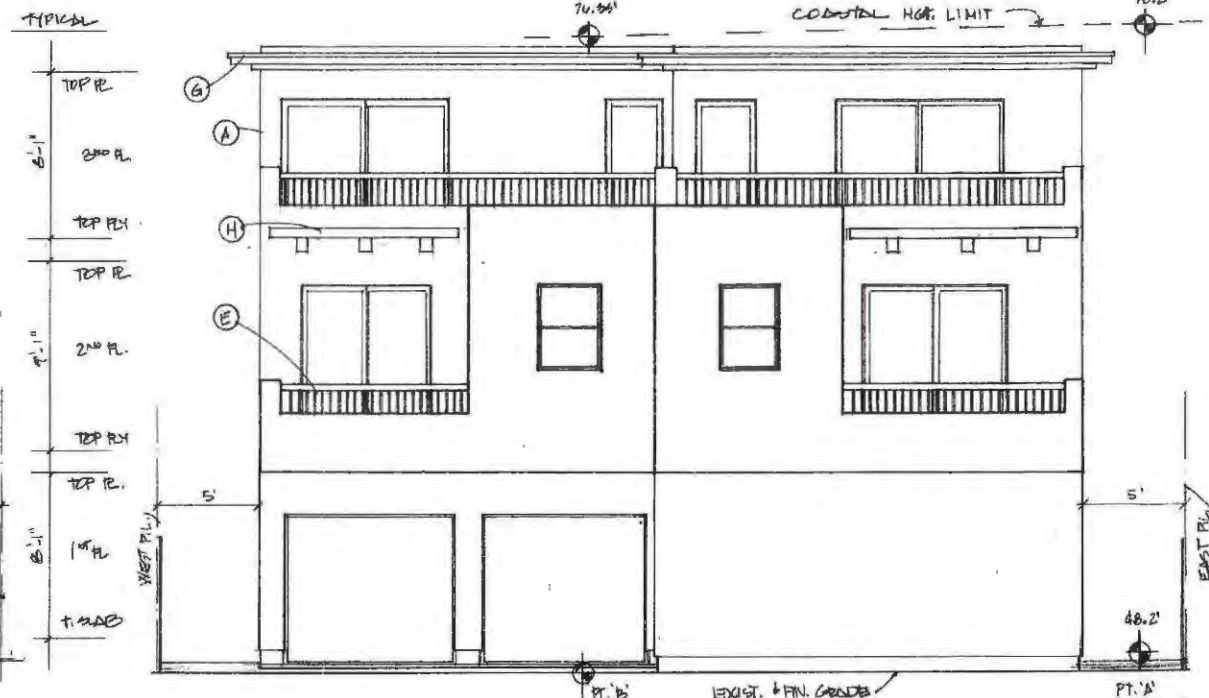
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 PROJECT ADDRESS: 1141-1147 FELSPAR STREET
 SAN DIEGO, CALIFORNIA 92109
 PROJECT TITLE: FELSPAR TOWNHOMES
 SHEET TITLE: ROOF PLAN
 ORIGINAL DATE: 01/01/15
 PROJECT NUMBER: _____
 SHEET: 2 OF _____
 REVISION 1: _____ REVISION 4: _____
 REVISION 2: _____ REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

ELEVATION LEGEND - TYP.

- (A) STUCCO: 7/8" MIN. "SPAND" FINISH, COLOR BY QUINCY
- (B) CONSTRUCTION JOINT: ALUMINUM ROSETT
- (C) VENEER STONE: "EL DORADO STONE" PER MFG. SPEC
- (D) SIDING: SHIP LAP WOOD SIDING
- (E) GUARDRAIL: METAL BALLSTOPS W/ WOOD TOP
- (F) ROOFING: STANDING SEAM METAL
- (G) FASCIA: METAL TO MATCH ROOFING
- (H) TRELLIS: WOOD TRELLIS



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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 PROJECT TITLE: FELSPAR TOWNHOMES
 SHEET TITLE: EXTERIOR ELEVATIONS
 ORIGINAL DATE: 3/10/18
 PROJECT NUMBER: 21018
 SHEET 4 OF 9

REVISION 1: 5/20/18 REVISION 4: _____
 REVISION 2: _____ REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

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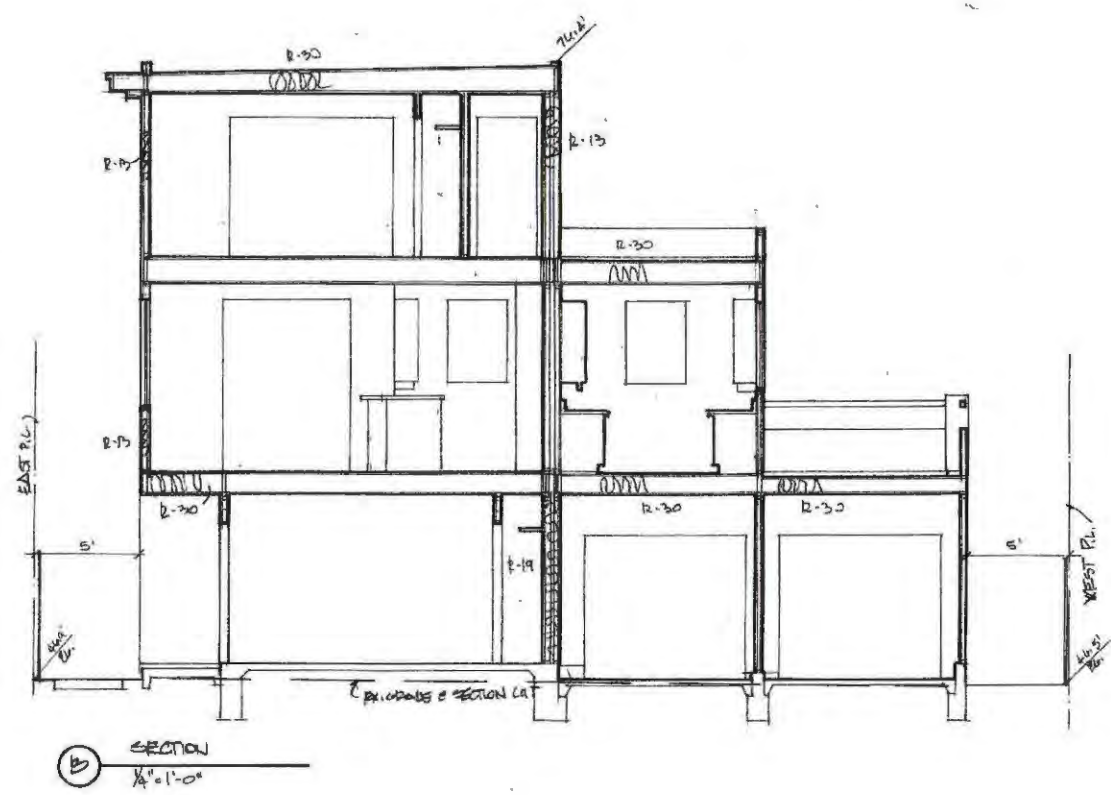
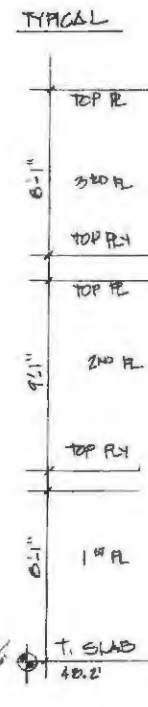
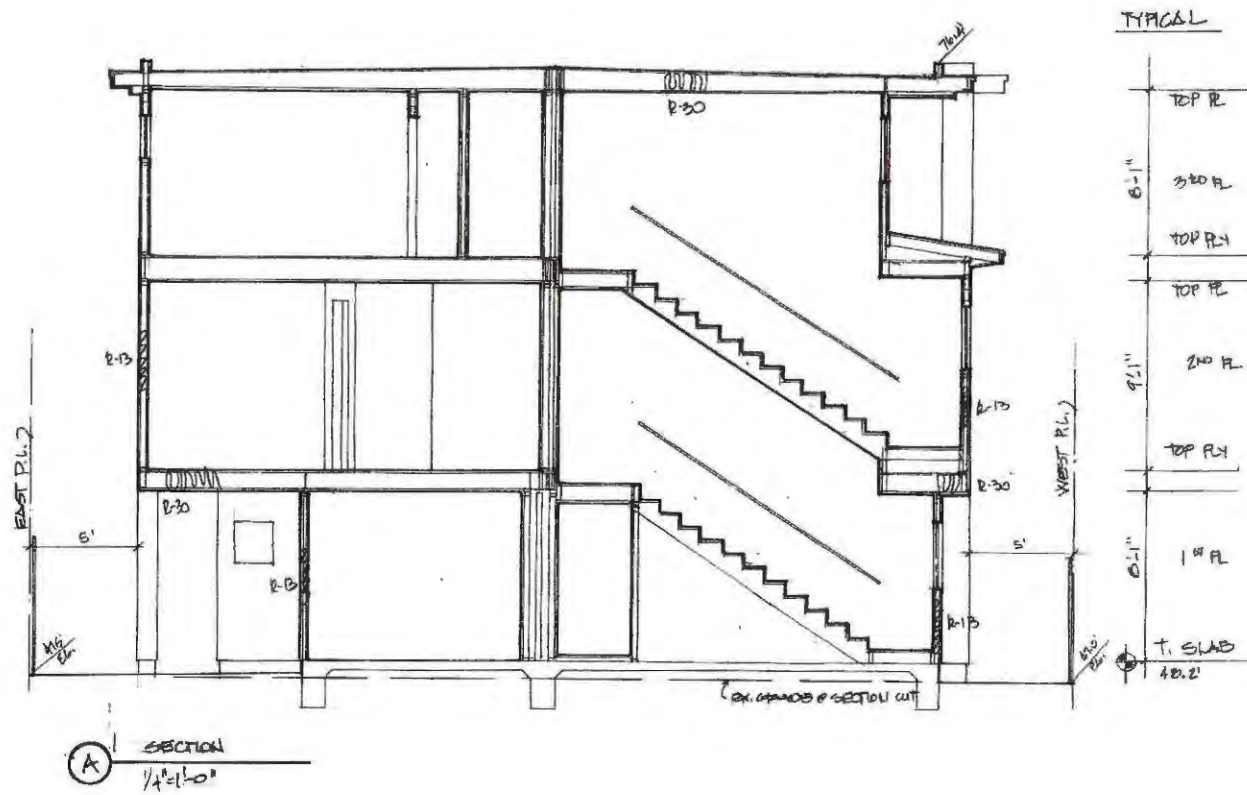
FELSPAR TOWNHOMES
 FOUR TOWNHOME DWELLINGS
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A5

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FELSPAR TOWNHOMES
 FOUR TOWNHOME DWELLINGS
 141-147 FELSPAR STREET
 SAN DIEGO, CALIFORNIA 92109

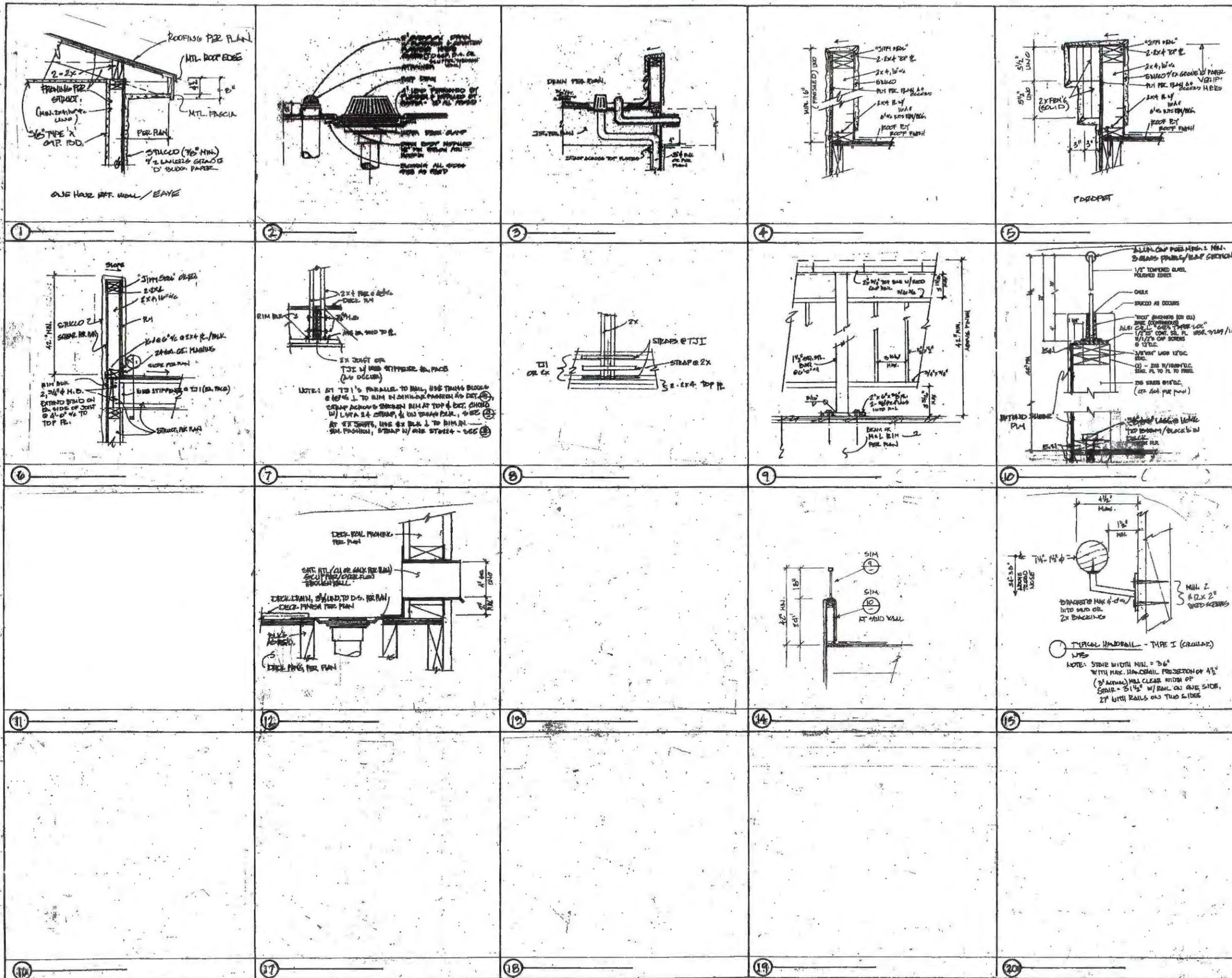
A6



WEST ELEVATION
 - SEE SUBMITTAL LEGEND A5

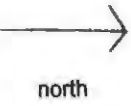
PREPARED BY: DANIEL LINN ARCHITECT
 5732 BELLEVUE AVE
 LA JOLLA, CA 92037
 PROJECT ADDRESS: 141-147 FELSPAR STREET,
 SAN DIEGO, CALIFORNIA 92109
 PROJECT TITLE: FELSPAR TOWNHOMES
 SHEET TITLE: EXT. ELEV. & P.L.DS., SECTIONS
 ORIGINAL DATE: 7/20/15
 PROJECT NUMBER: 14015
 SHEET: 7 OF 9

REVISION 1: 5/29/17
 REVISION 2: _____
 REVISION 3: _____
 REVISION 4: _____
 REVISION 5: _____
 REVISION 6: _____

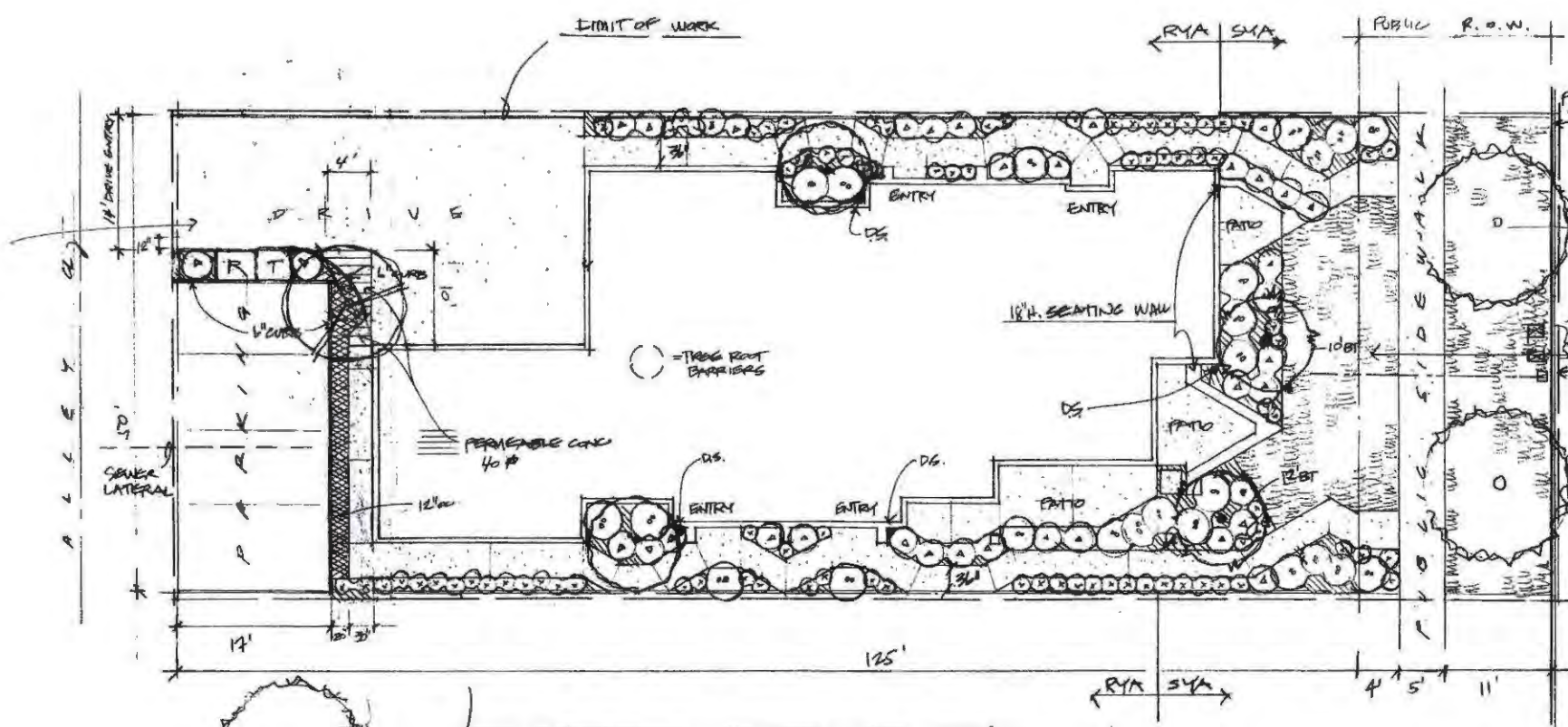


Daniel Linn architect
 5732 Bellevue Avenue
 858 459-5108
 616 459-5108
 616 459-5108





V.V.A. 1994: #
05/14 = 55%
Ach. # 124



PUBLIC R.O.W.
TOTAL AREA 1000 ft²
HARDSCAPE 282 ft²
LANDSCAPE 718 ft²

TURF - RECREATIONAL
USE AREA

| | |
|-----------------------|-----|
| S.Y. A. REQ. | |
| AREA TOTAL | 918 |
| REQ. LANDSCAPE | 459 |
| HARDSCAPE | 201 |
| ACHIEVED | 717 |
| S.Y. PLANT PG REQ. 40 | |
| ACHIEVED | 127 |
| R.Y. A. REQ. 60 PG | |
| ACHIEVED | 176 |

| SYMBOL | FORM/FUNCTION | QUAN | BOTANICAL | COMMON | SIZE | MATURE HT. | SPREAD |
|----------------------------|----------------------------|------|----------------------|--|--------|------------|--------|
| | Street Tree | (2) | Jacaranda | Jacaranda | 24" bx | 25' | 18' |
| | Palm | (2) | COCCO PLUMOSA | QUEEN PALM PER PLAN | | 40' | 8' |
| | Patio Tree | (3) | Bauhinia | Orchid | 36" bx | 16' | 12' |
| | Vertical Evergreen | (2) | Tristania Conferta | Brisbane Box | 24" | 18' | 12' |
| SHRUBS/GROUND COVER | | | | | | | |
| | Background/Screen | (7) | Leptospermum | var: 'Ruby Glow' | 156" | 6" | 4" |
| | Plant for a Base Landscape | | Phormium Tenax | Flax | 156" | 6" | 3" |
| | Mounding | (18) | Prothia | Phodala | 156" | 6" | 4" |
| | Low Mounding | (35) | Raphiolois Indica | var: 'Jack Evans' | 56" | 4" | 4" |
| | | | Pittosporum Tobira | var: 'Variegata' | 56" | 4" | 4" |
| | | | Cistus | Rockrose | 56" | 4" | 4" |
| | | | Levandula Dentata | Lavender | 56" | 3" | 3" |
| | | | Raphiolepis Indica | var: 'Ballerina' | 56" | 3" | 3" |
| | | | Trachelospermum Jas. | Star Jas. (bush form) | 16" | 2" | 3" |
| | | | Lantana mont. | Purple Lantana | 16" | 2" | 3" |
| | Perennial Color | (75) | Agapanthus | Lily of the Nile | 16" | 1.5' | 1.5' |
| | | | Hemerocallis | Daylily | 16" | 1.5' | 1.5' |
| | Turf | | Marathon II | Fescue Grass | Sod | | |
| | Mulch | | | Shredded bark mulch Min. 2" deep all planter areas | | | |

V.V.A. GROUND COVER (70) ALUGA REPTANS CARPET BALE 12' 6" 12' Plant @ 12" sq

NOTE: D.S. = DOWNSPOUT LOCATION
SURFACE DRAIN TO STREET/ALLEY

design statement:
property located at 1141 Felspar Street, San Diego CA, having a Coastal Development (Discretionary) Permit required shall have Landscape Planning developed in accordance with City and Regional Stds. Street Trees shall be Jacaranda as approved species within the Pacific Beach Community Street Plan, District 3.
No Existing Specimen Tree or Plant Materials are on site. All existing plant material located within the area defined as "Limit Of Work" shall be removed and replaced with size and kind described on planting plan. An Automatic Irrigation System shall be installed as per SD LTM to ensure healthy growth. All Plant materials chosen shall enhance the Architecture and be of a low maintenance and low water use variety. Irrigation system for all Planting areas shall be drip type for water conservation.

NOTE: ALL PLANT MATERIALS SHALL BE PROVIDED WITH 2" DIA. ROOT BARRIERS AND PLANTED IN AN AREA AND WATER PERMEABLE LANDSCAPE AREA MIN. DIM. 5'

Note: All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

Note: All landscape installation shall be maintained in accordance with the City of San Diego's Land Development Manual Landscape Standards.

Note: Maintenance: All required landscape areas shall be maintained by the owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Discarded or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

Note: Root barriers shall be placed at all trees within 10' of walks or driveways.

Note: If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired or replaced in kind and of equivalent size per the approved plans.

MINIMUM TREE SEPARATION DISTANCES

| Improvement | Min. distance to street |
|---------------------------------|-------------------------|
| Street Light | 10' |
| Traffic signal top sign | 20' |
| Underground utility lines | 5' |
| Above ground utility structures | 10' |
| Driveway width | 10' |
| Intersecting curbs of 2 streets | 25' |

Note: Irrigation: An irrigation system shall be provided as required for proper irrigation, development and maintenance of the vegetation. The design shall provide adequate support for the vegetation selected.

Note: Irrigation systems are to be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards.

Prepared by: OUTSIDE DIMENSIONS

15748 Paseo Penasco
Escondido, CA 92025

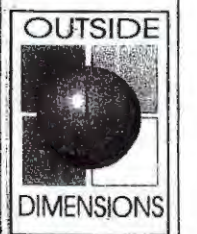
Contact: Steven Ames
Cell: 619/977 2943
E-mail: steve@outwood.com

Project Name: FELSPAR ST CONDOS
Project Address: 1141 FELSPAR ST
SAN DIEGO, CA
Sheet Title: LANDSCAPE DEV. PLAN

Rev 4
Rev 2: 11/9/10
Rev 1: 8/17/15
Orig date: 5/10/15
Sheet of
Depth

landscape development plan

1141 Felspar Street
San Diego, California



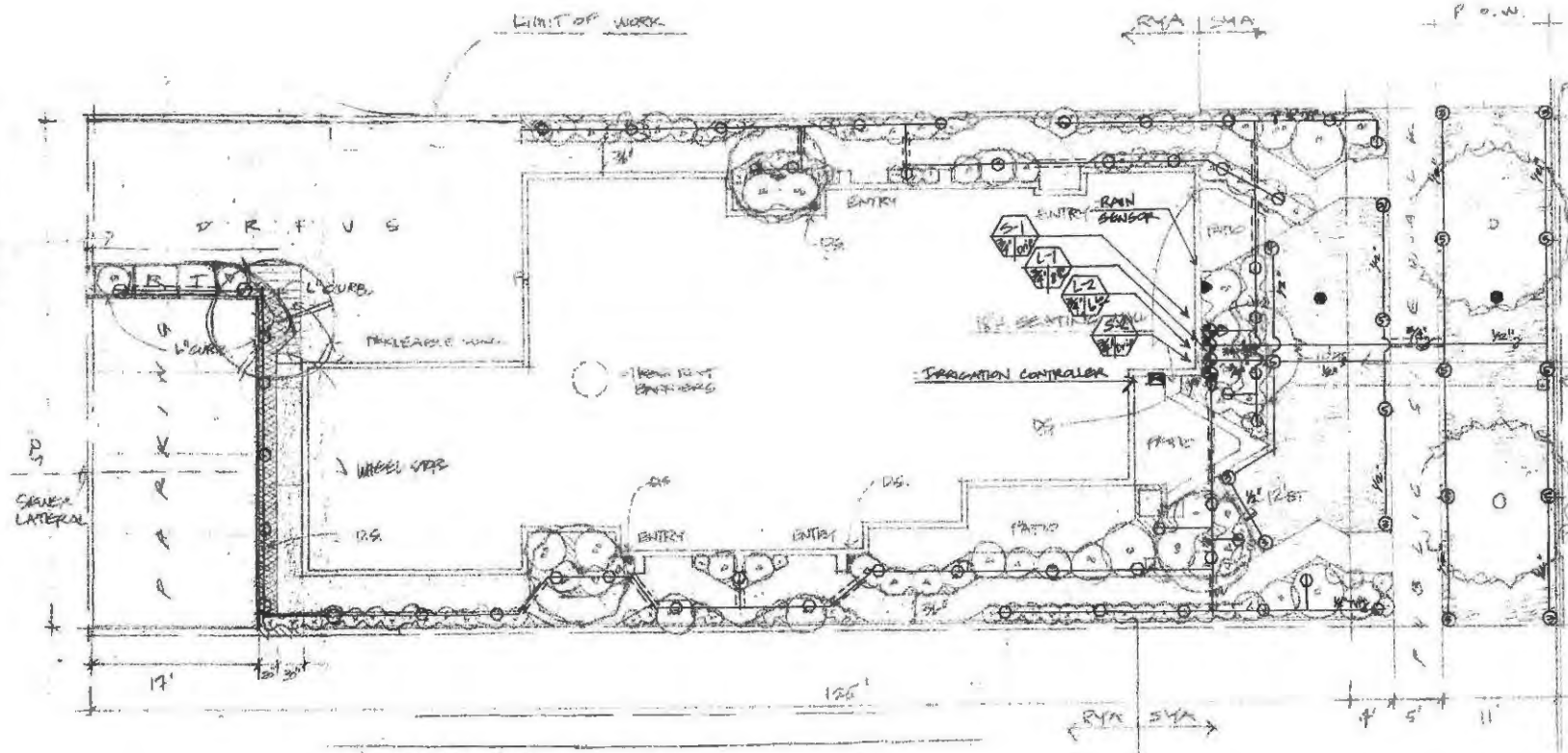
landscape design
phone 619-977-2943
fax 619-977-2943
15748 Paseo Penasco
Escondido, CA 92025

Date: 5/10/15
Scale: 1/8" = 1'-0"
Drawn: Steven Ames
Rev:

L-1

north

V.V.A. 1102#
05/10 = 55 FT
10/11 64 FT



| S.Y.A. REQ. | |
|-------------------------|-----|
| AREA TOTAL | 918 |
| REQ. LANDSCAPE | 459 |
| ACHIEVED | 201 |
| S.Y. PLANT FT'S REQ. 46 | |
| ACHIEVED | 129 |
| R.Y.A. REQ. 60 FT'S | |
| ACHIEVED | 176 |

IRRIGATION EQUIPMENT

| SYMBOL | MANUFACT. | MODEL # | DESCRIPTION |
|---------|-----------|---------|--|
| IRRTROL | MC | | IRRIGATION CONTROLLER (Detail A, L-4) |
| RAINBRD | | | 3" ELECTRIC IRRIGATION CONTROL VALVE (Detail E, L-4) |
| RAINBRD | XC2-075 | | XERIGATION ASST. PLASTIC ELECT. IRR. CONT. VALVE (Detail E, L-4) |
| AGRFRM | 30-1 | | WYE FILTER W/3PSI PRESSURE REGULATOR (Detail I, L-4) |
| LASCO | CLASS 200 | | PVC PLASTIC LATERAL IRR. PIPING (Detail D, L-4) |
| LASCO | 8CH 40 | | PVC SLEEVE, 3" UNDER DRIVER, 2" DIA. PIPE SLEEVED |
| PEPCO | 688-12 | | DRIP EMITTER HEAD IN DISTRIBUTION BOX (Detail J, L-4) |
| RAINARD | RO | | RAIN SHUTOFF DEVICE |
| WCS | HV2 | | TENSIONMETER (MOISTURE SENSOR) @ TURF AREAS |

IRRIGATION HEADS

| SYMBOL | MANUFACT. | MODEL # | PSI | GPM | RAD | ARC | DESCRIPTION |
|--------|-----------|-------------|------|------|-----|-----|-----------------------------------|
| 1 | TORO | 574PL-50 85 | 3 | 4.18 | 18' | 90° | POP-UP TURF SPRAY (Detail L, L-4) |
| 2 | TORO | 574PA-50T | 1.75 | 1.75 | 18' | 90° | POP-UP TURF SPRAY (Detail L, L-4) |
| 3 | TORO | 574L2 90 | 1.0 | 1.0 | 18' | 90° | POP-UP TURF SPRAY (Detail L, L-4) |
| 4 | TORO | 574L2 90 | 1.3 | 1.3 | 18' | 90° | POP-UP TURF SPRAY (Detail L, L-4) |
| 5 | TORO | 574L2 90 | 1.8 | 1.8 | 18' | 90° | POP-UP TURF SPRAY (Detail L, L-4) |
| 6 | TORO | 574L2 90 | 2.0 | 2.0 | 18' | 90° | POP-UP TURF SPRAY (Detail L, L-4) |

Note: Irr. Systems are to be installed as shown on the plans and in accordance with the criteria and standards of the LTM and other applicable codes, as of the approved date of these plans.
Note: Point of connection for irrigation control valves shall be of 3/4" copper pipe at building entry. Refer to MLC-1 for location.
Note: This design is diagrammatic. All piping, valves, etc. shown within paved areas is for design identification only and shall be installed in planting areas.
Note: It is the responsibility of the irrigation contractor to fertilize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls and under paving.
Note: Verify location and depth of utilities and services prior to excavation. Notify owner's representative of any discrepancies between existing site conditions and proposed design prior to construction.
Note: All main line piping and control line wires under paving shall be installed in separate sleeves. Main line sleeve size shall be a minimum twice (2x) the diameter of the pipe to be sleeved. Control wire sleeves shall be (2x) diameter of the wire bundle (with 2" pipe) mark sleeve @ curb on installation and the use of marking tape shall be typical of all sleeves.
Note: All lateral line piping under paving shall be PVC SCH 40 pipe and shall be installed prior to paving.
Note: Flush and adjust all irrigation lines, emitter heads and valves for optimum coverage with minimal overspray onto walls, streets, walk, etc.
Note: Coordinate 120V AC power hook-up to the controller.
Note: All electric wiring shall be irrigation control cable TYPE UF DIRECT BURIAL. Control wires shall be a different color than ground wire. All wire size is #14 unless otherwise specified.
Note: All lateral drip lines shall be PVC Class 315. All emitter heads shall be inside below grade distribution boxes unless otherwise specified.
Note: All elpho valves shall be min. 18" above the highest emitter. Inlet and outlet risers to valve shall be SCH 40 Gray.
Note: Refer to specifications for additional information.

NOTE: U.S. DRAINAGE LOCATION SURFACE DRAIN TO STREET / ALLEY

NOTE: ALL LANDSCAPE TREES SHALL BE PROVIDED WITH 40" DIA. ROOT BARS AND PLANTED WITH AIR AND WATER PERMEABLE LANDSCAPE AREA MINS. DIM. 5'

Note: All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

Note: All landscape installation shall be maintained in accordance with the City of San Diego's Land Development Manual Landscape Standards.

Note: Maintenance: All required landscape areas shall be maintained by the owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Damaged or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

Note: Root barriers shall be placed at all trees within 5' of walls or driveways.

Note: If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired or replaced in kind and of equivalent size per the approved plans.

MINIMUM TREE SEPARATION DISTANCES

| Improvement | Min. distance to street/vee |
|---------------------------------|-----------------------------|
| Street Light | 10' |
| Street Light/stop sign | 20' |
| Traffic signal/stop sign | 20' |
| Underground utility lines | 5' |
| Above ground utility structures | 10' |
| Driveway entries | 10' |
| Intersecting curbs of 2 streets | 25' |

Note: Irrigation: An irrigation system shall be provided as required for proper irrigation, development and maintenance of the vegetation. The design shall provide adequate support for the vegetation selected.

Note: Irrigation systems are to be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 12.0401 and the City of San Diego Land Development Manual Landscape Standards.

Prepared by: **OUTSIDE DIMENSIONS**
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 Escondido, CA 92025
 Contact: Steven Amos
 Cell: 619/577-2943
 E-mail: steven@outside-dimensions.com
 Project Name: San Diego
 Project Address: San Diego
 Sheet Title: IRRIGATION PLAN

Rev 1: 11/11
 Rev 2: 12/11
 Rev 3: 1/12
 Date: 12/11
 Scale: 1" = 10'
 Drawn: Steven
 Rev: 1

Sheet 1 of 1
 Date: 1/12

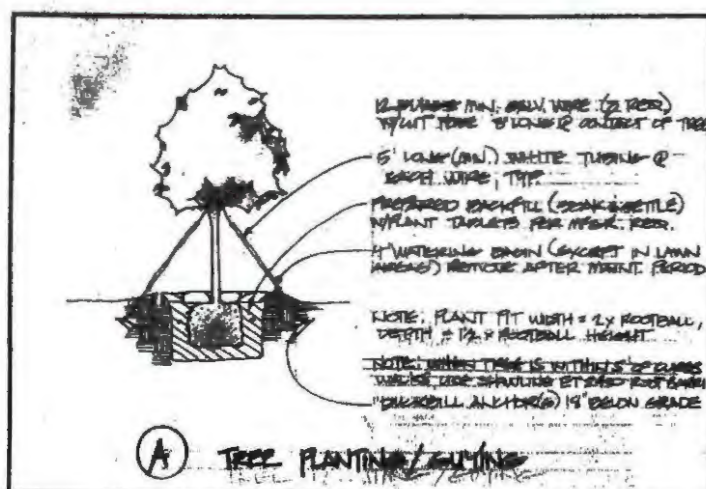
irrigation plan

1141-147 FELSPAR STREET
 SAN DIEGO, CALIFORNIA 92109

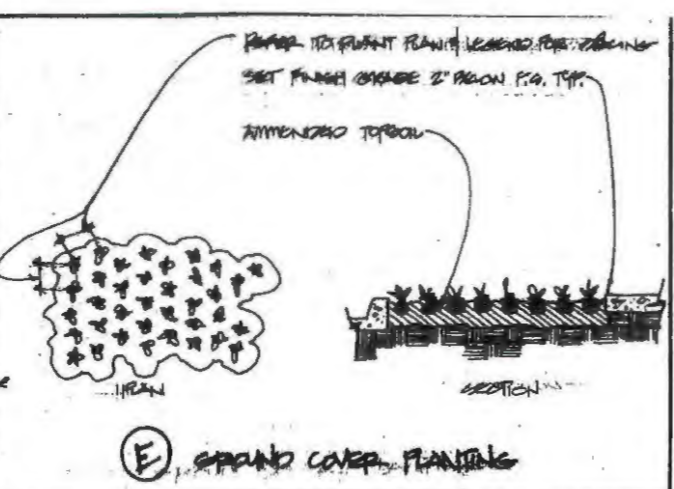


landscape design
 phone: 619-777-2943
 1141-147 Felspar Street
 San Diego, CA 92109

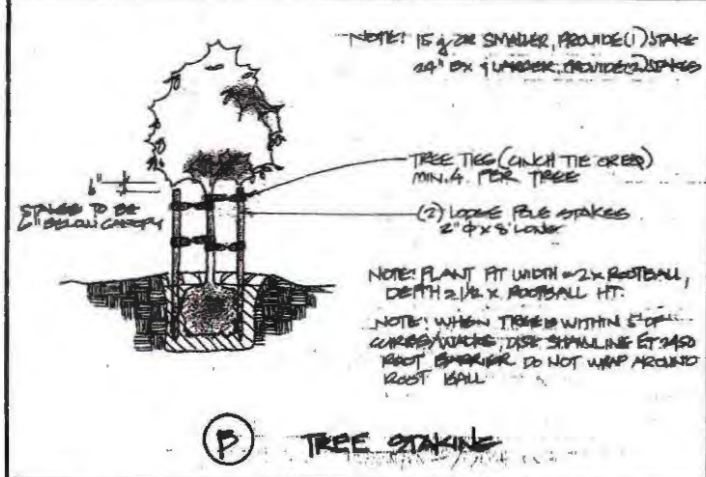
L-2



(A) TREE PLANTING/PLANTING



(E) GROUND COVER PLANTING



(P) TREE STAKING



(F) VINE PLANTING



(C) SHRUB PLANTING



(D) TREE/SHRUB SLOPE PLANTING

- PLANTING NOTES**
- Contractor shall be responsible for making himself familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for cost incurred due to damage and replacement of said utility.
 - Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or differences exist that may have not been known during design. Such conditions shall be immediately brought to the attention of the owner's authorized representative and/or the Landscape Designer. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
 - Contractor shall review specifications prior to commencing with planting operations.
 - Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
 - It is the responsibility of the landscape contractor to contact the owner's authorized representative and/or Landscape Designer for approval of all plant material prior to installation. Box trees shall be approved in the nursery prior to shipping. All materials must be field approved by the owner's representative and/or the Landscape Designer. Noncompliance shall result in the removal of plant material at the discretion of the owner's representative and/or the Landscape Designer.
 - Final location of all plant material shall be subject to the approval of the owner's authorized representative and/or Landscape Designer. Contractor shall contact the owner's representative and/or Landscape Designer after layout is complete and before installation for inspection.
 - All planting areas shall receive weed control procedures as outlined in specifications.
 - See details and specifications for staking method, plant pit dimensions and backfill requirements.
 - All ground cover areas shall be mulched with a weed free mulch to a depth of 1"-2" typical throughout.
 - Contractor shall provide topsoil as needed for seeding of lawn areas and backfilling of planters as shown per plan.

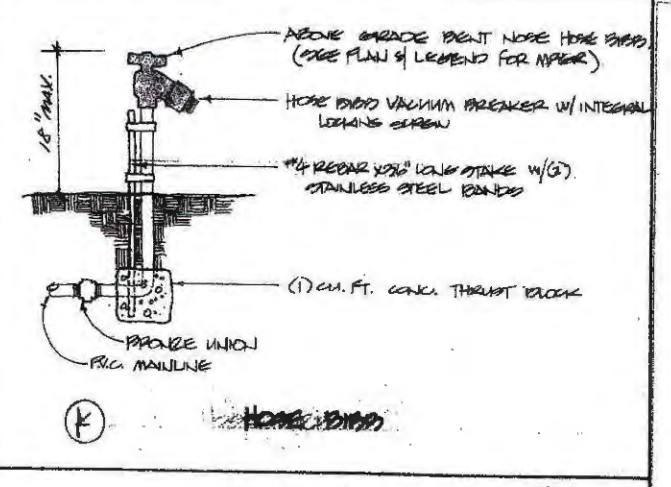
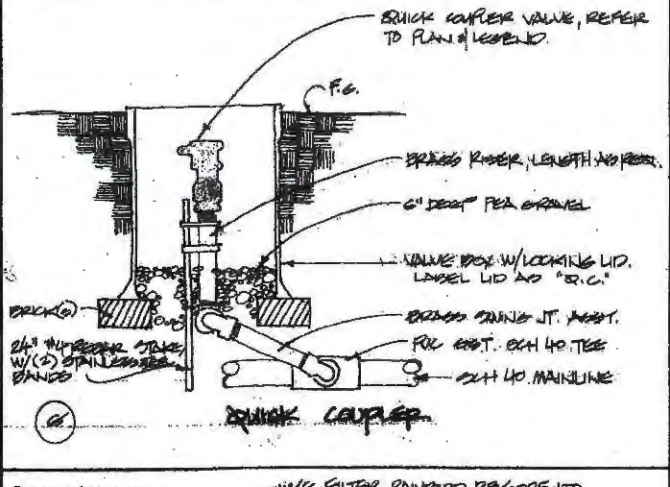
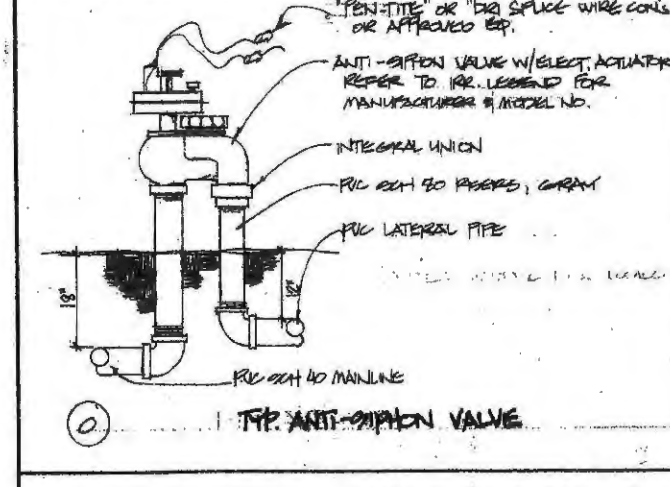
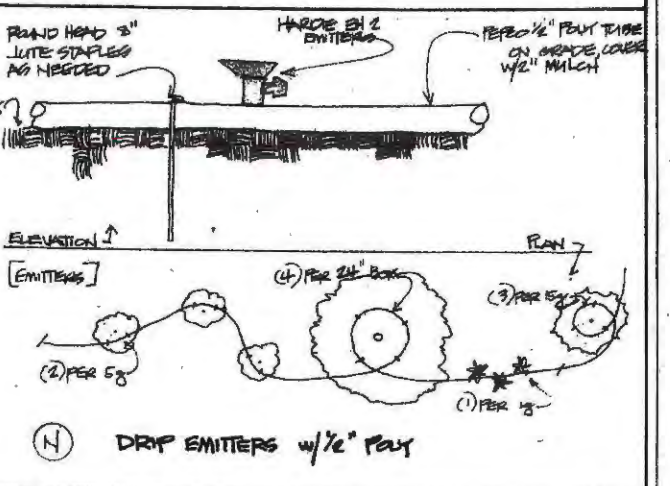
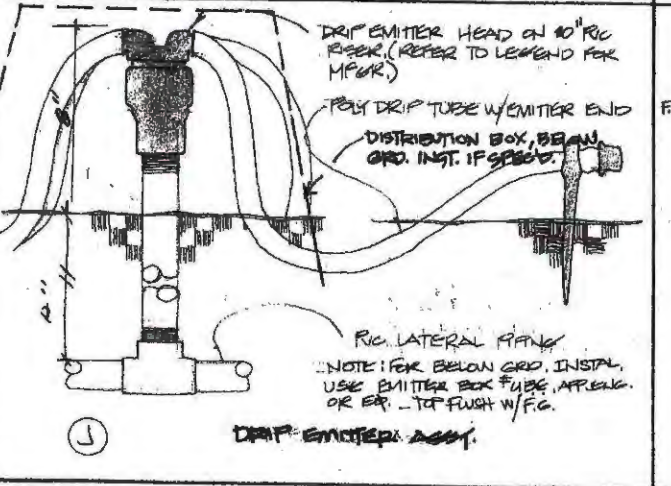
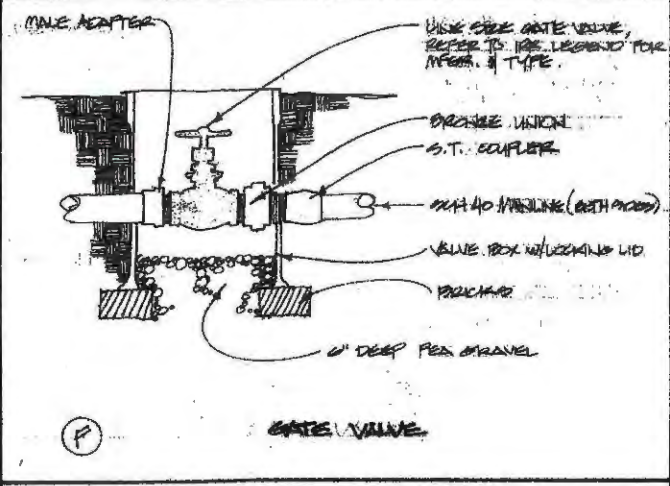
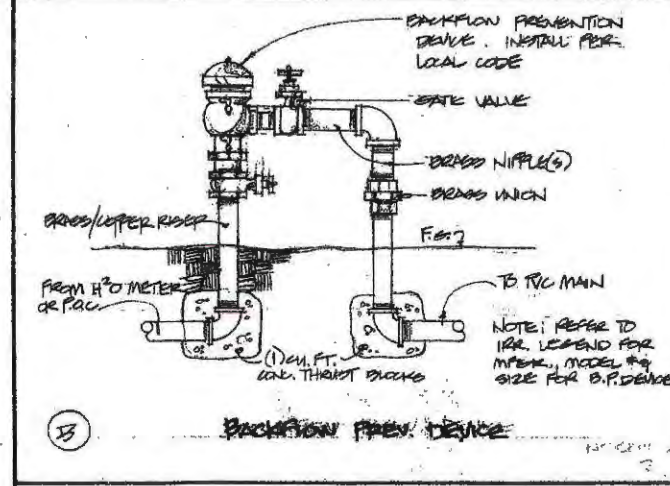
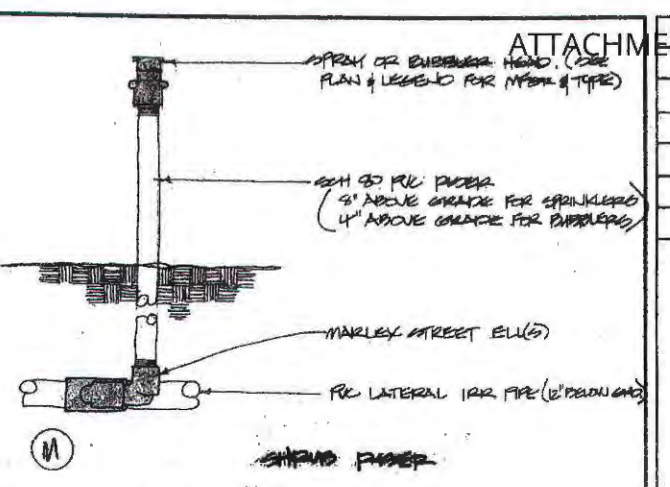
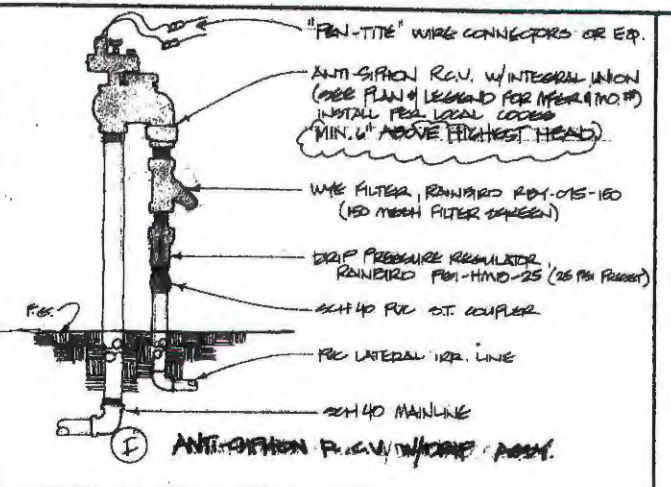
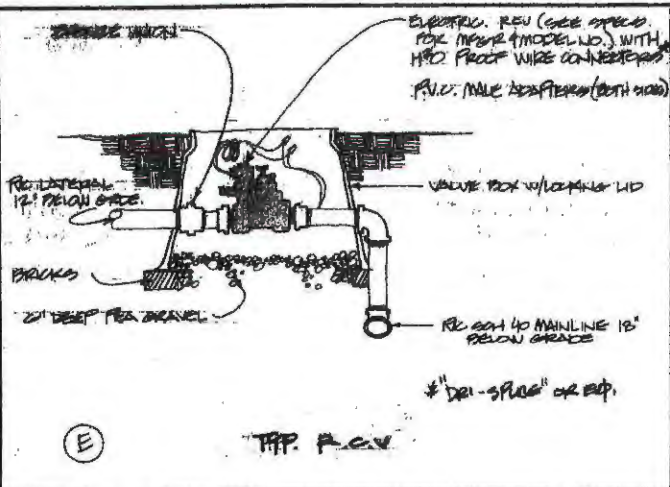
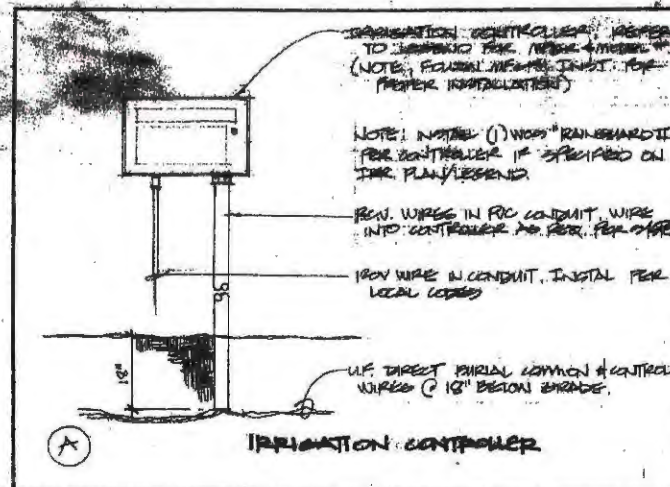
CONSTRUCTION CHANGE TABLE

| CHANGE | DATE | SHEET NUMBERS REVISED THIS CHANGE |
|--------|------|-----------------------------------|
| | | |
| | | |
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CITY OF SAN DIEGO, CALIFORNIA
ENGINEERING DEPARTMENT
SHEET NO. OF SHEETS

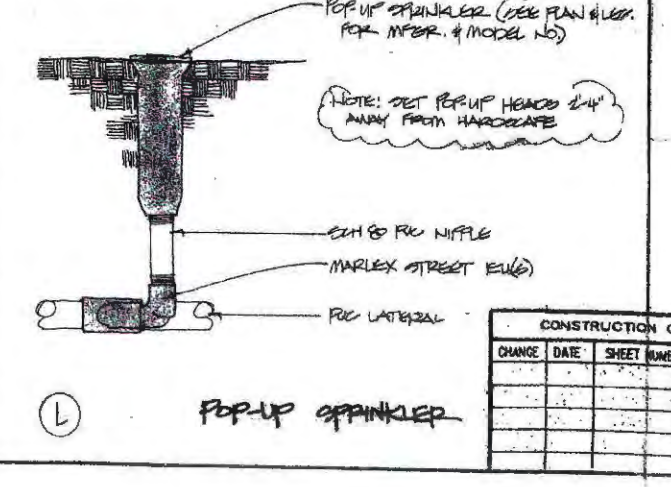
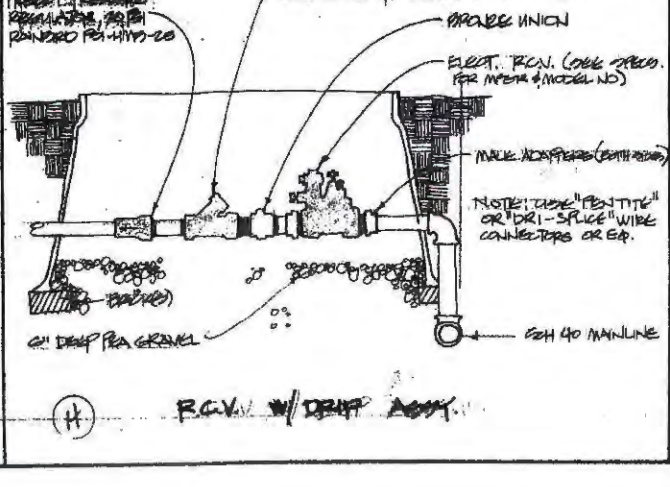
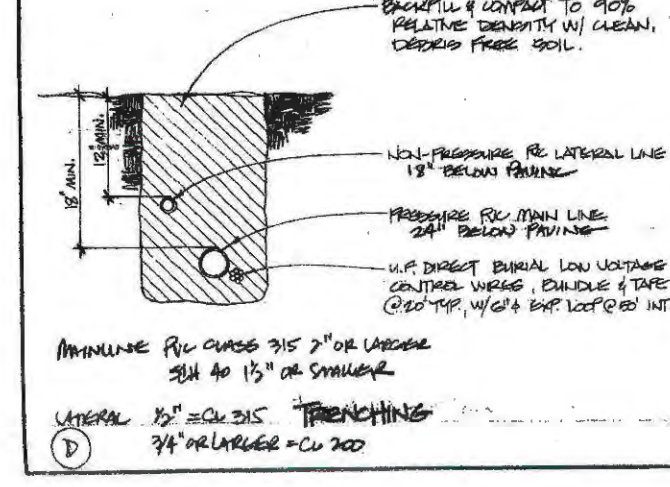
DATE: _____
SCALE: _____
DRAWN: _____
JOB: _____

DATE OF PLOT: _____
DATE OF PLOT: _____



IRRIGATION NOTES

- This design is diagrammatic. All piping, valves, etc. shown within paved areas is for design clarification only and shall be installed in planting areas.
- It is the responsibility of the Irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The Irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls and under paving.
- Verify location and depth of utilities and services prior to excavation. Notify owner's representative of any discrepancies between existing site conditions and proposed design prior to construction.
- All main line piping and control line wires under paving shall be installed in separate sleeves. Main line sleeve size shall be a minimum twice (2x) the diameter of the pipe to be sleeved. Control wire sleeves shall be 2x diameter of wire bundle (min 2\"/>
- All lateral line piping under paving shall be PVC SCH 40 pipe and shall be installed prior to paving.
- Flush and adjust all irrigation lines, sprinkler heads and valves for optimum coverage with minimal overspray onto walks, streets, walls, etc.
- Coordinate 120V AC power hook-up to the controllers.
- All electric valve wiring shall be irrigation control cable TYPE UP DIRECT BURIAL. Control wires shall be a different color than ground wire. All wire size is #14 unless otherwise specified.
- Refer to specifications for additional information.



| | | |
|--|----|----------------|
| CITY OF SAN DIEGO, CALIFORNIA ENGINEERING DEPARTMENT SHEET OF SHEETS | | W.D. NO. |
| DATE | BY | DESIGNED BY |
| DATE | BY | CHECKED BY |
| DATE | BY | IN CHARGE |
| DATE | BY | DATE STARTED |
| DATE | BY | DATE COMPLETED |

| CONSTRUCTION CHANGE TABLE | | | |
|---------------------------|------|-------|-----------------------------|
| CHANGE | DATE | SHEET | NUMBERS REVISED THIS CHANGE |
| | | | |
| | | | |
| | | | |

REVISIONS BY

DATE

SCALE

DRAWN

JOB

SHEET

L-4

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

1.01 SCOPE OF WORK All work shall be done in accordance with approved methods and standards as set forth by the California Council of Landscape Contractors.

The Landscape Designer shall not be responsible for the Contractor's failure to perform and complete the construction work in accordance with the construction documents.

The Landscape Designer shall not be required to supervise the construction procedures followed by the Landscape Contractor or his sub-contractors or their respective employees or any other person at the job site other than that of the Landscape Designer.

The Landscape Contractor agrees that he shall accept sole and complete responsibility for job site conditions during the course of construction including the safety of all persons and property.

1.02 VERIFICATION OF DIMENSIONS AND QUANTITIES Location and elevation of all existing improvements within the area of work shall be confirmed by field measurements by the Landscape Contractor prior to the construction of new work.

All scaled dimensions are approximate. Before proceeding with any work the Landscape Contractor shall carefully check and verify all dimensions and quantities and shall immediately notify the Landscape Designer of any discrepancies between the drawings and the actual conditions.

PART 2 - PLANTING

2.01 SCOPE OF WORK The work described in these specifications includes all labor and materials necessary to install all planting work as indicated on these plans.

2.02 INCLUDED IN WORK A. Contractor to arrange for soil tests, percolation test and deep soil test.

2.03 RELATED WORK Refer PART 4 IRRIGATION 2.04 INSPECTION Inspection shall be required for the following: 1. When shrubs and trees are provided for planting but before planting holes are excavated.

2.05 PLANT MATERIALS A. All material and equipment shall be new without defects and shall be installed in accordance with details shown on these plans.

B. The Landscape Contractor shall submit to the Landscape Designer a list of any items he wishes to substitute as equal with necessary catalogue data.

C. Fertilizers and Soil Amendments herein specified shall conform to the following quantities: PER 1000 SQUARE FEET . Four (4) Cubic Yards Nitroized Soil Amendment

PLANT MATERIALS TO CONFORM TO THE FOLLOWING:

1. Nomenclature: Plant names on these drawings conform to standard plant names by the American Joint Committee on Horticultural Nomenclature and except for the plant names covered therein, the established custom of the nursery will be followed.

2. Condition: Provide symmetrical plants, typical for variety and species, sound, healthy, vigorous, free from insects or their eggs with healthy and normal root systems.

3. Dimension: Measure height and spread of plants with branches in their normal position.

4. Plant acceptance: Plant materials are subject to inspection and approval by the Landscape Designer or the owner prior to planting.

2.06 TOP SOIL TO BACKFILL A. Shall be defined as all soil necessary to achieve desired finish grades including subsoil.

2.07 FINISH GRADING 1. Rough grading shall be done in such a manner as to anticipate the finish grading.

2. Clearing shall consist of the satisfactory disposal of vegetation not applicable to the final plan.

3.02 SOIL PREPARATION 1. The soil shall not be worked when the moisture content is so great that excessive compaction will occur.

3.04 SPREADING TOPSOIL AND AMENDMENTS 1. Spread topsoil to achieve desired finish grades.

3.05 PREPARED BACKFILL Backfill for trees, shrubs and vines, mix 40% Topsoil with 40% Nitrogen stabilized shavings plus One (1) ounce of iron Sulfate to each Cubic Foot of mixture.

3.06 METHOD OF PLANTING 1. Do not plant until Sprinkler System is complete.

3.07 BRASS RISERS/WIPPLES AND FITTINGS A. Shall be red brass red spec. UN-P-351

3.08 GATE VALVES A. Shall be red brass and conform to ANMA C500 type 1 class A line size unless otherwise specified on plans

3.09 BACKFLOW PREVENTION, CONTROLLER AND R.C.V.'s A. Shall be model and type as indicated on the drawing or approved equal

4. PLANTING OF GROUND COVERS: Evenly space to produce a uniform effect and staggered in rows at the intervals indicated on the drawings.

5.01 GUARANTEE Prior to Final Acceptance from the Owner, provide a written Guarantee as follows: 1. Guarantee shrubs for growth and health for a period of Ninety (90) days after completion of installation period.

4.00 FINAL ACCEPTANCE A. Final acceptance of the work shall be obtained from the owner upon satisfactory completion of all testing, inspection and installations and at the end of the maintenance period.

4.01 SCOPE OF WORK A. All labor, materials, equipment, accessories, permit fees and incidentals necessary to complete the landscape sprinkler system as herein specified and indicated on the drawing.

4.02 INCLUDED IN WORK A. Pipe fittings for a complete system B. Sprinkler risers and heads C. Control valves and controllers

4.03 PRODUCT DATA A. Submit product data in accordance with these specs. 4.04 MAINTENANCE AND OPERATION A. Submit product data in accordance with these specs.

4.05 QUALITY ASSURANCE A. Installation and materials used shall comply with the latest applicable standards of: 1. AMERICAN SOCIETY OF MECHANICAL ENGINEERS

4.06 INSPECTION SCHEDULE A. Contractor shall be responsible for notifying the owners representative in advance for the following inspections according to the times listed below:

5.00 PIPING MATERIALS A. General. Piping polyvinyl chloride (PVC) unless otherwise indicated on the drawings and shall bear the name of the manufacturer, the material designation, size, applicable schedule and NSF approval

5.03 SOLVENT CEMENT FOR PVC PIPE AND FITTINGS A. Shall conform to ASTM D-2564 and shall be made as prescribed by the manufacturer

5.04 COPPER PIPING A. Shall be type 1 soft or hard drawn copper 5.05 COPPER FITTINGS A. Shall be type 1 soft or hard wrought copper solder joint fitting

5.07 BRASS RISERS/WIPPLES AND FITTINGS A. Shall be red brass red spec. UN-P-351 5.08 GATE VALVES A. Shall be red brass and conform to ANMA C500 type 1 class A line size unless otherwise specified on plans

5.10 QUICK COUPLING VALVES A. Shall be model and type as indicated on the drawings or approved equal. B. Provide owner with three (3) cast brass coupling valve keys of same manufacturer as coupling valve.

5.12 VALVE BOXES A. Shall be made of durable green plastic, Acetex or approved equal and rectangular in shape with a matching locking lid.

5.13 SPRINKLER HEADS A. Shall be model and type as indicated on the drawings or approved equal. 5.14 SPRINKLER HEAD RISERS A. Shall be PVC schedule 80 GRAY

5.16 CONCRETE A. Shall have a minimum compressive strength of 2000 PSI at 28 days 1. Portland cement shall conform to ASTM C150 types 1 or 2.

6.01 GENERAL A. No apparatus and equipment or installation shall be fabricated into the work which would provide a cross connection permitting backflow or siphonage from any source into the domestic water supply.

6.02 EXCAVATION AND TRENCHING A. Excavate and trench as required for the installation of the irrigation system as specified herein.

6.03 INSTALLATION OF PIPE AND FITTINGS INCLUDING WIPPLES 1. Contractor shall be present in installing all piping (PVC, Copper, etc) so as to keep all excavations for this work open for a minimal amount of time.

6.04 BACKFILLING AND COMPACTION A. No backfilling will be permitted until all work in the trenches has been completed, inspected and all testing has been done.

6.05 INSPECTIONS AND TESTS A. GENERAL 1. Contractor shall make necessary arrangements at no cost to the owner for inspections and/or tests as required by the governing codes and as indicated in this section.

6.06 GUARANTEE A. Contractor shall provide a written guarantee covering the entire irrigation system installed stating that the system is guaranteed for a period of one year from date of final acceptance by the owner and signed by an authorized company rep.

D. REMOTE CONTROL VALVES 1. Shall be installed as indicated on the drawings and ground together where practical.

E. QUICK COUPLING VALVES 1. Shall be installed as indicated on the plans and placed no closer than six (6) inches to adjacent walks, curbs, walls, etc.

F. VALVE BOXES 1. Shall be installed as indicated on the drawings 2. Where installed adjacent to walks, curbs, etc. the top surface plane shall match with the surfaces of the items listed above

G. SPRINKLER HEAD RISERS 1. Shall be installed as indicated on the drawings 2. Contractor shall flush system out after risers are installed thoroughly before installing nozzles

H. SPRINKLER HEADS 1. Shall be installed as indicated on the drawings 2. Contractor shall locate and adjust the angle, arc and radius of all heads to provide an even desired coverage and to keep the maximum amount of water off and away from walks, building and other improvements

I. REMOTE CONTROL LOW VOLTAGE WIRING 1. Shall be installed according to the valve valve manufacturers instructions and shall occupy the same trench and be installed beside the main pressure line whenever possible.

J. BACKFILLING AND COMPACTION A. No backfilling will be permitted until all work in the trenches has been completed, inspected and all testing has been done.

K. INSPECTIONS AND TESTS 1. Contractor shall make necessary arrangements at no cost to the owner for inspections and/or tests as required by the governing codes and as indicated in this section.

L. GUARANTEE A. Contractor shall provide a written guarantee covering the entire irrigation system installed stating that the system is guaranteed for a period of one year from date of final acceptance by the owner and signed by an authorized company rep.

CONSTRUCTION CHANGE TABLE with columns: CHANGE, DATE, SHEET NUMBERS REVISED, THIS CHANGE

CITY OF SAN DIEGO, CALIFORNIA ENGINEERING DEPARTMENT SHEET OF SHEETS with fields for CONTRACTOR, DATE DRAWN, DATE CHECKED, DATE APPROVED, DATE PLANNED

IRIGATION & PLANTING SPECS with vertical text and a large 'L-5' stamp at the bottom right.

Daniel Linn architect
 5732 Bellevue Avenue La Jolla, CA 92037
 858 459-8108 fax 858 459-8108
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FELSPAR TOWNHOMES
 FOUR TOWNHOME DWELLINGS
 1141-1147 FELSPAR STREET
 SAN DIEGO, CALIFORNIA 92109

(A) STORAGE WATER QUALITY CONTROL CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01, NPDES NO. CAS010272E (AVAILABLE AT: <http://www.sandag.gov/wq/npdes/programs/permits/permits.html>)

NOTES 1-4 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

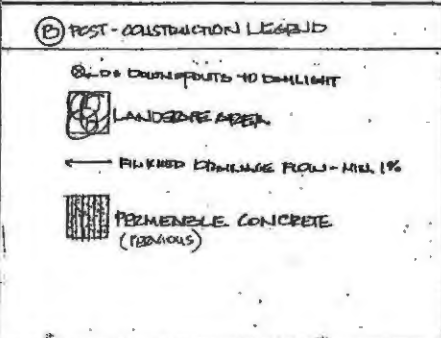
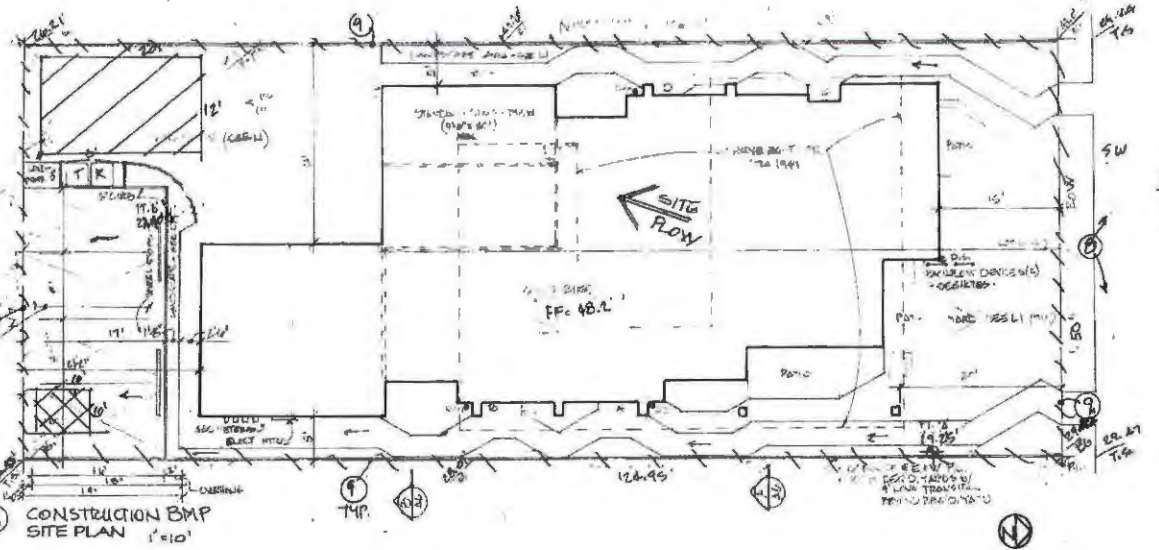
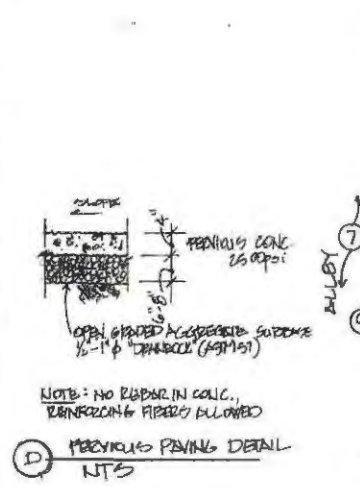
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
- ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACES ON SITE.
- THE CONTRACTOR SHALL RESTORE ALL MISMEASUREMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL, OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
- ALL SLOPES THAT ARE CREATED SUBSEQUENT TO CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
- SWEEP/CLEAN UP ALLEY ON A DAILY (OR MORE FREQUENTLY IF REQUIRED) BASIS. DEBRIS TO BE SECURELY STORED UNTIL REMOVAL FROM SITE.
- PROVIDE SAND BAG BARRIERS AT DOWN-STREAM STREAM WATER INLETS. PROVIDE REGULAR INSPECTIONS AND MAINTENANCE. REMOVE UPON COMPLETION OF JOBS.
- PROPERTY LINE

PROVIDE FIBER ROLL/STRAW WATTLE - SEE (C)

REPLACE FIBER ROLL AS REQUIRED BASED ON REGULAR INSPECTIONS

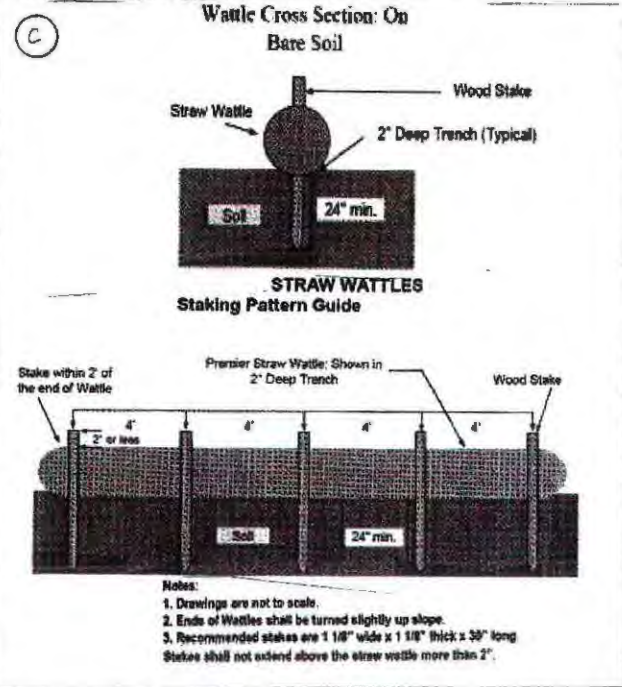
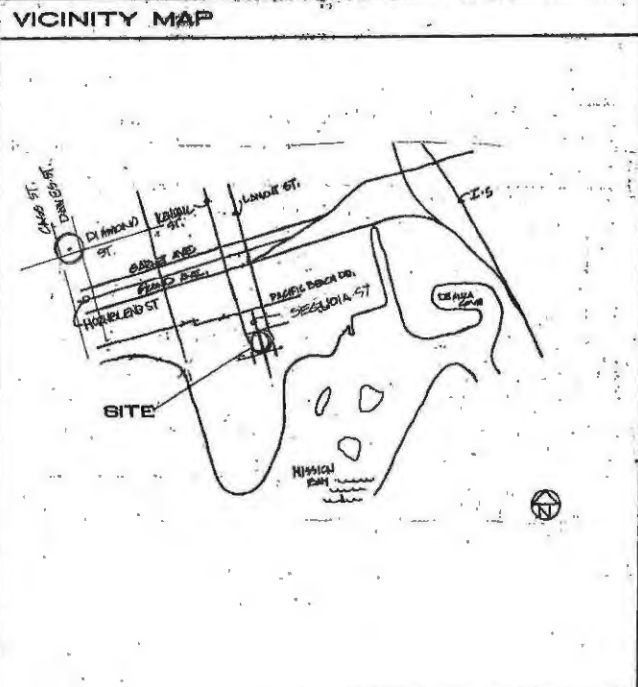
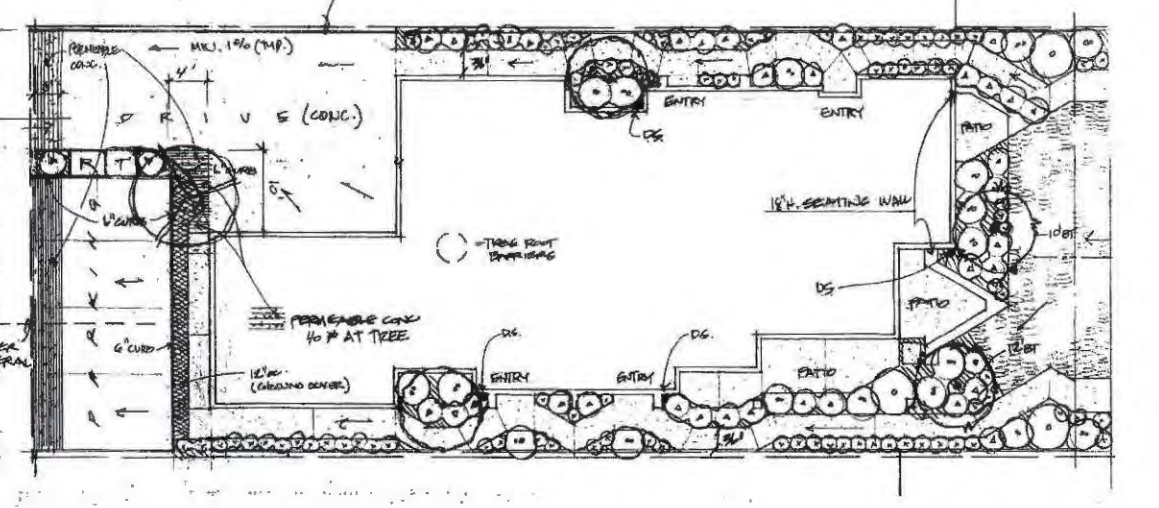
SPECIFIC LOCATION ON SITE MAY NEED TO VARY BASED ON PROGRESS OF ACTUAL CONSTRUCTION

NOTE:
 It shall be the responsibility of the builder to insure that all aspects of these and any additional construction BMP's are observed and implemented. This includes any and all installations, inspections and monitoring of construction BMP's.



NOTE:
 A separate Water Pollution Control Plan (Report) shall be available at all times at the construction site to complement this BMP plan sheet.

SITE RUNOFF:
 Site runoff will be controlled in two basic manners: the majority of the site's runoff (roof areas, walks, etc) will be served by the proposed landscape areas that surround the structure. In areas where there is continuous hardscape between the structure and the Public Way (alley), or between landscape areas and the alley, there will be a 3' wide strip of pervious concrete along the width of the lot at the alley (less a small area of landscape that will serve the same purpose).



City of San Diego
 Department Services
 1225 First Ave., 4th-5th
 San Diego, CA 92101
 (619) 448-3000

Storm Water Requirements Applicability Checklist FORM DS-560 January 2011

Project Address: 1141-1147 FELSPAR ST 92109

SECTION 1. Permanent Storm Water BMP Requirements:
 Additional information for determining the requirements is found in the Storm Water Standards Manual.

Part A: Determination of Exempt from Permanent Storm Water BMP Requirements.
 Projects that are considered maintenance, or are otherwise not considered as "development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not required to install permanent storm water BMP's. If "Yes" is checked for any line in Part A, proceed to Part C and check the box labeled "Exempt Project." If "No" is checked for all of the lines, continue to Part B.

- The project is not a Development Project as defined in the Storm Water Standards Manual for example habitat restoration projects, and construction inside an existing building. Yes No
- The project is only the construction of redesigned or upgraded sewer utilities. Yes No
- The project qualifies as either maintenance (highway or roadway) or minor residential surface materials because of filled or deteriorating conditions. This includes roof replacement, pavement spot repairs and resurfacing treatments such as asphalt overlay or slurry seal, and replacement of damaged pavements. Yes No
- The project only installs sidewalks, bike lanes, or pedestrian ramps or an existing road, and does not change street flow conditions to a concentrated flow condition. Yes No

Part B: Determination of Subject to Priority Development Project Requirements.
 Projects that match one of the definitions below are subject to additional requirements including preparation of a Water Quality Technical Report. If "Yes" is checked for any line in Part B, proceed to Part C and check the box labeled "Priority Development Project." If "No" is checked for all of the lines, continue to Part C and check the box labeled "Standard Development Project."

- Residential development of 10 or more units. Yes No
- Commercial development and similar non-residential development greater than one acre, including laboratories and other medical facilities, educational institutions, municipal facilities, commercial nurseries, multi-apartment buildings, car wash facilities, wetlands and other business complexes, shopping malls, hotels, office buildings, public warehouses, automobile dealerships, and other light industrial facilities. Yes No
- Heavy industrial development greater than one acre, manufacturing plants, and printing plants, metal working facilities, printing plants, and steel storage areas. Yes No
- Automotive repair shop. Facilities categorized in any one of Standard Industrial Classification (SIC) codes 8013, 8014, 8041, 7230-7234, or 7230-7239. Yes No
- Restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary food counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC code 5812), and where the total area for development is greater than 1,000 square feet. Yes No
- Hillside development greater than 5,000 square feet. Development that creates 5,000 square feet of impervious surface and is located in an area with known or suspected erosion and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No

Water Quality Sensitive Area. Development located within, directly adjacent to, or discharging directly to a Water Quality Sensitive Area (as depicted on Appendix C) in which the project either creates 2,000 square feet of impervious surface as a proposed project site or increases the area of imperviousness of a proposed project site to 2,000 square feet or more of its naturally occurring condition. "Directly adjacent" is defined as within 200 feet of the Water Quality Sensitive Area. "Discharge" directly to is defined as outflow from a discharge conveyance system that is contiguous with the Water Quality Sensitive Area. Yes No
- Parking lot with a minimum area of 2,000 square feet and not rimmed with three feet adjacent lawn. Yes No
- Practical exposure to urban runoff (unless it occurs in a minimum of 15' "shading" squares) on lot 111. Yes No

Printed on recycled paper. Visit our web site at www.sandag.com/development. Upon request, the information is available in alternative formats for persons with disabilities. 04-01-11 12-11

SECTION 2. Construction Storm Water BMP Requirements:
 For all projects, complete Part D. If "Yes" is checked for any line in Part D, then continue to Part E.

Part D: Determine Construction Phase Storm Water Requirements.

- Is the project subject to California's statewide General NPDES Permit for Storm Water Discharges Associated with Construction Activities? One State Water Resources Control Board Order No. 2000-0005-LTR for the state or equivalent? Yes No
- Does the project propose grading or soil disturbance? Yes No
- Would storm water or other runoff have the potential to contact any portion of the construction area, including existing and proposed areas? Yes No
- Would the project cause construction materials that could negatively affect water quality if discharged from the site into air, ponds, streams, creeks, and storm? Yes No
- Check this box if "Yes" is checked for line 1. Continue to Part E. SWPPP Required
- Check this box if "No" is checked for line 1, and "Yes" is checked for any line 2-4. NPCC Required
- Check this box if "No" is checked for all lines 1-4. Part E does not apply. No Discharge Required

Part E: Determine Construction Site Priority.
 This determination must be completed prior to the start, and included in the SWPPP or WQCP. The City reserves the right to adjust the priority of the project both before and during construction. (Note: The construction priority does NOT change construction BMP requirements that apply to projects, rather, it determines the frequency of inspections that will be conducted by City staff.)

- High Priority:
 - Projects where the site is 50 acres or more and grading will occur during the wet season.
 - Projects 1 acre or more and adjacent to an impaired water body for pollutants (e.g., Pathway watershed).
 - Projects 1 acre or more and adjacent to or discharging directly to a coastal lagoon or other receiving water within a Water Quality Sensitive Area.
 - Projects subject to phased grading or advanced treatment requirements.
- Medium Priority: Projects 1 acre or more and not subject to a high priority designation.
- Low Priority: Projects requiring a Storm Pollution Control Plan but not subject to a medium or high priority designation.

Name of Owner: DAN LINN
 Name of Architect: ARCHITECT
 Date: 2/15/15

DATE:

REVISIONS:

| | |
|---|---------|
| 1 | Initial |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |

BMP

PREPARED BY: DAN LINN
 PROJECT ADDRESS: 1141-1147 FELSPAR ST 92109

SHT. 9 OF 9
 BMP PLAN AND NOTES
 ORIG. DATE: 3/10/15
 FELSPAR TOWNHOMES

TENTATIVE PARCEL MAP NO. 1642821
PROJECT NO. 466647
1141 FELSPAR TOWNHOMES

CITY OF SAN DIEGO DEVELOPMENT SUMMARY
SUMMARY OF REQUEST
 COASTAL DEVELOPMENT PERMIT
 TENTATIVE PARCEL MAP (FOR CONDOMINIUM PURPOSES)
 TOTAL NUMBER OF EXISTING LOTS = 2
 TOTAL NUMBER OF PROPOSED LOTS = 1

SITE ADDRESS
 1141 FELSPAR STREET, SAN DIEGO, CA 92109
 BETWEEN EVERTS STREET AND DAWES STREET

SITE AREA
 6,241 SF / 0.143 ACRES

GROSS FLOOR AREA
 6,099 SF

EXISTING AND PROPOSED ZONING
 BASE ZONE: RM-2-5
 COMMUNITY PLAN: PACIFIC BEACH COMMUNITY PLAN

OVERLAY ZONES
 COASTAL (CITY), COASTAL HEIGHT LIMIT, PARKING IMPACT (COASTAL)

GEOLOGIC HAZARD CATEGORY: 52

BUILDING SETBACKS
 FRONT: 15'/20' / SIDE: 4' / REAR: 10'

OFF-STREET PARKING SPACE REQUIREMENTS
 PARKING REQUIRED: 4 UNITS/2 BEDROOMS EACH (4 x 2) = 8 SPACES
 PARKING PROVIDED: 8 SPACES

DEVELOPMENT NOTES
 THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 4.

MAPPING NOTE
 A PARCEL MAP SHALL BE FILED PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

REFERENCE DRAWINGS
 MAP 791 (PACIFIC BEACH AMENDED MAP)
 CORNER RECORD 33290

- NOTES**
1. THE MAINTENANCE OF THE PRIVATE WATER AND SEWER FACILITIES SERVING THIS PROJECT SHALL BE GOVERNED BY PRIVATE AGREEMENTS, CONDITIONS, AND RESTRICTIONS.
 2. EXISTING DRAINAGE PATTERNS: SURFACE FLOW TO STREET AND ALLEY
 3. THE SUBDIVIDER SHALL INSTALL APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC, IRRIGATION, AND FIRE) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
 4. THERE ARE NO PROPOSED OR EXISTING EASEMENTS ON THIS SITE.
 5. COASTAL DEVELOPMENT PERMIT NO. 1452973 (PTS 415165) WAS RECORDED OCTOBER 30, 2015.
 6. THE SITE IS UNDER CONSTRUCTION, REFERENCE BUILDING PLAN FILE NO. 434674 (PTS 434673)

PROJECT DATA
 NUMBER OF RESIDENTIAL UNITS: 4 (2 BEDROOMS EACH)
 TOTAL FLOOR AREA OF RESIDENTIAL UNITS: 6,099 SF

NUMBER OF STORIES: 3
 NUMBER OF BUILDINGS: 1
 EXISTING USE: MULTI-FAMILY RESIDENTIAL
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 EXISTING ZONING: RM-2-5
 YEAR OF CONSTRUCTION: 2016 (UNDER CONSTRUCTION)

PROJECT SOILS CONDITION
 EXISTING DEVELOPED SITE / GEOLOGIC HAZARD CATEGORY 52

PROJECT PERMITS REQUIRED
 TENTATIVE PARCEL MAP
 LOT CONSOLIDATION PARCEL MAP FOR CONDOMINIUM PURPOSES

PROJECT ADDRESS
 1141 FELSPAR STREET, SAN DIEGO, CA 92109

PROJECT OWNER
 PACIFIC BEACH 2012, LTD
 1106 2ND STREET NO. 255, ENCINITAS, CA 92024

TED MONTAG, PARTNER DATE

LEGAL DESCRIPTION
 LOTS 11 AND 12 IN BLOCK 197 OF PACIFIC BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 697 AND 854, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 18, 1892 AND SEPTEMBER 28, 1899, RESPECTIVELY.

SOURCE OF TOPOGRAPHY
 FIELD SURVEY BY METROPOLITAN MAPPING, NOVEMBER, 2015

BASIS OF ELEVATIONS
 CITY OF SAN DIEGO BENCHMARK DESCRIPTION: BRASS PLUG (NWBP)
 TOP OF CURB, NORTHWEST CORNER FELSPAR STREET & EVERTS STREET
 ELEVATION: 52.75 FEET M.S.L. DATUM: NAVD 29 (M.S.L.)

BASIS OF BEARINGS
 THE SOUTHERLY ROW OF FELSPAR STREET AS SHOWN ON PARCEL MAP NO. 20135 I.E., N75°55'08"E

COORDINATES
 NAD 27: 230-1693 CCS 83: 1870-6253

ASSESSOR'S PARCEL NUMBER
 APN 415-623-04

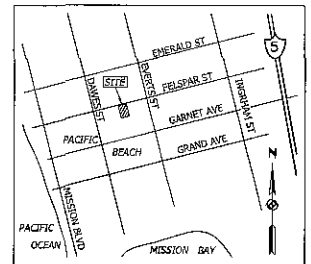
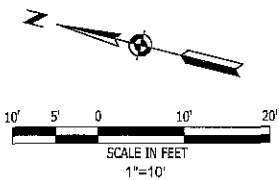
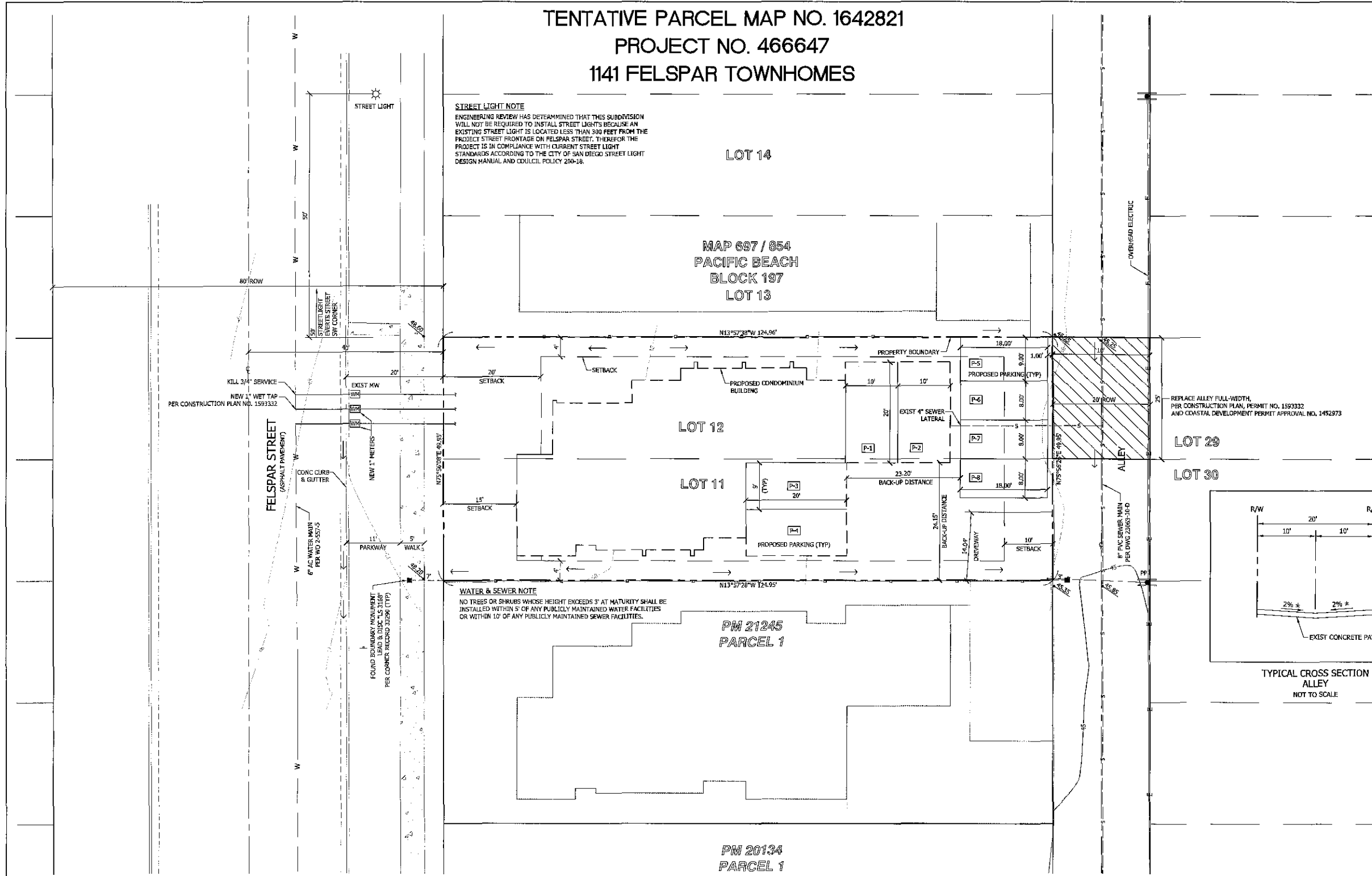
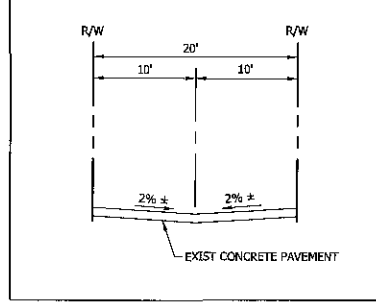
PROJECT NAME
 1141 FELSPAR STREET TOWNHOMES TM

SHEET TITLE
 TENTATIVE PARCEL MAP NO. 1642821

STREET LIGHT NOTE
 ENGINEERING REVIEW HAS DETERMINED THAT THIS SUBDIVISION WILL NOT BE REQUIRED TO INSTALL STREET LIGHTS BECAUSE AN EXISTING STREET LIGHT IS LOCATED LESS THAN 300 FEET FROM THE PROJECT STREET FRONTAGE ON FELSPAR STREET. THEREFOR THE PROJECT IS IN COMPLIANCE WITH CURRENT STREET LIGHT STANDARDS ACCORDING TO THE CITY OF SAN DIEGO STREET LIGHT DESIGN MANUAL AND COUNCIL POLICY 200-18.

WATER & SEWER NOTE
 NO TREES OR SHRUBS WHOSE HEIGHT EXCEEDS 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

REPLACE ALLEY FULL-WIDTH,
 PER CONSTRUCTION PLAN, PERMIT NO. 159332
 AND COASTAL DEVELOPMENT PERMIT APPROVAL NO. 1452973



| EXISTING FRANCHISE UTILITY TABLE | |
|----------------------------------|----------|
| (TYPE) | (STATUS) |
| ELECTRIC | OVERHEAD |
| TELEPHONE | OVERHEAD |
| CABLE TELEVISION | OVERHEAD |

| LEGEND | |
|--|------------------------------|
| --- | PROPERTY LINE/TM BOUNDARY |
| --- | RIGHT OF WAY |
| --- | LOT LINE |
| --- | SEWER LINE |
| --- | WATER LINE |
| --- | WOOD FENCE |
| --- | EDGE OF CONCRETE |
| --- | CONCRETE SURFACE |
| --- | BOUNDARY DATA |
| --- | FOUND BOUNDARY MONUMENT |
| --- | LEAD & DISC "LS 3168" |
| --- | PER CORNER RECORD 33290 |
| --- | SURFACE FLOW |
| --- | WATER METER |
| --- | SPOT ELEVATION |
| --- | GROUND CONTOUR (5' INTERVAL) |
| --- | GROUND CONTOUR (1' INTERVAL) |
| (NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE) | |

| ABBREVIATIONS | |
|---------------|------------------|
| ASPH | ASPHALT |
| BLDG | BUILDING |
| CO. | CLEANOUT (SEWER) |
| CONC | CONCRETE |
| EL | ELEVATION |
| FF | FINISHED FLOOR |
| FL | FLOWLINE |
| H | HEIGHT |
| PP | UTILITY POLE |
| R/W | RIGHT OF WAY |
| SS | SANITARY WAY |
| TC | TOP OF CURB |
| TYP | TYPICAL |
| WM | WATER METER |

| SUBMITTAL DATE: 02/09/16 | | |
|--------------------------|------------------|----------|
| NO. | DESCRIPTION | DATE |
| 1 | ADD SETBACKS | 03/14/16 |
| 2 | CYCLE 2 ISSUES | 05/02/16 |
| 3 | CYCLE 4/PLANNING | 06/06/16 |
| 4 | - | - |
| 5 | - | - |

PREPARED BY:
 METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 TEL: 619-564-6081
 FAX: 619-330-1830
 email: metromap.sd@gmail.com

VERNON V. FRANCK, PLS 7927 DATE



TENTATIVE PARCEL MAP NO. 1642821
PROJECT NO. 466647
1141 FELSPAR TOWNHOMES

CITY OF SAN DIEGO DEVELOPMENT SUMMARY
SUMMARY OF REQUEST
COASTAL DEVELOPMENT PERMIT
TENTATIVE PARCEL MAP (FOR CONDOMINIUM PURPOSES)
TOTAL NUMBER OF EXISTING LOTS = 2
TOTAL NUMBER OF PROPOSED LOTS = 1

SITE ADDRESS
1141 FELSPAR STREET, SAN DIEGO, CA 92109
BETWEEN EVERTS STREET AND DAWES STREET

SITE AREA
6,241 SF / 0.143 ACRES

GROSS FLOOR AREA
6,099 SF

EXISTING AND PROPOSED ZONING
BASE ZONE: RM-2-5
COMMUNITY PLAN: PACIFIC BEACH COMMUNITY PLAN

OVERLAY ZONES
COASTAL (CITY), COASTAL HEIGHT LIMIT, PARKING IMPACT (COASTAL)

GEOLOGIC HAZARD CATEGORY: 52

BUILDING SETBACKS
FRONT: 15'/20' / SIDE: 4' / REAR: 10'

OFF-STREET PARKING SPACE REQUIREMENTS
PARKING REQUIRED: 4 UNITS/2BEDROOMS EACH (4 x 2) = 8 SPACES
PARKING PROVIDED: 8 SPACES

DEVELOPMENT NOTES
THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 4.

MAPPING NOTE
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REFERENCE DRAWINGS
MAP 751 (PACIFIC BEACH AMENDED MAP)
CORNER RECORD 33290

- NOTES**
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 2. EXISTING DRAINAGE PATTERNS: SURFACE FLOW TO STREET AND ALLEY
 3. THE SUBDIVIDER SHALL INSTALL APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC, IRRIGATION, AND FIRE) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
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NUMBER OF BUILDINGS: 1
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PROPOSED USE: MULTI-FAMILY RESIDENTIAL
EXISTING ZONING: RM-2-5
YEAR OF CONSTRUCTION: 2016 (UNDER CONSTRUCTION)

PROJECT SOILS CONDITION
EXISTING DEVELOPED SITE / GEOLOGIC HAZARD CATEGORY 52

PROJECT PERMITS REQUIRED
TENTATIVE PARCEL MAP
LOT CONSOLIDATION PARCEL MAP FOR CONDOMINIUM PURPOSES

PROJECT ADDRESS
1141 FELSPAR STREET, SAN DIEGO, CA 92109

PROJECT OWNER
PACIFIC BEACH 2012, LTD
1106 2ND STREET NO. 255, ENCINITAS, CA 92024

TED MONTAG, PARTNER DATE

LEGAL DESCRIPTION
LOTS 11 AND 12 IN BLOCK 197 OF PACIFIC BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 697 AND 854, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 18, 1892 AND SEPTEMBER 28, 1898, RESPECTIVELY.

SOURCE OF TOPOGRAPHY
FIELD SURVEY BY METROPOLITAN MAPPING, NOVEMBER, 2015

BASIS OF ELEVATIONS
CITY OF SAN DIEGO BENCHMARK DESCRIPTION: BRASS PLUG (NWBP)
TOP OF CURB, NORTHWEST CORNER FELSPAR STREET & EVERTS STREET
ELEVATION: 52.75 FEET M.S.L. DATUM: NAVD 29 (M.S.L.)

BASIS OF BEARINGS
THE SOUTHERLY ROW OF FELSPAR STREET AS SHOWN ON PARCEL MAP NO. 20135 I.E., N75°56'08"E

COORDINATES
NAD 27: 230-1593 OCS 83: 1870-6253

ASSESSOR'S PARCEL NUMBER
APN 415-623-04

PROJECT NAME
1141 FELSPAR STREET TOWNHOMES TM

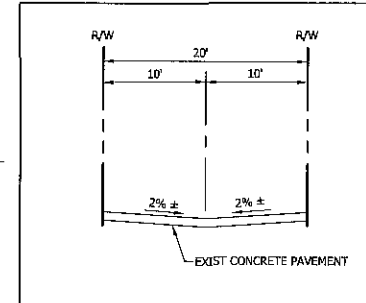
SHEET TITLE
TENTATIVE PARCEL MAP NO. 1642821

PTS NO. 466647 I.O. NO. 24006437 SHEET 1 OF 1

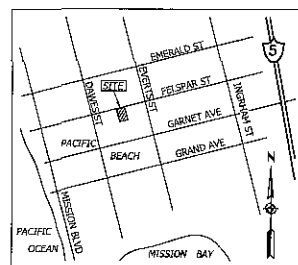
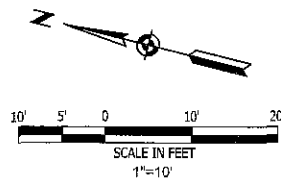
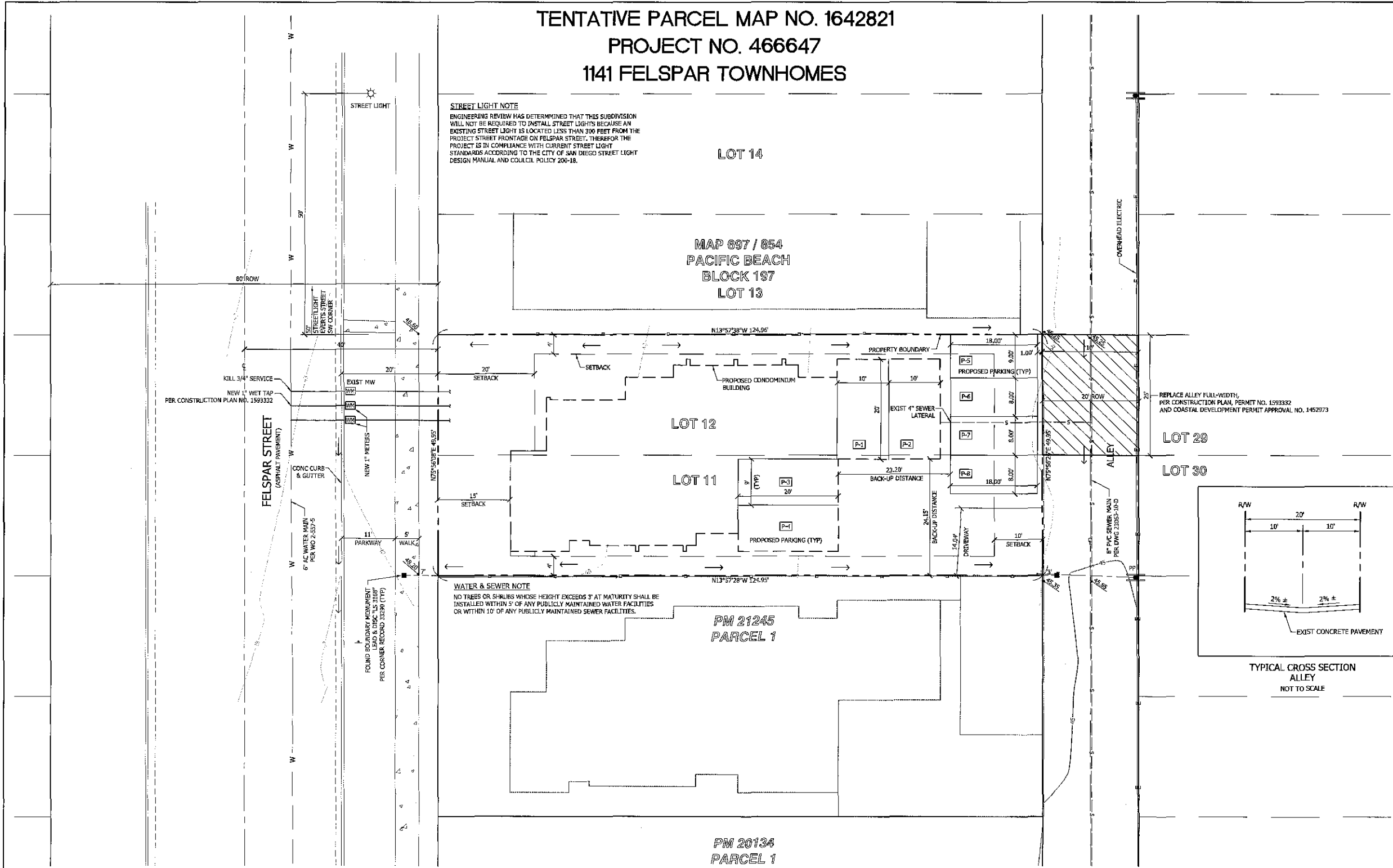
STREET LIGHT NOTE
ENGINEERING REVIEW HAS DETERMINED THAT THIS SUBDIVISION WILL NOT BE REQUIRED TO INSTALL STREET LIGHTS BECAUSE AN EXISTING STREET LIGHT IS LOCATED LESS THAN 300 FEET FROM THE PROJECT STREET FRONTAGE ON FELSPAR STREET. THEREFOR THE PROJECT IS IN COMPLIANCE WITH CURRENT STREET LIGHT STANDARDS ACCORDING TO THE CITY OF SAN DIEGO STREET LIGHT DESIGN MANUAL AND COUNCIL POLICY 206-18.

WATER & SEWER NOTE
NO TREES OR SHRUBS WHOSE HEIGHT EXCEEDS 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

REPLACE ALLEY FULL-WIDTH,
PER CONSTRUCTION PLAN, PERMIT NO. 1593332
AND COASTAL DEVELOPMENT PERMIT APPROVAL NO. 1452973



TYPICAL CROSS SECTION ALLEY
NOT TO SCALE



VICINITY MAP
(NO SCALE)

| EXISTING FRANCHISE UTILITY TABLE | |
|----------------------------------|----------|
| (TYPE) | (STATUS) |
| ELECTRIC | OVERHEAD |
| TELEPHONE | OVERHEAD |
| CABLE TELEVISION | OVERHEAD |

| LEGEND | |
|--|------------------------------|
| --- | PROPERTY LINE/TM BOUNDARY |
| --- | RIGHT OF WAY |
| --- | LOT LINE |
| --- | SEWER LINE |
| --- | WATER LINE |
| --- | WOOD FENCE |
| --- | EDGE OF CONCRETE |
| --- | CONCRETE SURFACE |
| --- | BOUNDARY DATA |
| --- | FOUND BOUNDARY MONUMENT |
| --- | LEAD & DISC "LS 3168" |
| --- | PER CORNER RECORD 33290 |
| --- | SURFACE FLOW |
| --- | WATER METER |
| --- | SPOT ELEVATION |
| --- | GROUND CONTOUR (5' INTERVAL) |
| --- | GROUND CONTOUR (1' INTERVAL) |
| (NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE) | |

| ABBREVIATIONS | |
|---------------|------------------|
| ASPH | ASPHALT |
| BLDG | BUILDING |
| CO | CLEANOUT (SEWER) |
| CONC | CONCRETE |
| EL | ELEVATION |
| FL | FLOWLINE |
| H | HEIGHT |
| PP | UTILITY POLE |
| R/W | RIGHT OF WAY |
| SS | SANITARY SEWER |
| TC | TOP OF CURB |
| TYP | TYPICAL |
| WM | WATER METER |

| SUBMITTAL DATE: 02/09/16 | | |
|--------------------------|------------------|-------------|
| REVISIONS | | |
| NO. | DESCRIPTION | BY DATE |
| 1 | ADD SETBACKS | VF 03/14/16 |
| 2 | CYCLE 2 ISSUES | VF 05/02/16 |
| 3 | CYCLE 4/PLANNING | VF 08/08/16 |
| 4 | - | - |
| 5 | - | - |

PREPARED BY:
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VERNON V. FRANK, PLS 7927 DATE

ATTACHMENT 11 TM