



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: July 6, 2016 REPORT NO. HO-16-036

HEARING DATE: July 13, 2016

SUBJECT: Bacon Street TM & CDP. Process Three Decision

PROJECT NUMBER: [427072](#)

OWNER/APPLICANT: Krishna Kumar Bhakta, San Diego Realty Ventures I, LLC/Abhay Schweitzer, Ideal Environmental, LLC

### SUMMARY:

Issue: Should the Hearing Officer approve the construction of a two-unit residential project located at 1764 Bacon Street within the Ocean Beach Community Planning Area?

### Staff Recommendation(s):

1. Approve Tentative Map No. 1548439.
2. Approve Coastal Development Permit No. 1500226.

Community Planning Group Recommendation: On May 4, 2016, the Ocean Beach Planning Board voted 8-0-1 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 29, 2016 and the opportunity to appeal that determination ended May 13, 2016.

### BACKGROUND

The 0.08-acre-site is located at 1764 Bacon Street in the RM-2-4 zone within the Parking Impact Overlay Zone (PIOZ) (Coastal and Beach Impact Areas), Residential Tandem Parking Overlay Zones (RTPOZ), Coastal Height Limitation Overlay Zone (CHLOZ), Coastal Overlay Zone (Appealable Area) and the First Public Roadway within the Ocean Beach Community Plan and Local Coastal Program Land Use Plan. The proposed project is also located in the Airport Land Use Compatibility Plan (San Diego International Airport (SDIA) - 60-65 CNEL), Airport Approach Overlay Zone (AAOZ), Airport Influence Area (AIA - Review Area 1), and FAA Part 77 Notification Area (SDIA and North Island NAS).

The proposed project will require a Tentative Map per [San Diego Municipal Code \(SDMC\) Section 125.0430](#), to create two condominium residential units. The proposed project will also require a Coastal Development Permit for development located within the Coastal Overlay Zone per [SDMC Section 126.0707\(b\)](#).

## DISCUSSION

### Project Description:

The project proposes to demolish an existing residence and detached garage, and to construct two detached condominium units of two-bedrooms each and five off-street parking spaces. Unit A is a 1,736-square-foot, two-story over basement unit and Unit B is a 1,864-square-foot, two-story over basement unit. The overall development is 3,600 square feet. The habitable square footage is 2,442 square feet or 0.7 floor area ratio on a 0.08-acre-lot in conformance with the allowable floor area ratio of 0.7. The project has been designed to comply with the community plan and applicable development regulations including land use intensity, height, setback, floor area ratio, landscaping and parking. No deviations are requested.

The project proposes two detached condominium units. Each unit would contain two bedrooms. The project proposes five off-street parking spaces, in conformance with the parking requirements of the RM-2-4 zone. The proposed subdivision and development of two residential condominium units has been designed to comply with all applicable development regulations of the RM-2-4 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested.

The applicant is required to underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code and to underground any new service run to any new or proposed structures within the subdivision as well. Public improvements, including new driveways, alleyway, and sidewalk, will be constructed to the satisfaction of the City Engineer.

The two-unit residential project will be subject to Inclusionary Housing regulations and will be required to pay in-lieu fees, prior to Building Permit issuance as outlined in the [San Diego Municipal Code \(SDMC\) Section 142.13](#).

### Community Plan Analysis:

The Ocean Beach Community plan designates the proposed project site for Medium Density Residential land use at a density of 15-29 dwelling units per acre (du/ac), and the proposed density of 25 du/ac (two units on 0.08-acre-site) is in conformance with this designation. The RM-2-4 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 1,750 square feet of lot area and the 0.08-acre-site can accommodate two residential units. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development. The subdivision of this parcel into two residential condominium units is consistent with the Ocean Beach Community Plan.

The City of San Diego General Design Guide encourages a variety of roof types for new and infill development in Ocean Beach, including but not limited to flat and pitched roofs of various forms such as hips, gables, lean-to and saw-tooth roofs. A variety of roof types helps to provide visual

interest and minimize the bulk and scale of development. The proposed conceptual design is characteristic of modern architecture as it is simplified with an emphasis on rectangular, horizontal, and vertical lines with a flat roof. The primary wall surface material is stucco, and offsets are incorporated into the design to break up building wall mass at the front elevation with various superficial elements (i.e. wood siding, railing), balcony, and covered entry.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan also welcomes change through innovation demonstrated by architectural design that is compatible with the surrounding neighborhood. Development in Ocean Beach presents an eclectic mix of architectural styles. These styles include a variety of roofs, materials, height, and bulk and scale.

The Ocean Beach Community Plan does not identify an existing or proposed public accessway on or adjacent to the site, nor, a view corridor on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property.

Conclusion:

The project has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. The proposed subdivision and development of two residential condominium units has been designed to comply with all applicable development regulations of the RM-2-4 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested. Staff has reviewed the project and determined that the proposed design, form, and siting of the proposed development will be in conformity with the land use plan and complies with all regulations.

ALTERNATIVES

1. Approve Tentative Map No. 1548439 and Coastal Development Permit No. 1500226, with modifications.
2. Deny Tentative Map No. 1548439 and Coastal Development Permit No. 1500226, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



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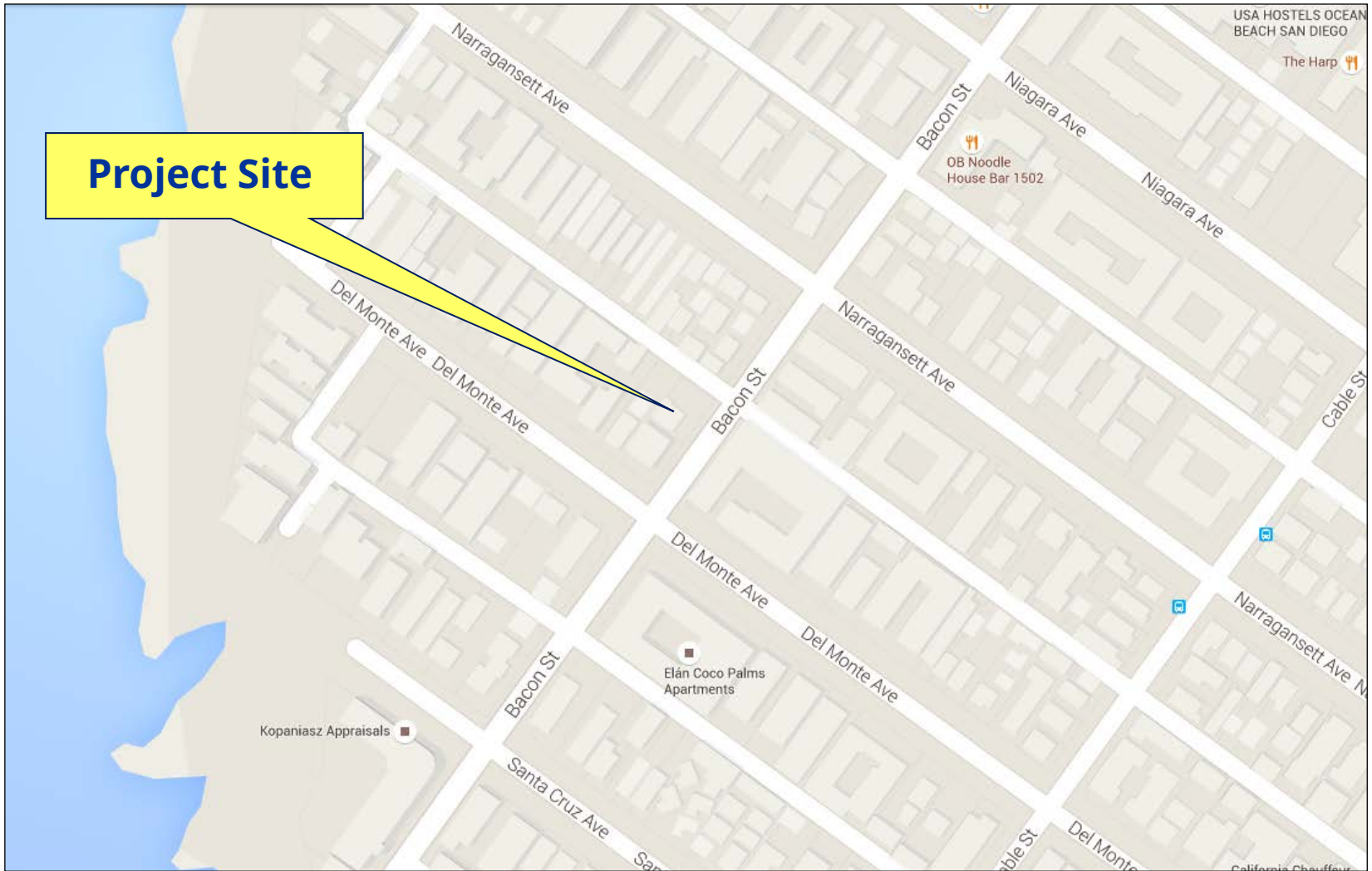
Gaetano Martedi, Development Project Manager

Attachments:

1. Project Location Map

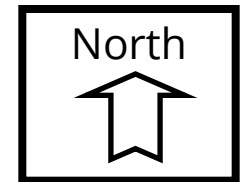
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution
8. Draft Map Conditions
9. Environmental Exemption
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans
13. Tentative Map

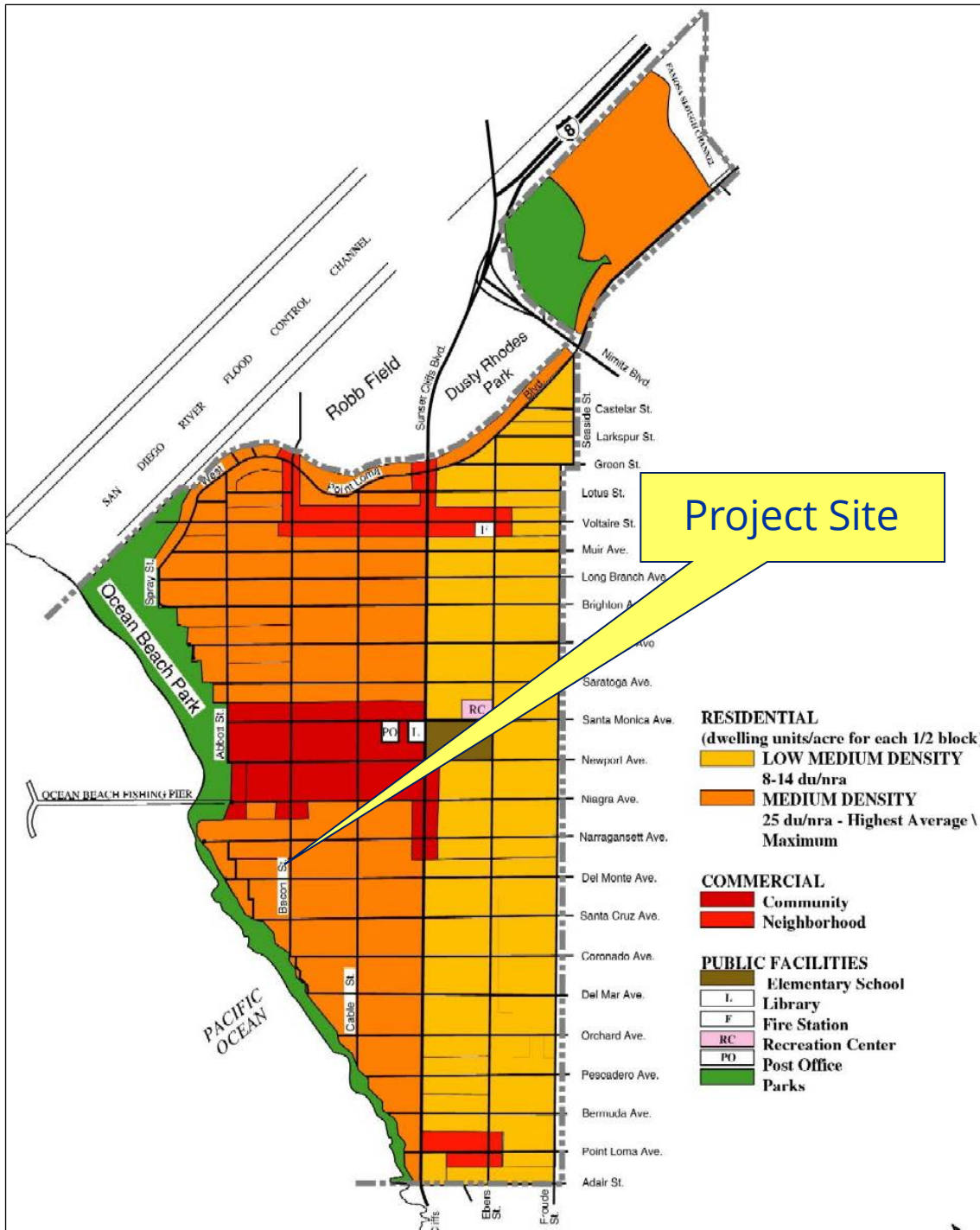




## Project Location Map

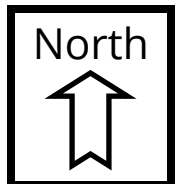
**BACON STREET TENTATIVE MAP AND COASTAL DEVELOPMENT PERMIT -**  
**1764 BACON STREET**  
**PROJECT NO. 427072**





# Land Use Map

**BACON STREET TENTATIVE MAP AND COASTAL DEVELOPMENT PERMIT - 1764 BACON STREET PROJECT NO. 427072**

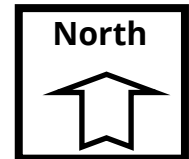






**Location Aerial Photo**

**BACON STREET TENTATIVE MAP AND COASTAL DEVELOPMENT PERMIT -**  
**1764 BACON STREET**  
**PROJECT NO. 427072**



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Bacon Street CDP/TM	
<b>PROJECT DESCRIPTION:</b>	Demolition of an existing residence with detached garage and for the construction of two detached single dwelling units; Unit A 1,736 square feet, two-story over basement; and Unit B 1,864 square feet, two-story over basement at 1764 Bacon Street.	
<b>COMMUNITY PLAN AREA:</b>	Ocean Beach	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit and Tentative Map Process 3	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Medium density residential at 15-29 dwelling units per acre (du/ acre) in the Ocean Beach Plan and Local Coastal Program.	
<b>ZONING INFORMATION:</b>		
	<b>ZONE:</b> RM-2-4 Zone	
	<b>HEIGHT LIMIT:</b> 30 feet	
	<b>LOT SIZE:</b> 0.08 acres	
	<b>FLOOR AREA RATIO:</b> 0.7	
	<b>FRONT SETBACK:</b> N/A	
	<b>SIDE SETBACK:</b> 4 feet	
	<b>STREETSIDE SETBACK:</b> 10 feet	
	<b>REAR SETBACK:</b> 5 feet	
	<b>PARKING:</b> 5	
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	RM-2-4-SF Zone	Multi Family Residential
<b>SOUTH:</b>	RM-2-4-SF Zone	Multi Family Residential
<b>EAST:</b>	RM-2-4-SF Zone	Multi Family Residential
<b>WEST:</b>	RM-2-4-SF Zone	Multi Family Residential
<b>DEVIATION REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On May 4, 2016 the Ocean Beach Planning Board, voted 8-0-1 to recommend approval of the proposed project without conditions/recommendations.	

HEARING OFFICER  
 RESOLUTION NO. HO-\_\_\_\_\_  
 COASTAL DEVELOPMENT PERMIT NO. 1500226  
**BACON STREET TM & CDP**  
**PROJECT NO. 427072**

WHEREAS, San Diego Realty Venture I, LLC, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit and Tentative Map for the demolition of an existing residence and detached garage, and for the construction of two detached condominium units. Unit A is a 1,736-square-foot, two-story over basement unit and Unit B is a 1,864-square-foot, two-story over basement unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1500226), on portions of a 0.08 acre-site;

WHEREAS, the project site is located at 1764 Bacon Street in the Coastal (Appealable) Overlay Zone, in the RM-2-4 zone, of the Ocean Beach Community Plan;

WHEREAS, the project site is legally described as: All that portion of lots 32 and 33 in Block 70 of Ocean Beach, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 279, filed in the office of the County Recorder of San Diego County, May 28, 1887, and as more completely described in "Exhibit A;"

WHEREAS, on July 13, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1500226, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on April 29, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated July 13, 2016.

**Coastal Development Permit - Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

There is no existing or proposed public accessway on or adjacent to the project site, as shown in the Ocean Beach Community Plan, Figure 7.2. As the proposed development observes all required setbacks and is constructed entirely on private property, it does not

impede any public view corridors, viewsheds, intermittent or partial vista views, public vantage view points, or scenic overlooks on or adjacent to the project site. The Ocean Beach Community Plan/ Local Coastal Program (LCP) land use plan does not identify a public view corridor on or adjacent to the site. Therefore, the proposed coastal development will enhance and protect the public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The 0.08-acre-site is currently developed with an existing single-family residence and is not located on or adjacent to environmentally sensitive lands. The project site is located in a built urbanized location. The project was determined to be exempt from environmental review under the California Environmental Quality Act (CEQA) Guidelines. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The Ocean Beach Community Plan designates the project site in the RM-2-4 Zone for residential use at a density range of 15-29 dwelling units per acre (du/ac) and the proposal is within the range (two units on 0.08 acres: 25 du/ac). Figure 7.2 of the Ocean Beach Community Plan indicates that there is no existing or proposed public accessway or view corridor on or adjacent to the site.

The Ocean Beach Community Plan recommends that multi-story buildings avoid “walling off” public views and incorporate building articulation techniques including front, side and rear and upper story step backs, and aligning gable end with view corridor to maximize public coastal views. The proposed project is two stories at a height of approximately 29 feet which is less than the maximum permitted height of 30 feet. The proposed design incorporates building doors, windows and other openings to help create visual rhythms and patterns that break down the horizontal and vertical scale of the buildings. Building articulation includes outdoor setback patios on the upper elevations which serve to break up building facades and provide a visual hierarchy of design elements.

The proposed development of two residential condominium units has been designed to comply with all applicable development regulations of the RM-2-4 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested.

The development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.



**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 1764 Bacon Street, just south of Narragansett Avenue and north of Del Monte Avenue, and is located between the first public road and the Pacific Ocean. There is no existing or proposed public accessway to the beach from the project site as noted in the Ocean Beach Community Plan Figure 7.2. Therefore, the proposed development does not interfere with the public's right of access to the Pacific Ocean. The proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1500226 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1500226, a copy of which is attached hereto and made a part hereof.

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Gaetano Martedi  
Development Project Manager  
Development Services

Adopted on: July 13, 2016

IO#: 24005919

**RECORDING REQUESTED BY**  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION  
 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24005919

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1500226  
 BACON STREET TM & CDP-PROJECT NO. 427072  
 HEARING OFFICER

This Coastal Development Permit No. 1500226 is granted by the Hearing Officer of the City of San Diego to San Diego Realty Venture I, LLC, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0707. The 0.08-acre-site is located at 1764 Bacon Street, in the RM-2-4 Zone, Coastal Overlay (Appealable area), Coastal Height, FAA Part 77 Notification, Airport Influence (Review Area 1), Airport Approach, Tandem Parking, Coastal and Beach Parking, and ALUCP Noise Impact Overlay Zone(s) of the Ocean Beach Community Plan. The project site is legally described as: All that portion of lots 32 and 33 in block 70 of Ocean Beach, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 279, filed in the office of the County Recorder of San Diego County, May 28, 1887, and as more completely described in "Exhibit A."

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 13, 2016, on file in the Development Services Department. The project shall include:

- a. Demolition of an existing residence with detached garage and the construction of two detached two-story condominium units totaling 3,600 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.



**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 27, 2016.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**AIRPORT REQUIREMENTS:**

12. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

13. Prior to the issuance of any building permits, the Owner/Permittee shall assure that the structure shall be sound attenuated to 45 db CNEL interior noise level.

14. Prior to the issuance of any building permits, the Owner/Permittee shall record an overflight notification with the San Diego County Recorder or alternative method of notification approved by the San Diego County Airport Land Use Commission (ALUC).

15. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the recorded overflight notification, or alternative method of notification approved by the San Diego County Airport Land Use Commission (ALUC). A note shall be placed on all building plans indicating that an overflight notification has been recorded against the property. The note may include the County Recorder's recording number for the overflight notification.

**ENGINEERING REQUIREMENTS:**

16. The project proposes to export 365-cubic-yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of new driveways per current City Standards, adjacent to the site on the alley.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing asphalt alley adjacent to the site with current City Standard Drawing G-21 full width concrete alley.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to remove the private walkway/stair within the Bacon Street right-of-way.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portion of the alley apron, adjacent to the site, with current City Standard, SDG-120.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

25. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

26. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square feet area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

30. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan.

**PLANNING/DESIGN REQUIREMENTS:**

31. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

32. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.

33. The proposed development is subject to the Inclusionary Affordable Housing Ordinance for all residential development of two or more units. The project will be required to pay an inclusionary affordable housing fee per Chapter 14, Article 2, Division 13 of the San Diego Municipal Code (SDMC) prior to Building Permit issuance.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

35. A minimum of five (5) automobile spaces are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

36. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

37. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

38. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

39. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

40. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

42. Prior to issuance of any building permits, the Owner/Permittee shall obtain Encroachment Maintenance and Removal Agreement (EMRA) for the proposed 4-inch private sewer lateral located next the driveway.

**GEOLOGY REQUIREMENTS:**

43. Prior to issuance of the grading permit the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 13, 2016 and HO- .

Permit Type/PTS Approval No.: Coastal Development Permit/1500226  
Date of Approval: July 13, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Gaetano Martedi  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**SD Realty Ventures I,LLC**  
Owner/Permittee

By \_\_\_\_\_  
NAME: Krishnakumar Bhakta  
TITLE: Managing Member

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER RESOLUTION NUMBER HO-  
TENTATIVE MAP NO. 1548439  
BACON STREET TM & CDP - PROJECT NO. 427072

WHEREAS, San Diego Realty Venture I, LLC, Subdivider, and Ideal Environmental, LLC, Surveyor, submitted an application to the City of San Diego for a Tentative Map (TM) and a Coastal Development Permit (CDP) for the demolition of an existing residence with detached garage and the construction of two detached single dwelling units at 1764 Bacon Street; Unit A: 1,736 square feet, two-story over basement; and Unit B 1,864 square feet, two-story over basement. The project site is located north of Del Monte Avenue and south of Narragansett Avenue in the Ocean Beach Community Plan area. The property is legally described as: all that portion of lots 32 and 33 in block 70 of Ocean Beach, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 279, filed in the office of the County Recorder of San Diego County, May 28, 1887, and as described in Exhibit "A;" and

WHEREAS, the Map proposes the Subdivision of a 0.08-acre-site into one lot for a two-unit residential condominium; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on July 13, 2016, the Hearing Officer of the City of San Diego considered Vesting Tentative Map No. 1548439, and pursuant to San Diego Municipal Code section(s) 125.0440, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,



BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 1548439:

**1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.**

The Ocean Beach Community plan designates the proposed project site for Medium Density Residential land use at a density of 15-29 dwelling units per acre (du/ac), and the proposed density of 25 du/ac (two units on 0.08-acre-site) is in conformance with this designation. The RM-2-4 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 1,750 square feet of lot area and the 0.08-acre-site can accommodate two residential units. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development. The subdivision of this parcel into two residential condominium units is consistent with the Ocean Beach Community Plan.

The City of San Diego General Design Guide encourages a variety of roof types for new and infill development in Ocean Beach, including but not limited to flat and pitched roofs of various forms such as hips, gables, lean-to and saw-tooth roofs. A variety of roof types helps to provide visual interest and minimize the bulk and scale of development. The proposed conceptual design is characteristic of modern architecture as it is simplified with an emphasis on rectangular, horizontal, and vertical lines with a flat roof. The primary wall surface material is stucco, and offsets are incorporated into the design to break up building wall mass at the front elevation with various superficial elements (i.e. wood siding, railing), balcony, and covered entry.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan also welcomes change through innovation demonstrated by architectural design that is compatible with the surrounding neighborhood. Development in Ocean Beach presents an eclectic mix of architectural styles. These styles include a variety of roofs, materials, height, and bulk and scale.

The Ocean Beach Community Plan does not identify an existing or proposed public accessway on or adjacent to the site, nor, a view corridor on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The project proposes to create two residential condominium units on a 0.08-acre- site. The proposed development of two residential condominium units have been designed to

comply with all applicable development regulations of the RM-2-4 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested.

The applicant is required to underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code and to underground any new service run to any new or proposed structures within the subdivision as well as. As the proposed subdivision complies with height, parking, and utility undergrounding requirements, the project complies with the applicable zoning and development regulations of the Land Development Code.

**3. The site is physically suitable for the type and density of development.**

The Ocean Beach land use plan designates the proposed project site for Medium Density Residential use at a density of 15-29 dwelling units per acre (du/ac). The proposed density of 25 du/ac (two units on 0.08-acre-site) is in conformance with the Residential Subarea of the Community Plan.

The Residential Land Use Designations and RM-2-4 zone allow multiple dwelling units on a single-parcel. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development.

Therefore, the project is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site is located within an urbanized environment where there are no watercourses or environmentally sensitive lands harboring fish or wildlife on or adjacent to the site. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The project has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions within the permit include reconstructing the existing asphalt alley and damaged portion of the alley apron, adjacent to the site, entering into a Maintenance Agreement for the ongoing permanent BMP maintenance, incorporating construction Best Management Practices, underground existing and/or proposed public utility systems and service facilities, underground any new service run to any new or proposed structures within the subdivision, and that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits.

Incorporating these conditions into the permit will help avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area.

The subdivider will also provide for the health, safety, and welfare of the residents by constructing all buildings in accordance with current construction standards and codes. Prior to issuance of any construction permit for the proposed development, the construction documents shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing, and Fire Code requirements to assure the structures will meet or exceed the current regulations and the standards for public improvements, including construction of new driveways, alleyway, and sidewalk, to the satisfaction of the City Engineer. The City's review of the construction documents, issuance of construction permits, and inspection of the project will ensure that the development will be safe and built according to the required standards.

Therefore, the design of the subdivision will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The 0.08-acre project site does not contain any public easements that have been acquired by the public at large for access through or use of property within the proposed subdivision. Therefore, the design of the subdivision or the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The two-building units provide windows on all elevations, allowing for ample natural light at all times of the year. The units have exterior private decks or patios that will have direct sunlight for portions of the day. The proposed two-building condominiums on this 0.08-acre site will not impede or inhibit any future passive or natural heating and cooling opportunities. The future construction of the multi-family homes would not be impeded or inhibited from incorporating any future passive or natural heating and cooling opportunities. With the design of the proposed subdivision each structure will have the opportunity, through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project proposes the development of two residential condominium units on a 0.08-acre-site. The proposed addition of two residential condominium units is consistent with the recommended density, and the housing needs anticipated in this area, per the Ocean Beach land use plan, and will result in a net increase of one dwelling unit on the subject site.

The City's Housing Element of the General Plan recommends policies and programs to address the issue of balanced community housing assistance needs of low- and moderate-income families. The proposed development is subject to the Inclusionary Affordable Housing Ordinance. The project will be required to pay an inclusionary affordable housing fee per the [San Diego Municipal Code \(SDMC\) Section 142.13](#) prior to Building Permit issuance.

Balanced needs for public facilities were taken into consideration with the development of the Ocean Beach land use plan, and the projected build-out with the applicable zone designations. Existing infrastructure including sidewalks, improved streets, schools, public transit, small businesses, shopping, and other multi-family residences in the surrounding area supports the proposed development. The subdivision of this parcel into two residential condominium units is consistent with the Ocean Beach Community Plan.

The decision maker has reviewed the administrative record including the project plans, the environmental determination, and has considered the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs of public services and the available fiscal and environmental resources, and found the addition of two residential condominium units on the 0.08-acre-site is consistent with the housing needs anticipated for the Ocean Beach Community Plan area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, hereby granted to San Diego Realty Venture I, LLC subject to the attached conditions which are made a part of this resolution by this reference.

By \_\_\_\_\_  
 Gaetano Martedi  
 Development Project Manager  
 Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24005919

HEARING OFFICER  
CONDITIONS FOR TENTATIVE MAP NO. 1548439,  
BACON STREET TM & CDP- PROJECT NO. 427072  
ADOPTED BY RESOLUTION NO. ON JULY 13, 2016

**GENERAL**

1. This Tentative Map will expire July 27, 2019.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Map Waiver No. 1548439 shall conform to the provisions of Coastal Development Permit No. 1500226.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

**ENGINEERING**

7. Prior to the recordation of the Parcel Map, the Subdivider shall set monumentations and file a Corner Record in the office of the County Recorder.
8. The subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
9. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.

10. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
11. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
12. The Subdivider shall prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
13. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

#### **MAPPING**

14. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
15. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
16. The Tentative Map Exhibit has been signed-off by the Map Check discipline. Once the Tentative Map is approved by the City, a Parcel Map based on a field survey will be required. The map shall be recorded prior to the expiration date of the Tentative Map.
17. Prior to the recordation of the Parcel Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.
18. The Parcel Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.

- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

**INFORMATION:**

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24005919



## NOTICE OF EXEMPTION

*(Check one or both)*

TO:  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

Project No.: 427072 Project Title: Bacon Street Tentative Map and Coastal Development Permit

Project Location-Specific: The project is located at 1764 Bacon Street, San Diego, CA 92107.

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Tentative Map (TM) and Coastal Development Permit (CDP) for the demolition an existing residence with detached garage and for the construction of two detached single dwelling units, a 1,736-square-foot two story residence over a basement and a 1,864-square-foot two story residence over a basement at 1764 Bacon Street in the Ocean Beach Community Plan area. The 0.08 acre site is subject to the RM-2-4 zone and the Coastal (Appealable) Overlay Zone.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Abhay Schweitzer/Agent  
 Techne  
 3060 University Avenue  
 San Diego, CA, 92104  
 (619) 940-5814

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: CEQA Exemption 15303 (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, as described in the Project Description section of this notice, meets the criteria set forth in CEQA Section 15303(a) which addresses the construction and location of limited numbers of new, small facilities or structures, specifically, in urbanized areas, up to three single-family residences may be constructed under this exemption. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna L. McPherson /Senior Planner  
Signature/Title

April 29, 2016  
Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:

**From:** [John Ambert](#)  
**To:** [Abhay Schweitzer](#)  
**Cc:** [Martedi, Gaetano](#); [krishna@sdrealtgroup.net](mailto:krishna@sdrealtgroup.net)  
**Subject:** Re: 1764 Bacon Street – PTS # 427072 - CDP and TM - OB Planning Board vote  
**Date:** Wednesday, May 11, 2016 12:34:06 PM

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Hi Abhay + Gaetano,

The outcome of the vote was 8-0-1 with the abstention coming from one of our new planning board members who was not ready to make a recommendation for the project. I will send over the draft meeting minutes once I receive them.

Thanks

-John

John M. Ambert  
AIA, LEED AP BD+C  
Ocean Beach Planning Board, Chair  
e: [johnambert@gmail.com](mailto:johnambert@gmail.com)  
#: [805.801.2015](tel:805.801.2015)

On Wed, May 11, 2016 at 12:04 PM, Abhay Schweitzer <[abhay@techne-us.com](mailto:abhay@techne-us.com)> wrote:

Good afternoon John,

Our project manager at the city, Gaetano Martedi, is writing the report to the hearing officer and needs to know the planning group recommendation in order to incorporate it into the document. An email with the outcome of the vote is sufficient for now. Would you mind replying back with the outcome of the vote?

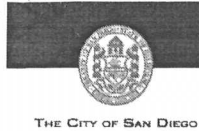
Thank you very much

ABHAY SCHWEITZER

**Assoc. AIA- Principal**

3956 30th Street. San Diego, CA 92104  
[techne-us.com](http://techne-us.com) [sustainablearchitect.org](http://sustainablearchitect.org)

o [619-940-5814](tel:619-940-5814)    m [313-595-5814](tel:313-595-5814)



City of San Diego  
**Development Services**  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title**

Bacon St. Residences

**Project No. For City Use Only**

**Project Address:**

1764 Bacon St.

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Project Title:	Project No. (For City Use Only)
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**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation  
  Limited Liability -or-  
  General) What State? CA  
 Corporate Identification No. 47-323-3552  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**    Yes    No

Corporate/Partnership Name (type or print):  
SD Realty Ventures I, LLC

Owner    Tenant/Lessee

Street Address: 740 32nd street

City/State/Zip: San Diego 92102

Phone No: 619 840 1260   Fax No:

Name of Corporate Officer/Partner (type or print):  
Krishnakumar Bhakta

Title (type or print): managing member

Signature : [Signature]   Date: 5/27/15

Corporate/Partnership Name (type or print):  
SD Realty Ventures I, LLC.

Owner    Tenant/Lessee

Street Address: ← Same

City/State/Zip: \_\_\_\_\_

Phone No: 619 840 1260   Fax No: —

Name of Corporate Officer/Partner (type or print):  
Jitendra C. Bhakta

Title (type or print): member

Signature : [Signature]   Date: 5/27/15

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :   Date:

Corporate/Partnership Name (type or print):

Owner    Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:   Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

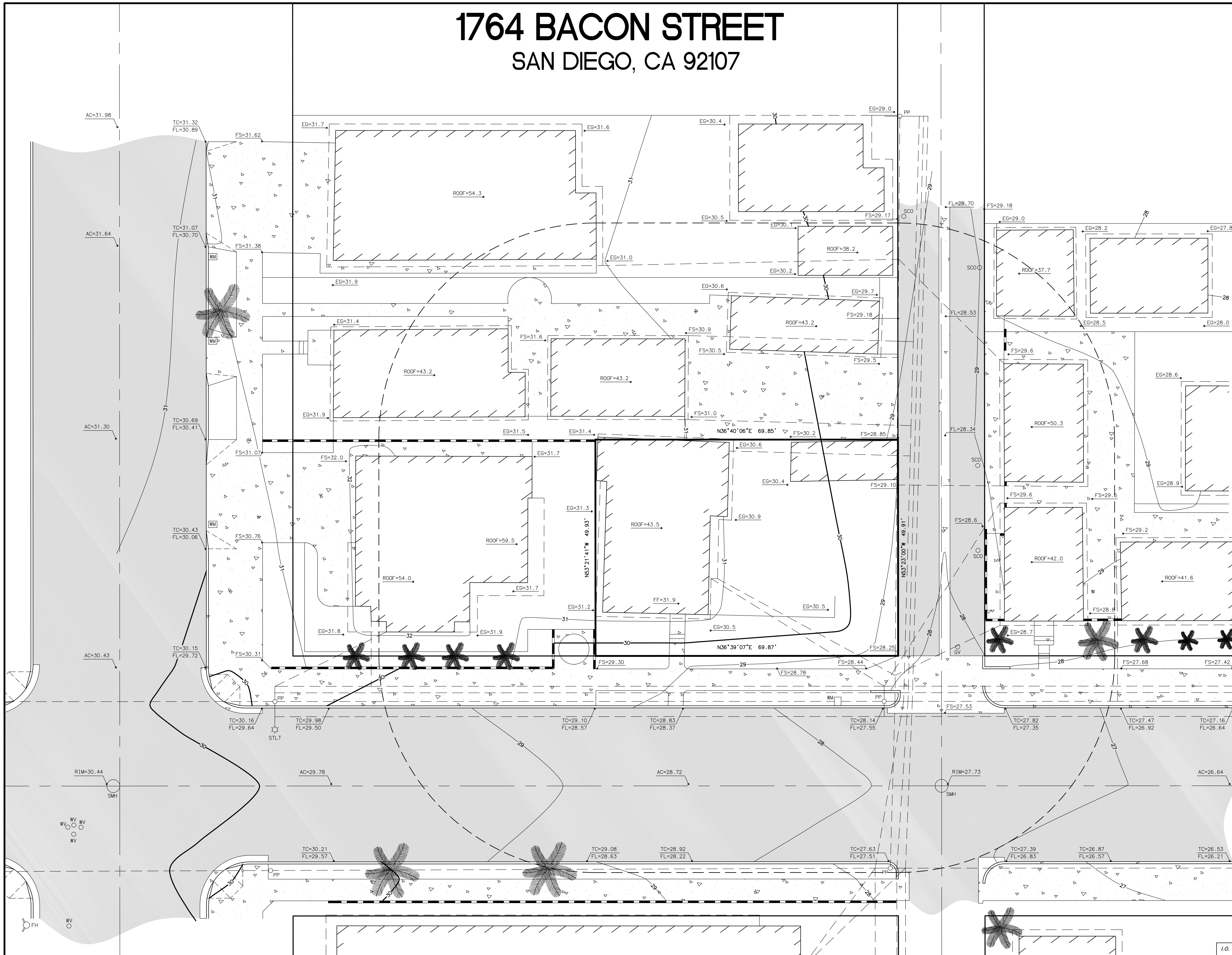
Signature :   Date:







# 1764 BACON STREET SAN DIEGO, CA 92107



**ACCURATE**  
**LAND SURVEYS**  
2514 ALPINE BLVD. SUITE #4, ALPINE, CA 91901  
PH. 619-445-0110



04/04/15  
ROBERT J. RUSSELL, PLS DATE

I.O.	PTS.	CCS	L.C.
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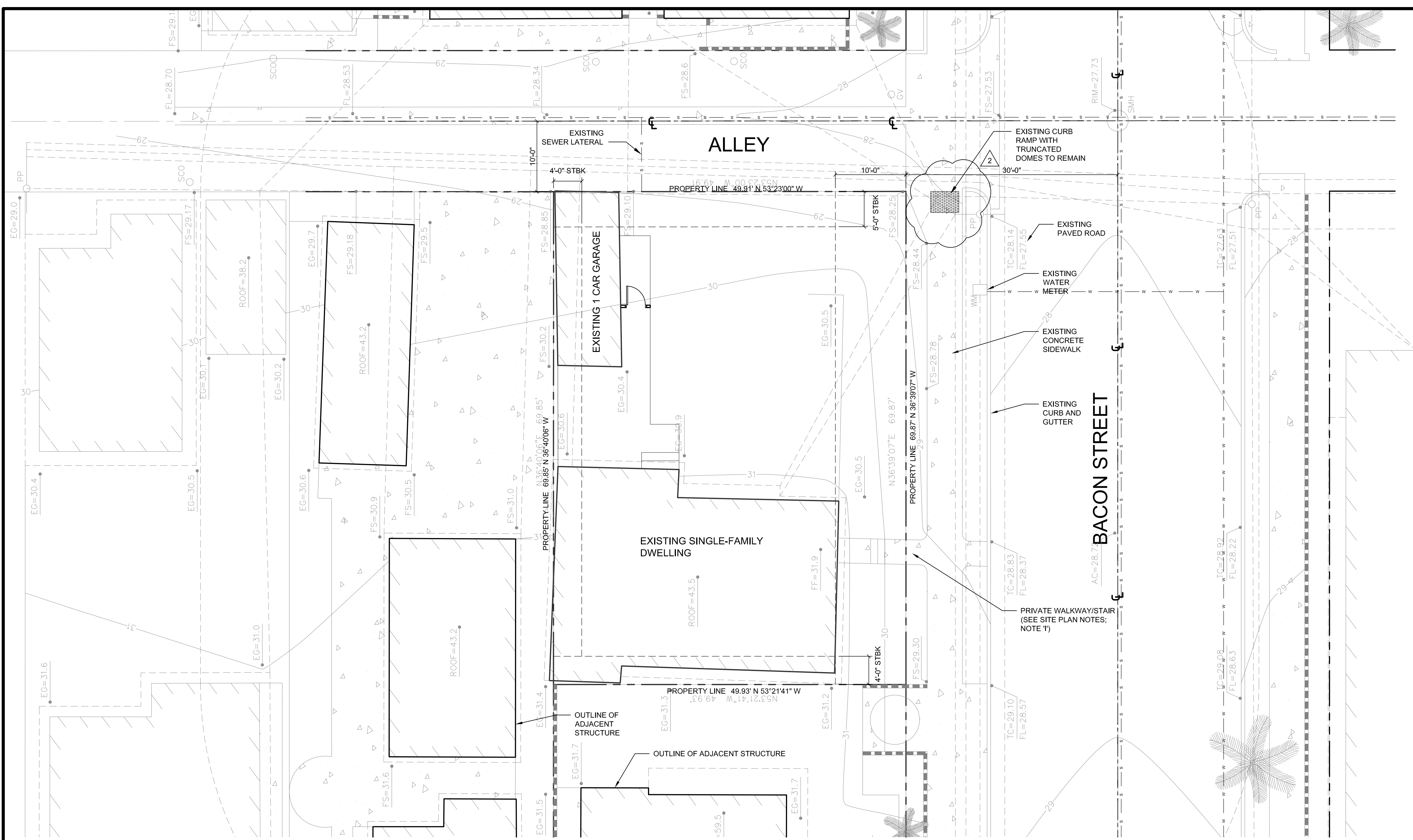


CONSULTANTS

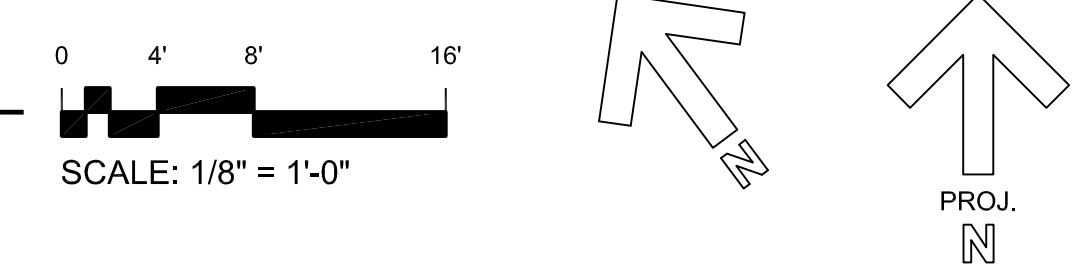


1764 Bacon St.  
 San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



1 SITE PLAN - EXISTING  
 SCALE: 1/8" = 1'-0"



SITE PLAN NOTES

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of this project and mark perimeter of construction zone.
- E. See Topographic Survey for additional information regarding existing conditions.
- F. See Proposed Roof Plan, Sheet A105, for additional information.
- G. Refer to title sheet G001 for additional information such as areas, setbacks, zoning and more.
- H. EASEMENTS: No existing easements and none proposed.
- I. PRIVATE WALKWAY / STAIR: Remove the private walkway/stair from the Bacon Street's right-of-way.
- J. WATER MAIN: Remove (kill) at the water main any existing unused water service.
- K. SEWER LATERAL: Cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF EXISTING LANDSCAPE
- AREA OF EXISTING HARDSCAPE
- SITE DRAINAGE PATTERN

MARK	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

PROJECT NO:	1505
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CAD DWG FILE:	A101 SITE PLAN - EXISTING.DWG
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DRAWN BY:	A.S., J.C., J.S.
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CHK'D BY:	A.S.
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SHEET TITLE  
**SITE PLAN - EXISTING**



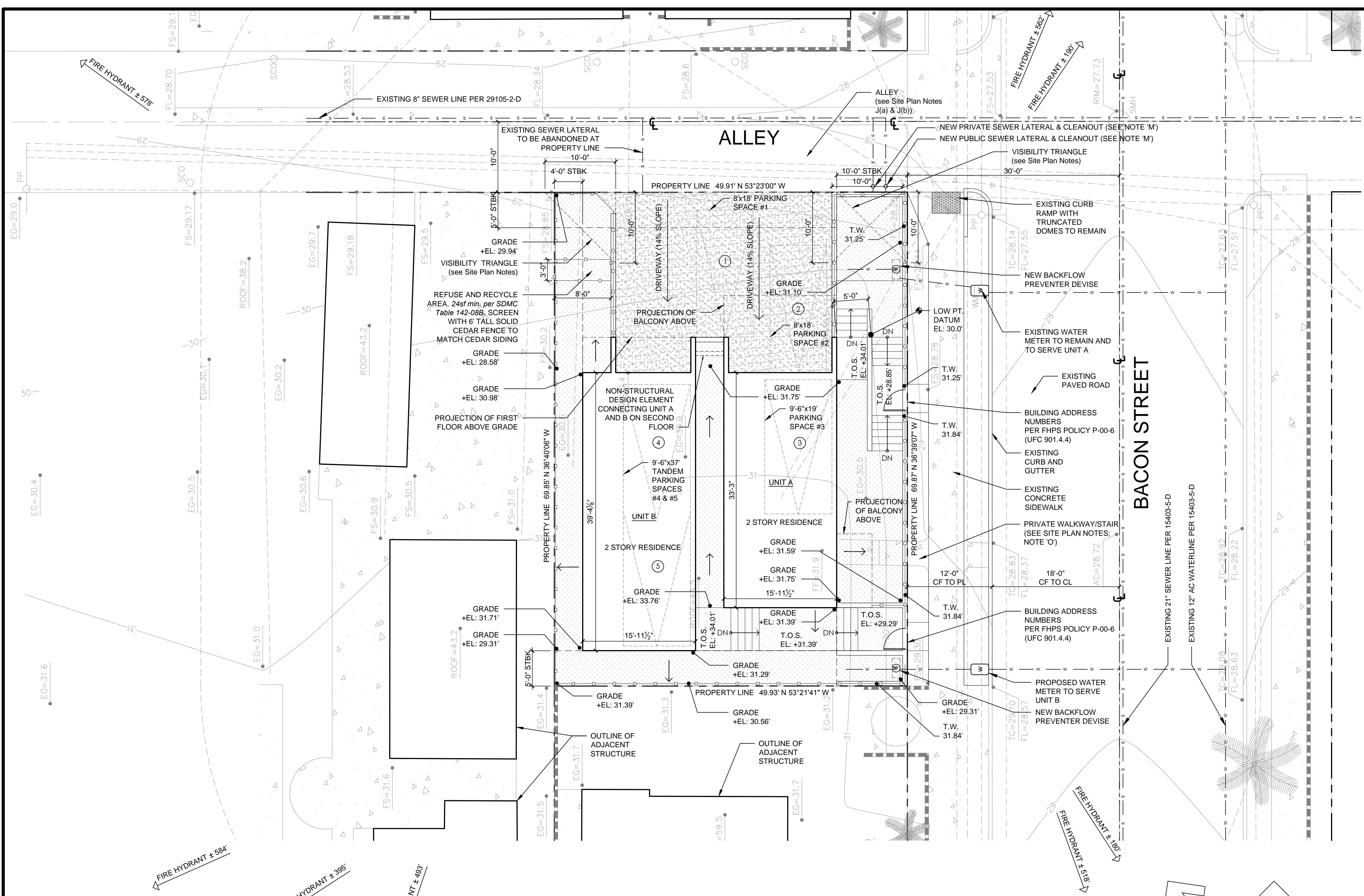
CONSULTANTS

Blank area for consultant information.

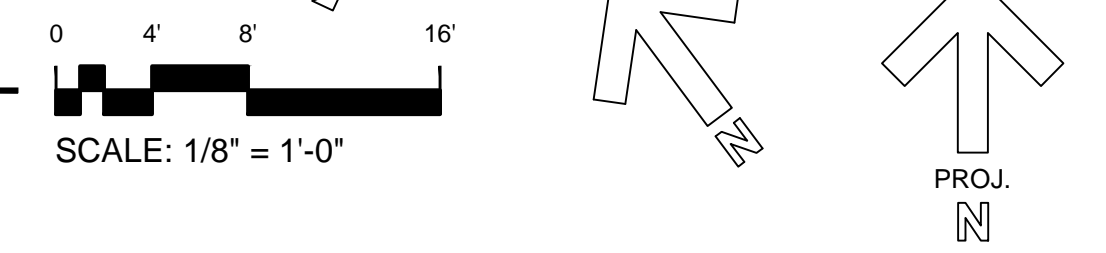
Blank area for consultant information.

OWNER  
1764 Bacon St.  
San Diego, CA 92107

SD Realty Ventures I, LLC  
740 32nd St  
San Diego, CA 92102

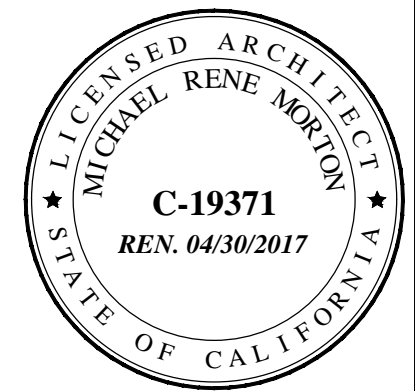


1 SITE PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



FAA SELF-CERTIFICATION STATEMENT

I Michael R. Morton, California Licensed Architect C-19371, do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.



**Grading Quantities**

	CUT (ft <sup>3</sup> )	FILL (ft <sup>3</sup> )
1764 Bacon St.	2108	0
Driveway	0	0
Front Yard	0	749
Side Yard	0	0
Yard Between Units	0	352
Rear Yard	0	0
Unit A	4048	0
Unit B	4800	0
TOTAL CUT (cu/yd) maximum excavation quantity	405.8	40.8
TOTAL FILL (cu/yd)		
GRAND TOTAL CUT/FILL (cu/yd)	365.0	
GRAND TOTAL CUT/FILL (cu/yd) outside of the building footprint	37.3	
GRAND TOTAL CUT/FILL (cu/yd) inside of the building footprint	327.7	
MAX. EXCAVATION DEPTH (ft) inside of building footprint	8.3	
MAX. EXCAVATION DEPTH (ft) outside of building footprint	8.2	

SITE PLAN NOTES

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any).
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect's office.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shutoff of any site utilities.
- F. Refer to Topographic Survey for additional information.
- G. TRANSIT STOPS: None existing adjacent to property and none proposed.
- H. BUILDING ADDRESS: Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC 901.4.4)
- I. EASEMENTS: No existing easements and none proposed.
- J. ALLEY:
  - a. Reconstruct the existing asphalt alley adjacent to the site with current City Standard Drawing G-21 full width concrete alley.
  - b. Reconstruct the damaged portion of the alley apron adjacent to the site with current City Standard Drawing SDG-120.
- K. VISIBILITY TRIANGLE: No obstruction including landscape or solid walls in the visibility area shall exceed 3 feet in height.
- L. CONSTRUCTION PERMIT ISSUANCE:
  - a. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
  - b. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
  - c. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
- M. SEWER: Existing sewer to be abandoned at property line. Two (2) new sewer lateral cleanouts (one public, one private) with a traffic rated cleanout box to be installed (one for each unit). The cleanouts need to be located in the public right-of-way (Alley) next to the property line.
  - a. Private sewer laterals require an Encroachment Maintenance and Removal Agreement (EMRA).
- N. WATER: Existing water service to remain to serve unit A. New water service to be installed to serve unit B.
- O. PRIVATE WALKWAY / STAIR: Remove the private walkway/stair from the Bacon Street's right-of-way.

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF PROPOSED STRUCTURES
- AREA OF PROPOSED LANDSCAPE
- AREA OF PROPOSED HARDSCAPE
- SITE DRAINAGE PATTERN

MARK	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
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03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

PROJECT NO: 1505  
CAD DWG FILE: A102 SITE PLAN - PROPOSED.DWG

DRAWN BY: A.S., J.C., J.S.  
CHK'D BY: A.S.

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SHEET TITLE  
**SITE PLAN - PROPOSED**

A102

SHEET 5 OF 19





DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
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CONSULTANTS

OWNER

1764 Bacon St.  
 San Diego, CA 92107

SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102

DEMOLITION GENERAL NOTES

- TECHNE and the Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE and the Architect issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before the start of demolition, contractor shall verify with the owner any item to be saved, covered or stored. Verify storage locations with owner before demolition commences.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at county-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and the Architect and owner if any removed wood shows evidence of active water leaks, termites or dry rot.
- Prepare existing window and/or door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE and the Architect to make modifications and/or other corrective measures.

FLOOR PLAN NOTES

- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALL: 2x4 wood stud wall
- EXISTING INTERIOR WALL: 2x4 wood stud wall

DEMOLITION PLAN KEYNOTES

- DEMOLISH EXISTING HOUSE & GARAGE, GRUB AND GRADE EXISTING LOT IN PREPARATION FOR NEW STRUCTURES.

DEMOLITION PLAN LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING MISC. ITEM TO BE REMOVED

01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
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04	04.11.16	Coastal Development Permit - Final Submittal

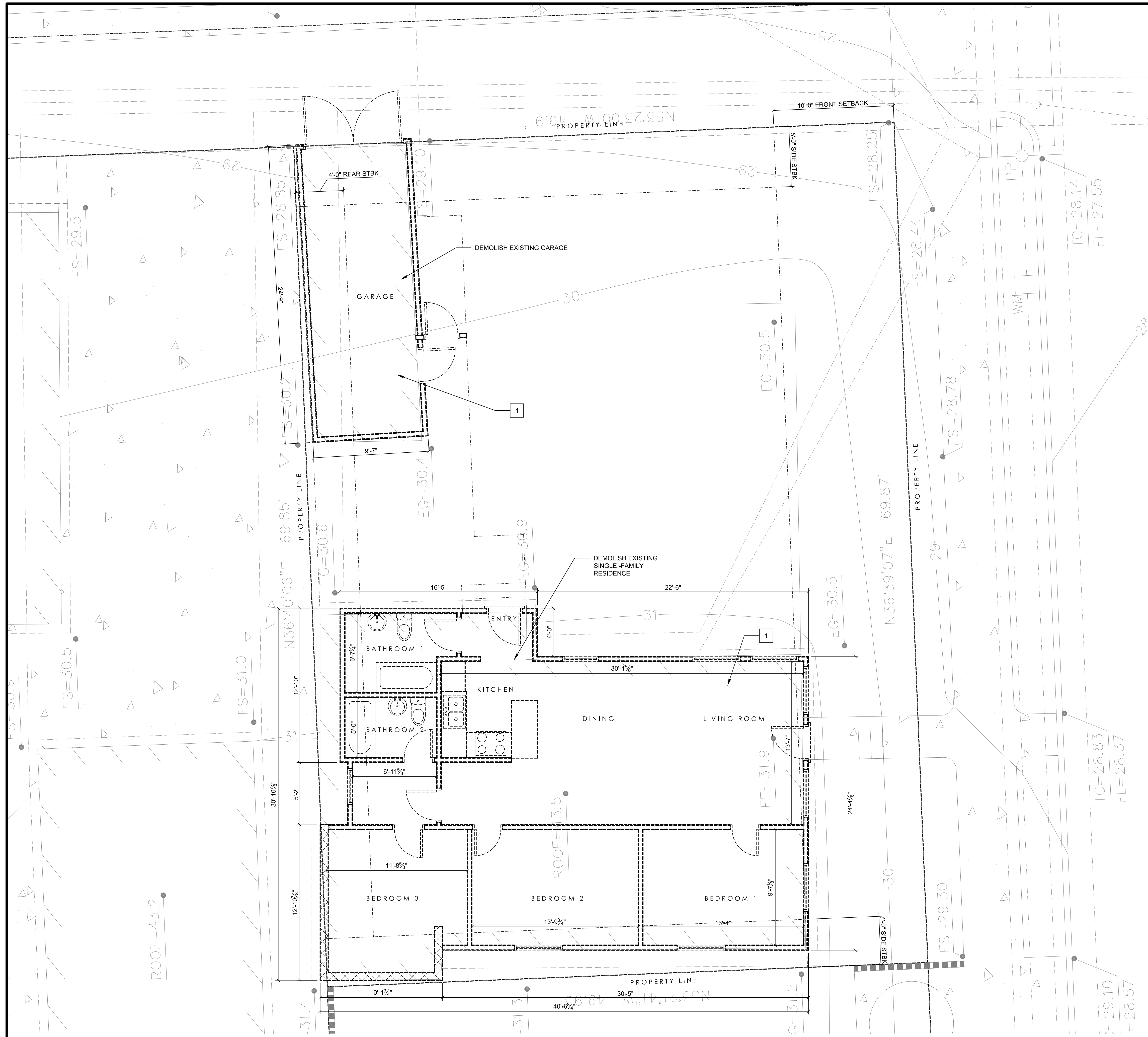
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PROJECT NO:	1505
CAD DWG FILE:	A103 FIRST FLOOR PLAN - EXISTING.DWG
DRAWN BY:	A.S.J.C., J.S.
CHK'D BY:	A.S.

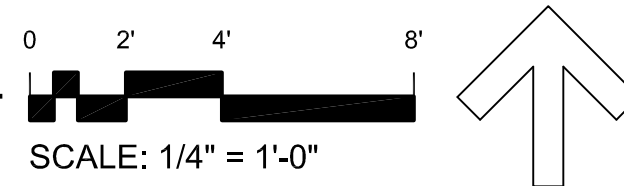
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SHEET TITLE  
**FIRST FLOOR PLAN - EXISTING/DEMO**

A103



1 FIRST FLOOR PLAN - EXISTING/DEMO  
 SCALE: 1/4" = 1'-0"







3956 30th Street, San Diego, CA 92104  
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 619-940-5814 m 313-595-5814

CONSULTANTS

OWNER

1764 Bacon St.  
 San Diego, CA 92107

OWNER

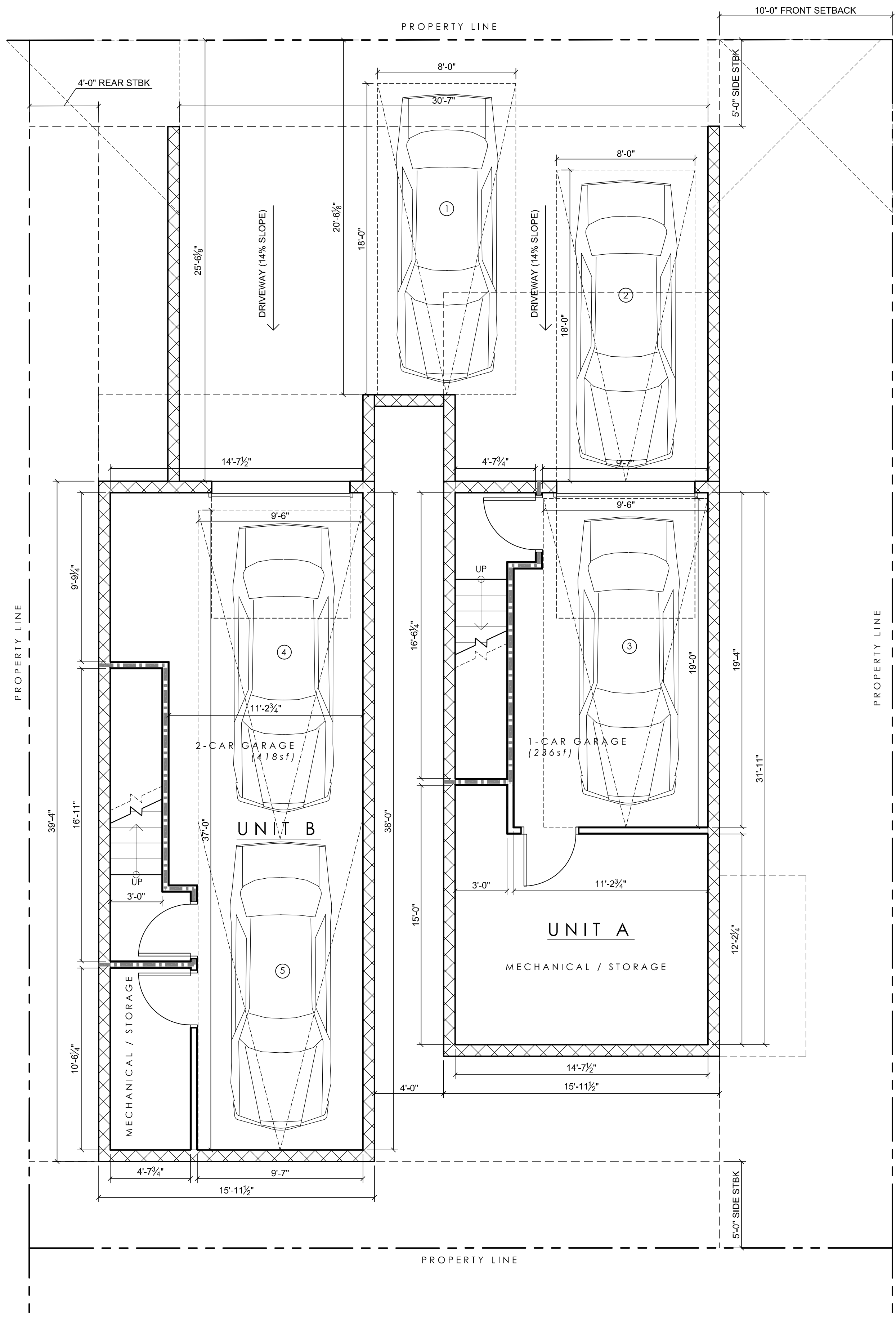
SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102

FLOOR PLAN NOTES

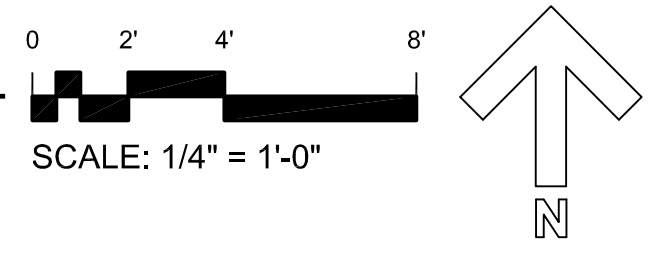
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.
- E. INSULATION:  
 R-15 Batt Insulation at all Exterior 2 X 4 Walls.  
 R-30 Batt Insulation at 2 X 10 Ceiling, Raised Floor & Roof Areas.  
 R-4.5 Insulation Wrap on all New Hot Water Piping.  
 R-8 Insulation Wrap on all New Supply Ducts.
- F. SMOKE DETECTORS: Shall be installed in each bedroom, in access points to each sleeping area and in each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Smoke alarms are required to be interconnected in such a manner that the activation of an alarm will activate all the alarms in the individual unit. Units shall be permanently wired to the building wiring and equipped with battery backup.
- G. SHOWER COMPARTMENTS: Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. CRC R307.2
- H. TEMPERATURE LIMITING DEVICES: Temperature limiting devices shall be provided at soaking tubs in conformance with the 2013 CPC section 414.5. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler that be limited to 120°F (49°C) by a device that conforms to ASSE 1070, Standard For Water Temperature Limiting Devices, or CSAB125.3, Standard for Plumbing Fittings. The water heater shall not be considered for meeting this provision.

FLOOR PLAN LEGEND

- EXTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board inside, 1/2" sheathing + 1/2" stucco on outside.
- EXTERIOR WALL: 2X6 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board inside, 1/2" sheathing + 1/2" stucco on outside.
- INTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
- INTERIOR WALL: 2X6 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
- EXTERIOR WALL: 8" Concrete Masonry Unit
- 1 HOUR FIRE RATED WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on inside and 1/2" cement plaster on outside. Per CBC 2013 Table 721.1(2) Item Number 15-1.3
- WALL OPENING: 80" high u.n.o. Finished with 5/8" gypsum board with square corners.
- DOOR AND SYMBOL: See door schedule for complete information
- WINDOW AND SYMBOL: See window schedule for complete information



1 BASEMENT PLAN - PROPOSED  
 SCALE: 1/4" = 1'-0"



01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
4/20/16	3:27:48 PM	

PROJECT NO: 1505

CAD DWG FILE: A104 BASEMENT PLAN - PROPOSED.DWG

DRAWN BY: A.S., J.C., J.S.

CHK'D BY: A.S.

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SHEET TITLE  
**BASEMENT PLAN - PROPOSED**



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CONSULTANTS

OWNER

1764 Bacon St.  
 San Diego, CA 92107

SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102

FLOOR PLAN NOTES

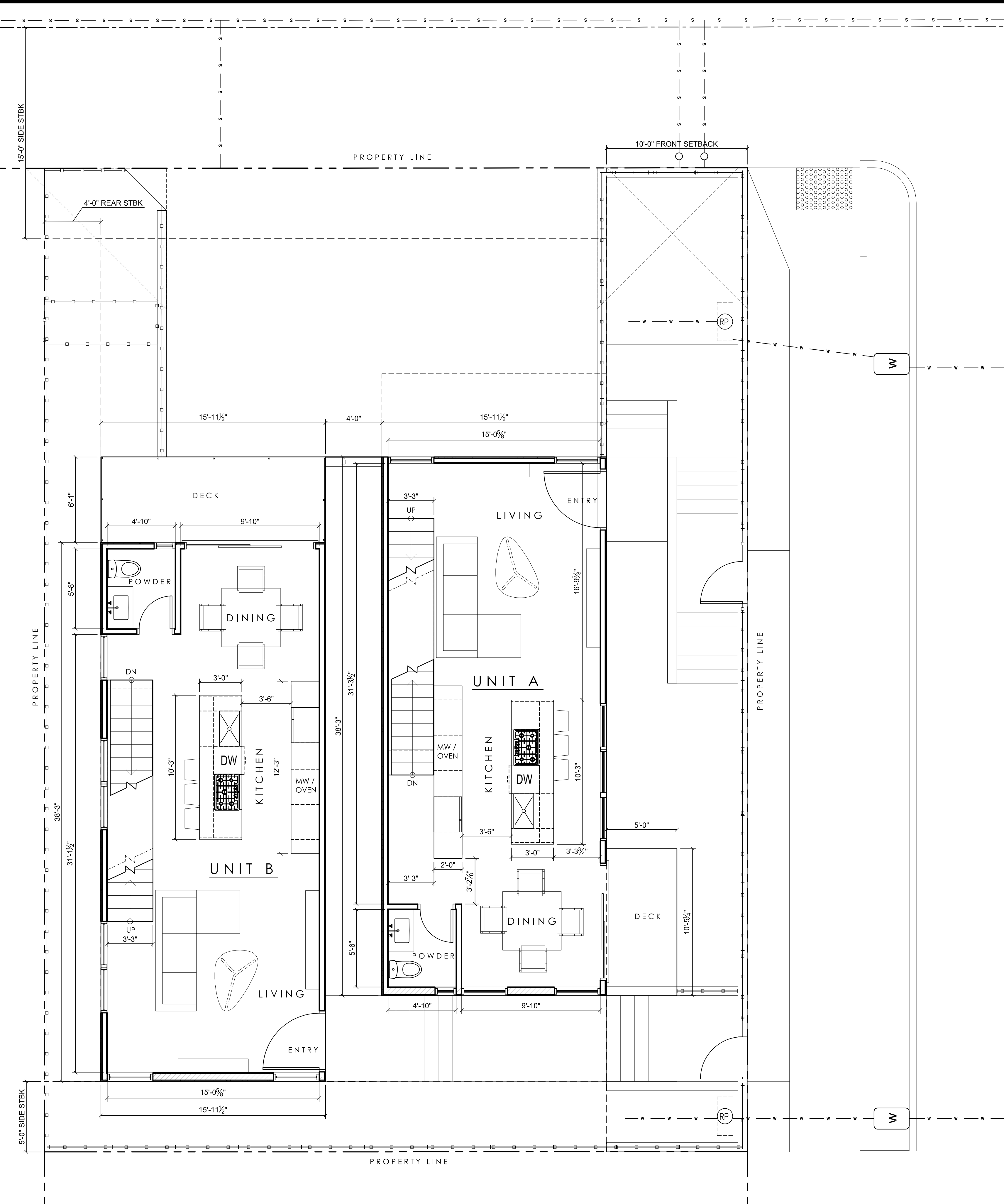
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.
- E. INSULATION:  
 R-15 Batt Insulation at all Exterior 2 X 4 Walls.  
 R-30 Batt Insulation at 2 X 10 Ceiling, Raised Floor & Roof Areas.  
 R-4.5 Insulation Wrap on all New Hot Water Piping.  
 R-8 Insulation Wrap on all New Supply Ducts.
- F. SMOKE DETECTORS: Shall be installed in each bedroom, in access points to each sleeping area and in each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Smoke alarms are required to be interconnected in such a manner that the activation of an alarm will activate all the alarms in the individual unit. Units shall be permanently wired to the building wiring and equipped with battery backup.
- G. SHOWER COMPARTMENTS: Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. CRC R307.2
- H. TEMPERATURE LIMITING DEVICES: Temperature limiting devices shall be provided at soaking tubs in conformance with the 2013 CPC section 414.5. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler that be limited to 120°F (49°C) by a device that conforms to ASSE 1070, Standard For Water Temperature Limiting Devices, or CSAB125.3, Standard for Plumbing Fittings. The water heater shall not be considered for meeting this provision.

DIMENSIONS

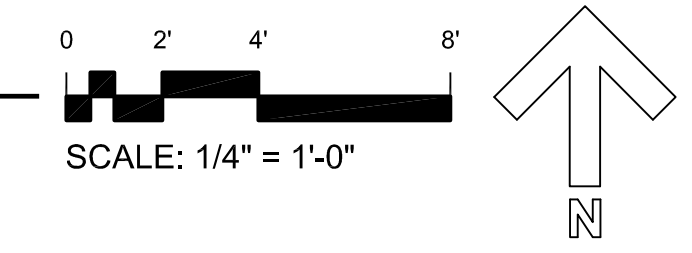
- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

	EXTERIOR WALL: 2x4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board inside, 1/2" sheathing + 1/2" stucco on outside.
	EXTERIOR WALL: 2x6 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board inside, 1/2" sheathing + 1/2" stucco on outside.
	INTERIOR WALL: 2x4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
	INTERIOR WALL: 2x6 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
	1 HOUR FIRE RATED WALL: 2x4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on inside and 1/2" cement plaster on outside. Per CBC 2013 Table 721.1(2) Item Number 15-1.3
	WALL OPENING: 80" high u.n.o. Finished with 5/8" gypsum board with square corners.
	DOOR AND SYMBOL: See door schedule for complete information
	WINDOW AND SYMBOL: See window schedule for complete information



1 FIRST FLOOR PLAN - PROPOSED  
 SCALE: 1/4" = 1'-0"



01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
	02/22/16	2:02:07 PM

PROJECT NO: 1505  
 CAD DWG FILE: A105 FIRST FLOOR PLAN - PROPOSED.DWG  
 DRAWN BY: A.S., J.C., J.S.  
 CHK'D BY: A.S.

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SHEET TITLE  
**FIRST FLOOR PLAN - PROPOSED**





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CONSULTANTS

OWNER

1764 Bacon St.  
 San Diego, CA 92107

SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102

FLOOR PLAN NOTES

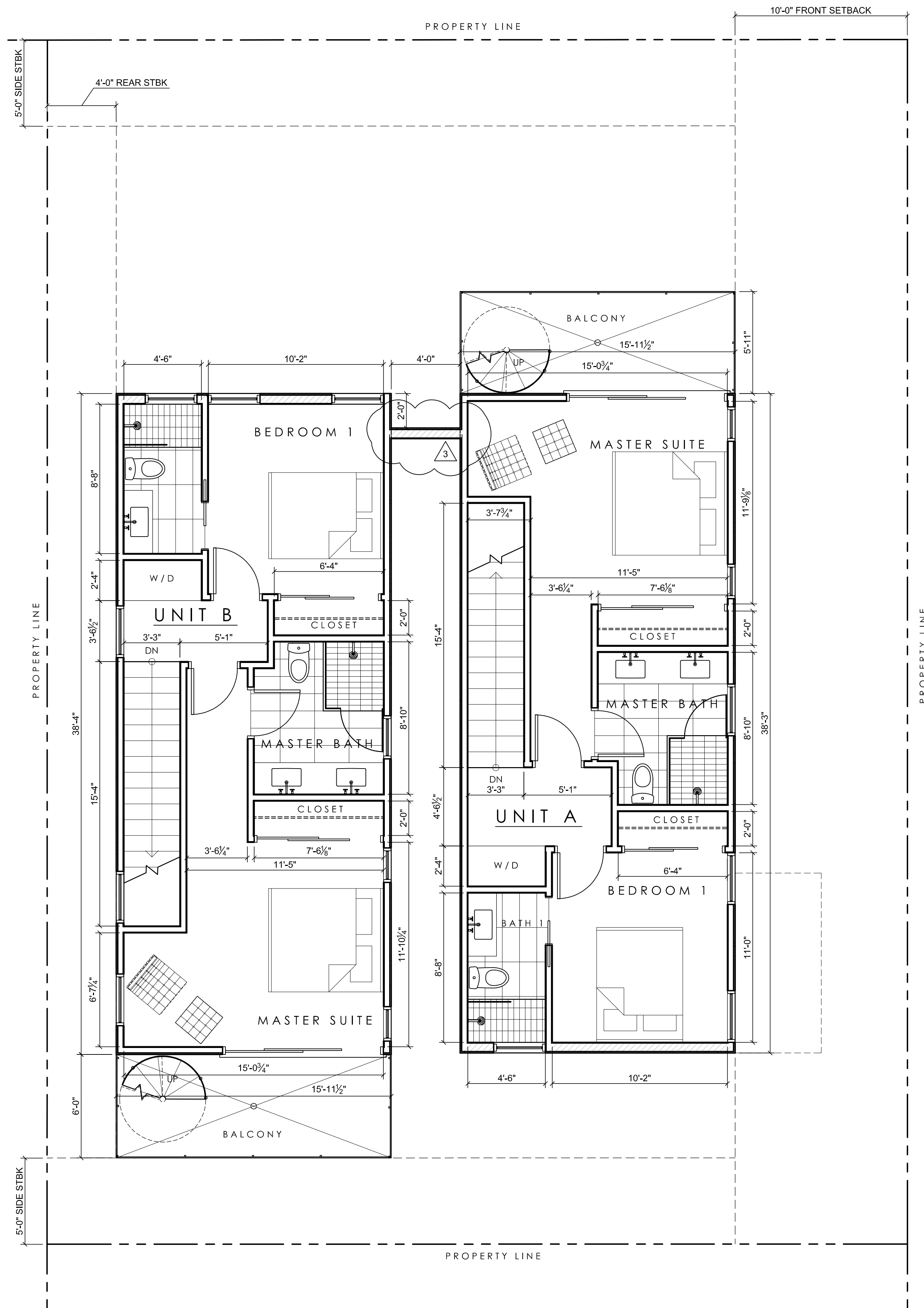
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
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- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.
- E. INSULATION:
  - R-15 Batt Insulation at all Exterior 2 X 4 Walls.
  - R-30 Batt Insulation at all accessible interior walls for sound control.
  - R-30 Batt Insulation at 2 X 10 Ceiling, Raised Floor & Roof Areas.
  - R-4.5 Insulation Wrap on all New Hot Water Piping.
  - R-8 Insulation Wrap on all New Supply Ducts.
- F. SMOKE DETECTORS: Shall be installed in each bedroom, in access points to each sleeping area and in each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Smoke alarms are required to be interconnected in such a manner that the activation of an alarm will activate all the alarms in the individual unit. Units shall be permanently wired to the building wiring and equipped with battery backup.
- G. SHOWER COMPARTMENTS: Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. CRC R307.2
- H. TEMPERATURE LIMITING DEVICES: Temperature limiting devices shall be provided at soaking tubs in conformance with the 2013 CPC section 414.5. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler that be limited to 120°F (49°C) by a device that conforms to ASSE 1070, Standard For Water Temperature Limiting Devices, or CSAB125.3, Standard for Plumbing Fittings. The water heater shall not be considered for meeting this provision.
- I. DECK DRAIN: Discharge to storm water drainage system.

DIMENSIONS

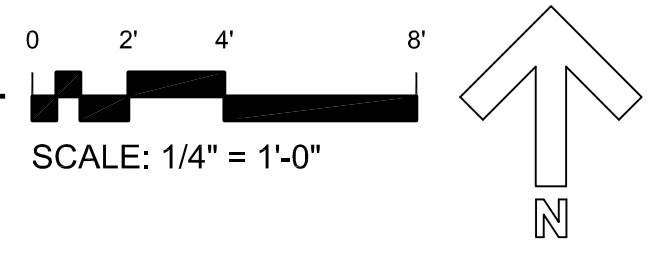
- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

	EXTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 1/2" gypsum board inside, 1/2" sheathing + 1/2" stucco on outside.
	EXTERIOR WALL: 2X6 wood stud @ 16" O.C. with 1 layer of 1/2" gypsum board inside, 1/2" sheathing + 1/2" stucco on outside.
	INTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 1/2" gypsum board on each side.
	INTERIOR WALL: 2X6 wood stud @ 16" O.C. with 1 layer of 1/2" gypsum board on each side.
	1 HOUR FIRE RATED WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 1/2" gypsum board on inside and 1/2" cement plaster on outside. Per CBC 2013 Table 721.1(2) Item Number 15-1.3
	WALL OPENING: 80" high u.n.o. Finished with 1/2" gypsum board with square corners.
	DOOR AND SYMBOL: See door schedule for complete information
	WINDOW AND SYMBOL: See window schedule for complete information



1 SECOND FLOOR PLAN - PROPOSED  
 SCALE: 1/4" = 1'-0"



01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
	02/20/16 2:15:36 PM	
PROJECT NO: 1505		
CAD DWG FILE: A100 SECOND FLOOR PLAN - PROPOSED -ADWG		
DRAWN BY: A.S.J.C., J.S.		
CHK'D BY: A.S.		
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SHEET TITLE  
**SECOND FLOOR PLAN - PROPOSED**

CONSULTANTS

1764 Bacon St.  
 San Diego, CA 92107

OWNER

SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102

01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION

PROJECT NO: 1505

CAD DWG FILE: A107 ROOF PLAN - EXISTING.DWG

DRAWN BY: A.S.J.C., J.S.

CHK'D BY: A.S.

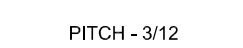
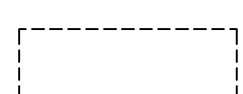

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SHEET TITLE

**ROOF PLAN - EXISTING**

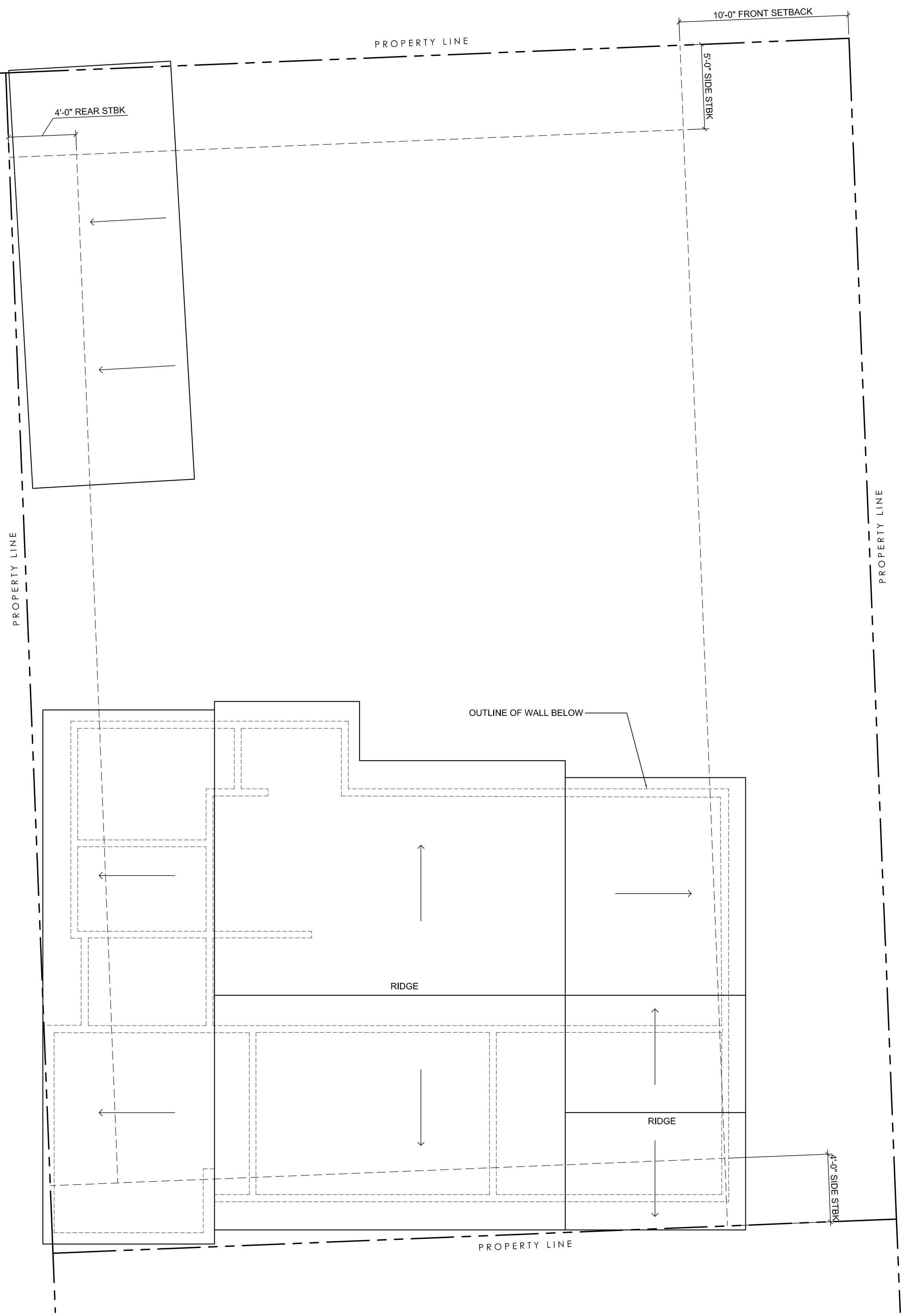
A107

ROOF PLAN LEGEND

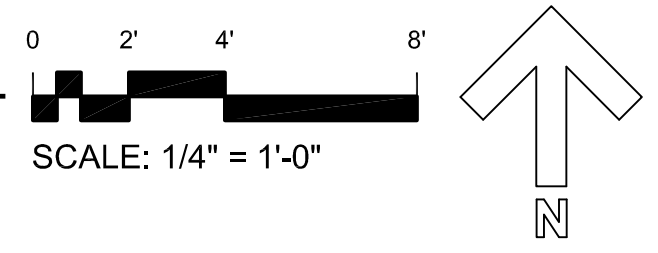
-  ROOF PITCH INDICATOR
-  OUTLINE OF WALLS BELOW
-  PLUMBING VENT OF MISC. VENT

ROOF PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between the information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.
- E. This Roof Plan is intended to depict existing conditions based on field observations.



1 ROOF PLAN - EXISTING  
 SCALE: 1/4" = 1'-0"



CONSULTANTS

1764 Bacon St.  
San Diego, CA 92107

OWNER  
SD Realty Ventures I, LLC  
740 32nd St  
San Diego, CA 92102

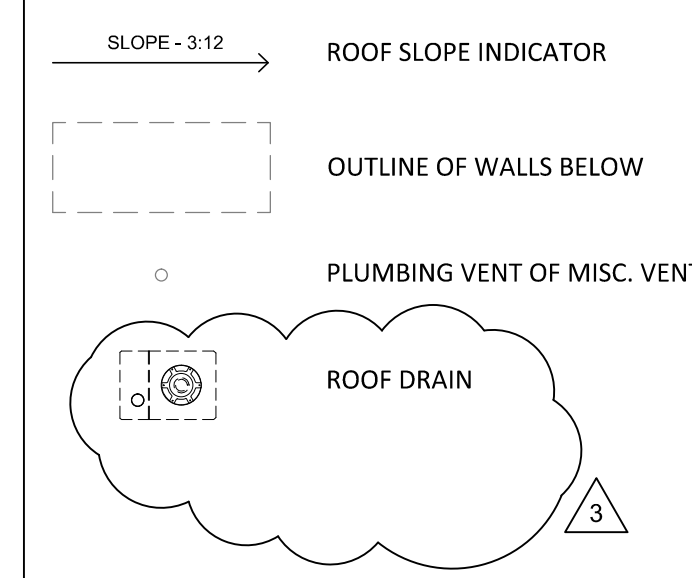
MARK	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

PROJECT NO: 1505  
CAD DWG FILE: A108 ROOF PLAN - PROPOSED.DWG  
DRAWN BY: A.S., J.C., J.S.  
CHK'D BY: A.S.

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SHEET TITLE  
**ROOF PLAN - PROPOSED**

ROOF PLAN LEGEND

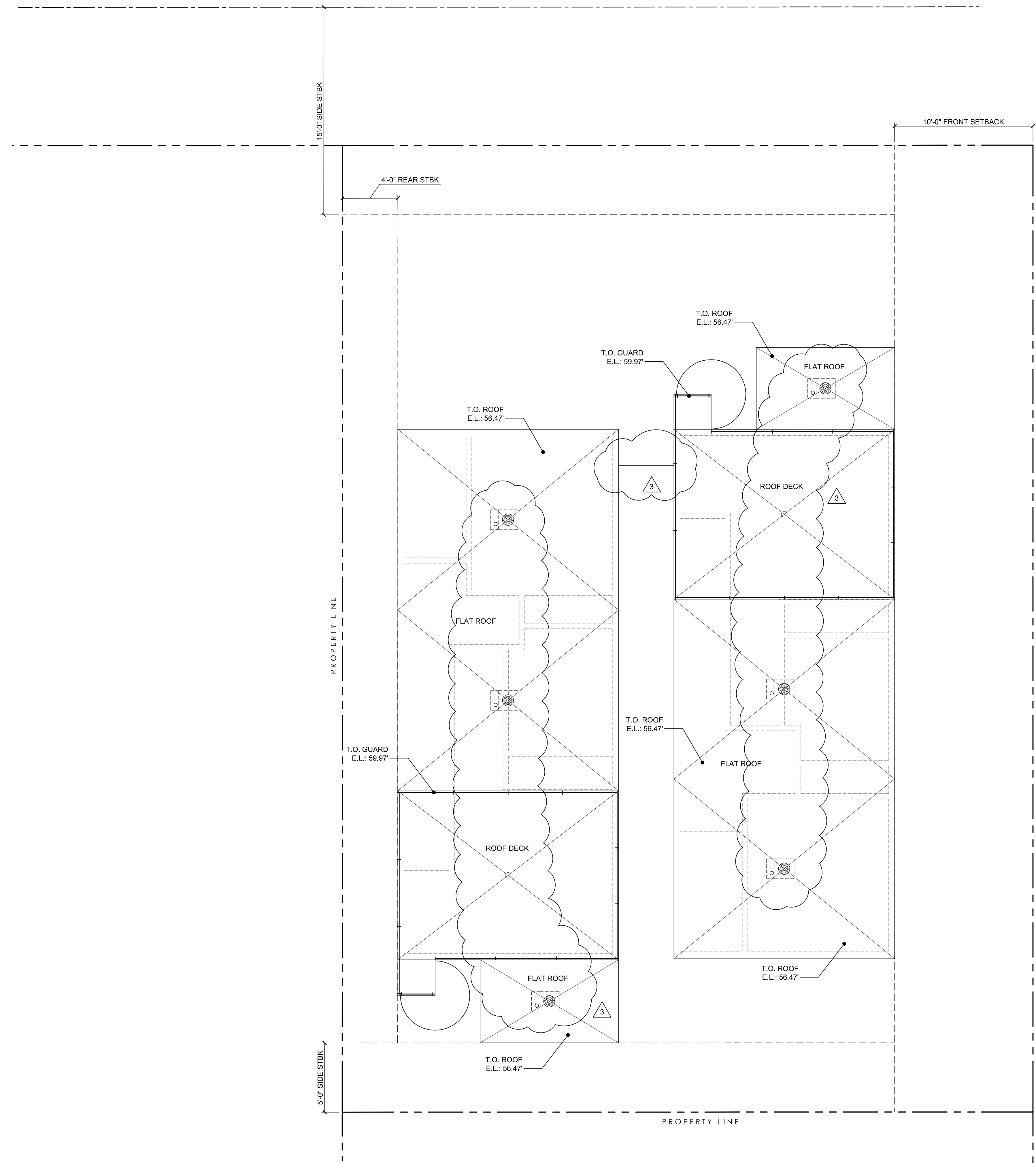


ROOF PLAN NOTES

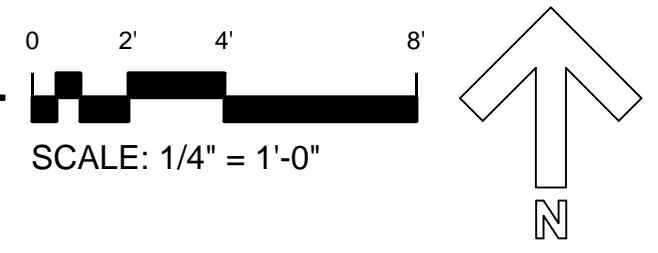
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between the information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.
- E. Roof Drain: Discharge to storm water drainage system.

ROOF PLAN KEYNOTES

- 1. ROOF DRAIN - Thunderbird TPO-RDCB2NH TPO-Clad bottom outlet roof drain with overflow. 2" main drain with 2" overflow.



1 ROOF PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"





TECHNE

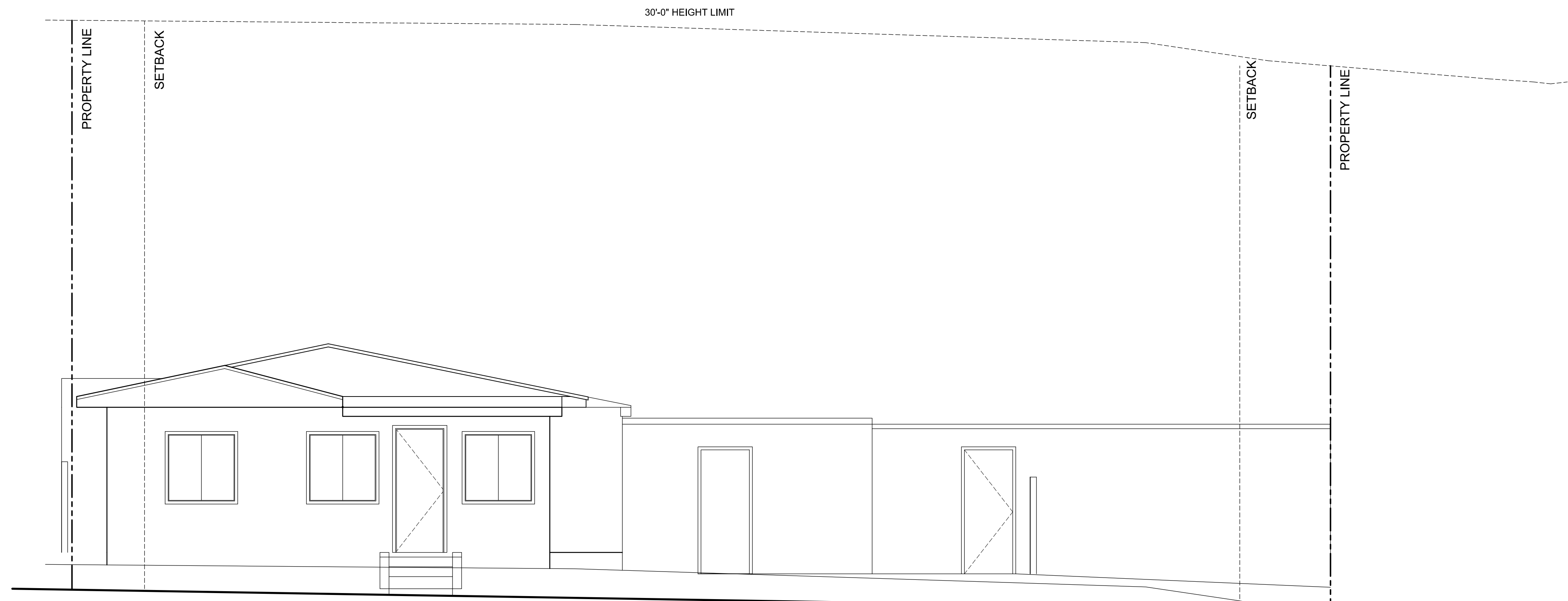
DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
 techne-us.com sustainablearchitecture.org  
 619-940-5814 313-595-5814

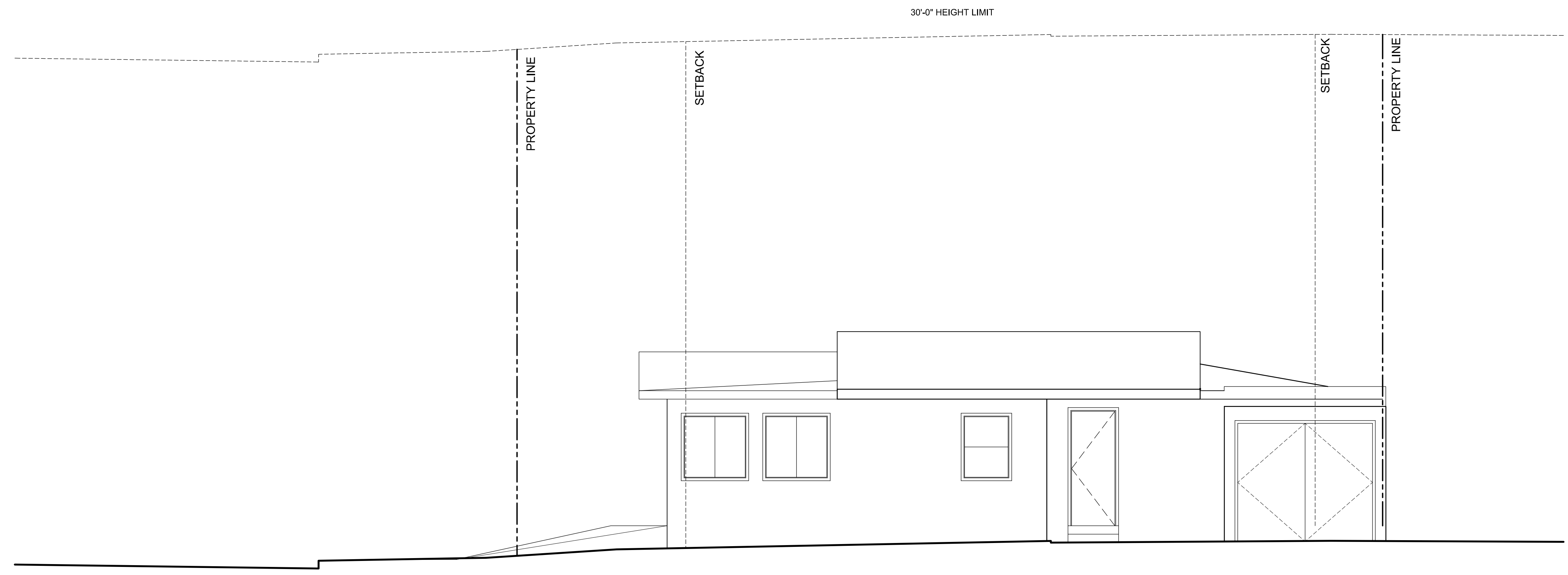
CONSULTANTS

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 San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



1 EAST ELEVATION  
 1/4" = 1'-0"



2 NORTH ELEVATION  
 1/4" = 1'-0"

01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
	02/29/16 2:00:17 PM	

PROJECT NO: 1505  
 CAD DWG FILE: A201 - A202 ELEVATIONS - EXISTING.DWG  
 DRAWN BY: A.S., J.C., J.S.  
 CHK'D BY: A.S.

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SHEET TITLE  
**EXTERIOR  
 ELEVATIONS -  
 EXISTING**

A201  
 SHEET 11 OF 19





DESIGN | DEVELOPMENT

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 techne-us.com sustainablearchitect.org  
 619-940-5814 313-595-5814

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1764 Bacon St.  
 San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102

01	07.29.15	Coastal Development Permit - 1st Submittal
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03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION

PROJECT NO: 1505

CAD DWG FILE: A201 - A202 ELEVATIONS - EXISTING.DWG

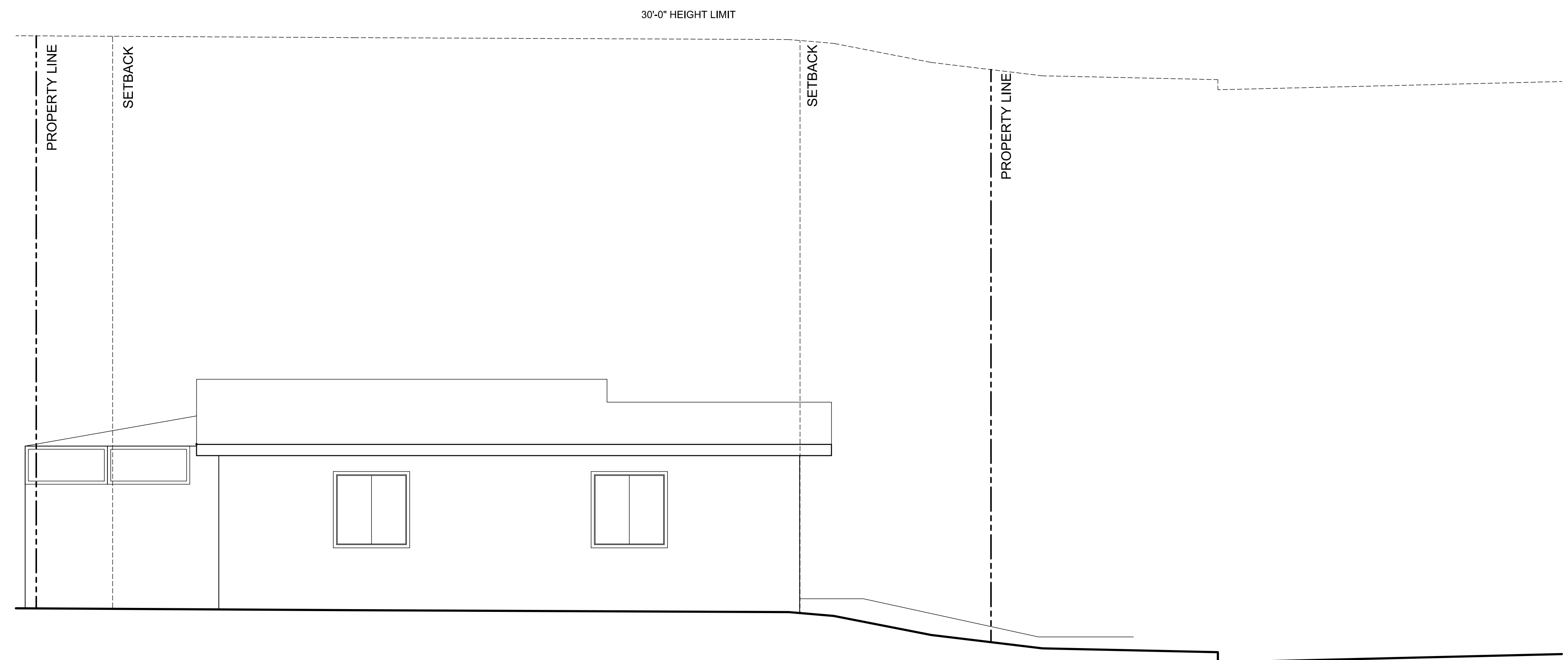
DRAWN BY: A.S., J.C., J.S.

CHK'D BY: A.S.

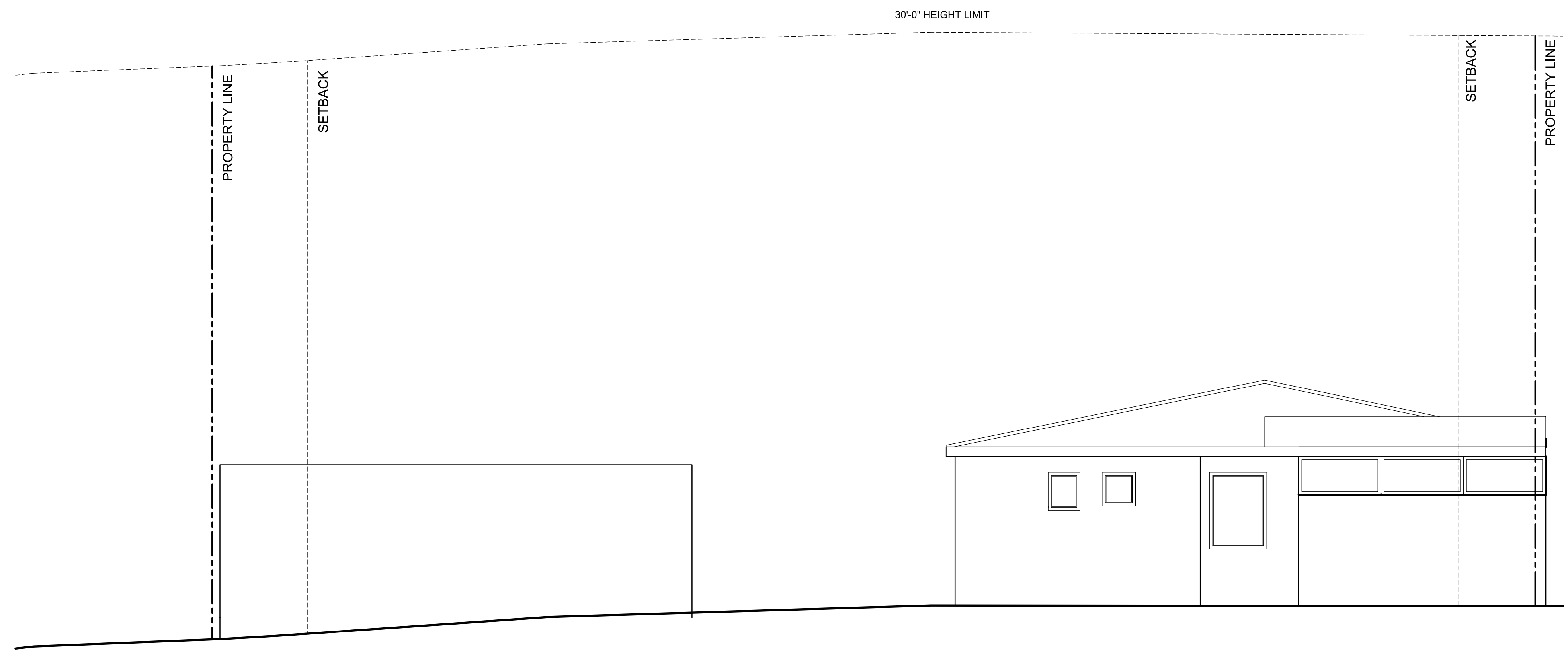
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SHEET TITLE  
**EXTERIOR  
 ELEVATIONS -  
 EXISTING**

**A202**



3 SOUTH ELEVATION  
 1/4" = 1'-0"

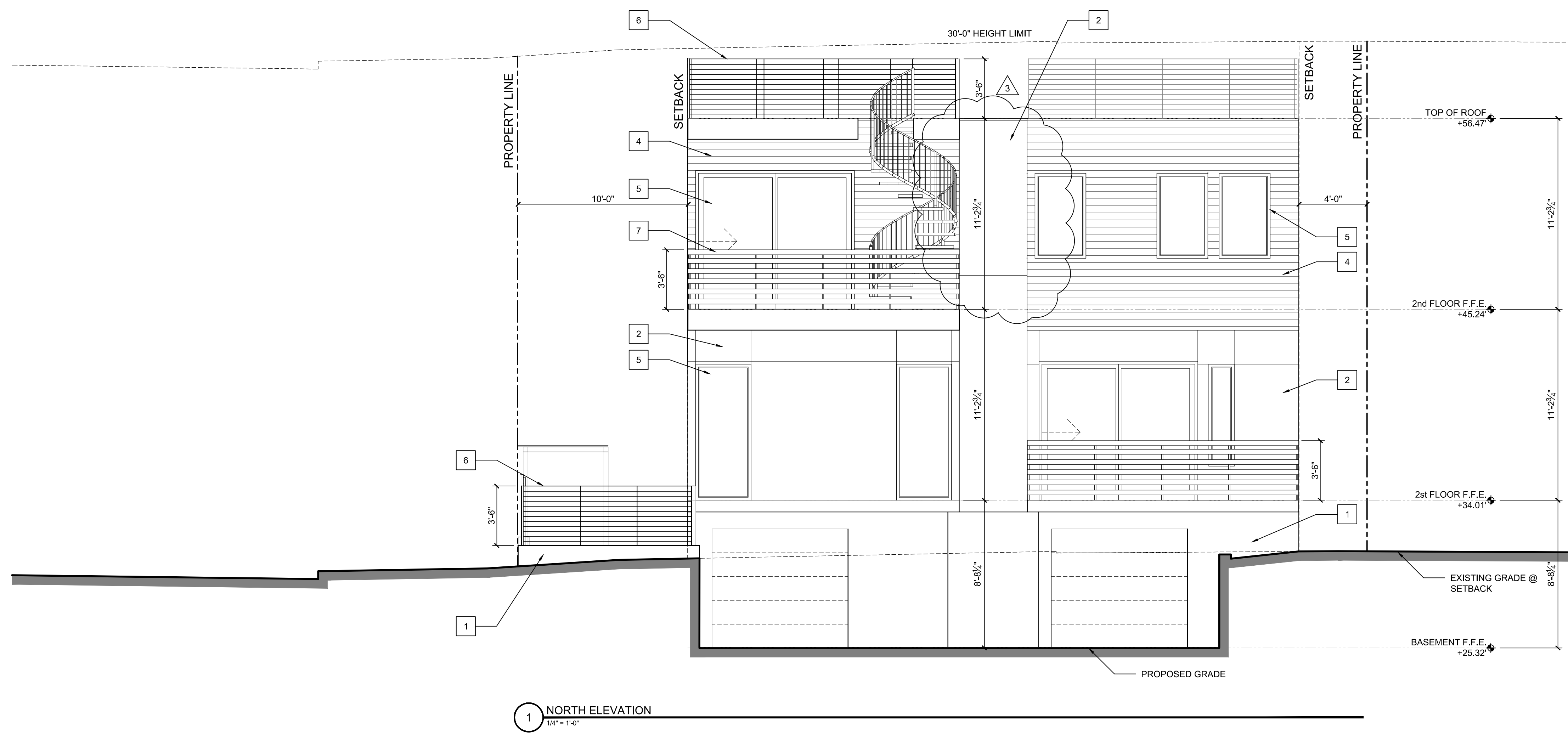


4 WEST ELEVATION  
 1/4" = 1'-0"

CONSULTANTS

1764 Bacon St.  
San Diego, CA 92107

OWNER  
SD Realty Ventures I, LLC  
740 32nd St  
San Diego, CA 92102



1 NORTH ELEVATION  
3/4" = 1'-0"

ELEVATION NOTES

PROPOSITION D NOTE  
 A. The highest point of the roof, equipment, or any vent, pipe, antenna or other projections shall not exceed 30 feet above the reference datum established in accordance with City of San Diego Technical Bulletin BLDG-5-4.

ELEVATION KEYNOTES

1. CONCRETE MASONRY UNIT WALL: RUNNING BOND PATTERN
2. PORTLAND CEMENT STUCCO: COLOR TO BE WHITE, FINISH TO BE FINE SAND.
3. FIBER CEMENT BOARD: COLOR TO BE NATURAL, PANEL FINISH TO BE SMOOTH.
4. HORIZONTAL CEDAR SIDING: CLEAR, GRADE A CEDAR OR SIMILAR WOOD.
5. ALUMINUM DOORS/WINDOW: DARK ANODIZED BRONZE OR SIMILAR.
6. GUARDRAIL: CABLE RAIL OR SIMILAR. COLOR SHALL BE DARK BRONZE ANODIZED OR SIMILAR. 75% OPEN
7. GUARDRAIL: CLEAR, GRADE A CEDAR OR SIMILAR WOOD
8. ENTRY ARBOR: OPEN STRUCTURE WITH SOLID CLEAR CEDAR GATE. COVER SHALL BE CLEAR GLASS

MARK	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
4/20/16	4/23/16	

PROJECT NO: 1505

CAD DWG FILE: A203 - A208 EXTERIOR ELEVATIONS - PROPOSED.DWG

DRAWN BY: A.S.J.C., J.S.

CHK'D BY: A.S.

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SHEET TITLE

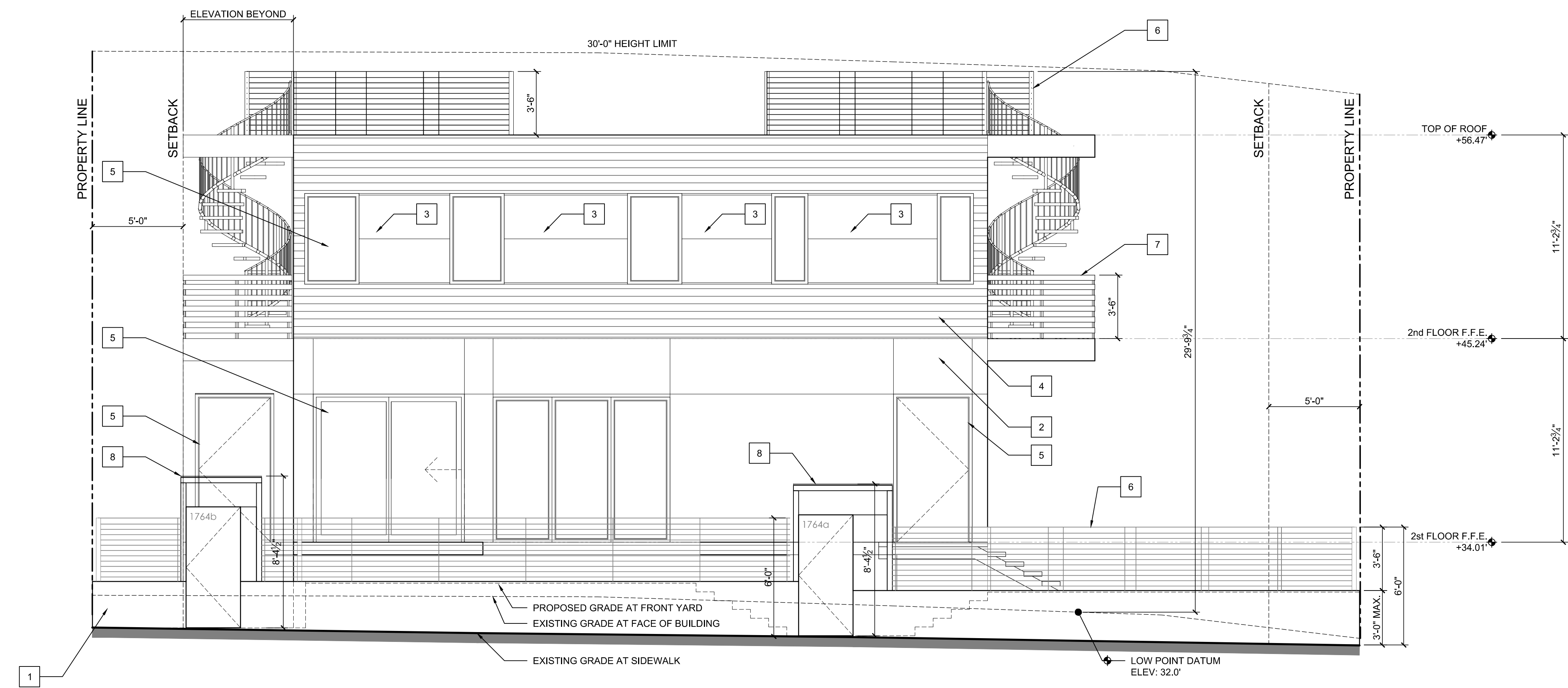
EXTERIOR  
ELEVATION-  
PROPOSED

A203

CONSULTANTS

1764 Bacon St.  
San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



3 EAST ELEVATION  
1/4" = 1'-0"

ELEVATION NOTES

PROPOSITION D NOTE  
 A. The highest point of the roof, equipment, or any vent, pipe, antenna or other projections shall not exceed 30 feet above the reference datum established in accordance with City of San Diego Technical Bulletin BLDG-5-4.

ELEVATION KEYNOTES

1. CONCRETE MASONRY UNIT WALL: RUNNING BOND PATTERN
2. PORTLAND CEMENT STUCCO: COLOR TO BE WHITE, FINISH TO BE FINE SAND.
3. FIBER CEMENT BOARD: COLOR TO BE NATURAL, PANEL FINISH TO BE SMOOTH.
4. HORIZONTAL CEDAR SIDING: CLEAR, GRADE A CEDAR OR SIMILAR WOOD.
5. ALUMINUM DOORS/WINDOW: DARK ANODIZED BRONZE OR SIMILAR.
6. GUARDRAIL: CABLE RAIL OR SIMILAR. COLOR SHALL BE DARK BRONZE ANODIZED OR SIMILAR. 75% OPEN
7. GUARDRAIL: CLEAR, GRADE A CEDAR OR SIMILAR WOOD
8. ENTRY ARBOR: OPEN STRUCTURE WITH SOLID CLEAR CEDAR GATE. COVER SHALL BE CLEAR GLASS

REV	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
47208	6.4.2019	PM

PROJECT NO: 1505

CAD DWG FILE: A204 - A208 EXTERIOR ELEVATIONS - PROPOSED.DWG

DRAWN BY: A.S.J.C., J.S.

CHK'D BY: A.S.

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SHEET TITLE

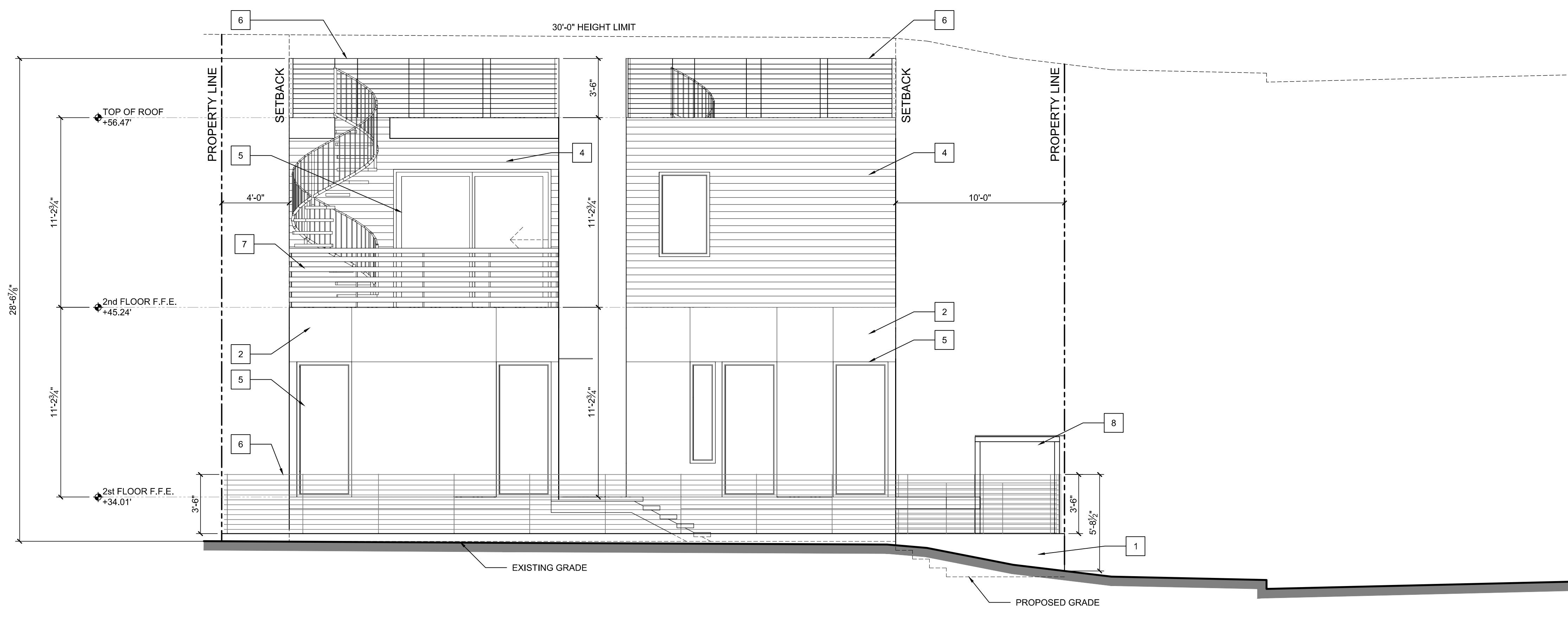
EXTERIOR  
ELEVATION-  
PROPOSED

A204

CONSULTANTS

1764 Bacon St.  
 San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



2 SOUTH ELEVATION  
 1/4" = 1'-0"

ELEVATION NOTES

PROPOSITION D NOTE  
 A. The highest point of the roof, equipment, or any vent, pipe, antenna or other projections shall not exceed 30 feet above the reference datum established in accordance with City of San Diego Technical Bulletin BLDG-5-4.

ELEVATION KEYNOTES

1. CONCRETE MASONRY UNIT WALL: RUNNING BOND PATTERN
2. PORTLAND CEMENT STUCCO: COLOR TO BE WHITE, FINISH TO BE FINE SAND.
3. FIBER CEMENT BOARD: COLOR TO BE NATURAL, PANEL FINISH TO BE SMOOTH.
4. HORIZONTAL CEDAR SIDING: CLEAR, GRADE A CEDAR OR SIMILAR WOOD.
5. ALUMINUM DOORS/WINDOW: DARK ANODIZED BRONZE OR SIMILAR.
6. GUARDRAIL: CABLE RAIL OR SIMILAR. COLOR SHALL BE DARK BRONZE ANODIZED OR SIMILAR. 75% OPEN
7. GUARDRAIL: CLEAR, GRADE A CEDAR OR SIMILAR WOOD
8. ENTRY ARBOR: OPEN STRUCTURE WITH SOLID CLEAR CEDAR GATE. COVER SHALL BE CLEAR GLASS

MARK	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
02	11.09.15	Coastal Development Permit - 2nd Submittal
03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
PROJECT NO: 1505		
CAD DWG FILE: A205 - A208 EXTERIOR ELEVATIONS - PROPOSED.DWG		
DRAWN BY: A.S.J.C., J.S.		
CHK'D BY: A.S.		

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SHEET TITLE  
 EXTERIOR  
 ELEVATION-  
 PROPOSED

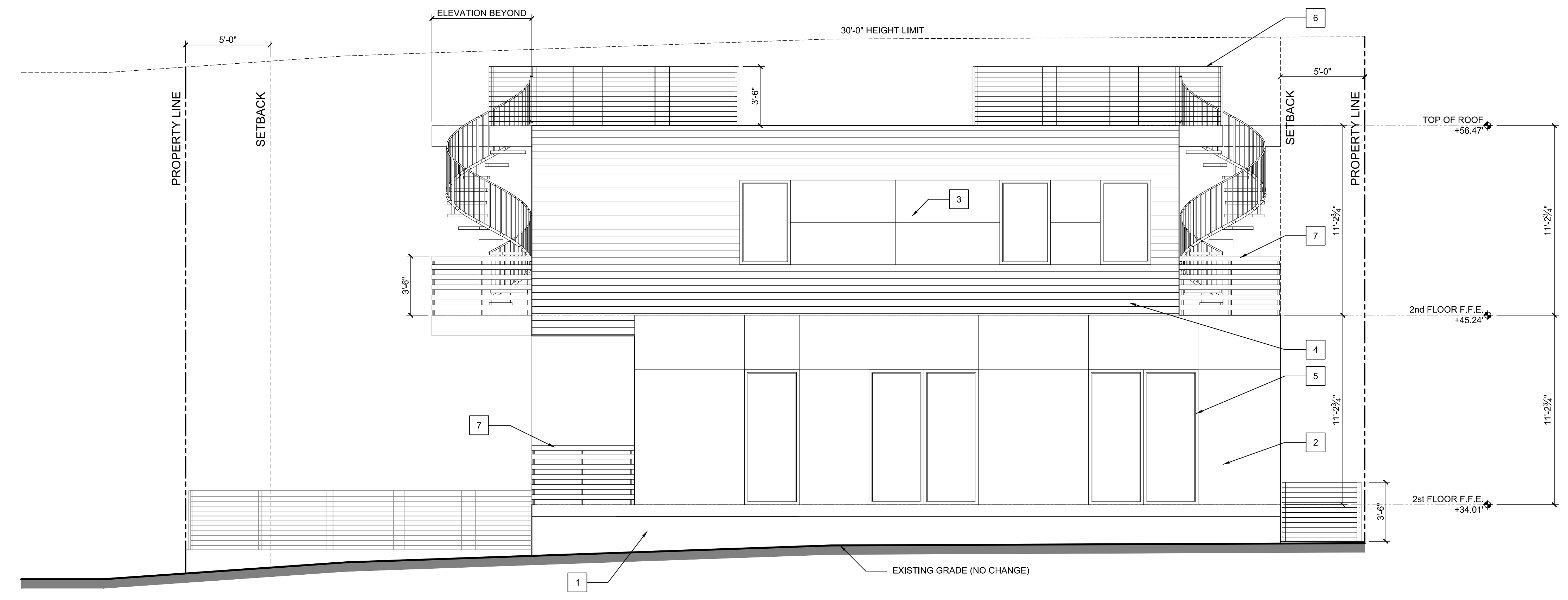
A205



CONSULTANTS

1764 Bacon St.  
San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



4 WEST ELEVATION  
1/4" = 1'-0"

ELEVATION NOTES

PROPOSITION D NOTE  
 A. The highest point of the roof, equipment, or any vent, pipe, antenna or other projections shall not exceed 30 feet above the reference datum established in accordance with City of San Diego Technical Bulletin BLDG-5-4.

ELEVATION KEYNOTES

1. CONCRETE MASONRY UNIT WALL: RUNNING BOND PATTERN
2. PORTLAND CEMENT STUCCO: COLOR TO BE WHITE, FINISH TO BE FINE SAND.
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MARK	DATE	DESCRIPTION
01	07.29.15	Coastal Development Permit - 1st Submittal
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03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

PROJECT NO: 1505  
 CAD DWG FILE: A206 - A206 EXTERIOR ELEVATIONS - PROPOSED.DWG  
 DRAWN BY: A.S.J.C., J.S.  
 CHK'D BY: A.S.

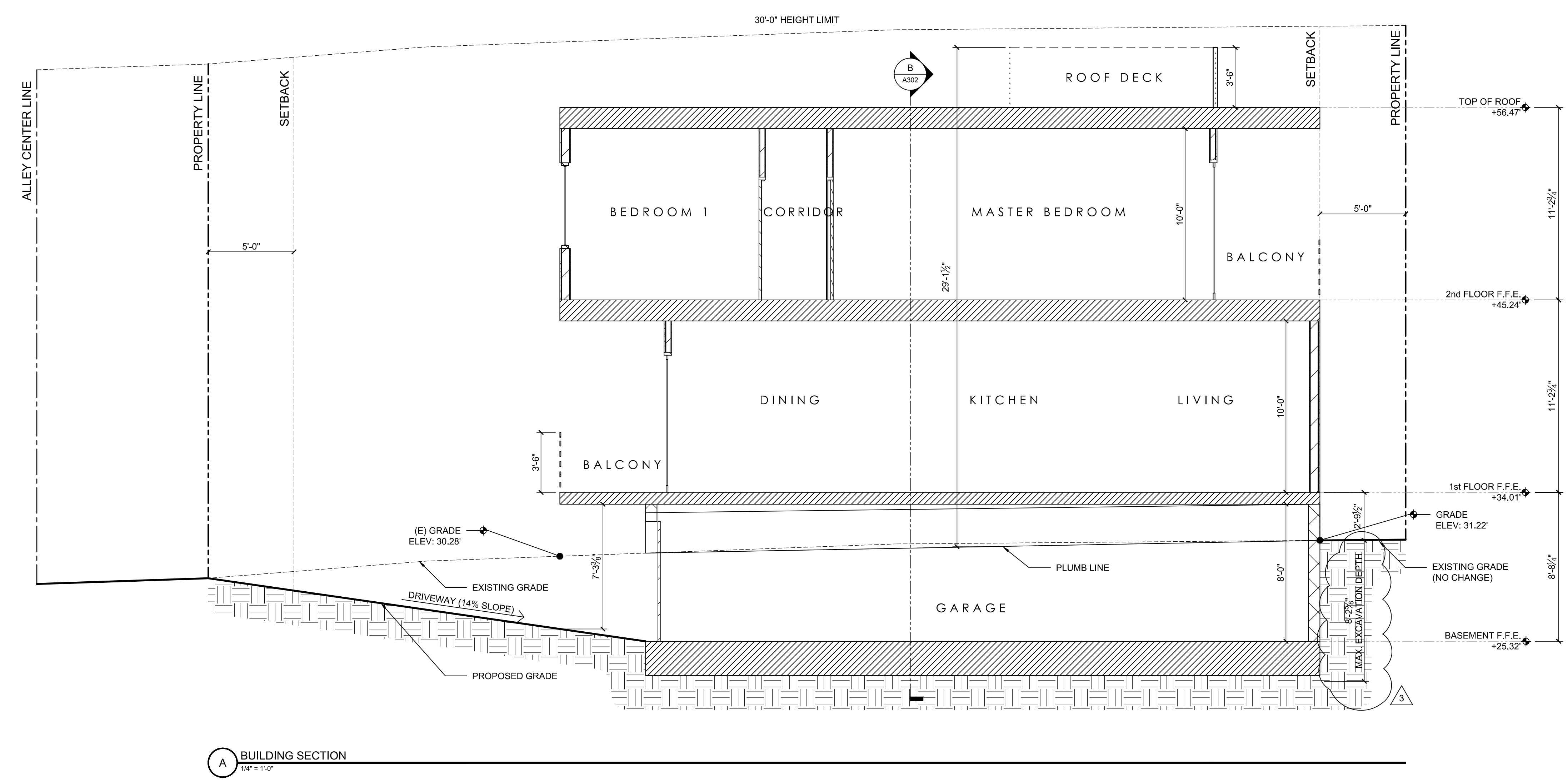
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SHEET TITLE  
**EXTERIOR  
 ELEVATION-  
 PROPOSED**

CONSULTANTS

1764 Bacon St.  
San Diego, CA 92107

OWNER  
 SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



**A** BUILDING SECTION  
1/4" = 1'-0"

**HEIGHT LIMIT NOTE**

PROPOSITION D NOTE  
 A. The highest point of the roof, equipment, or any vent, pipe, antenna or other projections shall not exceed 30 feet above the reference datum established in accordance with City of San Diego Technical Bulletin BLDG-5-4.

**SECTION NOTES**

- A. This Building Section drawing is for general information only.
- B. It is the responsibility of the General Contractor to ensure the proposed structure is designed and built in accordance with all applicable codes and regulations.
- C. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- D. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- E. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

**DIMENSIONS**

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O. )
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O. )
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

01	07.29.15	Coastal Development Permit - 1st Submittal
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03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION

PROJECT NO: 1505

CAD DWG FILE: A301 BUILDING SECTION - PROPOSED.DWG

DRAWN BY: A.S., J.C., J.S.

CHK'D BY: A.S.

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**SHEET TITLE**  
**BUILDING SECTION - PROPOSED**

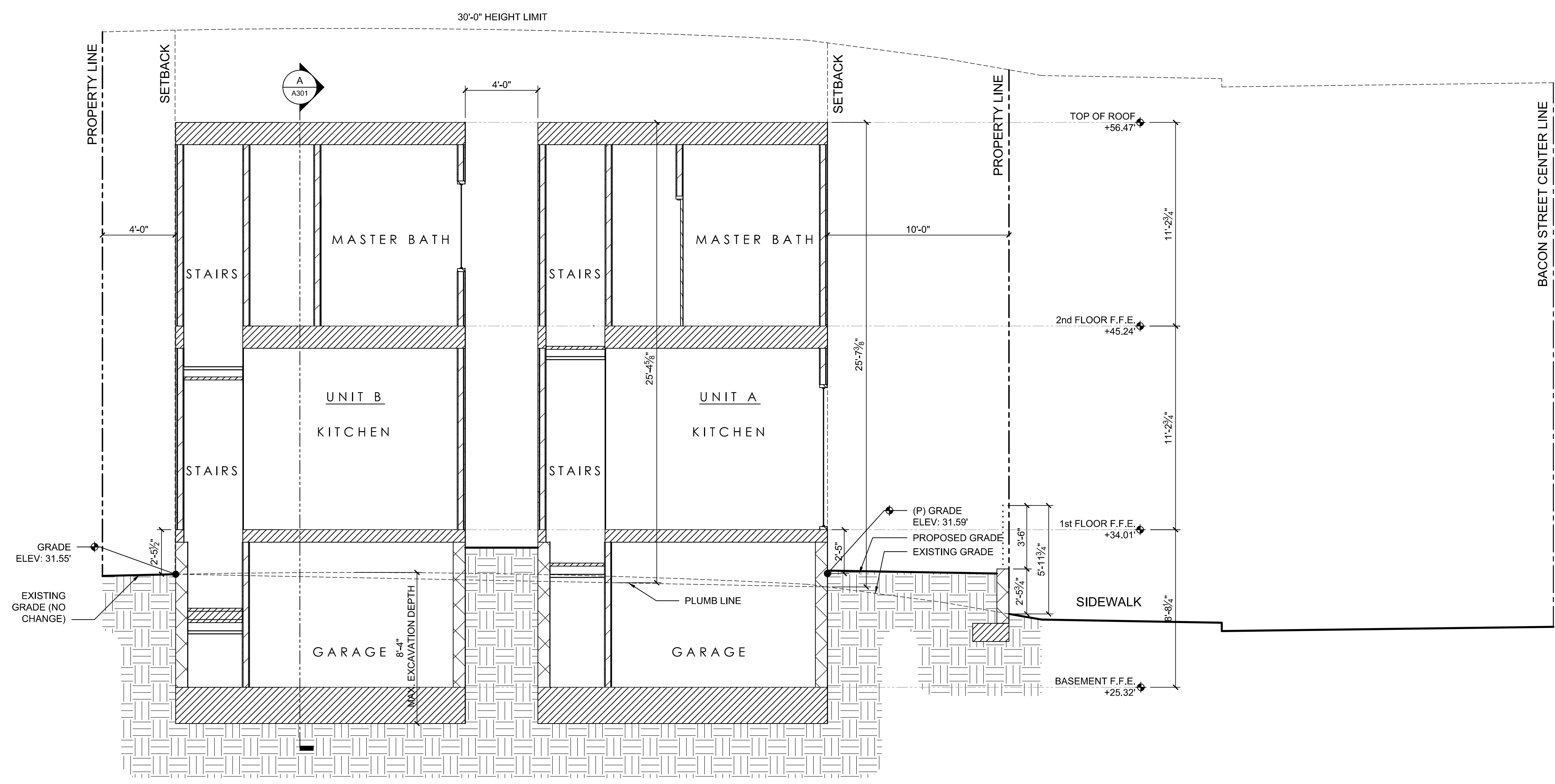
CONSULTANTS

OWNER

1764 Bacon St.  
San Diego, CA 92107

OWNER

SD Realty Ventures I, LLC  
740 32nd St  
San Diego, CA 92102



**B** BUILDING SECTION  
1/4" = 1'-0"

**HEIGHT LIMIT NOTE**

PROPOSITION D NOTE  
 A. The highest point of the roof, equipment, or any vent, pipe, antenna or other projections shall not exceed 30 feet above the reference datum established in accordance with City of San Diego Technical Bulletin BLDG-5-4.

**SECTION NOTES**

- A. This Building Section drawing is for general information only.
- B. It is the responsibility of the General Contractor to ensure the proposed structure is designed and built in accordance with all applicable codes and regulations.
- C. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- D. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- E. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

**DIMENSIONS**

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

01	07.29.15	Coastal Development Permit - 1st Submittal
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03	02.22.16	Coastal Development Permit - 3rd Submittal
04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
02/29/16	2:07:25 PM	

PROJECT NO: 1505  
 CAD DWG FILE: A301 BUILDING SECTION - PROPOSED.DWG

DRAWN BY: A.S., J.C., J.S.  
 CHK'D BY: A.S.

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SHEET TITLE

**BUILDING SECTION  
- PROPOSED**

A302



TECHNE

DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
 techne-us.com sustainablearchitect.org  
 619-940-5814 313-595-5814

CONSULTANTS

1764 Bacon St.  
 San Diego, CA 92107

OWNER

SD Realty Ventures I, LLC  
 740 32nd St  
 San Diego, CA 92102



VIEW FROM BACON LOOKING SOUTHWEST



VIEW FROM BACON LOOKING NORTHWEST

01	07.29.15	Coastal Development Permit - 1st Submittal
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04	04.11.16	Coastal Development Permit - Final Submittal

MARK	DATE	DESCRIPTION
	03/29/16 1:18:57 PM	
PROJECT NO: 1505		
CAD DWG FILE: A901_RENDERINGS.DWG		
DRAWN BY: A.S., J.C., J.S.		
CHK'D BY: A.S.		

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SHEET TITLE  
**RENDERINGS**

A901



**DESIGN STATEMENT**

THE PROPOSED LANDSCAPE DESIGN CHARACTERIZES PLANT MATERIAL BENEFITTING FROM COASTAL SAN DIEGO'S MEDITERRANEAN CLIMATE ZONE THAT DEMONSTRATES RELATIVELY STABLE TEMPERATURES AND INFREQUENT FROST IMPACTS. THE CHARACTER OF THE PLANTS ARE TO BE BROADLEAF EVERGREEN DISPLAYING COLORFUL BURSTS OF FLOWERS AT VARYING TIMES OF YEAR. ALL PLANTS HAVE MODEST IRRIGATION REQUIREMENTS ONCE ESTABLISHED.

**GENERAL NOTES**

1. AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED PER THE CITY OF SAN DIEGO LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION. IN A HEALTHY, DISEASE-RESISTANT CONDITION, THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. NOTE: BOTH SPRAY (TURF) AND DRIP TYPE (TREES, SHRUBS) IRRIGATION ARE PROPOSED.
2. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
3. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
4. A MINIMUM ROOT ZONE OF 40 SQUARE FEET (S.F.) IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER THE SDMC 142.0403(b)(5).
5. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE TRAVEL WAY PER THE SDMC 142.0403(b)(10).
6. MULCH: ALL REQUIRED PLANTING AREAS AND EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER THE SDMC 142.0411.
7. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

**MINIMUM TREE SEPARATION DISTANCE**

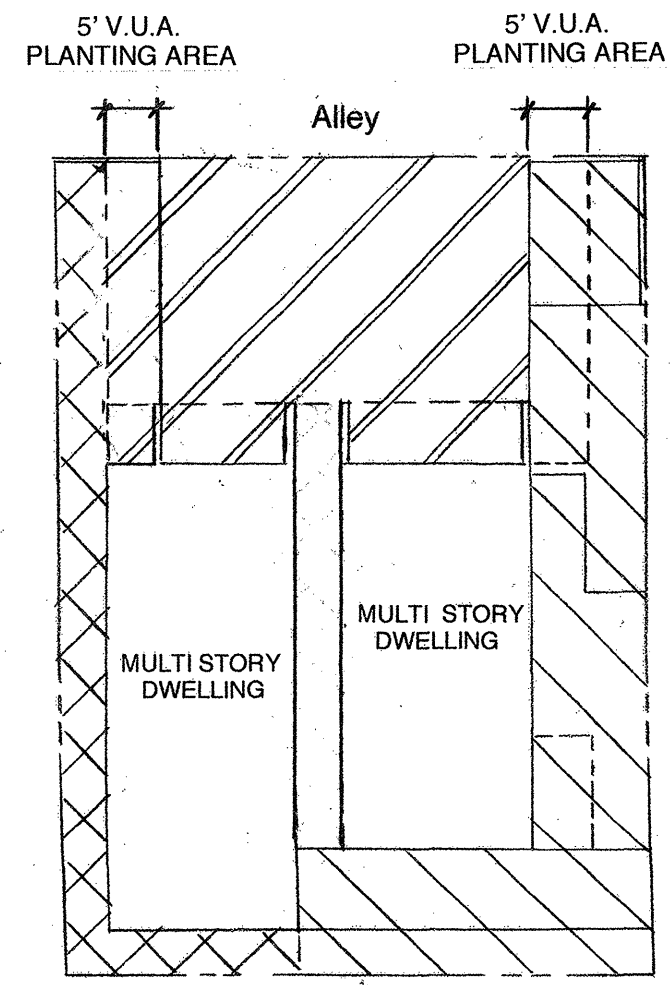
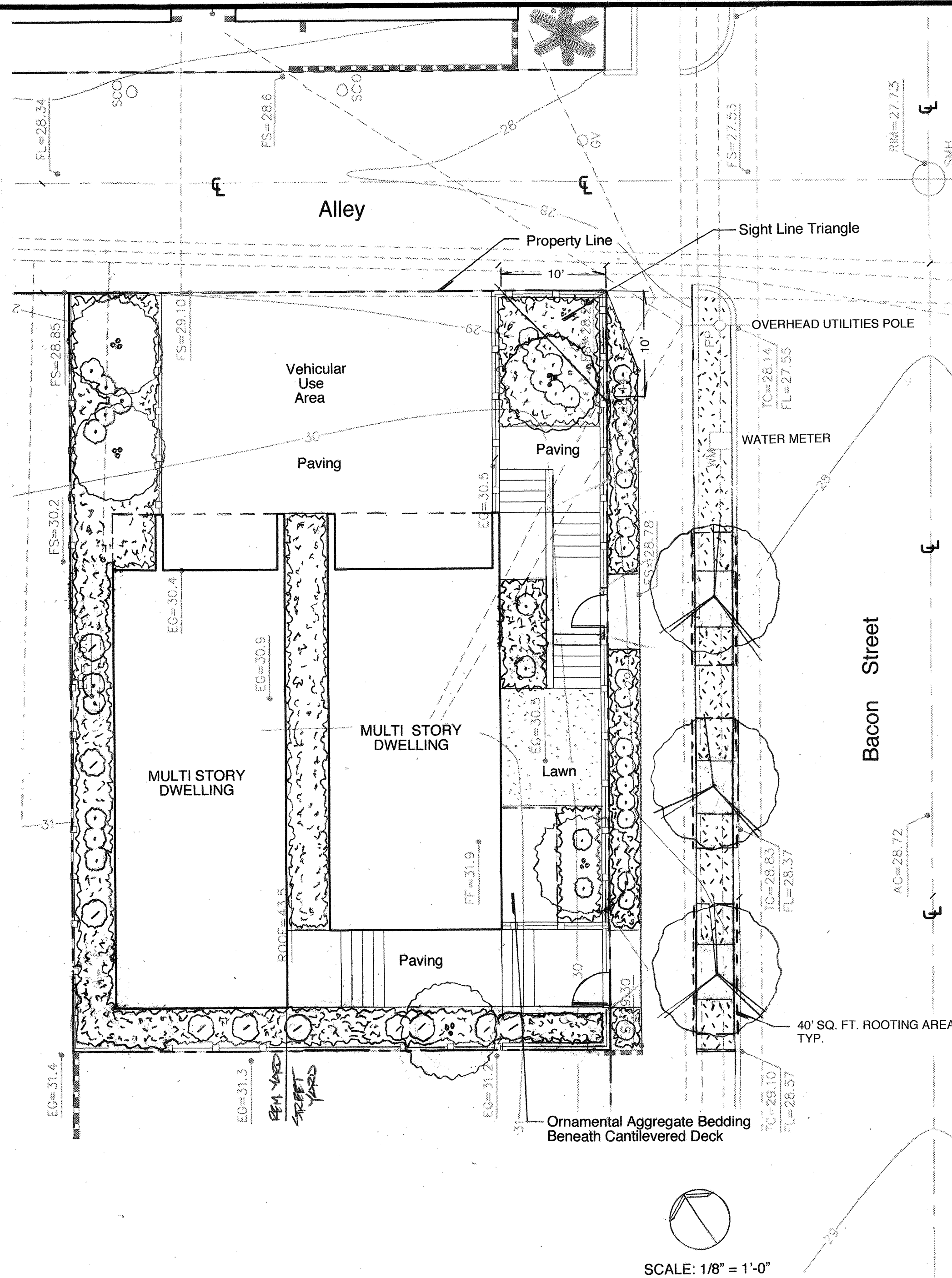
Improvement / Minimum Distance to Street Tree  
 Traffic signals (stop sign) - 20 feet  
 Underground utility lines - 5 feet (10 feet for sewer)  
 Above ground utility structures - 10 feet  
 Driveway (entries) - 10 feet  
 Intersections (intersecting curb lines of two streets) - 25 feet

**HYDROSEEDING**

GRADED PAD AREAS SHALL BE HYDROSEED TO PREVENT EROSION IN THE EVENT IN THE EVENT THAT CONSTRUCTION OF BUILDINGS DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDROSEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.

**ROOT BARRIERS**

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES. ROOT BARRIERS MAY BE ELIMINATED WHERE THE COMBINATION OF TREE SPECIES, SOIL TYPE, SOIL AREA AND DRAINAGE CONDITIONS CAN BE SHOWN TO AFFORD EQUIVALENT PROTECTION AGAINST TREE ROOT DAMAGE TO PUBLIC IMPROVEMENTS. (LDC 142.0403)



**LANDSCAPE AREA CALCULATION DIAGRAM**  
SCALE: 1/16"=1'-0"

**KEY**

- STREET YARD AREA (LANDSCAPE)
- VEHICULAR USE AREA
- REMAINING YARD AREA (LANDSCAPE)

**SUMMARY OF LANDSCAPE CALCULATIONS**  
Multiple Dwelling Units / 1764 Bacon St.

STREET YARD		
Total Area	886 s.f.	
Planting Area Required	443 s.f.	Provided 480 s.f. Excess Area Provided 37 s.f.
Planting Points Required	222	Provided 258 Excess Points Provided 36
Planting Area As Hardscape	0 s.f.	Points Achieved Through Trees 150

REMAINING YARD		
Planting Points Required	60	Provided 60 Points Achieved Through Trees 40

VEHICULAR USE AREA (<6,000 s.f.)		
Total Area	775 s.f.	
Planting Area Required: Allow 40 s.f. Per Tree		
Street Yard Planting Points Required **	0	Provided 0 Points Achieved Through Trees 0
Outside Street Yard Planting Points Required	39	Provided 50 Points Achieved Through Trees 40

\*\* Alley access; no Vehicular Use Area in Street Yard

**PLANTING LEGEND**

SYMBOL BOTANICAL NAME / COMMON NAME QTY. SIZE HT., SPREAD FORM / FUNCTION POINTS

**Street / Right of Way**  
**Parkway Strip Trees (Sidewalk to Curb Area)**

	<i>Metrosideros excelsus</i> New Zealand Christmas Tree	3	24" box	15' x 15'	Upright, spreading / Street tree, w/ Root Barriers	40
	<i>Juncus patens</i> 'Elk Blue' Elk Blue Gray Rush	1 gal.	2' x 2'	Low, upright / Foliage, texture		
	<i>Lantana m. 'Sunburst'</i> Sunburst Lantana	1 gal.	2' x 3'	Low, spreading / Flowers, texture		

Low to Small Shrubs (1' height) (Behind Sidewalk)						
	<i>Festuca o. 'Glaucia'</i> Blue Fescue	1 gal. / 12" o.c.	1' x 1'	Low, spreading / Texture, color, LID		

Parkway Strip Ground Plane (Sidewalk to Curb Area)						
	Permeable Paving Treatment (Stabilized Decomposed Granite)					

**Street Yard**  
**Trees**

	<i>Cercidium</i> 'Desert Museum' Palo Verde	3	36" box	15' x 15'	Upright, Spreading / Screening, Sculptural	150
	<i>Leucodendrom</i> 'Safari Sunset' Cone Plant	15 gal.	5' x 5'	Mounding / Foliage, flower		50
	<i>Callistemon</i> 'Little John' Little John Bottlebrush	5 gal.	3' x 3'	Low, spreading / Foliage, texture, flowers		5
	<i>Juncus patens</i> 'Elk Blue' Elk Blue Gray Rush	5 gal.	2' x 2'	Low, upright / Foliage, texture		5
	<i>Lantana m. 'Sunburst'</i> Sunburst Lantana	5 gal.	2' x 3'	Low, spreading / Flowers, texture		5
	<i>Westringia f. 'Morning Light'</i> Coast Sage	5 gal.	3' x 3'	Mounding / Foliage, flower		5
	<i>Festuca o. 'Glaucia'</i> Blue Fescue	1 gal. / 12" o.c.	1' x 1'	Low, spreading / Texture, color, LID		1
<b>Lawn Area</b>						
	<i>Fescue</i> 'Marathon II' Marathon II Hybrid Fescue					
<b>Remaining Yard Area</b>						
	<i>Cercidium</i> 'Desert Museum' Palo Verde	2	24" box	15' x 15'	Upright, Spreading / Screening, Sculptural	40

Medium to Large Shrubs (4' - 6' height); 5 - Total Units						
	<i>Leucodendrom</i> 'Safari Sunset' Cone Plant	5 gal.	5' x 5'	Mounding / Foliage, flower		10

Small to Medium Shrubs (2' - 4' height); 5 - Total Units						
	<i>Callistemon</i> 'Little John' Little John Bottlebrush	5 gal.	3' x 3'	Low, spreading / Foliage, texture, flowers		5
	<i>Juncus patens</i> 'Elk Blue' Elk Blue Gray Rush	5 gal.	2' x 2'	Low, upright / Foliage, texture		5
	<i>Lantana m. 'Sunburst'</i> Sunburst Lantana	5 gal.	2' x 3'	Low, spreading / Flowers, texture		5
	<i>Westringia f. 'Morning Light'</i> Coast Sage	5 gal.	3' x 3'	Mounding / Foliage, flower		5

Low to Small Shrubs (1' height); 40 Total Units						
	<i>Festuca o. 'Glaucia'</i> Blue Fescue	1 gal. / 12" o.c.	1' x 1'	Low, spreading / Texture, color, LID		40
<b>Total Plant Points</b>						<b>60</b>

Vehicular Use Area						
	<i>Cercidium</i> 'Desert Museum' Palo Verde	2	24" box	15' x 15'	Upright, Spreading / Screening, Sculptural	40

Small to Medium Shrubs (2' - 4' height); 5 - Total Units						
	<i>Callistemon</i> 'Little John' Little John Bottlebrush	5 gal.	3' x 3'	Low, spreading / Foliage, texture, flowers		5
	<i>Juncus patens</i> 'Elk Blue' Elk Blue Gray Rush	5 gal.	2' x 2'	Low, upright / Foliage, texture		5
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Low to Small Shrubs (1' height)						
	<i>Festuca o. 'Glaucia'</i> Blue Fescue	1 gal. / 12" o.c.	1' x 1'	Low, spreading / Texture, color, LID		1
<b>Total Plant Points</b>						<b>50</b>

**Bark Mulch**  
For all site planting areas (level) use "Walk On Bark", applied in a continuous 2" layer; do not apply in tree, shrub or groundcover watering basins (refer to planting detail for specific mulch application in watering basins). Available from: Sequoia Horticultural Products, Ph. 760-632-9442



DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
 techne-us.com sustainablearchitect.org  
 o 619-940-5814 m 313-595-5814

CONSULTANTS



**SAM WADE**  
Landscape Architect

4429 Morena Blvd. | San Diego, CA 92117  
 Tel 858-270-8688 | Fax 858-270-8689  
 AZ LIC #26705 | CA LIC #9703

1764 Bacon St.  
San Diego, CA 92107

OWNER  
SD Realty Ventures I, LLC  
740 32nd St  
San Diego, CA 92102

MARK DATE DESCRIPTION

PROJECT NO:	
CAD DWG FILE:	
DRAWN BY: SW	7/15/15
Rev.	10/26/15; Rev. 1/28/16; Rev. 4/19/16
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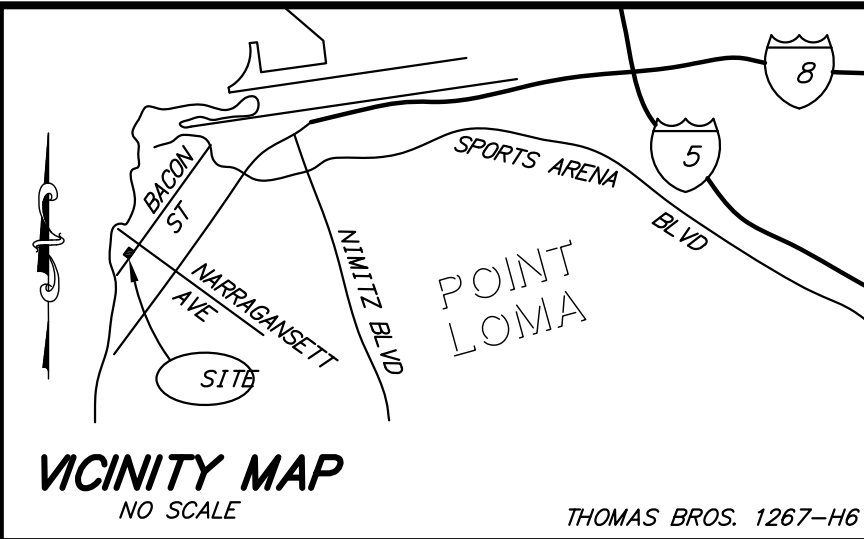
SHEET TITLE  
**LANDSCAPE DEVELOPMENT PLAN**

SHEET OF  
**LDP-1**



# 1764 BACON STREET

## SAN DIEGO, CA 92107



### CONDOMINIUM NOTE

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL UNITS IS 2.

### MAPPING NOTE:

A PARCEL MAP FILED AT THE COUNTY RECORDER'S OFFICE PRIOR THE EXPIRATION OF THE TENTATIVE PARCEL MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE PARCEL MAP.

### UTILITIES

SEWER: CITY OF SAN DIEGO (UNDERGROUND)  
WATER: CITY OF SAN DIEGO (UNDERGROUND)  
GAS: SAN DIEGO GAS AND ELECTRIC (UNDERGROUND)  
ELECTRIC: SAN DIEGO GAS AND ELECTRIC (OVERHEAD)  
TELEPHONE: AT&T (OVERHEAD)  
CABLE: COX CABLE (OVERHEAD)

### EASEMENTS

NONE PROPOSED.

### BUILDINGS + PARKING RATE

UNIT A	
FIRST FLOOR	610 S.F.
SECOND FLOOR	610 S.F.
GROSS FLOOR AREA	1,220 S.F.
GARAGE/BASEMENT	516 S.F.
TOTAL AREA	1,736 S.F.

UNIT B	
FIRST FLOOR	610 S.F.
SECOND FLOOR	610 S.F.
GROSS FLOOR AREA	1,220 S.F.
GARAGE/BASEMENT	644 S.F.
TOTAL AREA	1,864 S.F.

### PARKING:

BEACH IMPACT AREA = 1.5 PER 2 BEDROOM  
TOTAL REQUIRED = 3  
PROVIDED = 5 ONSITE

### MINIMUM SETBACKS

RESUBDIVIDED CORNER LOT:  
STREET SIDE (BACON STREET): 10 FEET  
INTERIOR SIDE: 4 FEET  
ALLEY: 5 FEET

### LEGAL DESCRIPTION

ALL THAT PORTION OF LOTS 32 AND 33 IN BLOCK 70 OF OCEAN BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 23, 1887, BEING DESCRIBED IN DOCUMENT NO. 1999-0529877, RECORDED JULY 30, 1999.

### ASSESSOR'S PARCEL NO.

448-070-18

NUMBER OF PROPOSED LOTS = ONE (1)

### ZONING

RM-2-4  
(RESIDENTIAL MULTIPLE=1 DWELLING PER 1,750 SQ. FT.)

OVERLAY ZONE:  
BEACH PARKING IMPACT,  
COASTAL APPEALABLE (CITY JURISDICTION),  
COASTAL HEIGHT LIMITATION OVERLAY ZONE, 30' MAXIMUM HEIGHT,  
COASTAL OVERLAY ZONE,  
FAA PART 77 NOTIFICATION AREA,  
AIRPORT INFLUENCE AREA (REVIEW AREA 1),  
AIRPORT APPROACH AND  
ALUCP NOISE,  
RESIDENTIAL TANDEM PARKING OVERLAY ZONES  
FIRST PUBLIC ROADWAY WITHIN THE OCEAN BEACH COMMUNITY PLAN AND LOCAL COASTAL PROGRAM LAND USE PLAN

ZONING HEIGHT 40' MAX. COASTAL HEIGHT 30' MAX. PROPOSED HEIGHT 29'-9 3/4"

### SITE AREA + NO. OF UNITS

3,500 SQUARE FEET (GROSS); 2 UNITS

### COORDINATE INDEX

NAD 27: 211-1691  
NAD 83: 183-6289

### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY RIGHT OF WAY LINE OF NARRAGANSETT AVENUE BETWEEN OCEAN FRONT STREET AND BACON STREET, I.E. N53°24'41"W PER MAP NO. 6460.

### BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS PLUG LOCATED AT THE WEST CORNER OF ABBOTT STREET AND VOLTAIRE STREET.

ELEVATION = 8.392 (NGVD 1929)

SURVEY CONDUCTED ON 4/3/15.

### TITLE REPORT

PRELIMINARY TITLE REPORT HAVE BEEN ISSUED BY STEWART TITLE, ORDER NO. 01180-171385, DATED JUNE 22, 2015.

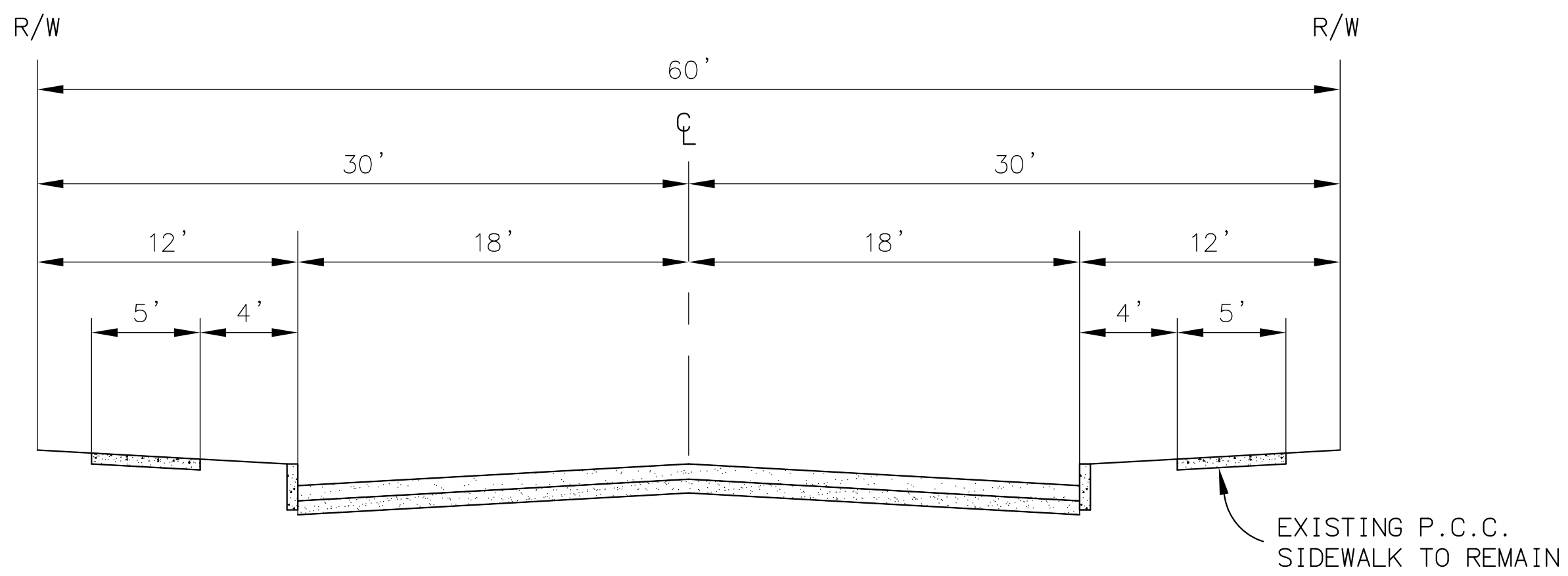
### OWNER/DEVELOPER

SD REALTY VENTURES I, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY  
740 N. 32ND STREET  
SAN DIEGO, CA 92102

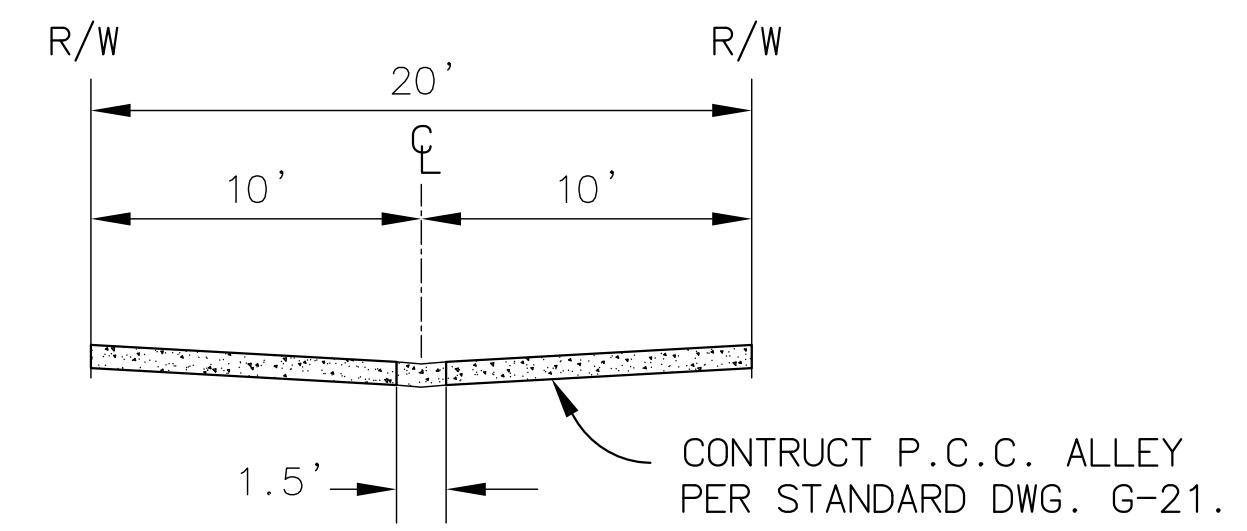
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TITLE: \_\_\_\_\_



*Robert J. Russell* 06/23/2015  
ROBERT J. RUSSELL, PLS DATE



TYPICAL CROSS SECTION  
BACON STREET  
NO SCALE

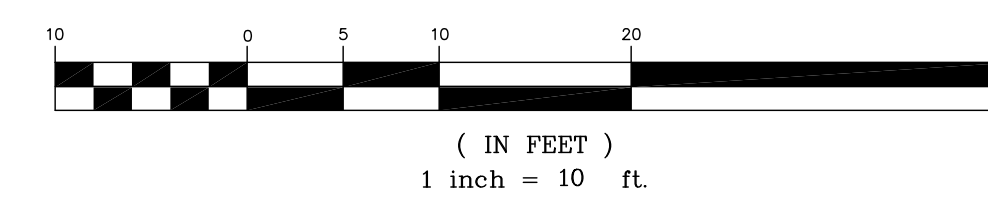


TYPICAL CROSS SECTION  
ALLEY  
NO SCALE



# 1764 BACON STREET SAN DIEGO, CA 92107

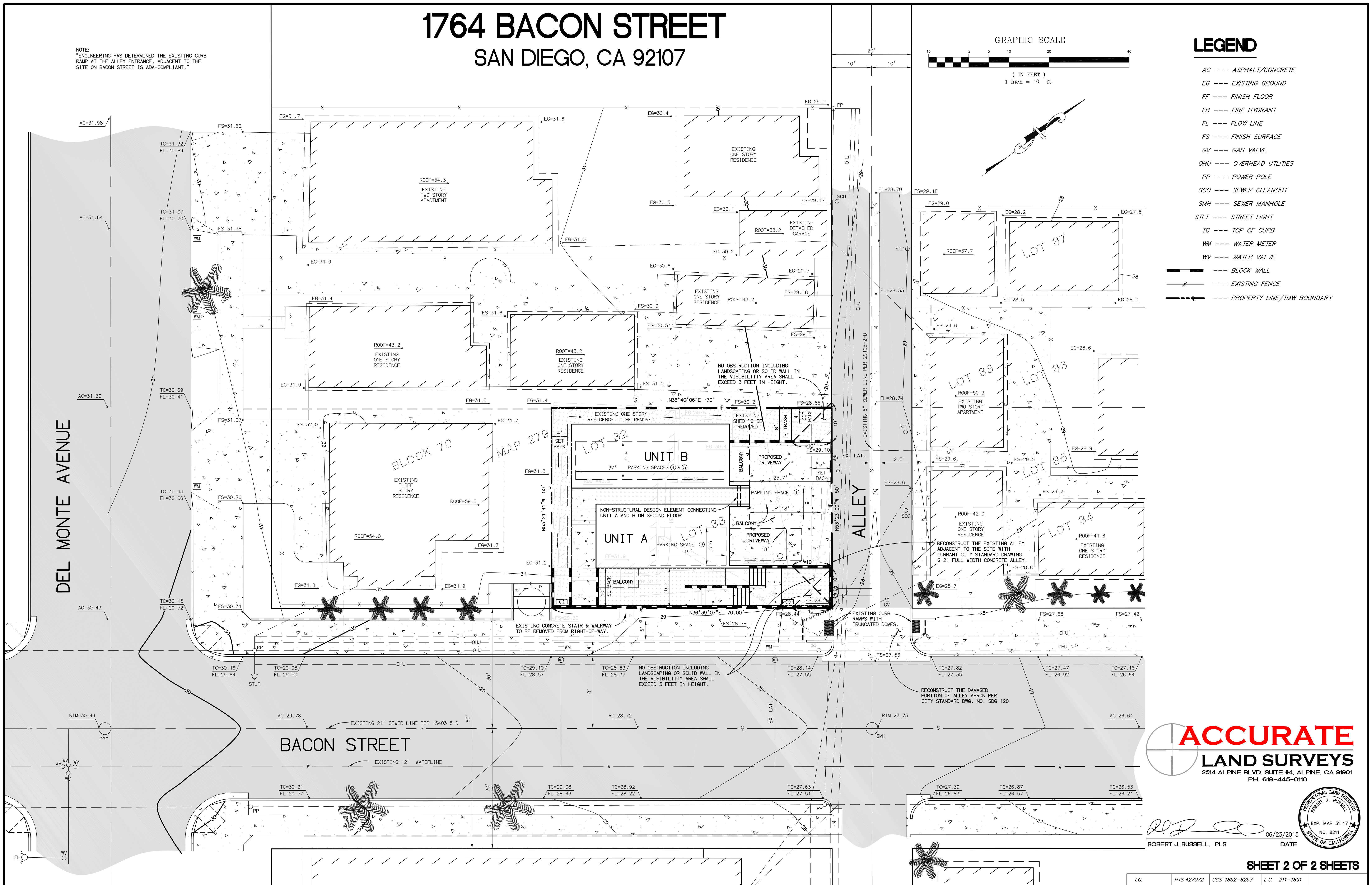
GRAPHIC SCALE



## LEGEND

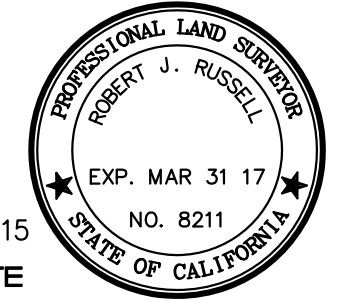
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- EXISTING FENCE
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NOTE:  
"ENGINEERING HAS DETERMINED THE EXISTING CURB RAMP AT THE ALLEY ENTRANCE, ADJACENT TO THE SITE ON BACON STREET IS ADA-COMPLIANT."



**ACCURATE**  
**LAND SURVEYS**  
2514 ALPINE BLVD. SUITE #4, ALPINE, CA 91901  
PH. 619-445-0110

*Robert J. Russell*  
ROBERT J. RUSSELL, PLS  
06/23/2015  
DATE

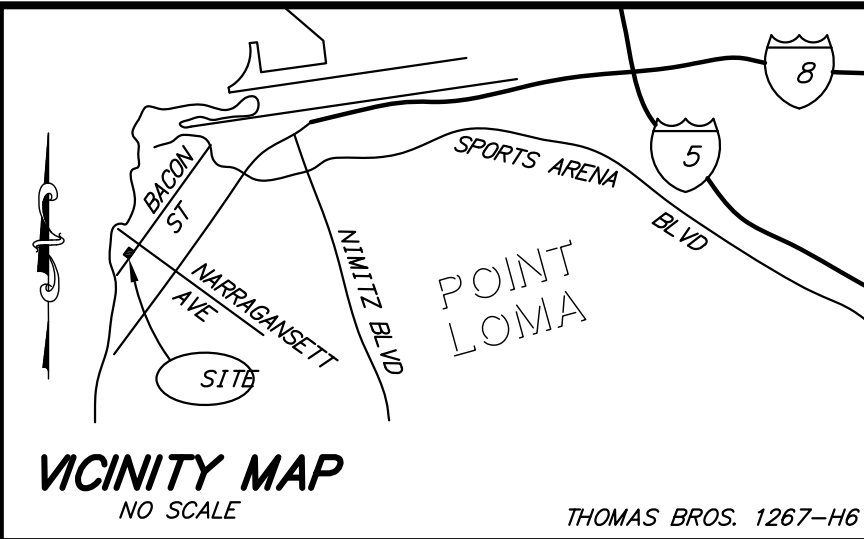


I.O.	PTS.427072	CCS 1852-6253	L.C. 211-1691
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# 1764 BACON STREET

## SAN DIEGO, CA 92107



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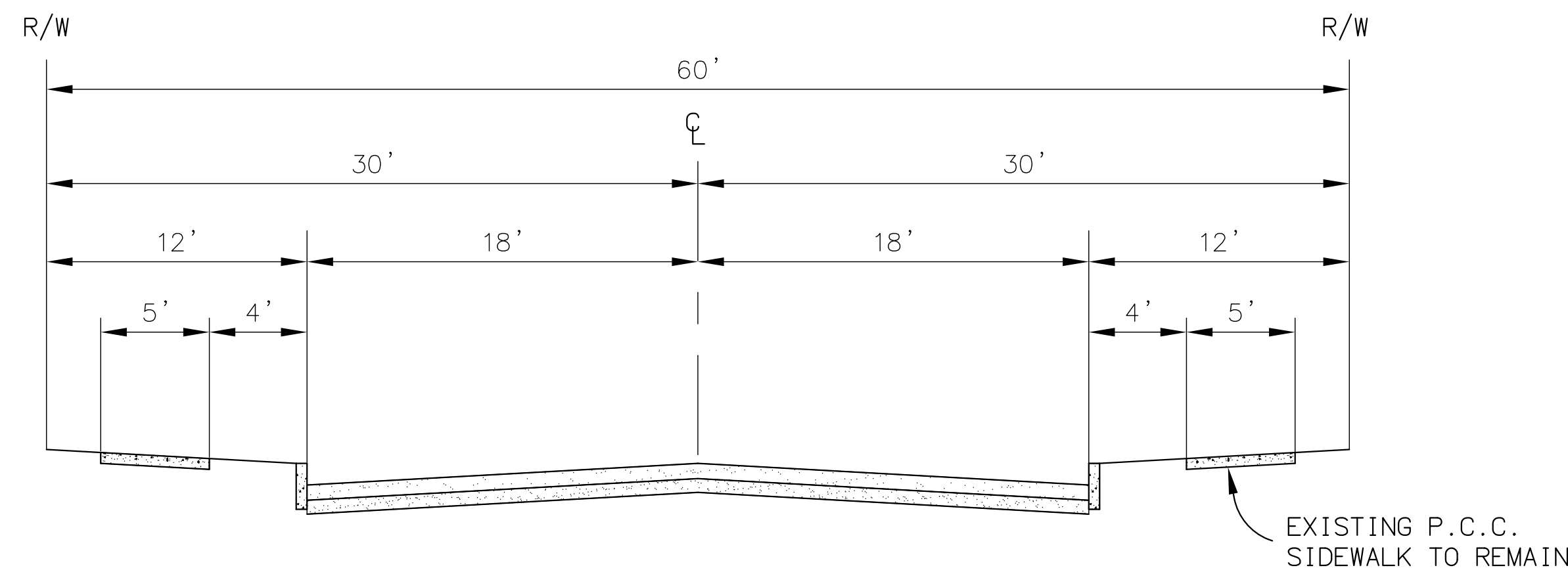
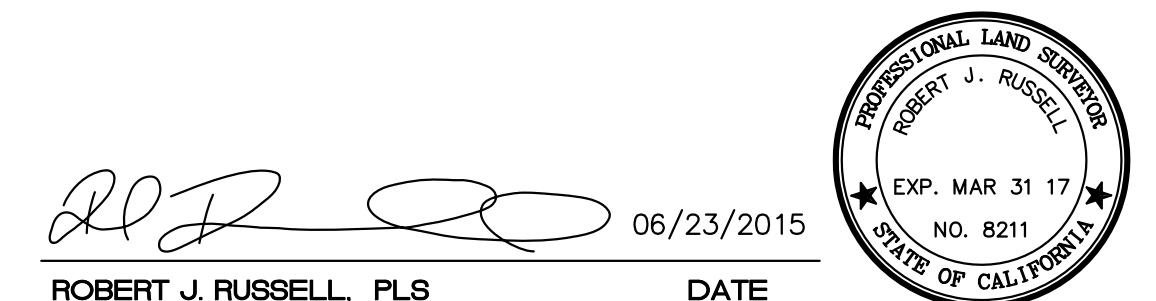
### TITLE REPORT

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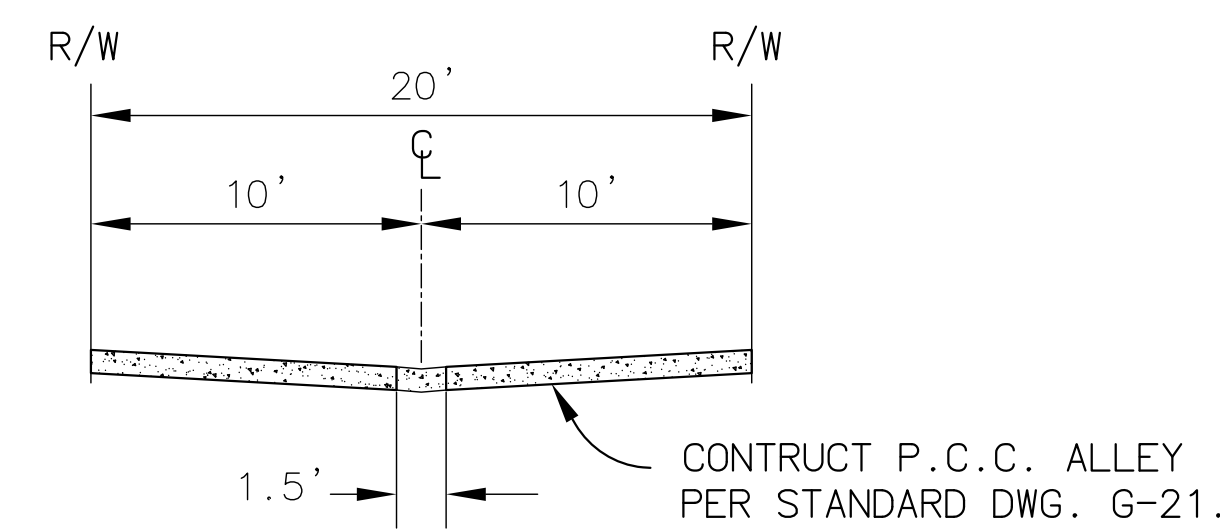
### OWNER/DEVELOPER

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740 N. 32ND STREET  
SAN DIEGO, CA 92102

NAME: \_\_\_\_\_ DATE \_\_\_\_\_  
TITLE: \_\_\_\_\_



TYPICAL CROSS SECTION  
BACON STREET  
NO SCALE

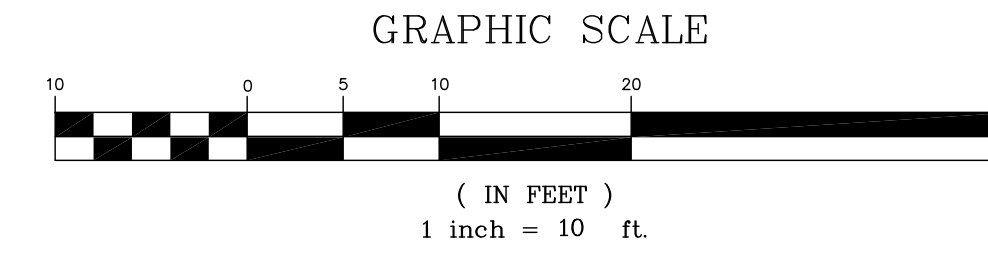


TYPICAL CROSS SECTION  
ALLEY  
NO SCALE



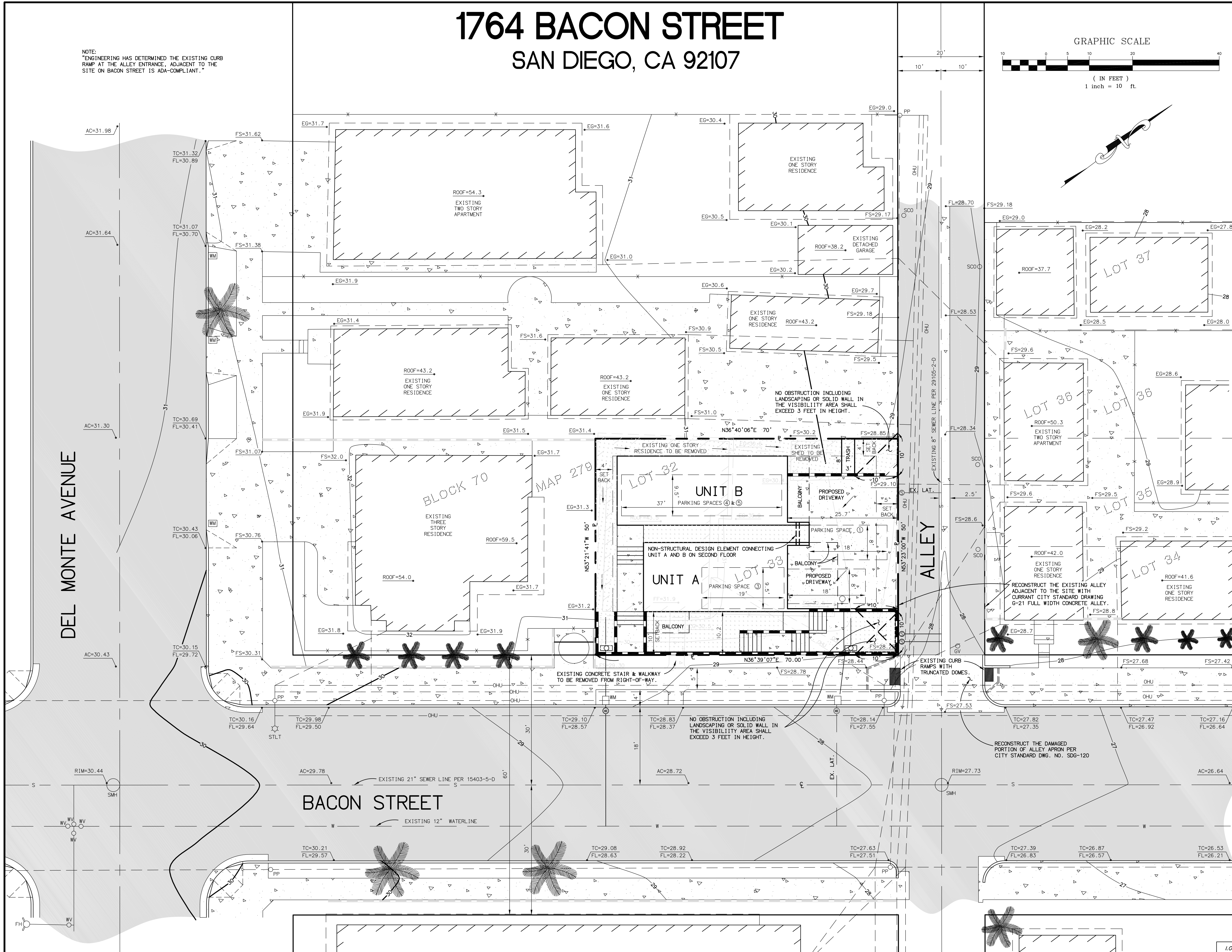
# 1764 BACON STREET SAN DIEGO, CA 92107

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## LEGEND

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**ACCURATE LAND SURVEYS**  
2514 ALPINE BLVD. SUITE #4, ALPINE, CA 91901  
PH. 619-445-0110

ROBERT J. RUSSELL, PLS  
06/23/2015  
DATE



**SHEET 2 OF 2 SHEETS**

I.O.	PTS.427072	CCS 1852-6253	L.C. 211-1691
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