



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: October 31, 2018 REPORT NO. HO-18-103

HEARING DATE: November 7, 2018

SUBJECT: EASTGATE REDEVELOPMENT SDP. Process Three Decision

PROJECT NUMBER: [554701](#)

OWNER/APPLICANT: Mr. Sheldon Weinstein, Sentry Storage LLC, Owner
Ms. Rachel Filippone, Applicant, Ms. Janessa Johnson, Applicant/Architect

SUMMARY:

Issue: Should the Hearing Officer approve the demolition of an existing six-building self-storage facility and construction of a three-story self-storage facility on a property located in the IL-2-1 and AR-1-1 Zones containing Environmentally Sensitive Lands, located at 8440-8480 Eastgate Court in the University Community Planning area?

Staff Recommendation: APPROVE Site Development Permit No. 2013930.

Community Planning Group Recommendation: On February 12, 2018, the University Community Planning Group voted 12-0-1 to recommend approval of this project without conditions (Attachment 6).

Environmental Review: Negative Declaration (ND) No. 80-10-17 was prepared for the original Eastgate Industrial Storage Facility project and became a final document on January 12, 1981. The Eastgate Bend project was presented to the San Diego City Council and the Mitigation, Monitoring and Reporting Program (MMRP) was adopted by resolution by the City Council in 1981. The proposed Eastgate Redevelopment Self-Storage Facility was reviewed by the Development Services Department's Environmental Analysis Section and determined, that it was in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15162(a): 1) No substantial changes are proposed in the project which would require major revisions of the previous ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) No substantial changes have occurred with respect to the circumstances under which the project is undertaken which would require major revisions to the previous ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and (3) There is no new information of substantial importance, which was not known and could not have

been known with the exercise of reasonable diligence at the time the previous ND was certified, that shows any of the circumstances described in CEQA Guidelines 15162(3)(A) - (D). Therefore, no subsequent environmental document is required, in that no new additional impacts and/or mitigation measures are required beyond those that were analyzed in the original environmental document. All of the impacts were adequately addressed and disclosed in the previously certified ND No. 80-10-17.

BACKGROUND

The project site is located at 8440-8480 Eastgate Court, north of Miramar Road, East of Interstate 805 and east of Eastgate Mall within the University Community Plan area (Attachments 1 and 2). The property is within the IL-2-1 and AR-1-1 Zones, University Community Plan Implementation Overlay Zone - Type B (CPIOZ-B), Prime Industrial Lands, Residential Tandem Parking Overlay Zone, Airport Influence Area (MCAS-Miramar, Review Area 1), ALUCP Noise Contour (MCAS-Miramar, 65-70 CNEL), Airport Safety Zone (MCAS-Miramar, Accident Potential Zone 2), and the FAA Part 77 Notification Area (MCAS-Miramar). The existing development and all of the proposed redevelopment of the property occurs within the IL-2-1 Zone portion of the property. The project site is flat and disturbed, however, a canyon with steep hillsides and sensitive vegetation exists along the northern and eastern edges of the property. The University Community Plan designates this site for Industrial Land Use for the flat portion of the property and Open Space Land Use for the canyon/steep hillsides portion.

The site is developed with a self-service storage facility located on approximate a 2.1-acre portion of the 9.152-acre project site. The project site contains Environmentally Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources along the northern and northeastern portions of the property. The ESL portion is within the Multi-Habitat Planning Area (MHPA). The self-storage facility was approved under a Hillside Review Permit No. 45-229, Tentative Map No. 01-265 and Rezone (5-80-93) in 1981.

The project proposes to remove the self-storage facility in phases and construct a new self-storage facility. The proposed redevelopment requires a Site Development Permit (SDP) to review compliance to Community Plan Implementation Overlay Zone, per Section 132.1402.

DISCUSSION

The project would remove the existing storage facility buildings in phases and construct a 111,468-square-foot, three-story, self-storage facility within the existing disturbed portion of the site (Attachment 9). In addition, new drainage facilities will be installed in the form of a bio-filtration basin to be located just east of the proposed parking lot in a flat, previously graded area. The new storage facility will provide 16 parking spaces, 12 bicycle spaces and two motorcycle spaces. This project does not propose any physical changes to the property beyond the disturbed portion containing the self-storage facility and does not propose to encroach into the ESL or MHPA. A Covenant of Easement (COE) for the protection of the remaining ESL is required to be recorded over that portion of the site containing ESL as a permit condition (Condition No. 77, Attachment 5). The grading plan proposes 9,503 cubic yards of cut, 445 cubic yards of fill and 9,058 cubic yards of export. All the proposed grading and development conforms to the applicable IL-2-1 development regulations, such as setbacks, drainage, landscaping and off-street parking. No deviations are

proposed. This project includes a MHPA Boundary Line Correction (Attachment 8). The original MHPA boundary for the site was established as part of the regional MSCP mapping efforts, which became effective in March 1997. MHPA boundary corrections are allowed under the City's MSCP to rectify minor mapping inaccuracies at the project level. The proposed MHPA boundary line correction was clearly demonstrated in Figure 3 of the prepared biology report for this project (Attachment 8). The correction was reviewed and accepted by the resources agencies and the City's MSCP Section. The proposed self-storage facility is designed to be consistent with the MHPA adjacency guidelines for drainage and lighting. The design directs drainage and lighting away from the MHPA area. The landscape plan proposes no invasive plant species adjacent MHPA area.

ENVIRONMENTALLY SENSITIVE LANDS

The applicant has demonstrated on the project plans that this proposed redevelopment will not expand beyond what has already been disturbed. Brush Management Zone Two is considered impact neutral for the purposes of determining impacts to Environmentally Sensitive Lands (ESL). Therefore, the project does not require an Site Development Permit (SDP) for ESL. The project will only require an SDP for CPIOZ-B.

COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE

The project site is in Community Plan Implementation Overlay Zone (CPIOZ) Type B, which requires discretionary review to assure the project's design consistency with the Community Plan's Urban Design Element. This element recommends architecture, grading, lot coverage, height, bulk and orientation of buildings be compatible with surrounding development. The proposed level, sensitive grading design, parking lot location, proposed architecture, lot coverage, building height and building orientation was found to be compatible with surrounding development.

A portion of the site is also identified as Prime Industrial Lands in the General Plan Economic Prosperity Element. The proposed self-storage facility is an industrial use and, therefore, is consistent with the Prime Industrial Lands and the Community Plans Industrial land use designation. The portion of the site to remain undeveloped, along with the preservation of the steep slope area is consistent with the Community Plan's Open Space Land Use designation. Therefore, the proposed self-storage facility redevelopment of this site will not adversely affect the goals and objectives of the University Community Plan.

MARINE CORPS AIR STATION

The project site is located within the Airport Influence Area for Marine Corps Air Station (MCAS)-Miramar, Land Use Compatibility Plan Noise Contour, 65-70 CNEL, Airport Safety Zone, Accident Potential Zone 2, and the FAA Part 77 Notification Area. City Staff determined that the proposed redevelopment of the self-storage facility is consistent with these overlay zones, noise and safety compatibility guidelines, and the proposed height of the structures does not penetrate the Federal Aviation Administration (FAA) Part 77 Outer Horizontal Surface.

CONCLUSION

This proposed project was designed to comply with the development regulations of the underlying IL-2-1 Zone, ESL regulations, and the University Community Plan Implementation Overlay Zone - Type B. Staff has reviewed the request for a Site Development Permit and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings to support the project. Therefore, staff recommends the Hearing Officer approve Site Development Permit No. 2013930.

ALTERNATIVES

1. Approve Site Development Permit No. 2013930, with modifications.
2. Deny Site Development Permit No. 2013930, if the findings required to approve the project cannot be affirmed.

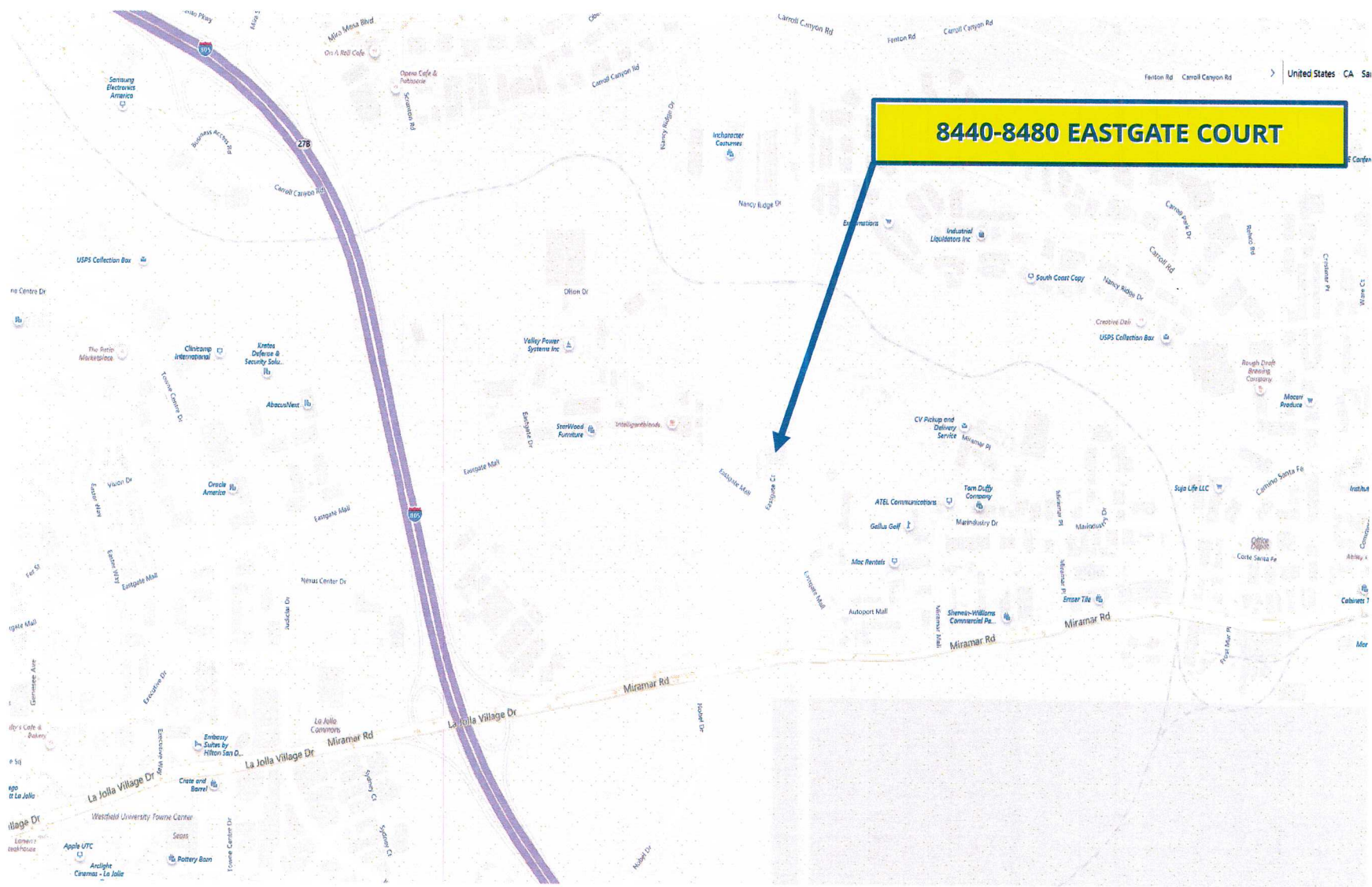
Respectfully submitted,



Glenn R. Gargas, Development Project Manager

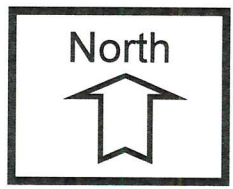
Attachments:

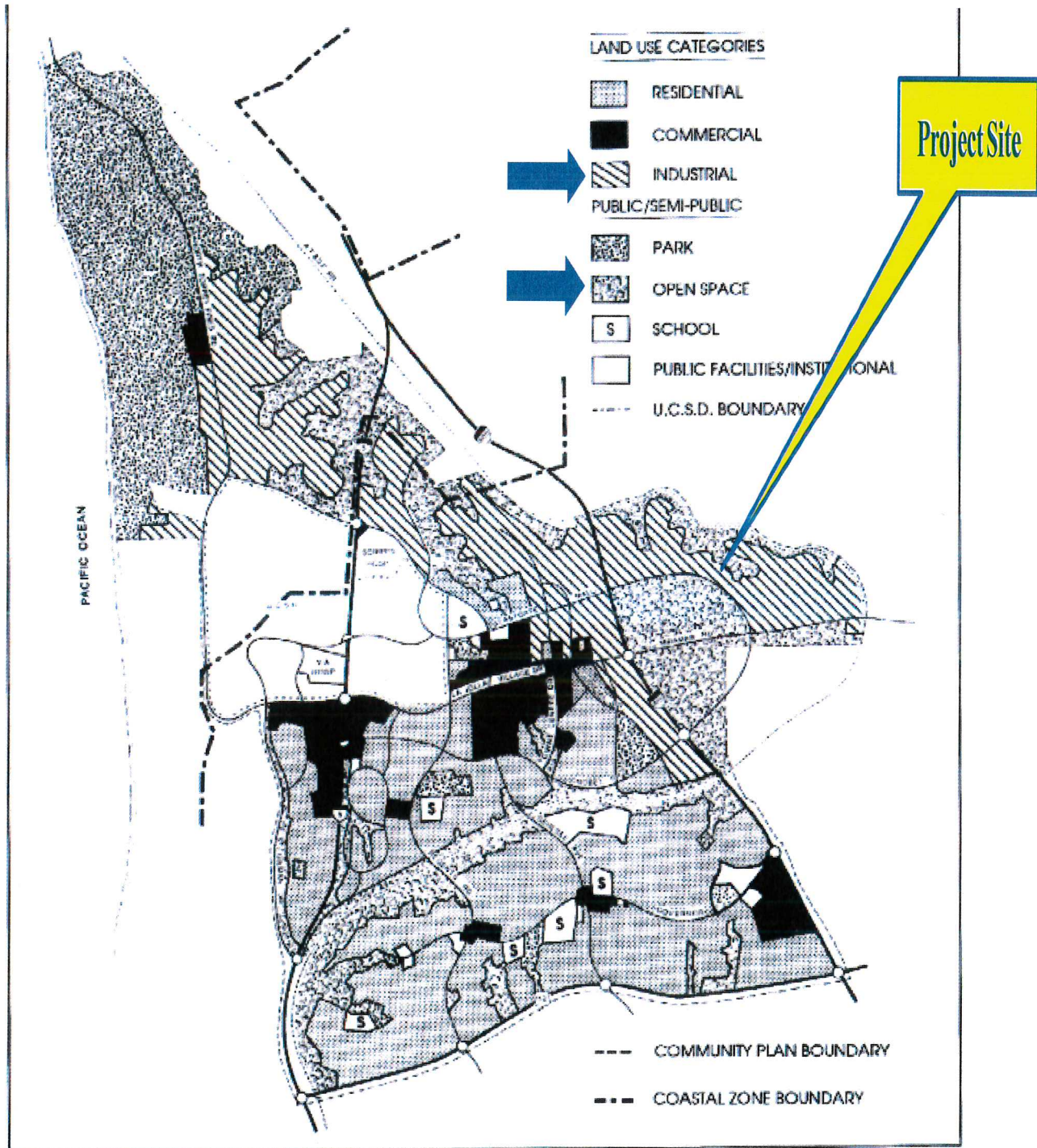
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph & Base Zones
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. MHPA Boundary Line Correction Exhibit
9. Project Plans



Project Location Map

**EASTGATE REDEVELOPMENT SDP – 8440 - 8480 EASTGATE COURT
PROJECT NO. 554701**





Land Use Map

**EASTGATE REDEVELOPMENT SDP - 8440 - 8480 EASTGATE COURT
PROJECT NO. 554701**





Aerial Photo & Base Zones

EASTGATE REDEVELOPMENT SDP - 8440 - 8480 EASTGATE COURT
PROJECT NO. 554701



HEARING OFFICER RESOLUTION NO. ____
SITE DEVELOPMENT PERMIT NO. 2013930
EASTGATE REDEVELOPMENT SDP - PROJECT NO. 554701 MMRP

WHEREAS, Sentry Storage, LLC, a California Limited Liability Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing storage facility and construct a new, three-story, self-storage facility and a MHPA Boundary Line Correction (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2013930), on portions of a 9.152-acre property;

WHEREAS, the project site is located at 8440-80 Eastgate Court in the IL-2-1 and AR-1-1 Zones, Community Plan Implementation Overlay Zone - Type B (CPIOZ-B), Prime Industrial Lands, Residential Tandem Parking Overlay Zone, Airport Influence Area (MCAS-Miramar, Review Area 1), ALUCP Noise Contour (MCAS-Miramar, 65-70 CNEL), Airport Safety Zone (MCAS-Miramar, Accident Potential Zone 2), and the FAA Part 77 Notification Area (MCAS-Miramar), and within the University Community Planning area;

WHEREAS, the project site is legally described as; Lot No. 1, Eastgate Bend Unit No. 1, City of San Diego, County of San Diego, State of California, according to map thereof No. 10914, filed in the office of the County Recorder of San Diego County, April 26, 1984;

WHEREAS, on November 7, 2018, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2013930 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated November 7, 2018.

FINDINGS:

Site Development Permit - Municipal Code Section 126.0504(a)

1. The proposed development will not adversely affect the applicable land use plan.

The proposed redevelopment of a self-service storage facility, a light industrial use, will not adversely affect the University Community Plan. The project site is in Community Plan Implementation Overlay Zone (CPIOZ) Type B, which requires discretionary review to assure the project's design consistency with the University Community Plan's Urban Design Element. This element recommends architecture, grading, lot coverage, height, bulk and orientation of buildings be compatible with surrounding development. The proposed level and sensitive grading design, preserving the adjacent steep slopes with sensitive biological resources, was found to be compatible with surrounding development. Also, the location or orientation of the proposed self-service storage facility was also found consistent with

surrounding development, as it is located on the flat disturbed portion of the site and the adjacent sensitive steep slope areas would be retained in a natural state.

The flat portion of the project site fronting Eastgate Court is designated Industrial and the steep slope areas in the rear as Open Space by the University Community Plan (UCP). A portion of the site is also identified as Prime Industrial Lands in the General Plan Economic Prosperity Element. The proposed project for a self-storage facility, an industrial use, is located within the Industrial designated portion of the site. The steep slope area, being preserved with a Covenant of Easement is located in the Open Space designated portion of the property. The portion of the site to remain undeveloped, along with the preservation of the steep slope area is consistent with the Community Plan's Open Space Land Use designation. Therefore, the proposed self-storage facility redevelopment of this site will not adversely affect the goals and objectives of the University Community Plan.

The proposed self-storage facility was also found in conformance with the University Community Plan's Community Plan Implementation Overlay Zone - Type B (CPIOZ-B), and the Prime Industrial Lands. The project is located within the previously disturbed portion of the site and will not encroach into Environmentally Sensitive Lands or the Multi-Habitat Planning Area (MHPA). Thus, the proposed development will not adversely affect the University Community land use plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The project has been designed to comply with all of the applicable development regulations, including those of the IL-2-1 and AR-1-1 Zones, the Environmentally Sensitive Lands Regulations, and the Community Plan Implementation Overlay Zone - Type B (CPIOZ-B).

The project was reviewed by the Development Services Department's Environmental Analysis Section (EAS) in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15162(a) and EAS determined: 1) No substantial changes are proposed in the project which would require major revisions of the previous ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) No substantial changes have occurred with respect to the circumstances under which the project is undertaken which would require major revisions to the previous ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and (3) There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified, that shows any of the circumstances described in CEQA Guidelines 15162(3)(A) - (D). Therefore, no subsequent environmental document was required, in that no new additional impacts and/or mitigation measures were required beyond those that were analyzed in the original environmental document.

The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services, since this project will have a similar square footage, number of employees and number of required

parking spaces. The project will not be detrimental to public health, safety and welfare in that the project will construct two new driveways, replace damaged sidewalks, curb and gutter, obtain Encroachment Maintenance Removal Agreement for existing private storm drain pipe, remove of all private encroachments, provide an additional drainage easement, all prior to building permit issuance. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The redevelopment of a self-service storage facility, will comply with the development regulations of the IL-2-1 and AR-1-1 Zones, the Community Plan Implementation Overlay Zone - Type B (CPIOZ-B) and the Environmentally Sensitive Lands. There are no proposed variances or deviations to the development regulations of the Land Development Code. City staff reviewed the potential encroachment into environmentally sensitive lands, setbacks, screening, drainage, off-street parking, landscaping and found that the project will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2013930, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2013930, a copy of which is attached hereto and made a part hereof.

BE IT FURTHER RESOLVED, that the MHPA Boundary Line Correction shown on Figure 3 of the Eastgate Redevelopment Project Biological Technical Report, dated July 2018, is approved.

Glenn R. Gargas, AICP
Development Project Manager
Development Services

Adopted on: November 7, 2018

IO#: 24007321

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007321 SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2013930
EASTGATE REDEVELOPMENT - PROJECT NO. 554701
HEARING OFFICER

This Site Development Permit No. 2013930 is granted by the Hearing Officer of the City of San Diego to Sentry Storage LLC, a California Limited Liability Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 143.0110. The 9.152-acre site is located at 8440 – 8480 Eastgate Court, in the IL-2-1 and AR-1-1 Base Zones, Community Plan Implementation Zone B and within the University Community Plan area. The project site is legally described as: Lot No. 1, Eastgate Bend Unit No. 1, City of San Diego, County of San Diego, State of California, according to Map thereof No. 10914, filed in the office of the County Recorder of San Diego County, April 26, 1984.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolition of existing building and construct a three-story self-service storage facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 7, 2018, on file in the Development Services Department. The project shall include:

- a. Demolition of existing building and construction of a 111,468-square-foot, three-story, self-service storage facility on a 9.152-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Fences, signs, lighting and drainage facilities; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 23, 2021.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of

San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the

Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENVIRONMENTAL REQUIREMENTS:

13. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the Environmental Conditions are incorporated into the design.

14. In addition, the ED shall verify that the Project's Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/PLANNING DEPARTMENT REQUIREMENTS."

These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>

15. The Title Index Sheet must also show on which pages the "Environmental/Planning Department Requirements" notes are provided.

16. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.

- A. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI), Monitors, and all persons for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.
- B. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI, Monitors, and all persons involved in the paleontological monitoring of the project. Professional Qualifications shall meet the following standards:

- C. The Principal Investigator (PI) should have a Ph.D. or M.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Four cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required. Two of the four years must be in a supervisory capacity (crew chief or above).
- D. Paleontological Monitors should have a B.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Two cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required.
- E. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

17. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

18. In addition, the ED shall verify that the Project's Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/PLANNING DEPARTMENT REQUIREMENTS."

20. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>

21. The TITLE INDEX SHEET must also show on which pages the "Environmental/Planning Department Requirements" notes are provided.

22. Pre-construction meeting is required ten (10) working days prior to beginning any work on this project. the permit holder/owner is responsible to arrange and perform this meeting by contacting the city resident engineer (re) of the field engineering division and city staff from mitigation monitoring coordination (mmc). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

- Qualified Biologist*
- Qualified Acoustical Representative*
- Qualified Paleontologist*

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the RE at the Field Engineering Division – (858) 627-3200
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call RE and MMC at (858) 627-3360

23. ENVIRONMENTAL CONDITIONS COMPLIANCE: This Project, Project Tracking System (PTS) No. 554701 shall conform to the requirements contained in the associated Permit and implemented to the satisfaction of the DSD’s Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

Note: Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

24. MONITORING EXHIBITS: All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

25. OTHER SUBMITTALS AND INSPECTIONS: The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Land Use	Land Use Adjacency Issues CVSRs	Land Use Adjacency Issue Site Observations
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Biological Documentation	Prior to Construction
Paleontology	Paleontology Reports	Paleontology Site Observation
Noise	Pre-construction Avian Nesting Survey	Construction Noise Features Inspection

26. **BIOLOGY -** Prior issuance of any construction permit, Biological Resource Protection During Construction shall be implemented in conjunction with the Land Use – Multiple Species Conservation Plan (MSCP) Land use Adjacency Guidelines (LUAG). This shall be implemented throughout construction of the project.

27. **Prior to Construction - Biologist Verification:** The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2018), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.

28. **Prior to Construction - Preconstruction Meeting:** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.

29. **Prior to Construction - Biological Documents:** The Qualified Biologist shall submit all required documentation to MMC verifying that any special reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.

30. **Prior to Construction - BCME:** The Qualified Biologist shall present a Biological Construction Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.

31. **Prior to Construction - Avian Protection Requirements: General Avian:** To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to

be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report or plan are in place prior to and/or during construction.

32. Prior to Construction - Resource Delineation: Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.

33. Prior to Construction - Education: Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

34. During Construction - Monitoring: All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.

35. During Construction - Subsequent Resource Identification: The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc.). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

36. Post Construction Measures - In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD.

37. LAND USE – Multiple Specific Conservation Plan (MSCP) Land Use Adjacency Guidelines (LUAG)

The following Land Use – MSCP LUAG shall be implemented in conjunction with the Biological Resource Protection During Construction prior to Permit Issuance:

- A. Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify with the Applicant has accurately represented the project's design in or on the Construction Documents (CD's/CD's consist of Construction Plan Sets for Private Projects and Contract Specifications for Public Projects) are in conformance with the associated discretionary permit conditions and Exhibit "A", and also the City's Multi-Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines. The applicant shall provide an implementing plan and include references on/in CD's of the following:
- B. Grading/Land Development/MHPA Boundaries – No grading will occur within or directly adjacent to the MHPA. MHPA boundaries on-site and adjacent properties shall be delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the development footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.
- C. Drainage – All new and proposed parking lots and developed areas in and adjacent to the MHPA shall be designed so they do not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
- D. Toxics/Project Staging Areas/Equipment Storage – Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Where applicable, this requirement shall incorporated into leases on publicly-owned property when applications for renewal occur. Provide a note in/on the CD's that states: *"All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."*
- E. Lighting – Lighting within or adjacent to the MHPA shall be directed away/shielded from the MHPA and be subject to City Outdoor Lighting Regulations per LDC Section 142.0740.
- F. Barriers – New development within or adjacent to the MHPA shall be required to provide barriers (e.g., non-invasive vegetation; rocks/boulders; 6-foot high, vinyl-coated chain link or equivalent fences/walls; and/or signage) along the MHPA

boundaries to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.

- G. Invasives – No invasive non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- H. Brush Management – New development adjacent to the MHPA shall be set back from the MHPA to provide required Brush Management Zone 1 area on the building pad outside of the MHPA. Zone 2 may be located within the MHPA provided the Zone 2 management will be the responsibility of an HOA or other private entity except where narrow wildlife corridors require it to be located outside of the MHPA. Brush management zones will not be greater in size than currently required by the City's regulations, the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done and vegetation clearing shall be prohibited within native coastal sage scrub and chaparral habitats from March 1-August 15 except where the City ADD/MMC has documented the thinning would be consist with the City's MSCP Subarea Plan. Existing and approved projects are subject to current requirements of Municipal Code Section 142.0412.
- H. Noise – Due to the site's location adjacent to or within the MHPA where the Qualified Biologist has identified potential nesting habitat for listed avian species, construction noise that exceeds the maximum levels allowed shall be avoided during the breeding seasons for the following: California Gnatcatcher (March 1 through August 15). If construction is proposed during the breeding season for the species, U.S. Fish and Wildlife Service protocol surveys shall be required in order to determine species presence/absence. If protocol surveys are not conducted in suitable habitat during the breeding season for the aforementioned listed species, presence shall be assumed with implementation of noise attenuation and biological monitoring. When applicable (i.e., habitat is occupied or if presence of the covered species is assumed), adequate noise reduction measures shall be incorporated as follows:

38. COASTAL CALIFORNIA GNATCATCHER (Federally Threatened) - Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

- A. No clearing, grubbing, grading, or other construction activities shall occur between march 1 and august 15, the breeding season of the Coastal California Gnatcatcher, until the following requirements have been met to the satisfaction of the city manager:
- B. A qualified biologist (possessing a valid endangered species act section 10(a)(1)(a) recovery permit) shall survey those habitat areas within the mhpa that would be subject to construction noise levels exceeding 75 dba leq average for the presence of the coastal California Gnatcatcher. surveys for the Coastal California Gnatcatcher

shall be conducted pursuant to the protocol survey guidelines established by the u.s. fish and wildlife service within the breeding season prior to the commencement of any construction. if gnatcatchers are present, then the following conditions must be met:

C. Between March 1 and August 15, no clearing, grubbing, or grading of occupied gnatcatcher habitat shall be permitted. areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and

D. Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 75 dba leq at the edge of occupied gnatcatcher habitat. an analysis showing that noise generated by construction activities would not exceed 75 dba leq at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the city manager at least two weeks prior to the commencement of construction activities. prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or

E. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed (75 dba leq) average at the edge of habitat occupied by the coastal california gnatcatcher. concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 db (a) hourly average. if the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (August 16)

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 75 dBA LEQ or to the ambient noise level if it already exceeds 75 Dba LEQ average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 75 dBA LEQ average or to the ambient noise level if it already exceeds 75 dBA LEQ average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

F. If Coastal California Gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the city

manager and applicable resource agencies which demonstrates whether or not project design measures such as noise walls are necessary between March 1 and August 15 as follows:

- I. If this evidence indicates the potential is high for Coastal California Gnatcatcher to be present based on historical records or site conditions, then condition A.iii shall be adhered to as specified above.
- ii. If this evidence concludes that no impacts to this species are anticipated, no project design measures would be necessary.

39. Noise – Construction Management Plan - If construction is required to occur during the general avian nesting season between January and August, a pre-construction avian nesting survey shall be conducted by a qualified biologist within seven calendar days prior to construction. If nesting birds covered under the MSCP are discovered during the avian survey, a construction management plan shall be implemented to ensure that noise levels from project-related demolition, grading, and construction activities do not exceed the hourly ambient noise levels of 75 dBA LEQ, when measured at the boundary line of the occupied MHPA where noise is being received. A Construction Management Plan describing the measures included on the construction plans to ensure compliance with noise limits shall be prepared by the project applicant and submitted to the City's MMC department for approval prior to construction or demolition activities. The following measures shall be included to reduce construction/demolition noise levels:

- Construction equipment to be properly outfitted and maintained with manufacturer recommend noise-reduction devices.
- Diesel equipment to be operated with closed engine doors equipped with factory-recommended mufflers.
- Mobile or fixed “packaged” equipment (e.g. arc-welders and air compressors) to be equipped with shrouds and noise control features that are readily available for that type of equipment.
- Electrically powered equipment to be used instead of pneumatic or internal-combustion powered equipment, where feasible.
- Unnecessary idling of internal combustion engines (e.g., in excess of 5 minutes) to be prohibited.
- Material stockpiles and mobile equipment staging, parking, and maintenance areas to be located as far as practical from the occupied habitat.
- The use of noise-producing signals, including horns, whistles, alarms, and bells shall be used for safety warning purposes solely.
- No-project related public access or music system shall be audible within the occupied MHPA.
- Temporary sound barriers or sound blankets may be installed between construction operations and adjacent noise-sensitive receptors. Due to equipment exhaust pipes being approximately 7 to 8 feet above the surface of the ground, a sound wall of at least 8 feet in height, between the project and occupied habitat, be provided along the northern and eastern boundary of the site to reduce noise levels with acceptable limits. To reduce noise levels effectively, the sound barrier should be constructed with a minimum weight of two

pounds per square foot with no gaps or perforations and remain in place until the conclusion of demolition, grading, and construction activities, the end of the general avian breeding season, or until a qualified biologist has determined that the next is no longer active.

40. PALEONTOLOGICAL RESOURCES - Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.
41. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.
42. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
43. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.
44. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.
45. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI), Monitors, and all persons for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.
46. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI, Monitors, and all persons involved in the paleontological monitoring of the project. Professional Qualifications shall meet the following standards:
 - A. The Principal Investigator (PI) should have a Ph.D. or M.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Four cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required. Two of the four years must be in a supervisory capacity (crew chief or above).

- B. Paleontological Monitors should have a B.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Two cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required.

47. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

ENGINEERING REQUIREMENTS:

48. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of two (2) new driveways, 24-feet and 30-feet, per current City Standards, as shown on the approved "Exhibit A", adjacent to the site on Eastgate Court.

49. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the damaged and uplifted portions of the existing sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Eastgate Court.

50. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruct of the damaged portions of the existing curb and gutter with current City Standard curb and gutter, adjacent to the site on Eastgate Court.

51. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the existing private storm drain pipe and private connection to the public storm drain inlet in the Eastgate Court Right-of-Way.

52. Prior to the issuance of any building permits, the Owner/Permittee shall remove all private encroachments, additional non-standard pavement in the parkway, fences, bollards, mailboxes, etc. from the Right-of-Way adjacent to site on Eastgate Court to the satisfaction of the City Engineer.

53. Prior to the issuance of any building permits, the Owner/Permittee shall grant the City an additional 5-foot drainage easement in addition to the existing 10-foot drainage easement.

54. The project proposes to export 9,058 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

55. The drainage system proposed for this development, is private and subject to approval by the City Engineer.

56. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

57. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

58. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

59. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

60. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

LANDSCAPE REQUIREMENTS:

61. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

62. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

63. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

64. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

65. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

66. The Brush Management Program shall be based on a standard Zone One of 35-feet in width and a Zone Two of 65-feet in width, extending out from the structure towards the native/naturalized vegetation, consistent with §142.0412. Zone One shall range from 30.5-feet to 80-feet in width with a corresponding Zone Two of 0-feet to 65-feet in width, exercising Zone Two reduction options under §142.0412(f).

67. Alternative Compliance: Where Zone One is reduced, a radiant heat wall shall be provided at the interface of Zones One & Two as alternative compliance for the reduced brush management zones. A Zone One condition shall be maintained in the yard space between the radiant heat wall and the habitable structure.

68. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

69. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

70. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

71. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

MULTIPLE SPECIES CONSERVATION PROGRAM:

72. Prior to the issuance of any construction permits, the Owner/Permittee shall grant the on-site Multi-Habitat Planning Area [MHPA] to the City's Multiple Species Conservation Program [MSCP] preserve through either fee title to the City, or a covenant of easement granted in favor of the City and the U.S. Fish and Wildlife Service [USFWS] and the California Department of Fish and Wildlife [CDFW], as shown on Exhibit "A." Conveyance of any land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. The Owner/Permittee shall ensure all property approved for conveyance in fee title to the City for MHPA purposes shall be free and clear of all private easements, private encroachments, private agreements and/or liens. Any on-site MHPA lands that are not dedicated in fee title to the City shall grant a covenant of easement in favor of the City, USFWS, and CDFW. The Owner/Permittee shall maintain in perpetuity any MHPA lands granted by covenant of easement unless otherwise agreed to by the City.

73. Prior to issuance of any building permits, the Owner/Permittee shall schedule an inspection with the Park and Recreation Department Open Space Division for all property approved for conveyance in fee title to the City for MHPA purposes. All trash, illegal use and associated structures on the lot(s) shall be removed prior to the City's acceptance.

74. Prior to recordation of the first final map and/or issuance of any grading permits, the on-site MHPA shall be conveyed to the City's MSCP preserve through either fee title to the City, covenant of easement granted in favor of the City and wildlife agencies or dedication of land in fee title to the City. Conveyance of any land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. To facilitate MHPA conveyance, any non-fee areas shall have covenant of easements for MHPA lands placed over them if located in the MHPA, and be maintained in perpetuity by the owner/Permittee/Applicant unless otherwise agreed to by the City for acceptance of dedicated land in fee title.

PLANNING/DESIGN REQUIREMENTS:

75. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

76. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

77. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

78. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS:

79. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

80. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

TRANSPORTATION REQUIREMENTS

81. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

82. Prior to the issuance of any building permits, the Owner/Permittee shall finalize Water and sewer capacity charges. Capacity charges, as well as service and meter size, are determined by Water Meter data card which is completed during the building plan review process. Any questions regarding water and sewer capacity fees should be addressed to Information and Application Services (619-446-5000).

83. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

84. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

85. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 7, 2018 by Resolution No. _____.

ATTACHMENT 5

Permit Type/PTS Approval No.: SDP No. 2013930

Date of Approval: Nov. 7, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Sentry Storage, LLC
Owner/Permittee

By _____
Sheldon Weinstein
President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

UNIVERSITY COMMUNITY PLANNING GROUP
Meeting Minutes
10300 Campus Pointe Drive, 2nd Floor
6 P.M . February 12, 2018

Directors present: Janay Kruger (JK) (Chair), Andrew Wiese (AW), Nancy Groves (NG) John Bassler (JB), Caryl Lees Witte (CW), Nan Madden (NM), Alison Barton (AB), Ash Nasserri (AN), Rebecca Robinson (RR), Kristopher Kopensky (KK), Donna Andonian (DA), Roger Cavanaugh (RC), Alice Buck (ABu), Ross Caulum (RCu), Jason Moorhead (JM), Anu Delouri (AD), Katie Hosch, and Dan Monroe (DM).

Directors absent: Meagan Beale (MB) (Vice Chair), Isabelle Kay (IK), Ryan Perry (RP), Kristin Camper (KC), and Petr Krysl (PK)

1. Call the Meeting to Order - Janay Kruger, Chair
 - a. 1810
2. Conversation on where to have next months meeting, decided to be at same location
3. Pledge of Allegiance followed by Moment of Silence
4. Agenda: Call for additions/deletions: Adoption
 - a. No changes

Motion: Motion to approve as presented by AW and seconded by RC
Vote: unanimous, motion passed.
5. Approval of Minutes: November, 2017 & January 9, 2018
 - a. Discussed changes for January from IK and NG

Motion: Motion to approve January minutes as presented and reviewed by NM and seconded by AB.
Vote: unanimous, motion passed.
6. SDPD Update
 - a. Update on new chief and introductions
7. Announcements - JK
 - a. 15 acres at Governor and Gullstrand are not for sale
 - b. Pure Water coming to March planning group. AW: What is the process from there? JK and DM: They will go to City Council and may go to planning before that
 - c. Costa Verde EIR is out and discs are available for review. It is also posted to SD Development website, deadline to respond is March 19th
 - d. On Illumina project, Alexandria agreed with us and we have a deal, but that is not what the City Council will vote on. JK asked if there was a way to amend it, answer was no as they were guidelines. Three ways to handle; ARE does a SCR for the changes, it goes back to the planning commission for revisions, or City Council denies it. AW: Or the City Council can amend it? Conversation with representative from ARE, DM, and Directors

- a. Absent
- 18. Congressman Scott Peters - Jennifer Sosa
 - a. Absent
- 19. MCAS Miramar - K. Camper
 - a. Absent
- 20. Planning Department - Dan Monroe
 - a. Present
- 21. Public Comment: Non-Agenda Items - 3 minutes per speaker
 - a. Resident of Enders is curious about what to do with parcel of land owned by the water district. She would like to see some improvements to the property. JK: Will share contact information to the Water District
- 22. Information Item: UCSD Update of 3 projects, 6th College, parking garage and fire station

Presenter: Robert Clossin, Planner, UCSD

 - a. Update on Long Range Development Plan
 - b. JK: Referenced letters in response to projects recommending adaptive traffic signaling. A: We are in support of that and will take it into consideration
 - c. Community: Any long term plans for a hotel? A: Potentially considering but not specific in the LRDP. Additional question on retail in the Mesa area. A: Yes there is a plan to add retail there (market, fitness)
 - d. Community: Comment on superloop student riders and their parking in the UC neighborhoods. A: Review of how survey is done and understands the issue
 - e. Community: I would encourage considering not allowing vehicles for new students living on property. A: Will take it into consideration but will depend on how well the campus is programmed
 - f. DA: Do you promote SHIFT? A: Yes
 - g. AN: Are there updates on the Blackhorse lease? In 2051, the property reverts to the property
- 23. Information Item: iCommute & Vertex

Presenter: Melanie Cohn

 - a. Explanation and examples on what businesses like Vertex are doing to mitigate traffic
 - b. Explanation of SHIFT and iCommute
- 24. 8440-80 Eastgate Ct., Self-Storage, 110,000 sf, demolition and construction. 3 stories

Presenter: Patrick Anderson, Magellan Architects

 - a. Review of project, replace old self-storage building with modern operation
 - b. No additional development
 - c. Community: Can I see your plant pallet
 - d. AW: What traffic changes are required A: Self storage has a very little traffic requirement but the lot has adequate parking (10 visitors in a day would be a busy day)



- e. Community: Moving from 2 to 3 story project? A: Yes moving from 2 to 3 but not increasing heights
- f. AW: Are you addressing new storm water requirements? A: Yes required by code
- g. Community: Please add to the motion not to include invasive plants
- h. AW: Suggests a UCPG list of plants that we feel are invasive. JK: Great bring that to the next meeting
- i. RC: Happy to help on the plant list

Motion: JM motion to approve project with Debbie Knights review and approval of the plant pallet, seconded by NG

Vote: Motion passed

25. Information Item: Bio Med Realty, Apex, Process 5, 4 stories, 12.25 acres, 316,139 sf, 9775 Towne Center Drive, Demolition and construction.

Presenter: Randi Coopersmith, Latitude 33

- a. Plan to come in April for a vote
- b. Last discussed in 2016 as a transfer of trips
- c. Mitigated Negative Dec will be released shortly
- d. 165k RSF proposed
- e. Smaller footprint and pushed farther back from street
- f. Below grade parking
- g. Transferring trips from other owned properties in the Eastgate PID
- h. AW: Do you have all of the trips you need? A: Yes, 10 extra
- i. JK: Height? A: 4 stories
- j. NG: Parking? A: 3/1,000 and reduction of surface parking
- k. AW: Glass and birds? A: We will come back and address
- l. Community: Concerns on bird strikes and light shielding, and plant palette

26. Information Item: Cell tower Sub-committee

Presenter: Roger Cavanaugh, Chair

- a. A report is coming summarizing information gathered by the sub-committee to better understand impacts of cell towers

27. Information Item: Marcy Park, new improvements and request to be in the Dif, South UC.

Presenter: Ruth Desantis, Chair of the UCCF

- a. Overview of work completed at the park recently
- b. Asking the board consider additional funding should the topic come up in DIF reviews
- c. Estimated upgrades at \$500k
- d. JK: Suggests monitoring the park department budget as board is likely to support if needed

28. Ad Hoc Committee Reports

a. Costa Verde Retail Project - Janay Kruger

- i. EIR is out, Comments are due 3/19/18, we will ask for an extension. 200 room hotel, 120 apartments and add 178,000 sf of retail



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title _____ **Project No. For City Use Only** _____
Eastgate Redevelopment

Project Address:
8440-8480 Eastgate Ct., San Diego, CA 92121

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
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City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Project Title: Eastgate Redevelopment	Project No. (For City Use Only)
------------------------------------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 33-0776682
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Sentry Storage LLC

Owner Tenant/Lessee

Street Address:
8440 Eastgate Ct

City/State/Zip:
San Diego, CA 92121

Phone No: 858-554-1800 Fax No: 858-458-9831

Name of Corporate Officer/Partner (type or print):
Rachel Filippone

Title (type or print):
Secretary

Signature :  Date: 4/10/2017

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):
Sentry Storage Solutions

Owner Tenant/Lessee

Street Address:
8440 Eastgate Ct

City/State/Zip:
San Diego, CA 92121

Phone No: 858-554-1800 Fax No: 858-458-9831

Name of Corporate Officer/Partner (type or print):
Rachel Filippone

Title (type or print):
President

Signature :  Date: 4/10/2017

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

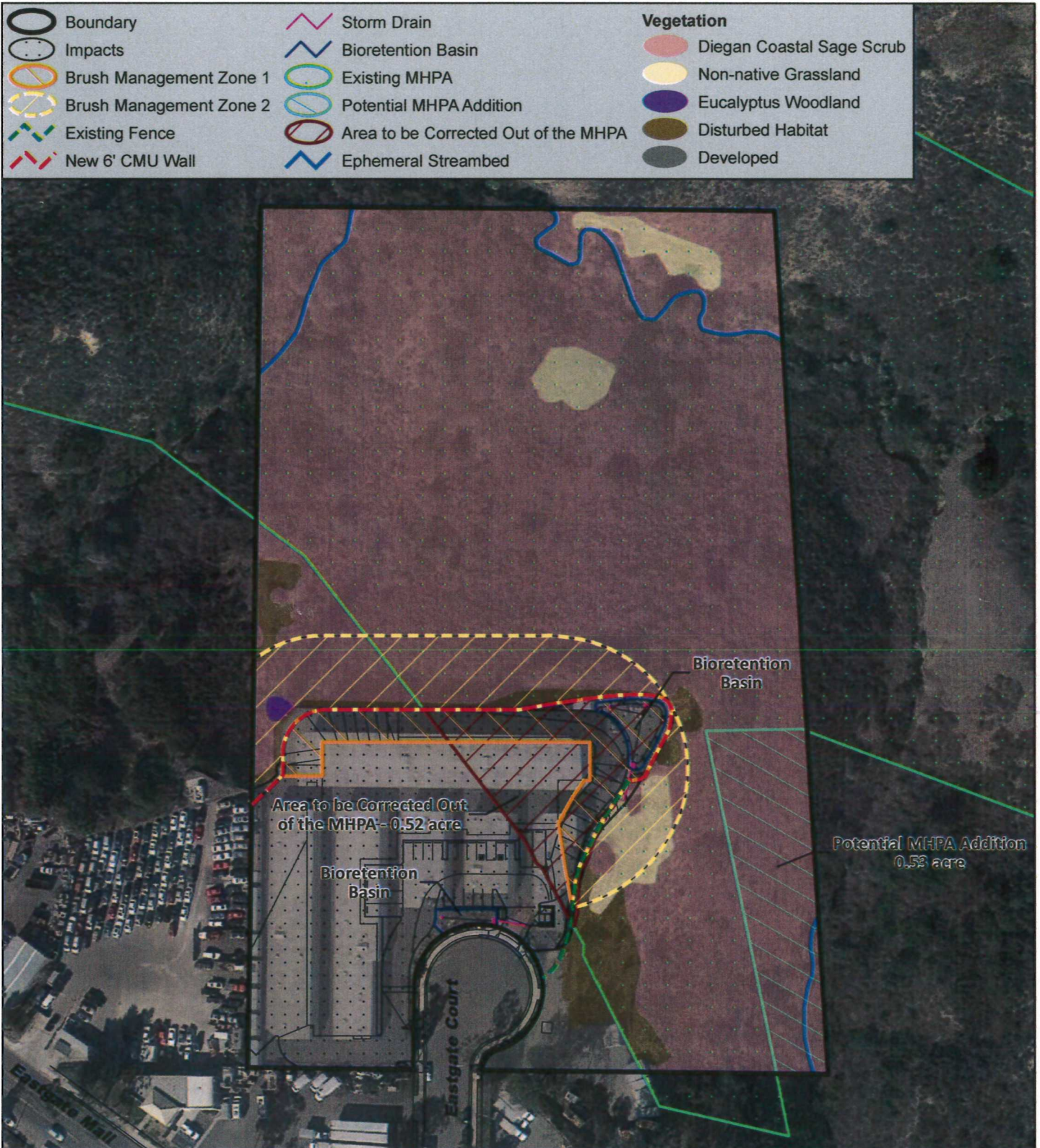
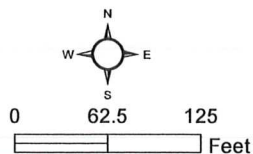


Figure 3

Biological Resources/Impacts

EASTGATE REDEVELOPMENT PROJECT





Magellan ARCHITECTS
10547 LA JOLLA VILLAGE DRIVE, SUITE 100
SAN DIEGO, CA 92131
TEL: (619) 515-4800
WWW.MAGELLANARCHITECTS.COM

Magellan ARCHITECTS
10547 LA JOLLA VILLAGE DRIVE, SUITE 100
SAN DIEGO, CA 92131
TEL: (619) 515-4800
WWW.MAGELLANARCHITECTS.COM

SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
DEVELOPMENT / EXIST BUILDING NAME
8440 EASTGATE CT
SAN DIEGO, CA 92121

NO.	DATE	BY
1	08.29.17	DITY
2	10.23.17	DITY
3	04.24.18	DITY
4	05.24.18	DITY

ISSUE DATES
DESIGN SUBMITTAL: 05.26.17
PERMIT SUBMITTAL:
PERMIT RECEIVED:
BID DOCS:
CONSTR. DOCS:

SCALE	AS NOTED
PLOT DATE	2018-08-05
CAD FILE	18-057_A01
JOB NUMBER	18-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DIMS

PROJECT DATA
COVER SHEET &
A0.10
SHEET

NEW CONSTRUCTION SENTRY STORAGE SOLUTIONS

8440-80 EASTGATE CT
SAN DIEGO, CA 92121

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL GOVERNING BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK THAT HAS BEEN PERFORMED WHICH DOES NOT MEET THESE CODES AND REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO THE ARCHITECT'S CONSTRUCTION DOCUMENTS, PROJECT MANUAL AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES OR DETAILS WHICH DO NOT MEET BUILDING CODES AND CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN THE EVENT OF CONFLICTS OR CHANGES BETWEEN DETAILS, OR BETWEEN THE PLANS AND SPECIFICATIONS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK.
- THE GC SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING SPECIAL CONDITIONS OR RESTRICTIONS, TRAFFIC OF WORK AND INTERRUPTION OF ANY SERVICES PRESENTLY SERVING THE SITE. NOTICE SHALL BE GIVEN TO THE OWNER AND ARCHITECT AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME SUCH WORK IS TO COMMENCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL AND DISPOSAL OF ALL DEBRIS FROM THE SITE. ALL COSTS FOR THE REMOVAL OF CONSTRUCTION DEBRIS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF ALL DEBRIS AND DUST THROUGHOUT THE SITE WHICH IS A RESULT OF THIS CONSTRUCTION PROJECT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
- DAMAGE TO ANY EXISTING ON-SITE STRUCTURES AS A RESULT OF WORK DONE UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT FINISHES, SUBJECT TO ARCHITECT'S APPROVAL, AND AT NO ADDITIONAL COST TO THE OWNER. ALL REPLACEMENT MATERIALS REQUIRED TO MATCH EXISTING MATERIALS SHALL DO SO WITH RESPECT TO TYPE, PATTERN, TEXTURE, SIZE, SHAPE, COLOR AND METHOD OF INSTALLATION INsofar AS PRACTICABLE, AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, MASONRY, INDICATED FACE OF STUD AND CENTERLINE OF COLUMNS AND GRIDS, UNLESS OTHERWISE NOTED.
- DIMENSIONS OF THE SITE CONDITIONS ARE FROM A SURVEY BY OTHERS. THE ARCHITECT BEARS NO RESPONSIBILITY FOR ACCURACY OF SURVEY. GENERAL CONTRACTOR TO VERIFY ALL SITE DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY FIRE PROTECTION PERMITS INCLUDING FIRE SPRINKLERS & FIRE ALARM SYSTEMS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SPECIAL INSPECTIONS.
- PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
- PROVIDE PRESSURE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS EXPOSED TO THE EXTERIOR U.G.N. AND WHERE WOOD COMES IN CONTACT WITH CONCRETE OR SOIL.
- ALL PAINT AND WALL COVERINGS TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS PER THE PROJECT MANUAL AND SPECIFICATIONS.
- PREPARE FLOOR SLAB AND SUB-FLOOR AREAS PER MANUFACTURER'S RECOMMENDATIONS AND TOLERANCES. PROVIDE LEVEL FLOORING AREAS AND LEVEL TRANSITIONS.
- DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND.
- PROVIDE WATERPROOFING PER DRAWINGS AND SPECIFICATIONS AT ALL BELOW GRADE WALLS AND CONDITIONS.
- THE GENERAL CONTRACTOR SHALL HAVE A COPY OF THE PLANS APPROVED BY THE AUTHORITY HAVING JURISDICTION ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE GENERAL CONTRACTOR SHALL CONSULT ALL CONSULTANT PLANS FOR ALL OPENINGS AND PENETRATIONS THROUGH SLABS, COLUMNS, WALLS AND ROOFS AND SHALL VERIFY SIZE AND LOCATION WITH RESPECTIVE CONTRACTORS.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF EQUIPMENT INCLUDED IN THIS CONTRACT. OBTAIN HOUGH-IN DIMENSIONS AND REQUIREMENTS FOR BACKING AND LOCATION OF ITEMS IN PARTITIONS PRIOR TO START OF WORK.
- REPEITIVE FEATURES MAY BE DRAWN ONLY ONCE BUT SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- PROVIDE BACKING IN WALLS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED ITEMS.
- THE DRAWING ABBREVIATION LEGENDS IN THE DRAWINGS ARE FOR EASE OF REFERENCE. THE PROJECT MASTER ABBREVIATION LEGEND, WHICH MAY INCLUDE ABBREVIATIONS NOT USED IN THIS PROJECT, IS INCLUDED IN THE SPECIFICATIONS FOLLOW SECTION 01420 - REFERENCES.

VICINITY MAP



DEFERRED SUBMITTALS

- THE PROJECT SHALL CONSIST OF THE DEMOLITION OF THE EXISTING STORAGE FACILITY IN TWO PHASES.
- THE CONSTRUCTION OF A NEW (3) STORY SELF-STORAGE FACILITY WITH A BASEMENT (BASEMENT IN PHASE 1 ONLY), TOTALING APPROXIMATELY 111,468 SQUARE FEET.
- NEW LANDSCAPING, SITE WORK AND IMPLEMENTATION OF A BRUSH MANAGEMENT PLAN.
- THE PROJECT REQUIRES A DISCRETIONARY REVIEW AND SITE DEVELOPMENT PERMIT.

DESIGN CODES

2018	CALIFORNIA BUILDING CODE (CBC)
2018	CALIFORNIA ELECTRICAL CODE (CEC)
2018	CALIFORNIA FIRE CODE (CFC)
2018	CALIFORNIA MECHANICAL CODE (CMC)
2018	CALIFORNIA PLUMBING CODE (CPC)
2018	CALIFORNIA ENERGY CODE (CEC)
2018	SAN DIEGO MUNICIPAL CODE

SCOPE OF WORK

- THE PROJECT SHALL CONSIST OF THE DEMOLITION OF THE EXISTING STORAGE FACILITY IN TWO PHASES.
- THE CONSTRUCTION OF A NEW (3) STORY SELF-STORAGE FACILITY WITH A BASEMENT (BASEMENT IN PHASE 1 ONLY), TOTALING APPROXIMATELY 111,468 SQUARE FEET.
- NEW LANDSCAPING, SITE WORK AND IMPLEMENTATION OF A BRUSH MANAGEMENT PLAN.
- THE PROJECT REQUIRES A DISCRETIONARY REVIEW AND SITE DEVELOPMENT PERMIT.

ABBREVIATIONS

A.B.E.	AVG. BUILDING ELEVATION	ENCL	ENCLOSURE	M.B.S.	METAL BUILDING SUPPLIER	RENF	REINFORCING
A.C.	AIR CONDITIONER	EQ	EQUIPMENT	MCT	MARBLE COMPOSITE TILE	REQD	REQUIRED
ACJST	ACOUSTICAL	EXH	EXHAUST	MECH	MECHANICAL	R.F.	RUBBER FLOORING
ADJ	ADJUSTABLE	EXST	EXISTING	MEZZ	MEZZANINE	R.O.	ROUGH OPENING
ADMIN	ADMINISTRATION	E.J.	EXPANSION JOINT	W/L	WELDED	S.A.B.	SELF ADHESIVE MEMBRANE
A.F.A.	ABOVE FINISH FLOOR	EXP	EXPANSION	MFG	MANUFACTURING	SCHED	SCHEDULE
ALUM	ALUMINUM	EXT	EXTERIOR	MFR	MANUFACTURER	S.C.	SAFETY CLASS
ANOD	ANODIZED	F.C.I.C.	FURNISH BY CONTRACTOR	M.H.	MANHOLE	SH	SHEET
ANP	APPROXIMATE	F.D.	FLOOR DRAIN	MIS	MISCELLANEOUS	SHW	SHOWER
ASR	AUTOMATIC SPRINKLER RISER	FIN	FOUNDATION	M.O.	MASONRY OPENING	SPEC'D	SPECIFIED
AVC	AIR VENT	FRSH	FRESH FLOOR	M.W.	MOSTURE RESISTANT	STRCT	STRUCTURE, STRUCTURAL
BD	BOARD	P/S	FLAT HEAD SCREW	M.LL	MULLION	S.S.	STAINLESS STEEL
BLDG	BUILDING	FUR	FURNISHED & INSTALLED	MNTD	MOUNTED	STND	STANDARD
BLK	BLOCK	BY O	BY OWNER	MTC	MOUNTING	SUSP	SUSPENDED
BLK'G	BLOCKING	F.O.I.C.	FURNISHED BY OWNER	N.I.C.	NOT IN CONTRACT	STR	STRUCTURE
BM	BEAM	FR	FIBER REINFORCED PANEL(S)	N.M.	NOT TO SCALE	SUSP	SUSPENDED
B.O.	BOTTOM OF	FRP	FROST PROOF HOSE BIBB	N.T.S.	NOT TO SCALE	SYS	SYSTEM
BOT	BOTTOM	FTG	FOOTING	OV	OVERALL	TRE	TREAD, TOP
BTW	BETWEEN	GA	GALVANIZED	O.C.	ON CENTER	T&B	TOP & BOTTOM
CB	CATCH BASIN	GLV	GALVANIZED	O.H.	OVERHEAD	TEL	TELEPHONE
C.C.	CAST IN PLACE	GI	GALVANIZED IRON	OP'G	OPENING	TEMP	TEMPERED
C.I.P.	CAST IN PLACE	GP	GYP-SUM PLASTER	OP'G	OPENING	T&G	TONGUE & GROOVE
C.J.	CONTROL JOINT	G.P.SUM	GYP-SUM WALLBOARD	OPP	OPPOSITE	T.O.	TOP OF
CL	CENTER LINE	H.B.	HOLLOW METAL	OR	ORIENTATION	TOP	TYPICAL
CLG	CEILING	H.M.	HOLLOW METAL	P-LAM	PLASTIC LAMINATE	UTL	UTILITY
COL	COLUMN	HORIZ	HORIZONTAL	HGT	HEIGHT	U.G.M.	UNLESS OTHERWISE NOTED
CONC	CONCRETE	HTR	HEATER	HT	HIGH	UNT	UNLESS OTHERWISE NOTED
CONC	CONCRETE	HT	HEATER	HT	HIGH	UNT	UNLESS OTHERWISE NOTED
CONTR	CONSTRUCTION	INSUL	INSULATION	INSUL	INSULATION	UTL	UTILITY
CONTR	CONTRACTOR	JTS	JOINT JOISTS	JTS	JOINT JOISTS	V	VERTICAL
CPT	CARPET TILE	LAM	LAMINATE, LAMINATED	PRJ	PROJECT	W/O	WITHOUT
C.T.	CERAMIC TILE	L.F.	LINEAR FOOT, LINEAL FOOT	PT	POINT	W/	WITH
DBL	DOUBLE	L.F.	LINEAR FOOT, LINEAL FOOT	PT	POINT	W/O	WITHOUT
DIL	DETAIL	LQ	LIQUID	Q	QUARRY TILE	W-MAT	WALK OFF MAT
D.F.	DRINKING FOUNTAIN	L.T.W.	LIGHT WEIGHT	QTR	QUARTER	W.P.	WATERPROOF
D.S.	DOWNSPOUT	LVL	LEVEL	R	RADIUS	W.R.	WATER RESISTANT
DWG	DRAWING	M	MASONRY	R.D.	ROOF DRAIN	W.R.B.	WATER RESISTANT BARRIER
EA	EACH	MAX	MAXIMUM	R.L.	RAN LEADER	W	WEIGHT
ELEV	ELEVATION, ELEVATOR	REC'D	RECEIVED	REC'D	RECEIVED	W/M	WELDED WIRE MESH
ELEC	ELECTRICAL	REF	REFRIGERATOR, REFERENCE	REF	REFRIGERATOR, REFERENCE	W/F	WELDED WIRE FABRIC
				REF	REFRIGERATOR, REFERENCE	Y.D.	YARD DRAIN

LEGEND OF SYMBOLS



PROJECT TEAM

CLIENT	ARCHITECT
SENTRY STORAGE SOLUTIONS 8440-80 EASTGATE CT SAN DIEGO, CA 92121 PH: (619) 554-1800 CELL: (619) 692-3496 PM CONTACT: RACHEL FLUPPONE rachel@sentrysolutions.net	MAGELLAN ARCHITECTURE 10540 TALENT AVE, STE 265 FOUNTAIN VALLEY, CA 92708 PH: (949) 515-9000 RECORD ARCH: PATRICK ANDERSEN PM CONTACT: PATRICK ANDERSEN patrick@magellianarchitects.com
CIVIL	STRUCTURAL
OMEGA ENGINEERING CONSULTANTS, INC. 4340 VERRIDGE AVE, STE B SAN DIEGO, CA 92123 PH: (619) 643-2025 FAX: (619) 643-2627 PM CONTACT: SEAN SAVAGE sean@omega-consultants.com	HONGYU WANG 6270 MALEDO DRIVE, STE 140 LAS VEGAS, NV 89120 PH: (702) 202-0061 CELL: (702) 221-5952 PM CONTACT: HONGYU WANG hongyuwang@engineeringusa.com
LANDSCAPE	
COLLEEN NOLAN 7 RIDGE RANCHO SANTA MARGARITA, CA 92688 PH: (714) 743-7915 PM CONTACT: COLLEEN NOLAN colleen@ccn.net	
GEOTECH	
GEOTECH INCORPORATED 6960 FLANDERS DRIVE SAN DIEGO, CA 92121 PH: (619) 558-8900 EXT 218 PM CONTACT: JOHN HOOBS johnh@geotechinc.com	
SURVEY	
OMEGA LAND SURVEYING, INC. 4340 VERRIDGE AVE, STE B SAN DIEGO, CA 92123 PH: (619) 643-2085 FAX: (619) 643-2627 admin@omega-surveying.com	

SITE & BUILDING DATA

SITE AND PARKING DATA		
LEGAL DESCRIPTION: LOT ONE OF EASTGATE BEND UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 10914, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 26, 1984.		
PARCEL NUMBER:	343-370-0500	
JURISDICTION:	CITY OF SAN DIEGO	
PROPERTY ZONING:	IL-2-1/AR-1-1	
OCCUPANCY TYPES:	S-1, B	
BUILDING AREA:	111,468 SF	
FLOOR AREA RATIO:	1.35 (0.27 TOTAL)	
EXISTING USE:	STORAGE FACILITY	
PROPOSED USE:	1984	
GEOLGIC HAZARD CATEGORY:	51 & 53	
AREA CALCULATIONS & CONDITIONS		
SITE AREA:	398,643 S.F. (9,192 ACRES)	
NEW/RECONFG. L.S. AREA:	6,164 S.F.	
BIO-RETENTION AREA:	3,412 S.F.	
EXIST. L.S. AREA TO REMAIN:	307,924 S.F.	
TOTAL LANDSCAPE AREA:	317,510 S.F. (7.30)	
IMPERVIOUS AREA:	81,133 S.F. (2.1%)	
REQUIRED SETBACKS:		
FRONT:	20'	20'-0"
SIDE:	20'	53'-1"
REAR:	20'	205'-5"
	15'	502'-1"
PARKING REQUIREMENTS & CALCULATIONS: SAN DIEGO MUNICIPAL CODE CH 142.052B TABLE 142-05G REQUIRES 1.0 SPACES/10,000 SF + 3.3 SPACES/1,000 SF ACCESSORY OFFICE SPACE.		
110,070 SF / 10,000 SF =		11 SPACES
1,425 SF / 1,000 SF = 1.425 x 3.3 =		5 SPACES
TOTAL:		16 SPACES

SHEET INDEX

GENERAL	CIVIL	LANDSCAPE	ARCHITECTURAL
A0.10 COVER SHEET & PROJECT DATA	A0.20 CONCEPTUAL GRADING PLAN	L1.1 LANDSCAPE DEVELOPMENT PLAN	A1.00 PHASE 1 DEMOLITION PLAN
A0.30 NOT USED	C-2 CONTRAINTS MAP	L1.2 BRUSH MANAGEMENT PLAN	A1.01 PHASE 2 DEMOLITION PLAN
A0.30 EGRESS PLAN & CODE NOTES	C-3 DMA & BMP MAP		
A0.40 ACCESSIBILITY NOTES	C-4 UTILITY PLAN		
A0.50 ACCESSIBILITY NOTES	C-5 SLOPE ANALYSIS		
A0.60 ACCESSIBILITY NOTES			
AREA CALCULATIONS & CONDITIONS			
A1.10 OVERALL SITE PLAN	A2.10 SOUTH & EAST ELEVATIONS		
A1.11 ENLARGED SITE PLAN	A2.20 NORTH & WEST ELEVATIONS		
A1.12 FIRE ACCESS PLAN	A4.10 BUILDING SECTIONS		
A1.20 SITE DETAILS	A4.20 BUILDING SECTIONS		
A1.21 SITE DETAILS			
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A2.10 BASEMENT FLOOR PLAN			
A2.20 LEVEL 1 FLOOR PLAN			
A2.30 LEVEL 2 FLOOR PLAN			
A2.40 LEVEL 3 FLOOR PLAN			
A2.50 LEVEL 4 FLOOR PLAN			
A2.60 ROOF PLAN			

	REQUIRED	PROVIDED
MOTORCYCLE PARKING	2	2
ZERO EMISSIONS/CARPOOL VEHICLES	1	1
LOADING STALLS (12'-0" x 35'-0")	2	6
STANDARD STALLS (9'-0" x 18'-0")	1	2
ACCESSIBLE STALLS (9'-0" x 18'-0")	15	14
REGULAR STALLS (9'-0" x 18'-0")	1	1
TOTAL STALLS	16	23

	REQUIRED	PROVIDED
SHORT TERM BICYCLE RACKS	11	11
LONG TERM BICYCLE RACKS	1	1
TOTAL BICYCLE SPACES/RACKS	12	12

BUILDING AREA:	
PHASE 1 AREA:	
BASEMENT STORAGE AREA:	17,301 SF
LEVEL 1 OFFICE AREA:	1,425 SF
LEVEL 1 STORAGE AREA:	10,956 SF
LEVEL 2 STORAGE AREA:	16,796 SF
LEVEL 3 STORAGE AREA:	16,796 SF
TOTAL PHASE 1 AREA:	68,354 SF
PHASE 2 AREA:	
LEVEL 1 STORAGE AREA:	14,628 SF
LEVEL 2 STORAGE AREA:	14,243 SF
LEVEL 3 STORAGE AREA:	14,243 SF
TOTAL PHASE 2 AREA:	43,114 SF
TOTAL BUILDING AREA:	111,468 SF



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SENTRY STORAGE SOLUTIONS
 SAN DIEGO, CA
 DEVELOPMENT, LEASING BUILDING NAME
 8440 EASTON BLVD
 SAN DIEGO, CA 92121

BUILDING CODE SUMMARY

OCCUPANCY TYPE(S): S-1 (STORAGE)
 B (ACCESSORY OFFICE)
 BUILDING CONSTRUCTION TYPE: R-4
 SPRINKLERED: YES, DEFERRED SUBMITTAL
 FIRE ALARM SYSTEM: YES, DEFERRED SUBMITTAL
 OCCUPANCY SEPARATION: NO SEPARATION REQUIREMENT BETWEEN B & S-1 PER CBC TABLE 508.4

PER CBC TABLE 503 WE ARE PROPOSING CONSTRUCTION TYPE R-4 AND WE WILL NOT BE USING AN APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT FOR THE PURPOSES OF DETERMINING ALLOWABLE AREAS AND ALLOWABLE STORY LIMITATIONS.

PROPOSED TYPE R-4 CONSTRUCTION: 1 HOUR RATED, 2 HOUR CONSTRUCTION PROPOSED AT STAIRWELL AND ELEVATOR SHAFT ENCLOSURES ONLY ON FLOORS 0 THROUGH 3.
 OCCUPANCIES: MAIN S-1 (STORAGE)
 B (ACCESSORY OFFICE)

ALLOWABLE AREA PER FLOOR WITH PROPOSED INCREASE (BASED ON CBC 1.204 AND SEC. 303)
 $A_n = [A_1 + (N_n - 1) \times S_n]$
 $A_1 = 70,000$
 $N_n = 2$
 $S_n = 3$

5-1 OCCUPANCY:
 $A_n = [A_1 + (N_n - 1) \times S_n]$
 $A_1 = 70,000 + 61 \times 3$
 $A_n = 70,183$
 $A_n = 23,000$ ALLOWABLE BUILDING AREA

FLOOR	ALLOWABLE AREA	PROPOSED AREA
BASEMENT FLOOR S-1	70,000 SF	11,300 SF
FIRST FLOOR S-1	70,000 SF	32,039 SF
SECOND FLOOR S-1	70,000 SF	32,039 SF
THIRD FLOOR S-1	70,000 SF	32,039 SF
TOTAL	210,000 SF	107,407 SF

MAXIMUM STORY	ALLOWABLE	PROPOSED
MAX. NO. OF STORIES	5 STORIES	3 STORIES + BASEMENT
PER CODE		
MAX. HEIGHT	85'	+ 40'-0" ROOF FINISH GRADE

REQUIRED BEARING AREA
 ALL 10 STORIES TO THE BEARING AREA CALCULATIONS ABOVE:
 BASEMENT FLOOR STORAGE (S-1) 11,300 SQ. FT.
 1ST FLOOR
 OFFICE (B) (ACCESSORY SPACE TO S-1) 1,425 SQ. FT.
 STORAGE (S-1) 32,039 SQ. FT.
 2ND FLOOR STORAGE (S-1) 32,039 SQ. FT.
 3RD FLOOR STORAGE (S-1) 32,039 SQ. FT.
 TOTAL BEARING AREA 107,407 SQ. FT.

ONE-HOUR FIRE RESISTANCE PER CBC 7.05

COMPONENT	REQUIREMENT
PRIMARY STRUCTURAL FRAME	1 HOUR
EXTERIOR BEARING WALLS	1 HOUR
INTERIOR BEARING WALLS	1 HOUR
NON-BEARING INTERIOR WALLS/PARTITIONS	0 HOUR
FLOOR CONSTRUCTION	1 HOUR
ROOF CONSTRUCTION	1 HOUR

STAIR AND ELEVATOR SHAFTS
 STAIR AND ELEVATOR SHAFTS WILL BE OF (MIN) 2-HOUR RATED CONSTRUCTION. DOOR WALLS AT FLOORS 0 THROUGH 3 WITH CORRESPONDING OPENING PROTECTION PER THE CODE SCHEDULE.

OCCUPANCY DATA

TRAVEL DISTANCE REQUIREMENTS:
 • EXCESS TRAVEL DISTANCE = < 200' PER CBC TABLE 1016.3
 • COMMON PATH OF TRAVEL = < 100' PER CBC 1014.3 EXC. (1)
 • MAXIMUM DISTANCE BETWEEN EXITS SHALL BE GREATER THAN 1/3 DIAGONAL DISTANCE OF AREA SERVED - REFER TO EXCESS PLANS

OCCUPANCY LOAD SUMMARY PER CBC 1010.1.2

FLOOR	OCC.	SF	LOAD	TOTAL
BASEMENT (S-1)	OCC.	11,300 SF	7000	35 OCC.
1ST FLOOR (B)	OCC.	1,425 SF	7000	15 OCC.
1ST FLOOR (S-1)	OCC.	32,039 SF	7000	64 OCC.
2ND FLOOR (S-1)	OCC.	32,039 SF	7000	64 OCC.
3RD FLOOR (S-1)	OCC.	32,039 SF	7000	64 OCC.
TOTAL OCCUPANT LOAD				236 OCC.

RESTROOM CALCS

BUILDING CODE CALCULATIONS
 PER CALIFORNIA PLUMBING CODE TABLE 422.1 REQUIREMENTS:
 PER ABOVE 200 TOTAL S-1 BUILDING OCCUPANTS / 2 = 100 PER GENDER

REQUIRED	PROVIDED*
MALE WATER CLOSETS	1
MALE LAVATORIES	1
FEMALE WATER CLOSETS	1
FEMALE LAVATORIES	1
DRINKING FOUNTAINS	2

*THE TYPICAL USE & DURATION OF OCCUPANCY FOR THE PROPOSED TYPE OF FACILITY IS SUCH THAT OCCUPANTS:
 A) TEND TO NOT STAY AT THE FACILITY FOR EXTENDED PERIODS OF TIME AND;
 B) ARE TYPICALLY PASSING BACK AND FORTH REGULARLY FROM THE PARKING AREA AS THEY LOAD OR UNLOAD STORAGE GOODS

BASED ON THIS WE ARE PROPOSING THE RESTROOM CONFIGURATION REPRESENTED IN THE PLANS.

*RESTROOMS IN THE B OCCUPANCY AREA WILL BE INSTALLED PER CODE AT THE TIME OF BUILD-OUT FOR OCCUPANCY.

LEVELS OF INSULATION

ROOF REQUIREMENTS:
 20'-HEATED: LEVEL 1 STORAGE AREAS, LEVELS 0-3 ELEVATOR
 FULLY HEATED: LEVEL 1 LEASING OFFICE AND BREAKROOM

WALLS:
 R-25 BATTS BETWEEN PURLINS w/ + R-11
 BLANKET CONTROL ABOVE w/ ROOF CLIPS (1.315" GAP)

FLOORS:
 LEASING OFFICE EXT. WALLS: R-19 BATTS + R-19 ROOF
 STORAGE AREA TRAVEL WALLS: R-19 BATTS
 STAIRWELL WALLS: NOT INSULATED

LEVEL 1 SLAB ON GRADE:
 NO INSULATION AT ELEVATOR PIT SLAB
 R-10 (2") ROOF AROUND ENTIRE RETAIL AND RESTROOM PERIMETER (2'-0" MIN.) w/ R-7.5 (1'-1/2") PERIMETER THERMAL BREAK AT SLAB EDGE

LEVEL 2 FLOOR SLAB:
 R-30 CONTINUOUS ROOF INSULATION (6") - REFER TO SECTIONS AND DETAILS - BELOW CONCRETE DECK OVER OPEN PARKING DECK ONLY.

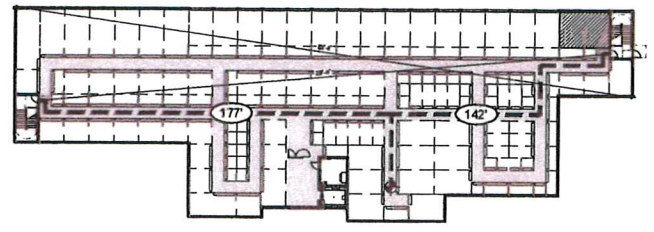
GLAZED DOORS:
 ALL EXTERIOR DOORS: U-FACTOR 0.37, FLOW INSULATED STEEL

GLAZING:
 LEVEL 1 RETAIL: U-FACTOR 0.36, SHGC=0.40 MAX.
 LEVEL 1 ENTRY DOORS: U-FACTOR 0.36, SHGC=0.40 MAX.

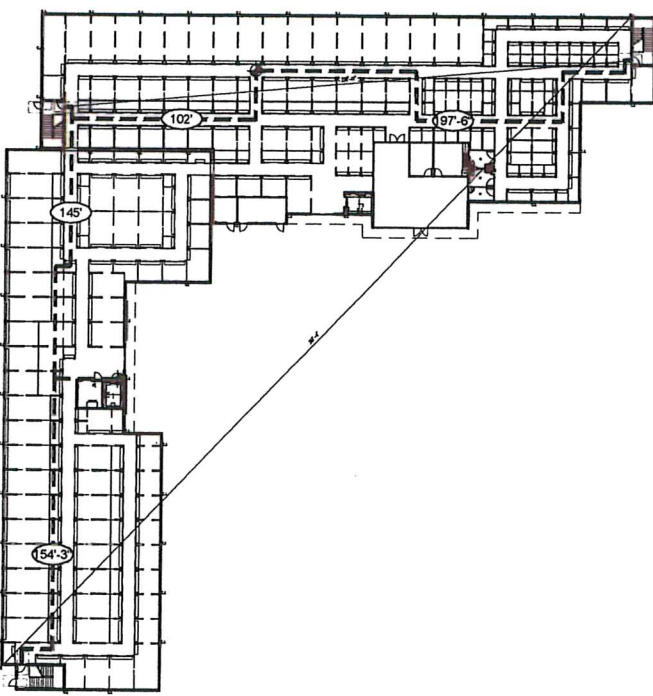
A. EXPOSED INSULATION MATERIALS INCLUDING FACINGS AND VAPOR BARRIERS SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25, AND A SMOKE DENSITY NOT TO EXCEED 450, AND SHALL BE IN SUBSTANTIAL CONTACT WITH THE WALL OR CEILING SURFACE.

B. ALL INSULATION WILL STRICTLY CONFORM TO REQUIREMENTS OF UL LISTING WHERE USED IN ASSEMBLIES.

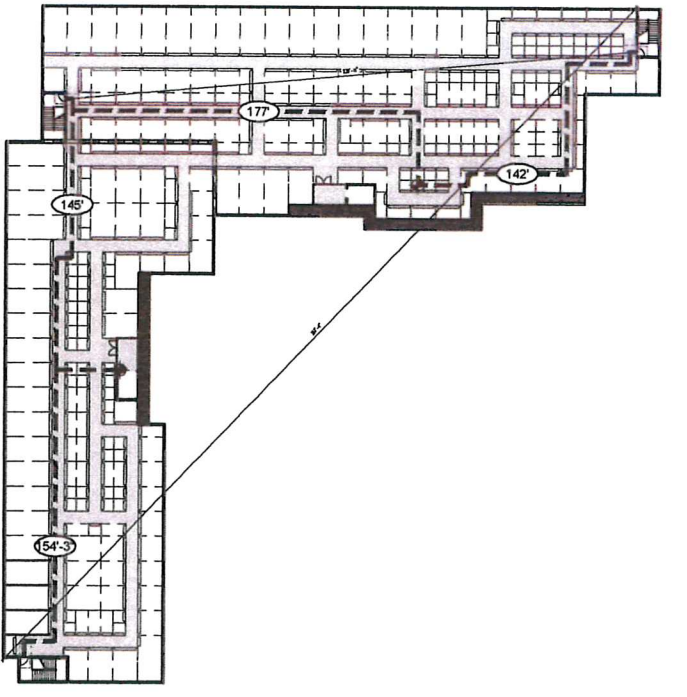
C. FOR THE SOIL-HEATED SPACES, THE MAXIMUM TEMPERATURE SECTION CANNOT EXCEED 55 DEGREES AND THE HEATING CAPACITY SHALL NOT EXCEED 80 BTU/H PER SQUARE FOOT. ONLY THE WALL INSULATION IS EXEMPT.



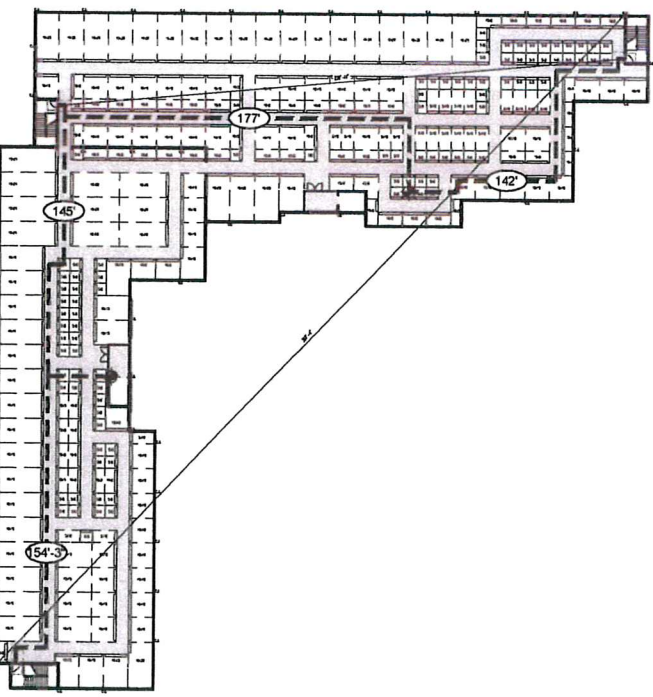
BASEMENT LEVEL



LEVEL 1



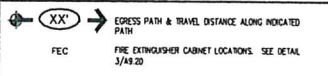
LEVEL 2



LEVEL 3

EGRESS PLANS
 SCALE: NTS

EGRESS LEGEND



FIRE DEPARTMENT & FIRE PROTECTION NOTES

- ADDRESS NUMBERS SHALL BE PLACED ON ALL NEW BUILDINGS. SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FROM EITHER DIRECTION. NUMBERS SHALL BE CONTRASTING IN COLOR FROM THE BACKGROUND AND SHALL BE A MINIMUM OF 12" HIGH WITH A 1" STROKE. ADDITIONAL NUMBERS MAY BE REQUIRED UPON INSPECTION.
- TEMPORARY ADDRESSING REQUIRED DURING CONSTRUCTION SHALL BE VISIBLE FROM THE STREET.
- KNOX BOX/KNOX SWITCH/A KNOX BOX/KNIX SWITCH SHALL BE INSTALLED IN AN APPROVED LOCATION AND ALL REQUIRED KEYS SHALL BE ON SITE FOR LOCK UP PRIOR TO BUILDING THE FINAL.
- PORTABLE FIRE EXTINGUISHERS WILL BE REQUIRED DURING CONSTRUCTION AND
- STORAGE OF MATERIALS WITHIN STORAGE UNITS WILL BE MAINTAINED A MINIMUM OF 18" BELOW THE FIRE SPRINKLER HEAD DEFLECTOR.
- ELEVATOR REQUIREMENTS RELATED TO FIRE ARE THE RESPONSIBILITY OF STATE LAB INSPECTORS.
- ANY BULK STORAGE OF FLAMMABLE/COMBUSTIBLE LIQUIDS/GASES USED FOR CONSTRUCTION SHALL BE APPROVED.

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1	08.28.17	CITY
2	10.23.17	CITY
3	04.24.18	CITY
4	05.24.18	CITY

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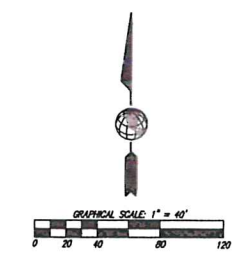
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EGRESS PLANS & CODE SUMMARY
A0.30
 SHEET

CONSTRAINTS MAP
SENTRY SELF STORAGE
 8440 EASTGATE CT, SAN DIEGO CA 92121

LEGEND

KEY	SYMBOL
EXISTING ELEVATION CONTOUR	
EXISTING CENTERLINE	
EXISTING EASEMENT	
EXISTING LOT LINE	
EXISTING FIRE HYDRANT	
EXISTING STORM DRAIN INLET	
EXISTING GATE VALVE	
EXISTING MANHOLE	
EXISTING RECLAIMED WATER BACKFLOW PREVENTER	
EXISTING LIGHT POST	
EXISTING WATER METER	
EXISTING UTILITY	SPR, WTR, SI, TEL, GLEC, GAS
EXISTING FENCE	



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SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
 DEVELOPMENT / EXIST BUILDING NAME
 8440 EASTGATE CT
 SAN DIEGO, CA 92121

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NO.	DATE	BY

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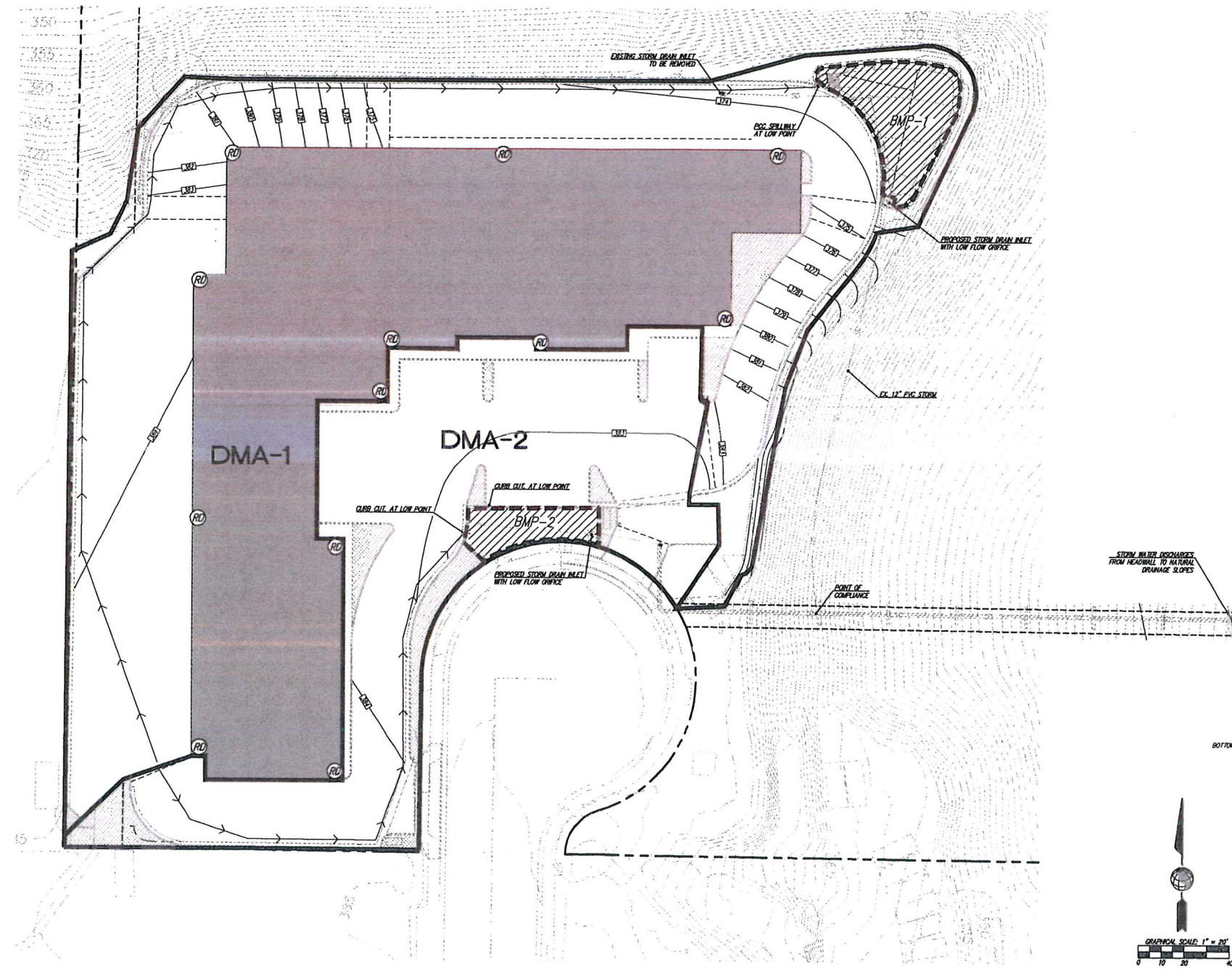
Andrew J. Kohn
 ANDREW J. KOHN R.C.E. 30740

1/31/2018
 DATE



C-2

DMA and BMP MAP
SENTRY SELF STORAGE
 8440 EASTGATE CT, SAN DIEGO CA 92121



LEGEND:

- DMA LIMITS
- DRAINAGE DIRECTION ARROW
- DRAINAGE MANAGEMENT AREA
- PAVEMENT AREA
- ROOF TOP AREA
- BIOFILTRATION AREA
- LANDSCAPE AREAS
- PROPOSED SD
- EXISTING SD
- ROOF DOWNSPOUT, OUTLETS TO SURFACE

DMA DATA TABLE

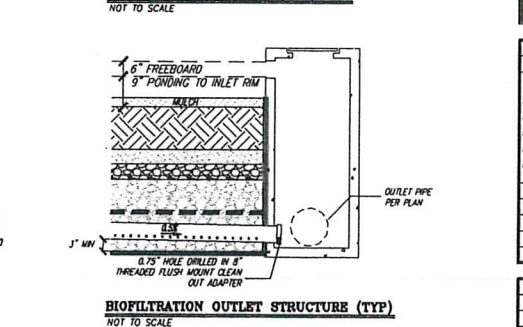
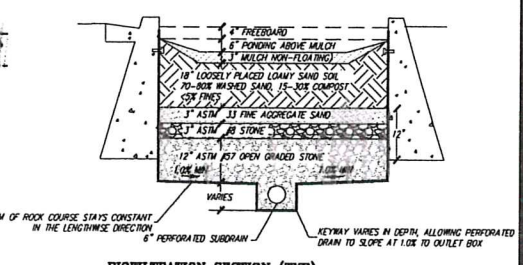
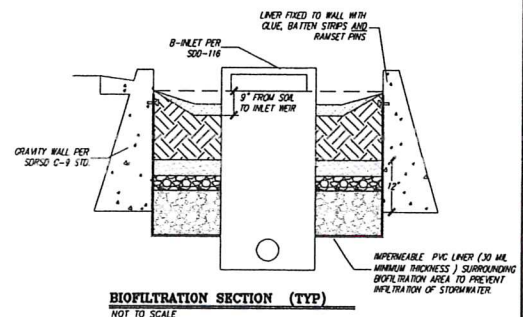
DMA-NO.	AREA (SQ) AREA (AC)	IMPERVIOUS X	DESIGN DCY	TREATED BY
DMA-1	66,469 1.53	80%	2,400 CF	BMP-1
DMA-2	23,059 0.54	80%	820 CF	BMP-2
TOTAL	89,528 2.07	80%	3,220 CF	

BMP DATA TABLE

BMP-NO.	TREATING	REQ'D FOOTPRINT	PROPOSED AREA	NOTES
BMP-1	DMA-1	1,655 SF	2,313 SF	BIOFILTRATION BASIN
BMP-2	DMA-2	568 SF	800 SF	BIOFILTRATION BASIN

- BIOFILTRATION INSPECTION SCHEDULE NOTES**
- CONTRACTOR MUST CONTACT ENGINEER FOR SCHEDULE OF BMPs AT THE FOLLOWING STAGES OF CONSTRUCTION:
- PRIOR TO START OF CONSTRUCTION OF BIOFILTRATION AREA
 - PRIOR TO CONSTRUCTION OF OUTLET STRUCTURES
 - AFTER GRADING OF BASIN AREA
 - AFTER KEY GRADING, PRIOR TO KEY INSTALLATION OF LINER
 - AFTER PLACEMENT OF SUBDRAIN
 - AFTER PLACEMENT OF IMPERMEABLE LINER (W/ EXTRA LENGTHS)
 - AFTER PLACEMENT OF GRAVEL DRAINAGE LAYER
 - AFTER PLACEMENT OF TREATMENT SOIL
 - AFTER IRREGULAR AND LANDSCAPING ACTIVITIES
- *SURVEY STAKES SHALL BE AVAILABLE FOR EACH INSPECTION

- NOTES**
- UNDERLYING NRCS HYDROLOGIC SOIL GROUP FOR SITE IS TYPE C AND D
 - GROUND WATER HAS NOT BEEN ENCOUNTERED DURING THE GEOTECHNICAL INVESTIGATION. IT IS ESTIMATED THAT THE GROUND WATER TABLE IS AT LEAST 100' BELOW THE EXISTING GROUND GRADE.
 - NO EXISTING NATURAL HYDROLOGIC FEATURES
 - NO CRITICAL CONSOLE SEPARATE WET AREAS ON SITE
 - ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE IMPLEMENTED
 - A. SOURCE CONTROL NOTES TO COME IN MINISTRIAL REVIEW



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 DEVELOPMENT/EAST BUILDING NAME
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 SAN DIEGO, CA 92121

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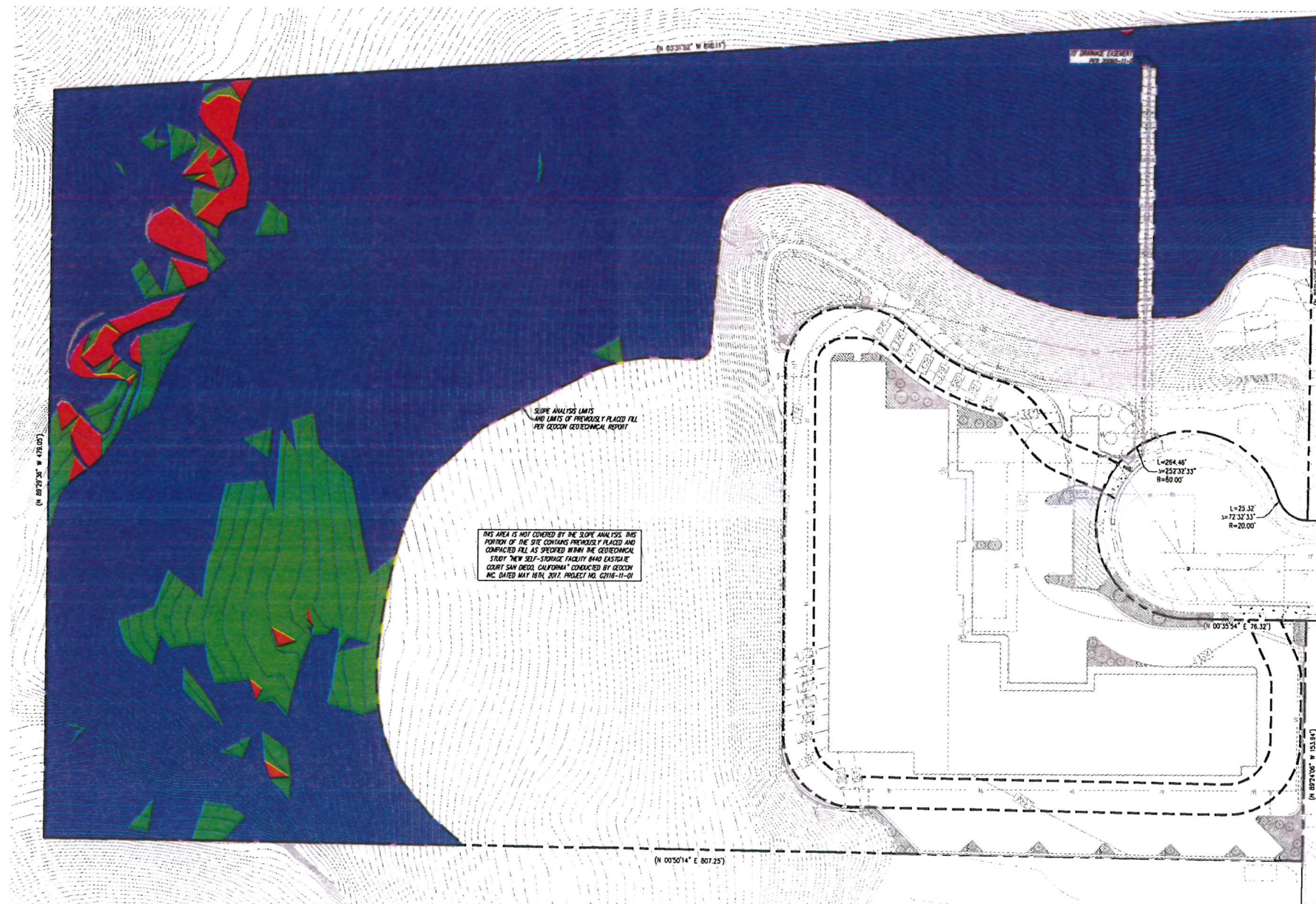
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DATE 4/23/2018
DATE _____
DATE _____

C-3

MEGA ENGINEERING CONSULTANTS
 4340 VIERTRUDGE AVE, SUITE B
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 ANDREW J. KHAN R.C.E. 50940
 DATE 4/23/2018



Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	10.00%	4636.45	Red
2	10.00%	25.00%	22673.70	Green
3	25.00%	1000.00%	178855.74	Blue
4	Non-native or Previously Graded		192477.11	White
			Total	398643

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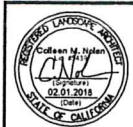


Andrew J. Kwan
 ANDREW J. KWAN, R.E.C. 50940
 MY REGISTRATION EXPIRES 9-25-17

12/21/2017
 DATE



C-5
 SHEET



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PRELIMINARY PLANTING LEGEND

REGION 3 SOUTH COASTAL

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY	WUCOLS	HEIGHT	WIDTH
(Symbol)	FRAXILIS ILLICIFOLIA / HOLLYLEAF CHERRY	24" BOX STANDARD	8	LOW	15'-25'	10'-15'
(Symbol)	ARBUTUS MENZIESII / MADROÑE	15 GALLON STANDARD	8	LOW	30'-75'	25'-35'
(Symbol)	PINUS TORREYANA / TORREY PINE	24" BOX STANDARD	1	LOW	40'-60'	30'-40'
(Symbol)	QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX STANDARD	8	LOW	30'-70'	20'-35'

EXISTING TREES & VEGETATION

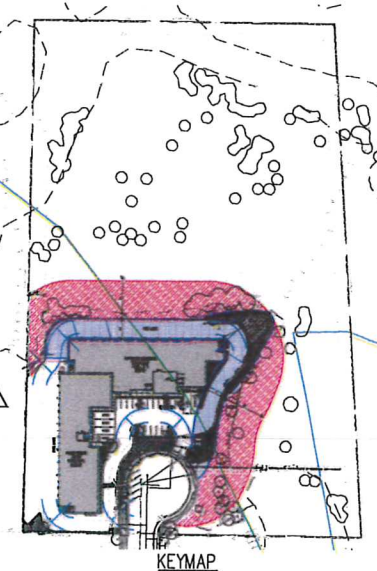
SYMBOL	BOTANICAL / COMMON NAME	SIZE
(Symbol)	EXISTING TREES AND LARGE SHRUBS ON SLOPE - NOT A PART	
(Symbol)	EXISTING EUCALYPTUS TREES ON SLOPE - NOT A PART (E)	
(Symbol)	EXISTING LIQUIDAMBAR TREE TO BE REMOVED (R)	

PROPOSED SHRUBS & GROUND COVER

SYMBOL	BOTANICAL / COMMON NAME	SIZE
(Symbol)	MALOSMA LAURINA / LAUREL SUMAC	5 GAL / 38" O.C.
(Symbol)	HETEROMELES ARBUTIFOLIA / TOYON	5 GAL / 38" O.C.
(Symbol)	ACHILLEA MILLEFOLIUM / YARROW	1 GAL / 30" O.C.
(Symbol)	MULLENBERGIA RIGENS / DEER GRASS	5 GAL / 42" O.C.
(Symbol)	SALVIA CLEVELANDII / CLEVELAND SAGE	1 GAL / 38" O.C.
(Symbol)	SALVIA MELLIFERA / BLACK SAGE	1 GAL / 30" O.C.
(Symbol)	EPILOBIUM CANUM / CALIFORNIA FUCHSIA	1 GAL / 18" O.C.
(Symbol)	BACCHARIS PILLULARIS / COYOTE BRUSH	1 GAL / 18" O.C.
(Symbol)	ROSA CALIFORNICA / CALIFORNIA ROSE	1 GAL / 18" O.C.
(Symbol)	CEANOTHUS G. 'HORIZONTALIS' / PROSTRATE LIAC	1 GAL / 18" O.C.
(Symbol)	CAREX PRAEGRACILIS / CALIFORNIA FIELD SEDGE	1 GAL / 38" O.C.
(Symbol)	DESCHAMPSIA CAESPITOSA / TUFTED HAIRGRASS	1 GAL / 38" O.C.
(Symbol)	JUNCUS PATENS / CALIFORNIA GREY RUSH	1 GAL / 38" O.C.
(Symbol)	MULLENBERGIA RIGENS / DEER GRASS	1 GAL / 38" O.C.

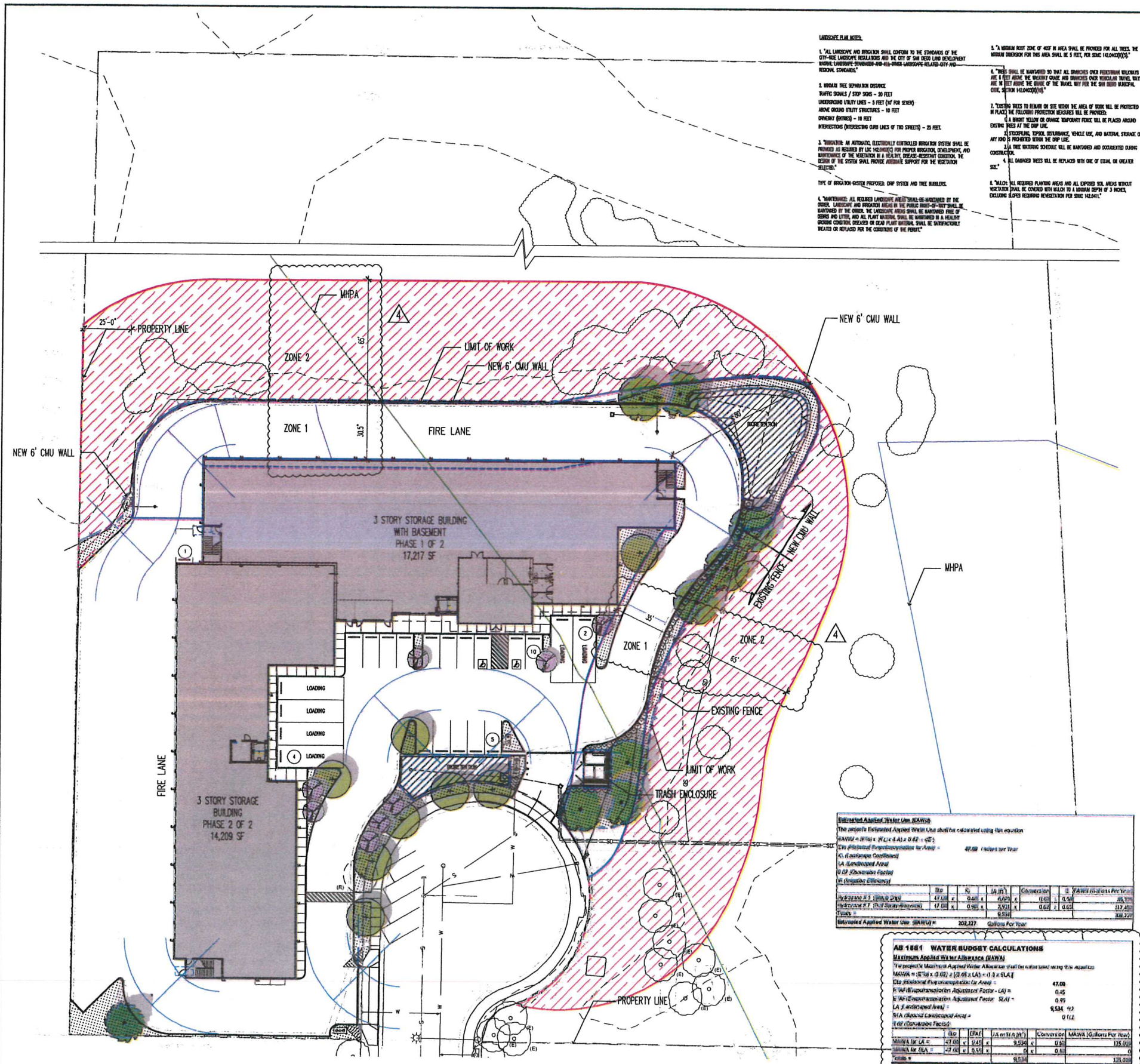
NOTES:

- ON-CENTER SPRACKINGS NOTED ON THE PLANT LEGEND TAKE PRECEDENCE OVER PLANT COUNTS OR SYMBOLS SHOWN ON THE DRAWING.
- CONTRACTOR TO SUBMIT SOIL PREPARATION AND BACKFILL SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL AT LEAST FOURTEEN (14) DAYS PRIOR TO INSTALLATION OF SOIL PREPARATION OR PLANT MATERIALS.
- SOIL PREPARATION AND BACKFILL AMENDMENTS PER SPECIFICATION AS RECOMMENDED BY AGRONOMIC SOIL TEST REPORT.
- PROVIDE LINEAR ROOT BARRIERS TO ALL TREES WITHIN 10'-0" OF HARDSCAPE.
- APPLY 3" DEEP LAYER OF APPROVED MULCH TO ALL SHRUB AND GROUND COVER AREAS.



LANDSCAPE PLAN NOTES:

- ALL LANDSCAPE AND Hardscape SHALL CONFORM TO THE STANDARDS OF THE CITY-OF SAN DIEGO'S LANDSCAPE DESIGN AND INSTALLATION MANUAL, LATEST EDITION AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- WIDEN TREE SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGNS - 30 FEET; UNDERGROUND UTILITY LINES - 5 FEET (NOT FOR EXIST); ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAY (BOTH) - 10 FEET; INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 20 FEET.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY USC REQUIREMENTS FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION DESIGN.
- TYPE OF IRRIGATION SYSTEM: Drip System AND TREE BARRIERS.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER, LANDSCAPE AND Hardscape AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE CITY. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF WEEDS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED BY A HEALTHY GROWING CONDITION. DEAD OR DISEASED PLANT MATERIAL SHALL BE IMMEDIATELY REMOVED OR REPLACED FOR THE CONTINUITY OF THE PROJECT.
- NO MORE THAN ONE (1) TREE SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIAMETER FOR THIS AREA SHALL BE 5 FEET, FOR SPECIES (1024000000).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHED OVERHANGING BRANCHES ARE 8 FEET ABOVE THE WALKWAY CURB AND BRANCHED OVER WALKWAY TRAILS. TRAIL ARE 10 FEET ABOVE THE GRADE OF THE TRAIL. BUT FOR THE SIX (6) TREE MAINTENANCE CURB SECTION (1024000000).
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - A BERRY BARRIER OR CONCRETE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DWP LINE.
 - STAKEPILING, TYPICAL, DEFLECTIVE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DWP LINE.
 - A TREE WRAPPING SCHEME WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
- WALLS: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING AREAS REQUIRING REVEGETATION PER SPEC (1024000000).



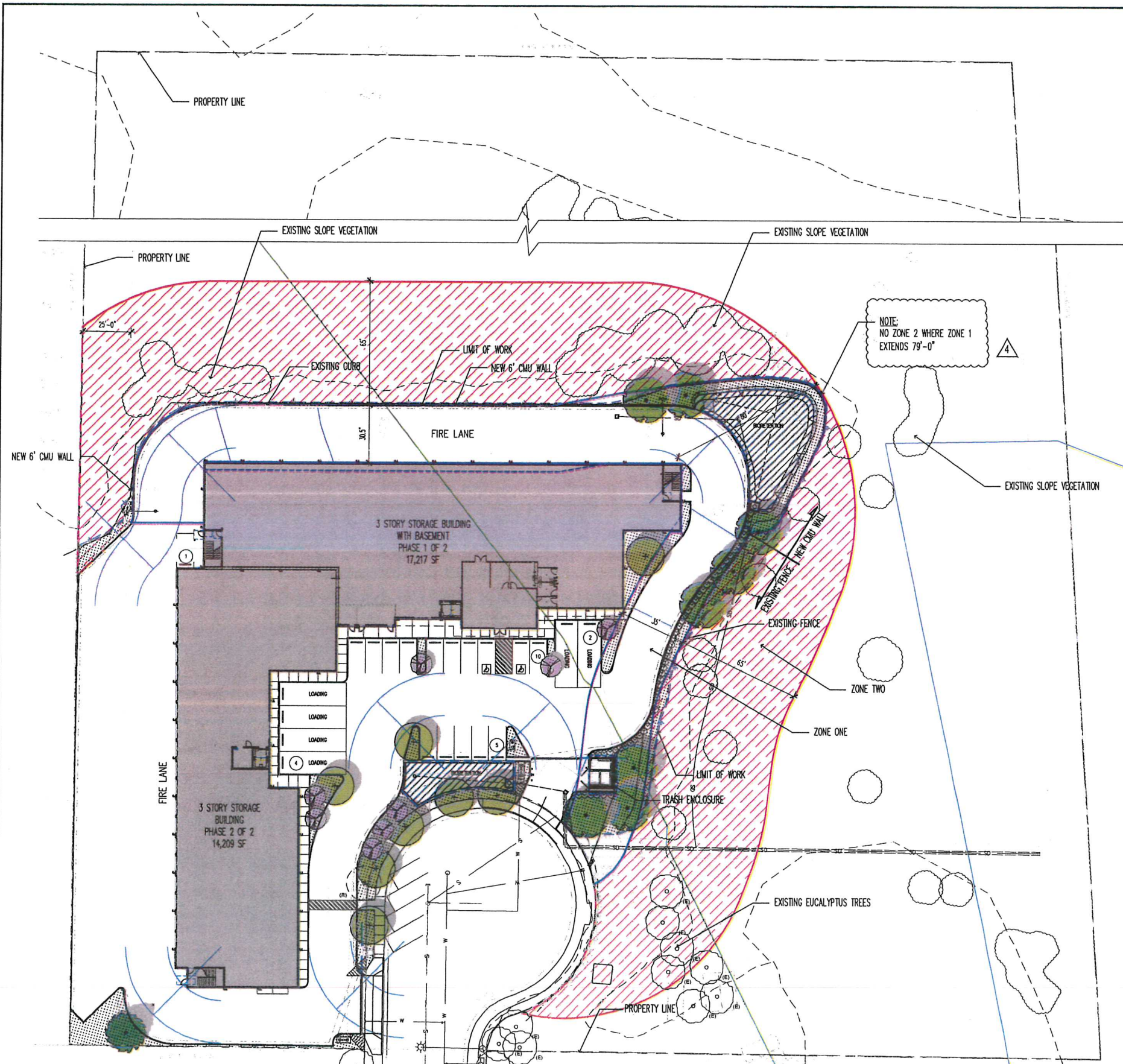
Estimated Applied Water Use (EAWU)

The project's Estimated Applied Water Use shall be calculated using the equation:

$$EAWU = (IAP) \times (E) \times (LA) \times (C) \times (K)$$

IAP = Annual Irrigation Precipitation for Area = 42.08 Inches Per Year
 E = Irrigation Efficiency
 LA = Irrigated Area
 C = Crop Coefficient
 K = Climate Factor

Area	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)
Zone 1	47,000	0.45	0.99	0.11	117,000	117,000
Zone 2	47,000	0.45	0.99	0.11	117,000	117,000
Zone 3	47,000	0.45	0.99	0.11	117,000	117,000
Zone 4	47,000	0.45	0.99	0.11	117,000	117,000
Zone 5	47,000	0.45	0.99	0.11	117,000	117,000
Zone 6	47,000	0.45	0.99	0.11	117,000	117,000
Zone 7	47,000	0.45	0.99	0.11	117,000	117,000
Zone 8	47,000	0.45	0.99	0.11	117,000	117,000
Zone 9	47,000	0.45	0.99	0.11	117,000	117,000
Zone 10	47,000	0.45	0.99	0.11	117,000	117,000
Zone 11	47,000	0.45	0.99	0.11	117,000	117,000
Zone 12	47,000	0.45	0.99	0.11	117,000	117,000
Zone 13	47,000	0.45	0.99	0.11	117,000	117,000
Zone 14	47,000	0.45	0.99	0.11	117,000	117,000
Zone 15	47,000	0.45	0.99	0.11	117,000	117,000
Zone 16	47,000	0.45	0.99	0.11	117,000	117,000
Zone 17	47,000	0.45	0.99	0.11	117,000	117,000
Zone 18	47,000	0.45	0.99	0.11	117,000	117,000
Zone 19	47,000	0.45	0.99	0.11	117,000	117,000
Zone 20	47,000	0.45	0.99	0.11	117,000	117,000
Zone 21	47,000	0.45	0.99	0.11	117,000	117,000
Zone 22	47,000	0.45	0.99	0.11	117,000	117,000
Zone 23	47,000	0.45	0.99	0.11	117,000	117,000
Zone 24	47,000	0.45	0.99	0.11	117,000	117,000
Zone 25	47,000	0.45	0.99	0.11	117,000	117,000
Zone 26	47,000	0.45	0.99	0.11	117,000	117,000
Zone 27	47,000	0.45	0.99	0.11	117,000	117,000
Zone 28	47,000	0.45	0.99	0.11	117,000	117,000
Zone 29	47,000	0.45	0.99	0.11	117,000	117,000
Zone 30	47,000	0.45	0.99	0.11	117,000	117,000
Zone 31	47,000	0.45	0.99	0.11	117,000	117,000
Zone 32	47,000	0.45	0.99	0.11	117,000	117,000
Zone 33	47,000	0.45	0.99	0.11	117,000	117,000
Zone 34	47,000	0.45	0.99	0.11	117,000	117,000
Zone 35	47,000	0.45	0.99	0.11	117,000	117,000
Zone 36	47,000	0.45	0.99	0.11	117,000	117,000
Zone 37	47,000	0.45	0.99	0.11	117,000	117,000
Zone 38	47,000	0.45	0.99	0.11	117,000	117,000
Zone 39	47,000	0.45	0.99	0.11	117,000	117,000
Zone 40	47,000	0.45	0.99	0.11	117,000	117,000
Zone 41	47,000	0.45	0.99	0.11	117,000	117,000
Zone 42	47,000	0.45	0.99	0.11	117,000	117,000
Zone 43	47,000	0.45	0.99	0.11	117,000	117,000
Zone 44	47,000	0.45	0.99	0.11	117,000	117,000
Zone 45	47,000	0.45	0.99	0.11	117,000	117,000
Zone 46	47,000	0.45	0.99	0.11	117,000	117,000
Zone 47	47,000	0.45	0.99	0.11	117,000	117,000
Zone 48	47,000	0.45	0.99	0.11	117,000	117,000
Zone 49	47,000	0.45	0.99	0.11	117,000	117,000
Zone 50	47,000	0.45	0.99	0.11	117,000	117,000
Zone 51	47,000	0.45	0.99	0.11	117,000	117,000
Zone 52	47,000	0.45	0.99	0.11	117,000	117,000
Zone 53	47,000	0.45	0.99	0.11	117,000	117,000
Zone 54	47,000	0.45	0.99	0.11	117,000	117,000
Zone 55	47,000	0.45	0.99	0.11	117,000	117,000
Zone 56	47,000	0.45	0.99	0.11	117,000	117,000
Zone 57	47,000	0.45	0.99	0.11	117,000	117,000
Zone 58	47,000	0.45	0.99	0.11	117,000	117,000
Zone 59	47,000	0.45	0.99	0.11	117,000	117,000
Zone 60	47,000	0.45	0.99	0.11	117,000	117,000
Zone 61	47,000	0.45	0.99	0.11	117,000	117,000
Zone 62	47,000	0.45	0.99	0.11	117,000	117,000
Zone 63	47,000	0.45	0.99	0.11	117,000	117,000
Zone 64	47,000	0.45	0.99	0.11	117,000	117,000
Zone 65	47,000	0.45	0.99	0.11	117,000	117,000
Zone 66	47,000	0.45	0.99	0.11	117,000	117,000
Zone 67	47,000	0.45	0.99	0.11	117,000	117,000
Zone 68	47,000	0.45	0.99	0.11	117,000	117,000
Zone 69	47,000	0.45	0.99	0.11	117,000	117,000
Zone 70	47,000	0.45	0.99	0.11	117,000	117,000
Zone 71	47,000	0.45	0.99	0.11	117,000	117,000
Zone 72	47,000	0.45	0.99	0.11	117,000	117,000
Zone 73	47,000	0.45	0.99	0.11	117,000	117,000
Zone 74	47,000	0.45	0.99	0.11	117,000	117,000
Zone 75	47,000	0.45	0.99	0.11	117,000	117,000
Zone 76	47,000	0.45	0.99	0.11	117,000	117,000
Zone 77	47,000	0.45	0.99	0.11	117,000	117,000
Zone 78	47,000	0.45	0.99	0.11	117,000	117,000
Zone 79	47,000	0.45	0.99	0.11	117,000	117,000
Zone 80	47,000	0.45	0.99	0.11	117,000	117,000
Zone 81	47,000	0.45	0.99	0.11	117,000	117,000
Zone 82	47,000	0.45	0.99	0.11	117,000	117,000
Zone 83	47,000	0.45	0.99	0.11	117,000	117,000
Zone 84	47,000	0.45	0.99	0.11	117,000	117,000
Zone 85	47,000	0.45	0.99	0.11	117,000	117,000
Zone 86	47,000	0.45	0.99	0.11	117,000	117,000
Zone 87	47,000	0.45	0.99	0.11	117,000	117,000
Zone 88	47,000	0.45	0.99	0.11	117,000	117,000
Zone 89	47,000	0.45	0.99	0.11	117,000	117,000
Zone 90	47,000	0.45	0.99	0.11	117,000	117,000
Zone 91	47,000	0.45	0.99	0.11	117,000	117,000
Zone 92	47,000	0.45	0.99	0.11	117,000	117,000
Zone 93	47,000	0.45	0.99	0.11	117,000	117,000
Zone 94	47,000	0.45	0.99	0.11	117,000	117,000
Zone 95	47,000	0.45	0.99	0.11	117,000	117,000
Zone 96	47,000	0.45	0.99	0.11	117,000	117,000
Zone 97	47,000	0.45	0.99	0.11	117,000	117,000
Zone 98	47,000	0.4				



BRUSH MANAGEMENT NOTES

BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL TYPICALLY CONSIST OF PAVEMENT AND PERMANENTLY PLANTED ORNAMENTAL PLANTING. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH GRADIENT GREATER THAN 4:1.

BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND TYPICALLY CONSISTS OF THINNEED, NATIVE OR NATURALIZED HIGH-BRANCHED VEGETATION.

THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET.

BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15.

ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NON-COMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.

PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. TREES SHALL BE LOW-FUEL AND FIRE-RESISTIVE.

TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DROP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.

PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:

- WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24" IN HEIGHT, OR
- WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24".

ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.

ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

THE ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.

NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.

WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24" IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6".

WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.

THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

- ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
- NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24". SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
- ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
- WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.011(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24". THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.

ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.

THE TRASH ENCLOSURE AND THE NORTHERLY PORTION OF THE BUILDING WHERE DIRECTLY ADJUTING OR WITHIN ZONE ONE SHALL BE CONSTRUCTED USING NON-COMBUSTIBLE MATERIALS AND CARRY A MINIMUM OF A 1-HOUR RATING.

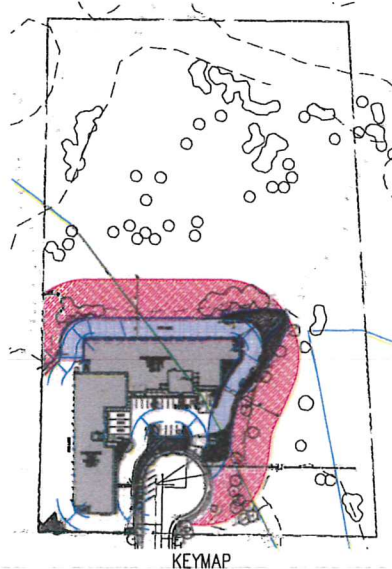
ZONE TWO SHALL BE NON-FRAGRANT AND SHALL BE REGULARLY CLEARED AS NECESSARY TO MAINTAIN THE ADEQUATE FIRE BUFFER IN ACCORDANCE WITH THE CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS.

NOTE:
NO ZONE 2 WHERE ZONE 1
EXTENDS 79'-0"

SAN DIEGO COASTAL SAGE SCRUB HYDROSEED MIX

SPECIES	PLS* TACS
ARTEMISIA CALIFORNICA / CALIFORNIA SAGE BRUSH	5
SALVIA COLLIMBARIAE / CHIA	1
SALVIA MELLIFERA / BLACK SAGE	3
DESMONDIA FASCICULATA / FASCICLED TARWEED	3
ACMISOPHON GLABER / DEERWEED	2
PLANTAGO BRECTA / DOT-SEED PLANTAIN	1
ERIODONUM FASCICULATUM / FLAT-TOP BUCKWHEAT	2
ERIDOPHYLLUM CONFERTIFLORUM / GOLDEN YARROW	2
QUERQUILLINIUM CALIFORNICUM / CALIFORNIA EVERLASTING	2
LASTHENIA CALIFORNICA / GOLDFIELDS	2
STIPA LEPIDA / SAN DIEGO NEEDLEGRASS	6
TOTAL	34

PLS* = PURE LIVE SEED
NO FERTILIZER, INCLUDE M-BINDER



BRUSH MANAGEMENT PLAN
SCALE: 1" = 20'



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SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
8440 EASTGATE CT
SAN DIEGO, CA 92121

REVISIONS

NO.	DATE	BY
1	8.28.17	QTY
2	10.23.17	CITY
3		
4		
5		
6		

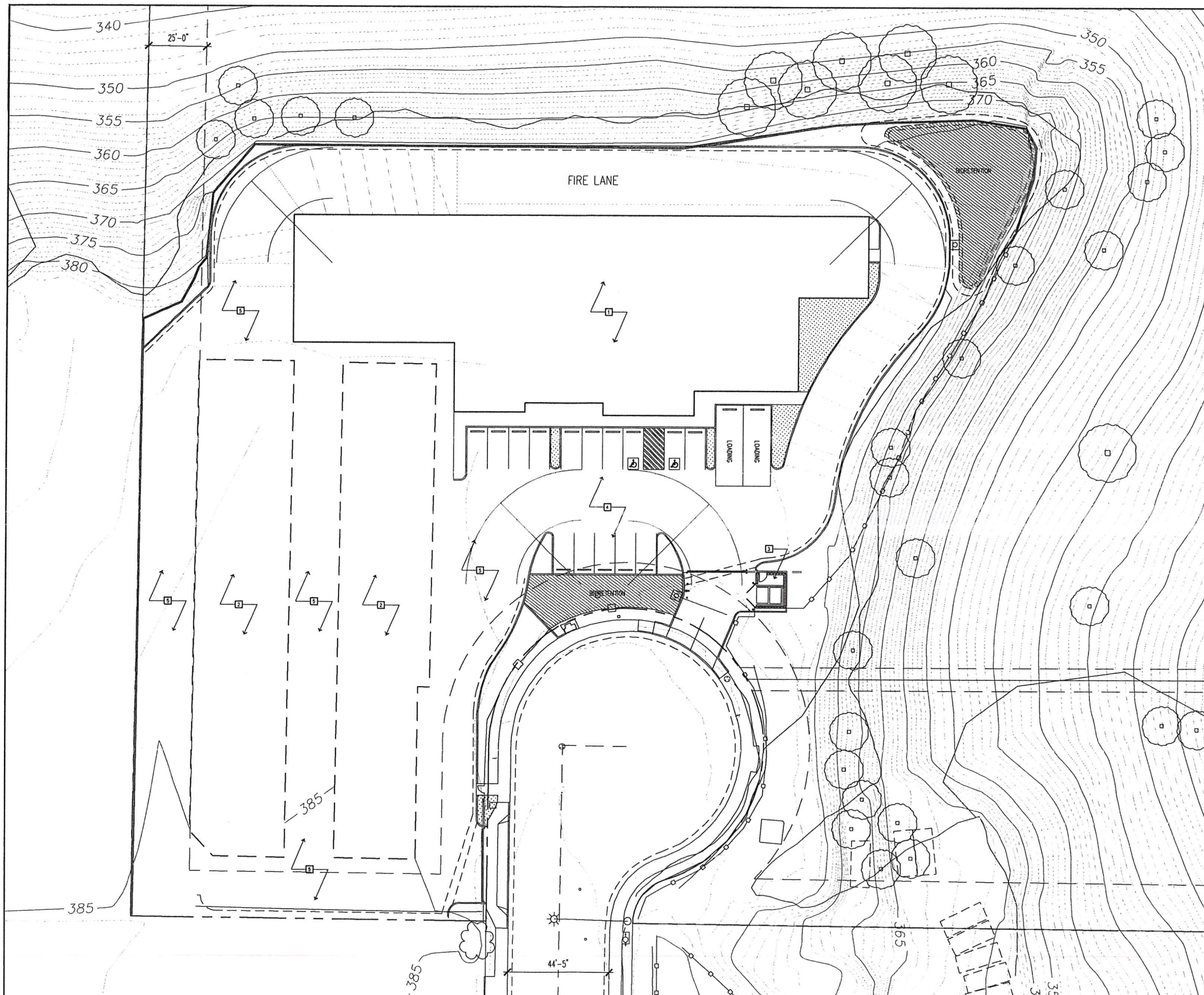
ISSUE DATES

DESIGN APPROVAL: 05.25.2017
PERMIT SUBMITTAL:
PERMIT RECEIVED:
BID DOCS:
CONSTR. DOCS:

SCALE:
PLOT DATE: 02.01.2018
CAD FILE:
JOB NUMBER: 16-057
CHECKED:
DRAWN:
STATUS: DISCRETIONARY DWGS

L1.2

SHEET



DEMOLITION PLAN - PHASE 2
SCALE: 1/16" = 1'-0"

KEY NOTES

- 1 NEW 3 STORY SELF-STORAGE BUILDING WITH BASEMENT.
- 2 DEMOLISH EXISTING BUILDING.
- 3 NEW CHAI TRASH & RECYCLE ENCLOSURE PAINTED TO MATCH BUILDING.
- 4 NEW PARKING LOT. SEE CIVIL FOR GRADING AND SITE PLAN SHEET A1.11.
- 5 SITE TO BE RE-GRADED PER CIVIL DRAWINGS.

DEMOLITION NOTES

- A. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
- B. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- C. GC SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
- D. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- E. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- F. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING DEPARTMENT REQUIREMENTS AND PROCEDURES.
- G. AS DIRECTED BY BUILDING MANAGEMENT, ALL DOORS, FRAMES, HARDWARE, MECHANICAL, TILES, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNSPUTS AND FLUORESCENTS), AND SPECIAL EQUIPMENT SHOWN TO BE REMOVED SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN OR RETURNED TO BUILDING STOCK.
- H. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC., TO THEIR SOURCE.
- I. GC SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBS TO EXISTING CONSTRUCTION PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- J. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SMOKE DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.
- K. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE COORDINATED WITH TELEPHONE COMPANIES AND TRAVEL.
- L. REMOVE ALL EXISTING MATERIALS WHICH WOULD CAUSE RIDGES OR DEPRESSIONS IN NEW FLOORING SURFACE, SUCH AS FASTENERS, OUTLET COVERS, COVER PLATES, RESILIENT FLOOR CONDUITS, CARPET, CARPET PADS, FLASH PATCH, CONCRETE FILL, FLYWOOD, ETC.
- M. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DWGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DWGS.
- N. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE RATING IS MAINTAINED.
- O. ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE GC SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.

DEMOLITION LEGEND

- - - - - EXISTING INTERIOR WALLS, DOORS, RECEPTS, CABINETS AND SHELVING TO BE REMOVED (SHOWN DASHED), INCLUDING ELECTRICAL FIXES ATTACHED TO WALLS. REFER TO FLOOR PLAN FOR EXISTENT AND DIMENSIONS. RE-USE ITEMS IN EXCELLENT CONDITION, OR RETURN TO OWNER FOR STORAGE.
- — — — — EXISTING CONSTRUCTION TO REMAIN.



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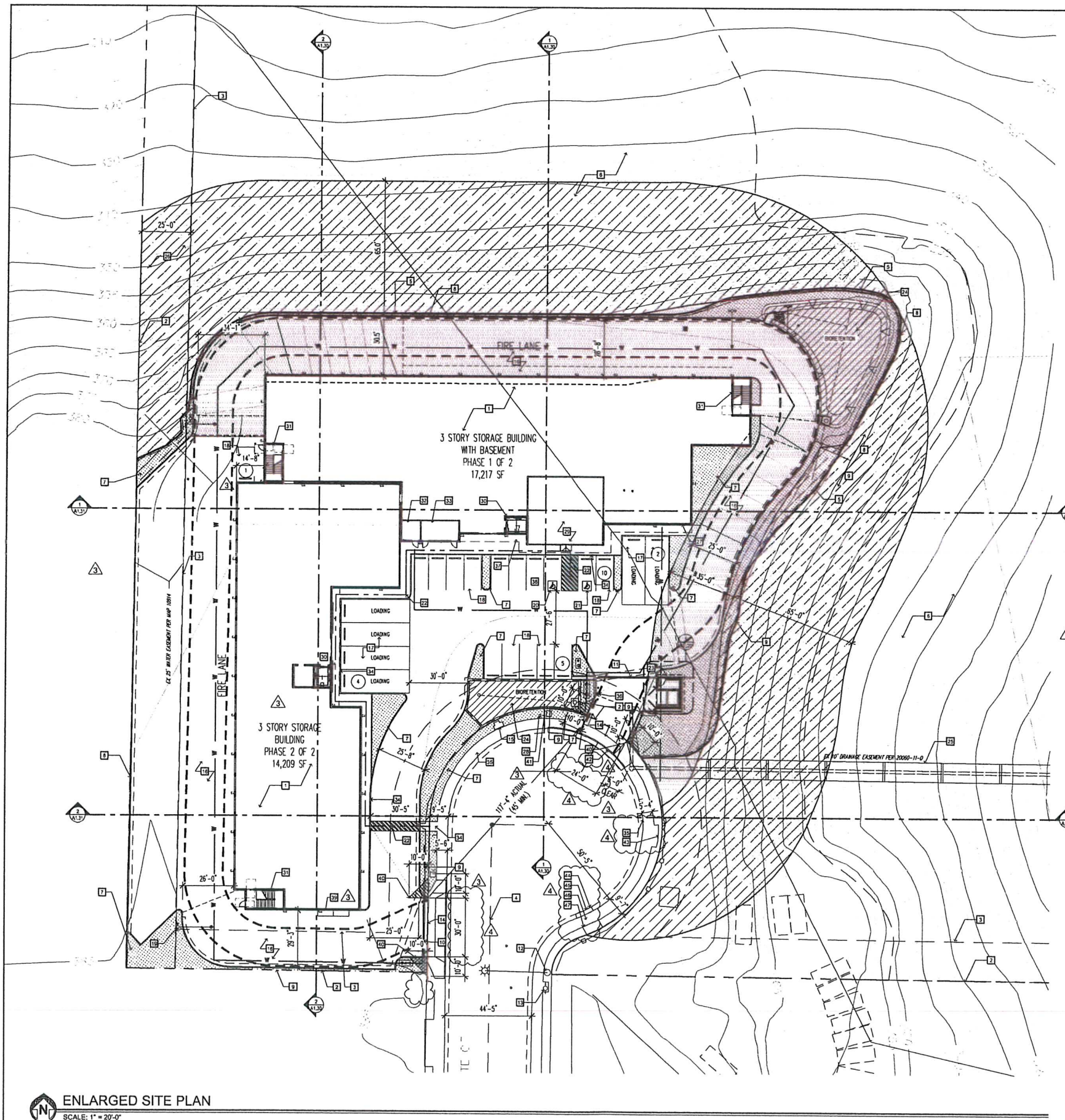
SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
DEVELOPMENT/EAST BUILDING NAME
8440 EASTGATE CT
SAN DIEGO, CA 92121

REVISIONS		
NO.	DATE	BY
▲	08.28.17	CITY
▲	10.23.17	CITY
▲	04.24.18	CITY
▲	05.24.18	CITY
▲		

ISSUE DATES	
DESIGN SUBMITTAL:	05.26.17
PERMIT SUBMITTAL:	
PERMIT RECEIVED:	
SBD DOCS:	
CONSTR. DOCS:	

SCALE	AS NOTED
PLOT DATE:	2018-06-25
CAD FILE:	18-057_A10
JOB NUMBER:	18-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DWGS

PHASE 2
DEMOLITION PLAN
A1.01
SHEET



ENLARGED SITE PLAN
SCALE: 1" = 20'-0"

KEY NOTES

1. 1" DIAMETER BOLLARD WITH RED AND WHITE HOUSING BOX TO BE INSTALLED IN ACCORDANCE WITH PMS POLICY K-10-1.
2. PROPERTY LINE.
3. EXISTING STREET CENTERLINE.
4. BOUNDARY OF ENVIRONMENTALLY SENSITIVE LANDS (DEEP HILLSIDES). NEW CONSTRUCTION WILL NOT PASS THIS BOUNDARY.
5. EXISTING SLOPE AND VEGETATION TO REMAIN AS IS.
6. NEW LANDSCAPE AREA PER LANDSCAPE DRAWINGS.
7. 6'-0" HIGH CHAIN LINK FENCE AROUND FRONT OF PROPERTY TO REMAIN.
8. EXISTING 6'-0" HIGH CHAIN LINK FENCE AROUND FRONT OF PROPERTY TO REMAIN.
9. EXISTING GATE TO REMAIN. GATE TO REMAIN OPEN DURING BUSINESS HOURS.
10. NEW 6'-0" HIGH CHAIN LINK GATE TO MATCH EXISTING GATE TO REMAIN OPEN DURING BUSINESS HOURS.
11. EXISTING LIGHT POLE TO REMAIN.
12. EXISTING FIRE HYDRANT TO REMAIN.
13. NEW CURB CUT AT EXISTING DRAINAGE LOCATION. SEE CIVIL DRAWINGS.
14. LOCATION OF EXISTING TRANSFORMER (SHORTY).
15. 25'-0" WIDE FIRE LANE AROUND NEW STORAGE FACILITY. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE APPROVED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL NECESSARY DRIVING CHARACTERISTICS. SEE CIVIL DRAWINGS FOR APPROVED ACCESS ROADS AND WATER SUPPLIES FOR THE PROVISION. SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE PERIOD OF CONSTRUCTION OF THIS PROJECT TO THE ACCESS PLAN SHEET A1.10.
16. 12'-0" x 30'-0" LOADING SPACES (8 TOTAL).
17. 8'-0" x 18'-0" PARKING SPACE (16 TOTAL).
18. NEW FIRE HYDRANT.
19. 6'-0" x 18'-0" MIN ACCESSIBLE PARKING SPACE (1) WITH A 4'-0" ACCESS WALK.
20. 6'-0" x 18'-0" ACCESSIBLE PARKING SPACE (1) WITH A 4'-0" ACCESS WALK.
21. DIRECT ROUTE ACCESSIBLE PATH OF TRAVEL. WALK SHALL BE AN ADJUSTABLE DIMENSION ELEVATION ALONG THE PATH OF TRAVEL SHALL BE 2.0% AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 2% AND 2% RESPECTIVELY (CONTRACTOR TO VERIFY).
22. NEW TRASH ENCLOSURE WITH 6'-0" CHAIN LINK ENCLOSURE WILL MATCH BUILDING.
23. NEW BIO-RETENTION AREA. SEE CIVIL DRAWINGS.
24. EXISTING 10'-0" DRAINAGE EXISTENCE. SEE CIVIL DRAWINGS.
25. EXISTING 25'-0" WATER EXISTENCE. SEE CIVIL DRAWINGS.
26. BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PMS POLICY P-20-6 (PAGE 304.4).
27. LOCATION OF EXISTING METERS (NEW).
28. LEADING OFFICE & LOCATION OF RECREATION INFORMATION BULLETIN BOARD.
29. ELEVATORS.
30. INTERIOR EXIT STAIRWAY.
31. FIRE RISER ROOM.
32. ELECTRICAL ROOM.
33. NEW SEWERAGE PER PLAN.
34. EXISTING SEWERAGE TO REMAIN.

PARKING CALCULATIONS

PARKING REQUIREMENTS & CALCULATIONS
SAN DIEGO MUNICIPAL CODE OF 142.0208 TABLE 142-0208
SPACES/1,000 SF = 3.3 SPACES/1,000 SF
REQUIRES 1.0 ACCESSORY OFFICE SPACE.

VEHICLE TYPE	REQUIRED	PROVIDED
STANDARD STALLS (8'-0" x 18'-0")	11	11
ACCESSIBLE STALLS (8'-0" x 18'-0")	1	1
STANDARD STALLS (8'-0" x 18'-0")	11	11
ACCESSIBLE STALLS (8'-0" x 18'-0")	1	1
TOTAL	12	12

WATERCLOSET PARKING
ZERO DISCOUNT/SHORTY VEHICLES
LOADING STALLS (12'-0" x 30'-0")
STANDARD STALLS (8'-0" x 18'-0")
ACCESSIBLE STALLS (8'-0" x 18'-0")
TOTAL STALLS

BICYCLE PARKING REQUIREMENTS & CALCULATIONS:
ON 142.0208 (4) (1) SHORT-TERM BICYCLE PARKING SPACES
THE MINIMUM NUMBER OF REQUIRED SHORT-TERM BICYCLE PARKING SPACES SHALL BE TWO, OR 0.1 PER 1,000 SQUARE FEET OF BUILDING FLOOR AREA. EXCLUDING FLOOR AREA DEVOTED TO PARKING, OR 5% OF THE REQUIRED AUTOMOBILE PARKING SPACE WHATEVER IS GREATER.

PER 1,000 SF OF BUILDING FLOOR AREA:	REQUIRED	PROVIDED
111,485 SF / 1,000 SF = 111.485	11	11
111,485 SF x 0.1 = 11.1485	11	11
MINIMUM	2	2
TOTAL BICYCLE SPACES/RACKS	12	12

ESTIMATED EDUS

BASED ON ASSUMPTION OF ALLOWING FUTURE FOR THE USE:

1. HOSE WBS (2 @ 2.8 UNITS PER 150 UNITS)
2. LAUNDRY (1 @ 1.0 UNITS PER 100 UNITS)
3. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)
4. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)
5. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)
6. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)

ESTIMATED EDUS APPROX: 23 FUTURE UNITS = 2 (20)

KEY NOTES

1. 3 STORY SELF-STORAGE BUILDING.
2. PROPERTY LINE.
3. EXISTING STREET CENTERLINE.
4. BOUNDARY OF ENVIRONMENTALLY SENSITIVE LANDS (DEEP HILLSIDES). NEW CONSTRUCTION WILL NOT PASS THIS BOUNDARY.
5. EXISTING SLOPE AND VEGETATION TO REMAIN AS IS.
6. NEW LANDSCAPE AREA PER LANDSCAPE DRAWINGS.
7. 6'-0" HIGH CHAIN LINK FENCE AROUND FRONT AND WEST SIDE OF STORAGE FACILITY.
8. EXISTING 6'-0" HIGH CHAIN LINK FENCE AROUND FRONT OF PROPERTY TO REMAIN.
9. EXISTING GATE TO REMAIN. GATE TO REMAIN OPEN DURING BUSINESS HOURS.
10. NEW 6'-0" HIGH CHAIN LINK GATE TO MATCH EXISTING GATE TO REMAIN OPEN DURING BUSINESS HOURS.
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31. FIRE RISER ROOM.
32. ELECTRICAL ROOM.
33. NEW SEWERAGE PER PLAN.
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PARKING CALCULATIONS

PARKING REQUIREMENTS & CALCULATIONS
SAN DIEGO MUNICIPAL CODE OF 142.0208 TABLE 142-0208
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ZERO DISCOUNT/SHORTY VEHICLES
LOADING STALLS (12'-0" x 30'-0")
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ACCESSIBLE STALLS (8'-0" x 18'-0")
TOTAL STALLS

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ON 142.0208 (4) (1) SHORT-TERM BICYCLE PARKING SPACES
THE MINIMUM NUMBER OF REQUIRED SHORT-TERM BICYCLE PARKING SPACES SHALL BE TWO, OR 0.1 PER 1,000 SQUARE FEET OF BUILDING FLOOR AREA. EXCLUDING FLOOR AREA DEVOTED TO PARKING, OR 5% OF THE REQUIRED AUTOMOBILE PARKING SPACE WHATEVER IS GREATER.

PER 1,000 SF OF BUILDING FLOOR AREA:	REQUIRED	PROVIDED
111,485 SF / 1,000 SF = 111.485	11	11
111,485 SF x 0.1 = 11.1485	11	11
MINIMUM	2	2
TOTAL BICYCLE SPACES/RACKS	12	12

ESTIMATED EDUS

BASED ON ASSUMPTION OF ALLOWING FUTURE FOR THE USE:

1. HOSE WBS (2 @ 2.8 UNITS PER 150 UNITS)
2. LAUNDRY (1 @ 1.0 UNITS PER 100 UNITS)
3. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)
4. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)
5. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)
6. WHEELER (1 @ 1.0 UNITS PER 100 UNITS)

ESTIMATED EDUS APPROX: 23 FUTURE UNITS = 2 (20)

PROJECT DATA

LEGAL DESCRIPTION:
LOT ONE OF EASTSIDE BOND UNIT NO. 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED NO. 10781 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 26, 1984.

PERMIT NUMBER: 2018-05-11-01
JURISDICTION: CITY OF SAN DIEGO
PROPERTY ADDRESS: 8440 EASTGATE CT
OWNER: SENTRY STORAGE SOLUTIONS
DEVELOPER: SENTRY STORAGE SOLUTIONS
ARCHITECT: Magejian Architects
DATE: 05/24/18

AREA CALCULATIONS & CONDITIONS

AREA	AREA (SQ. FT.)
LOT AREA	26,843 SF (0.61 ACRES)
NEW/PROPOSED L.S. AREA	1,425 SF
EXIST. L.S. AREA TO REMAIN	28,818 SF
TOTAL LANDSCAPE AREA	30,243 SF (0.70 AC)
IMPROVED AREA	16,425 SF (0.37 AC)

REQUIRED SETBACKS:

BY CODE	PROPOSED
FRONT	35'-0"
SIDE	25'-0"
REAR	25'-0"
REAR	302'-0"

EXISTING EASEMENTS:
10'-0" WATER EXISTENCE ON WEST SIDE OF SITE
10'-0" DRAINAGE EXISTENCE ON SOUTH EAST CORNER OF SITE

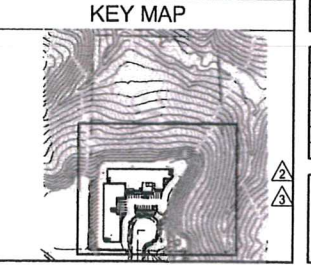
BUILDING AREAS:

PHASE	LEVEL	AREA (SQ. FT.)
PHASE 1	0TH FLOOR AREA	14,209 SF
	LEVEL 1 STORAGE AREA	17,217 SF
	LEVEL 2 STORAGE AREA	17,217 SF
	LEVEL 3 STORAGE AREA	17,217 SF
TOTAL PHASE 1 BUILDING AREA: 66,360 SF		
PHASE 2	LEVEL 1 STORAGE AREA	14,209 SF
	LEVEL 2 STORAGE AREA	14,209 SF
	LEVEL 3 STORAGE AREA	14,209 SF
	LEVEL 4 STORAGE AREA	14,209 SF
TOTAL PHASE 2 BUILDING AREA: 56,836 SF		
TOTAL STORAGE BUILDING AREA: 123,196 SF		

BUILDING HEIGHT: 30 FT. PROPOSED 40 FT.-2"

ADDITIONAL NOTES

1. ALL DATA WILL BE OBTAINED FOR LANDSCAPE DESIGN SHALL BE IN ACCORD WITH LOCAL JURISDICTION SYSTEMS IN THE RIGHT OF WAY FOR PRIVATE CONNECTIONS TO THE PUBLIC STORM DRAIN SYSTEM AND FOR PRIVATE STORM DRAIN PIPES IN THE RIGHT OF WAY AND/OR OVER AND EXISTING CITY OF SAN DIEGO EASEMENT.
2. ALL ON-SITE WATER, FIRE AND SEWER UTILITIES ARE PRIVATE UTILITIES.



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SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
DEVELOPMENT / EAST BUILDING NAME
8440 EASTGATE CT
SAN DIEGO, CA 92121

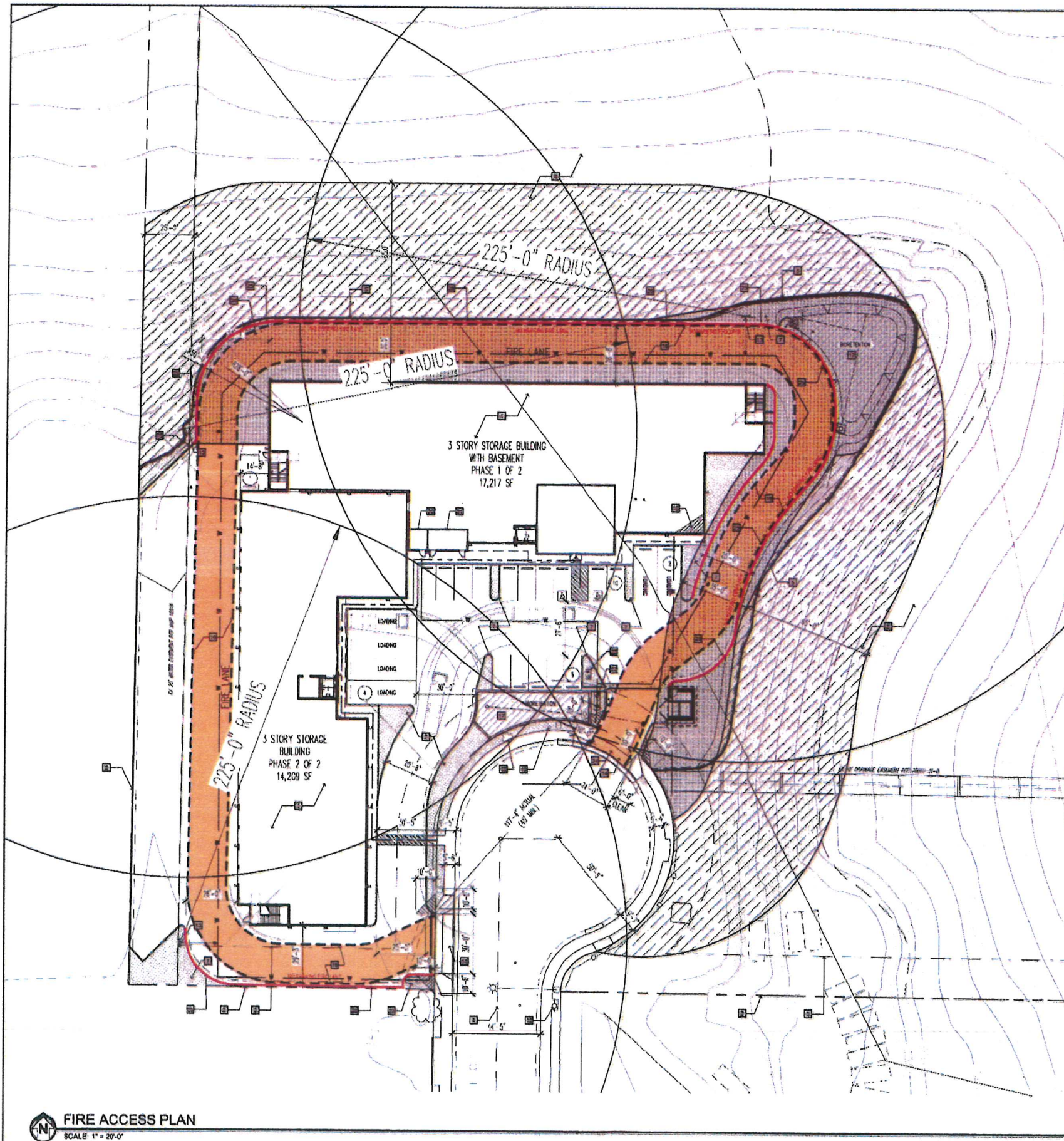
REVISIONS

NO.	DATE	BY
08.29.17	QTY	
10.23.17	QTY	
04.24.18	QTY	
05.24.18	QTY	

ISSUE DATES
DESIGN SUBMITTAL: 05.28.17
PERMIT SUBMITTAL:
PERMIT RECEIVED:
BID DOCS:
CONSTR. DOCS:

SCALE: AS NOTED
PLAT DATE: 2018-05-12
CAD FILE: 18-097_111
DWG NUMBER: 18-057
CHECKED:
DRAWN: JJ
STATUS: DISCREETINARY DWGS

ENLARGED SITE PLAN
A1.11
SHEET: 9 of 22



FIRE ACCESS PLAN
SCALE: 1" = 20'-0"

LEGEND

- RED CURB AND PARKING AREAS
- FIRE ACCESS ROAD

KEY NOTES

- 1 STORY BUILT-UP ROOF DRUM
- PROPERTY LINE
- SETBACK LINE
- EXISTING STREET CENTERLINE
- ADJACENT TO ENVIRONMENTALLY SENSITIVE LAND USE (E.S.L.U.) NEAR CONSTRUCTION WILL NOT PERMIT THIS CONSTRUCTION
- EXISTING BUSHES AND VEGETATION TO REMAIN AS IS
- NEAR LANDSCAPE AREA FOR LANDSCAPE CHANGES
- 8'-0" HIGH CONCRETE WALL AROUND NEAR AND WEST SIDE OF STORAGE FACILITY
- EXISTING 8'-0" HIGH CONCRETE WALL AROUND SOUTH SIDE OF PROPERTY TO REMAIN
- EXISTING PATH TO REMAIN, GIVE TO REMAIN FROM PLANNED BUSINESS HOURS
- NEAR 8'-0" HIGH CONCRETE WALL TO MATCH EXISTING GATE TO REMAIN OPEN DURING BUSINESS HOURS
- EXISTING FIRE HYDRANT TO REMAIN
- NEAR FIRE HYDRANT, SEE CIVIL DRAWINGS
- NEAR CORNER OUT AT EXISTING PROPERTY (ADJACENT) SEE CIVIL DRAWINGS
- LOCATION OF EXISTING TRANSFORMER (EQUIP)
- 8'-0" HIGH FIRE WALL AROUND NEAR STORAGE FACILITY: THESE APPROVED ACCESS ROADS SHALL BE MAINTAINED AND UNOCCUPIED TO SUPPORT THE APPROVED ACCESS ROADS. THE APPROVED ACCESS ROADS SHALL BE MAINTAINED AND UNOCCUPIED TO SUPPORT THE APPROVED ACCESS ROADS. THE APPROVED ACCESS ROADS SHALL BE MAINTAINED AND UNOCCUPIED TO SUPPORT THE APPROVED ACCESS ROADS. THE APPROVED ACCESS ROADS SHALL BE MAINTAINED AND UNOCCUPIED TO SUPPORT THE APPROVED ACCESS ROADS.
- NEAR DR. RETENTION AREA, SEE CIVIL DRAWINGS
- BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD (PROVIDE THE PROPERTY FOR FIRE DEPARTMENT POLICY P-4-4 (EFC 001-1-0))
- LOCATION OF EXISTING METERS (EQUIP)
- THE MAIN ROAD
- ELECTRICAL ROOM
- NEAR FIRE SERVICE BACKFLOW SEE CIVIL PLANS
- NEAR TOWER
- EXISTING CONCRETE
- NEAR CORNER WITH "NO PARKING" PAINTED PER CITY AND FIRE DEPARTMENT STANDARDS
- FIRE TRUCK TURN RADIUS

PROJECT DATA

LEGAL DESCRIPTION

LOT 10 OF TRACT 1000, BEING 1000 ACRES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP 1000-1, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIF., ON 10/10/1988.

PARCEL NUMBER	042-070-000
APPLICANT	ENTRUST STORAGE
PROPOSED ZONING	04-2-10-1-1
BUILDING CONSTRUCTION TYPE	0-1-1
BUILDING AREA	31,426 SF
FLOOR AREA RATIO	1.26 (2.0% MAX)
PERMITTED USE	STORAGE FACILITY
USE	STORAGE FACILITY
MAX. HEIGHT	35'-0"
BUILDING HEIGHT	35'-0"

AREA CALCULATIONS & CONDITIONS

USE AREA	31,426 SF	PERMITTED (31,426 SF)
MAXIMUM AREA	25,141 SF	25,141 SF
MINIMUM AREA	25,141 SF	25,141 SF
MAXIMUM HEIGHT	35'-0"	35'-0"
MINIMUM HEIGHT	10'-0"	10'-0"

EXISTING CONDITIONS

10'-0" CLEARANCE ON WEST SIDE OF VIE
10'-0" CLEARANCE EXISTING ON NORTH EAST CORNER OF VIE

BUILDING AREA

USE AREA	31,426 SF
MINIMUM AREA	25,141 SF
MAXIMUM AREA	25,141 SF

BASE 1

USE AREA	14,209 SF
MINIMUM AREA	14,209 SF
MAXIMUM AREA	14,209 SF

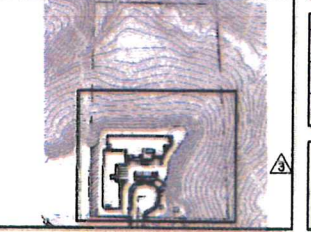
BASE 2

USE AREA	17,217 SF
MINIMUM AREA	17,217 SF
MAXIMUM AREA	17,217 SF

GENERAL FIRE ACCESS PLAN NOTES

THE FIRE ACCESS PLAN SHALL BE REVIEWED BY THE FIRE DEPARTMENT. THE FIRE DEPARTMENT SHALL BE CONTACTED ON THE DATE OF THE PROJECT. THE FIRE DEPARTMENT SHALL BE CONTACTED ON THE DATE OF THE PROJECT. THE FIRE DEPARTMENT SHALL BE CONTACTED ON THE DATE OF THE PROJECT. THE FIRE DEPARTMENT SHALL BE CONTACTED ON THE DATE OF THE PROJECT.

KEY MAP



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SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
DEVELOPMENT / EXIST BUILDING NAME
8440 EASTLAKE CT
SAN DIEGO, CA 92121

REVISIONS

NO	DATE	BY
01	08/28/17	OTF
02	10/01/17	OTF
03	04/26/18	OTF
04	03/24/18	OTF

ISD.P. DATE: 05.25.17
PLAN 1 NUMBER: 11
PROJECT NUMBER: 11
SCALE: 1" = 20'-0"

SCALE: AS NOTED

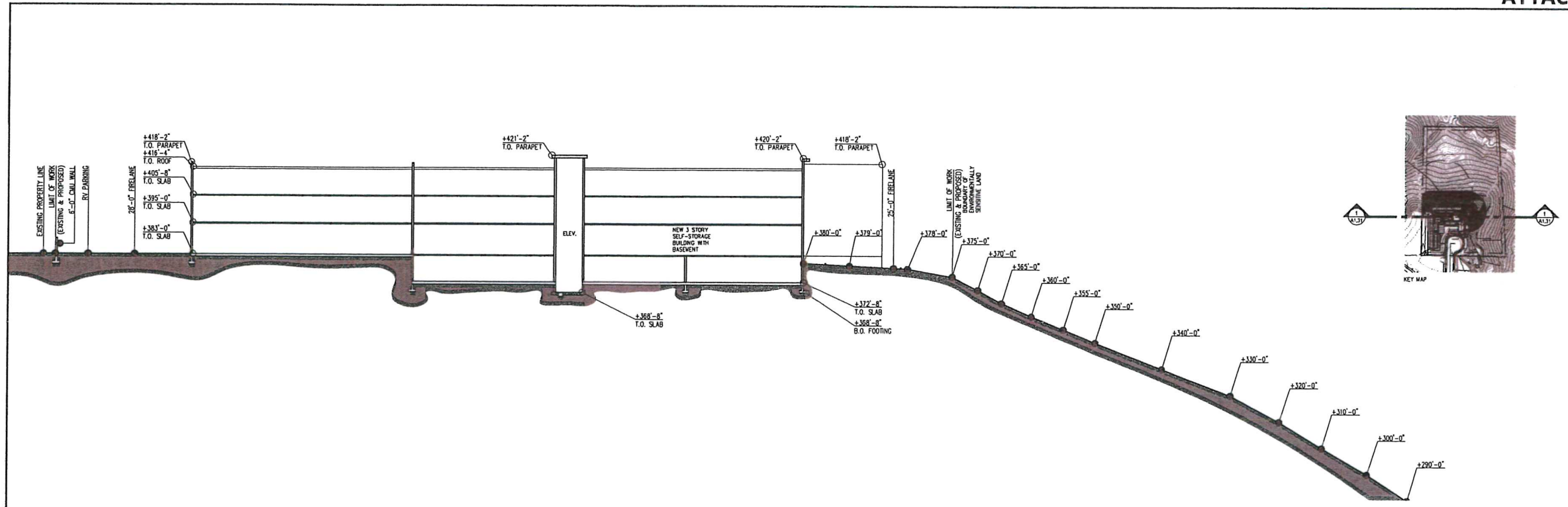
PLAT DATE: 12/15/17
CADD FILE: 18-037_A11
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DATE: 05/25/17
STATUS: EXIST - 01/17/2017

FIRE ACCESS PLAN
A1.12
SHEET 10 of 22

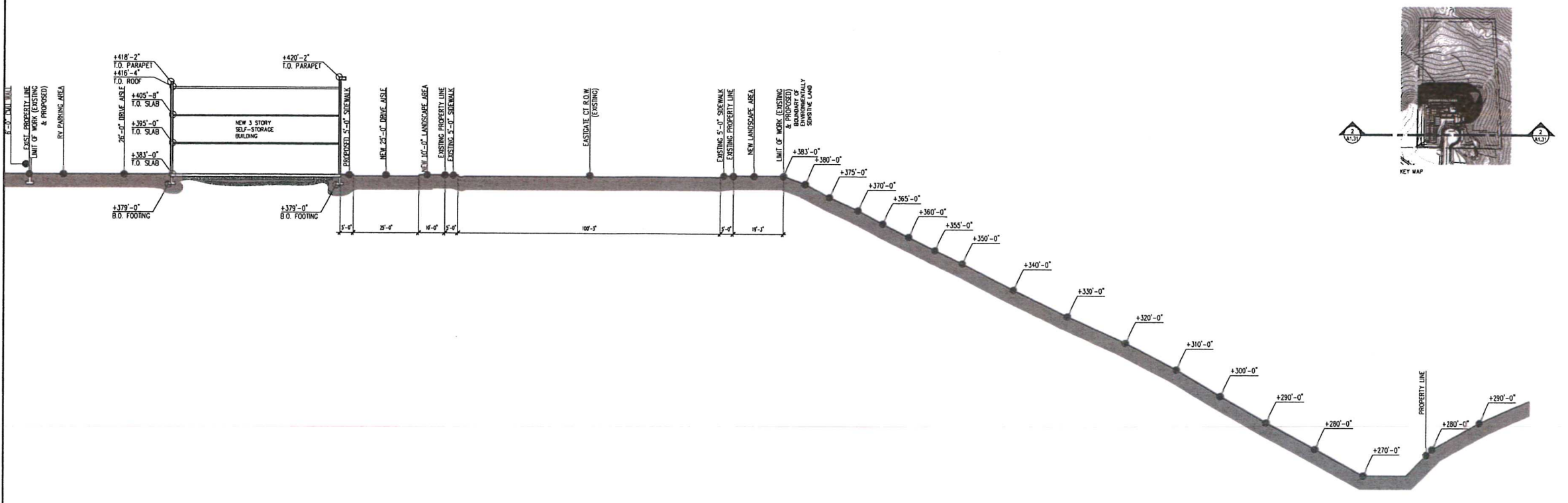


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1 SITE SECTION
 SCALE: 1/16" = 1'-0"



2 SITE SECTION
 SCALE: 1/16" = 1'-0"

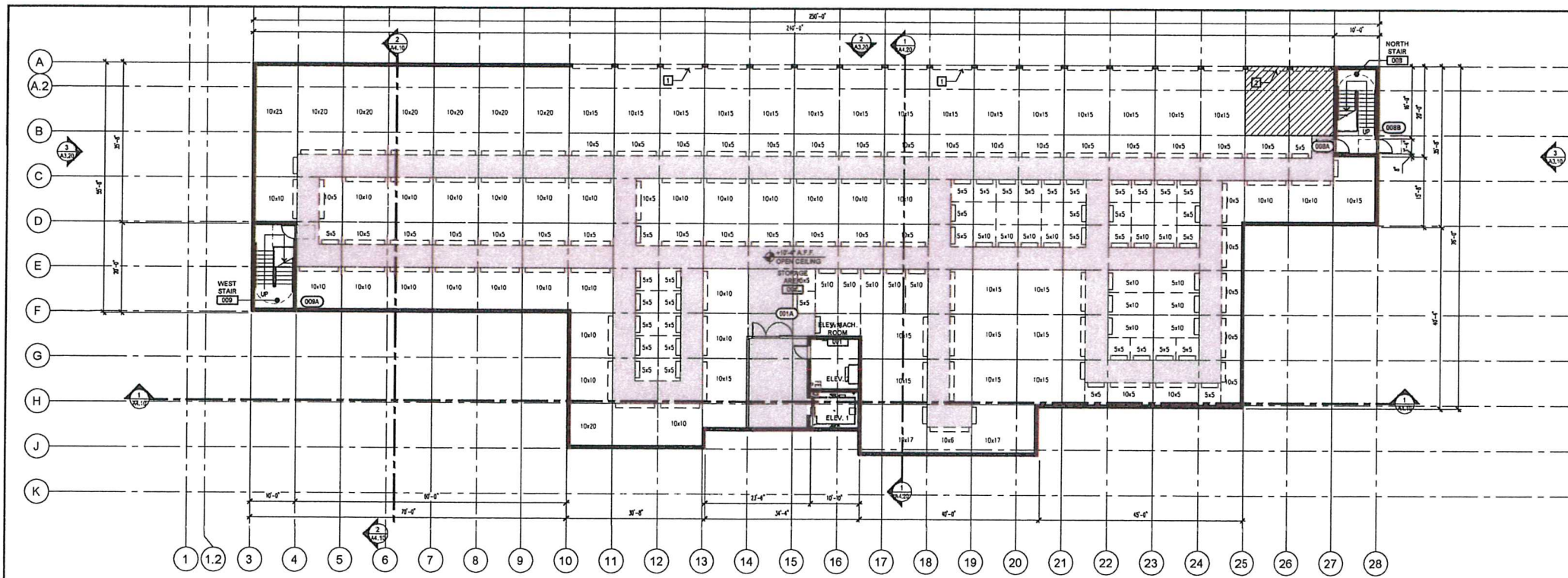
SENTRY STORAGE SOLUTIONS
 SAN DIEGO, CA
 DEVELOPMENT / EXIST BUILDING NAME
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REVISIONS		
NO.	DATE	BY
1	08.28.17	CITY
2	10.23.17	CITY
3	04.24.18	CITY
4	05.24.18	CITY
5		

ISSUE DATES	
DESIGN SUBMITTAL:	05.26.17
PERMIT SUBMITTAL:	
PERMIT RECEIVED:	
RD DOCS:	
CONSTR. DOCS:	

SCALE	AS NOTED
PLOT DATE:	2018-08-05
CAD FILE:	16-057_A13-A14
JOB NUMBER:	15-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DIMS

SITE SECTIONS
A1.31
 SHEET



BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

KEY NOTES

- 1 8'-0" x 8'-0" STORAGE DOORS TO THE EXTERIOR. SEE ELEVATIONS 2/12/23.
- 2 400 SF REUSE & RECYCLE AREA HOSE BANDING.

UNIT MIX

PLAN NOTES

- A. DO NOT SCALE DIMS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, REFER TO ARCHITECT PARTITION PLAN BY ARCHITECT'S PRECEDENCE OVER ALL OTHER PLANS.
- B. ALL OFFICE BOUND PARTITIONS SHALL BE TYPED, STAPLED AND Sanded Gypsum With NO JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ADDED.
- C. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF ONE TO FINISH FACE OF ONE UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "TYPED" SHALL BE MAINTAINED AND SHALL ALLOW FOR TOLERANCES OF ALL WALL FINISHES, U.O.A.
- D. DIMENSIONS MARKED WITH A TOLERANCE NOT GREATER THAN 2 INCHES FROM INDICATED DIMENSION, U.S.A. - VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT BEFORE ARCHITECT'S APPROVAL.
- E. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION UPON COMPLETION OF PARTITION LAYOUT. NOTIFY ARCHITECT VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
- F. REFER TO SHEET A01 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
- G. DIMENSIONING LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB, U.S.A.
- H. "ALOK" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
- I. NOTIFY EXISTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THIS PREVENTING REMOVAL OF LUMPS OR IMPRESSIONS.
- J. ALL WORK SHALL BE CHECKED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- K. REFER TO MILLWORK SHOP DIMS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN ORIGINAL/MILLWORK CONDITIONS.
- L. ALL EXISTING AND NEW FLOOR PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
- M. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL CONCEALED LAMBER & BLOCKING TO BE FIRE TREATED.
- N. GC TO PROVIDE SHOP DIMS FOR CASEWORK.

WALL LEGEND

- SHADED WALLS INDICATE NEW WORK:**
- (Symbol: Shaded wall) PARTITION WALLS PER PLAN: 1/2" STUDS (25 GA.) AT 18" O.C. WITH 5/8" GIB ON EACH SIDE.
 - (Symbol: Door) DOOR: REFER TO KEYS ON PLAN AND SEE DOOR SCHEDULE, SHEET A2.10. DOORS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED A MIN. 4" FROM ADJACENT PERPENDICULAR WALL FINISH.
 - (Symbol: Glazing) GLAZING: REFER TO WINDOW SCHEDULE AND SHEET A2.10 FOR LOCATIONS.
 - (Symbol: Fire extinguisher) FIRE EXTINGUISHER

- LEGEND NOTES:**
- 1. PROVIDE WATER RESISTANT CMU IN ALL WET AREAS, AND BLOCKING BEHIND ALL FIXTURES.
 - 2. FURNITURE SHOWN ON PLAN IS FOR REFERENCE PURPOSES, ONLY AND IS NOT IN CONTRACT, U.O.A.



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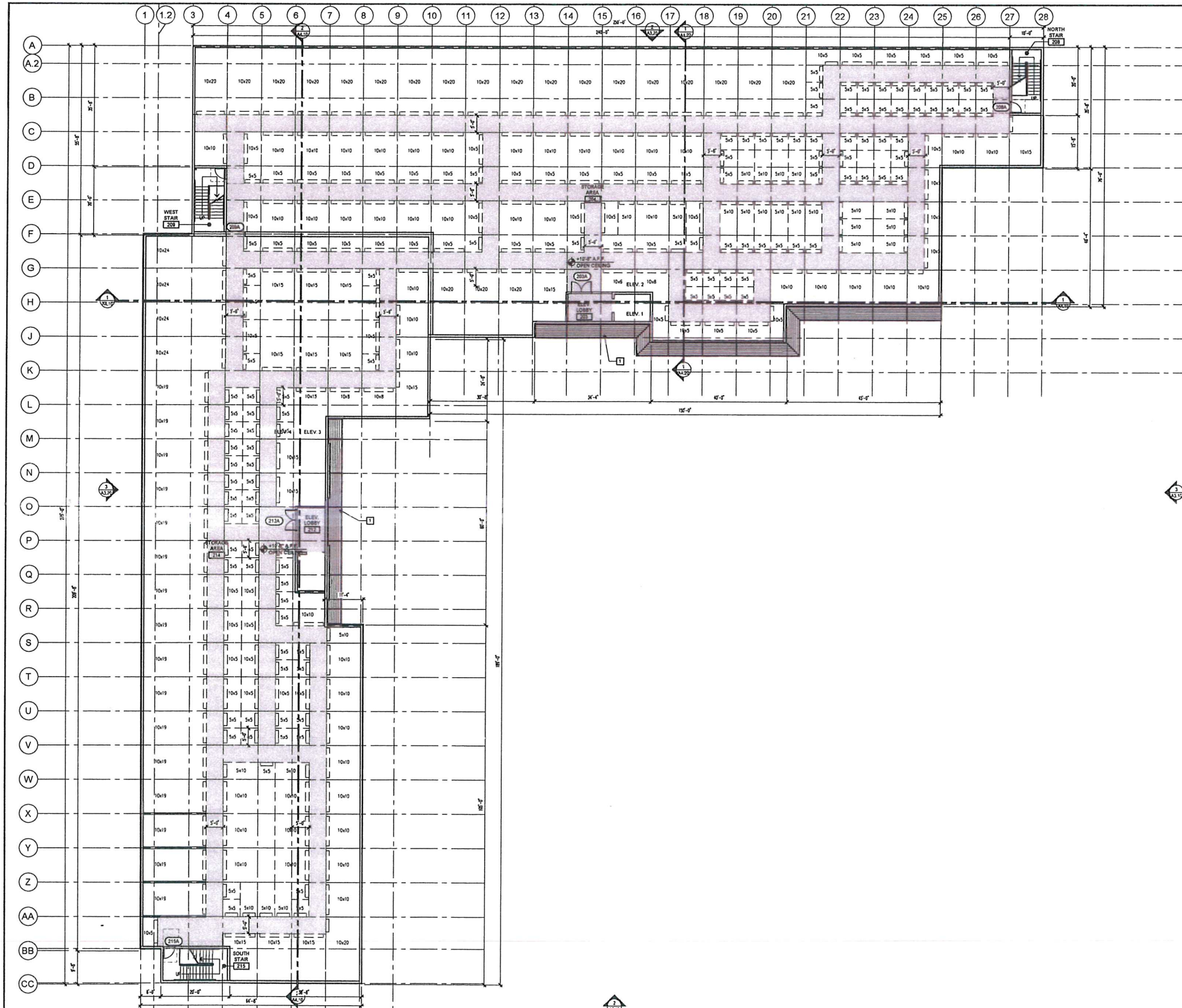
SENTRY STORAGE SOLUTIONS
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REVISIONS		
NO.	DATE	BY
1	08.28.17	CTY
2	10.23.17	CTY
3	04.24.18	CTY
4	05.24.18	CTY

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CONSTR. DOCS:	

SCALE	
AS NOTED	
PLLOT DATE:	2018-08-05
CAD FILE:	18-037_A21-A24
JOB NUMBER:	18-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DIMS

BASEMENT FLOOR PLAN
A2.10
SHEET



LEVEL 2 FLOOR PLAN
SCALE: 3/32" = 1'-0"

KEY NOTES

- 1 CHAFF BOLT
- 2
- 3

UNIT MIX

PLAN NOTES

- A. DO NOT SCALE DIMS. WRITTEN DIMENSIONS CONTROL. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT. VERIFY ARCHITECT PARTITION PLAN BY ARCHITECT. ARCHITECT'S PRECEDENCE OVER ALL OTHER PLANS.
- B. ALL OFFICE BOARD PARTITIONS SHALL BE TYPED, SPACKLED AND SMOOTHED WITH NO VISIBLE JANTS. FLOOR AND CEILING SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- C. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF ONE TO FINISH FACE OF ONE UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "TOTAL" OR "GROSS" SHALL BE MARKED AND SHALL ALLOW FOR TOLERANCES OF ALL WALL FINISHES. U.S.G.
- D. DIMENSIONS MARKED "M" MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION. U.S.G. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.
- E. VERIFY ARCHITECT'S MEASUREMENTS OF ANY OVERLAP/DOORS OR CORNERS IN THE LOCATIONS OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, VERIFY ARCHITECT, VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
- F. REFER TO SHEET A2.1 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
- G. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB, U.S.G.
- H. "ALOK" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
- I. WOOLY DUSTING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS. THIS PREVENTING UNDESIRABLE LUMPS OR DEPRESSIONS.
- J. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- K. REFER TO MILLWORK SHOP DIMS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DIFFERENT MILLWORK CONDITIONS.
- L. ALL EXISTING AND NEW FLOOR PENETRATIONS FOR PILING SHALL BE FULLY FACED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
- M. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOTTING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL COMBUSTIBLE LUMBER IS BURNING TO BE REPEATED.
- N. GC TO PROVIDE SHOP DIMS FOR CASEWORK.

WALL LEGEND

SHADED WALLS INDICATE NEW WORK.

- 1 PARTITION WALLS PER PLAN: W/ STUDS (25 GA) AT 16" O.C. WITH 3/8" CWB EACH SIDE.
- 2 DOOR. REFER TO KEYS ON PLAN AND SEE DOOR SCHEDULE, SHEET A2.3. DOORS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL FINISH.
- 3 GLAZING REFER TO WINDOW SCHEDULE AND SHEET A2.10 FOR LOCATIONS.
- 4 FIRE EXTINGUISHER

LEGEND NOTES:

1. PROVIDE WATER RESISTANT CWB IN ALL WET AREAS, AND BLOCKING BOARD ALL FINISHES.
2. FURNITURE SHOWN ON PLAN IS FOR REFERENCE PURPOSES ONLY AND IS NOT IN CONTRACT. U.S.G.



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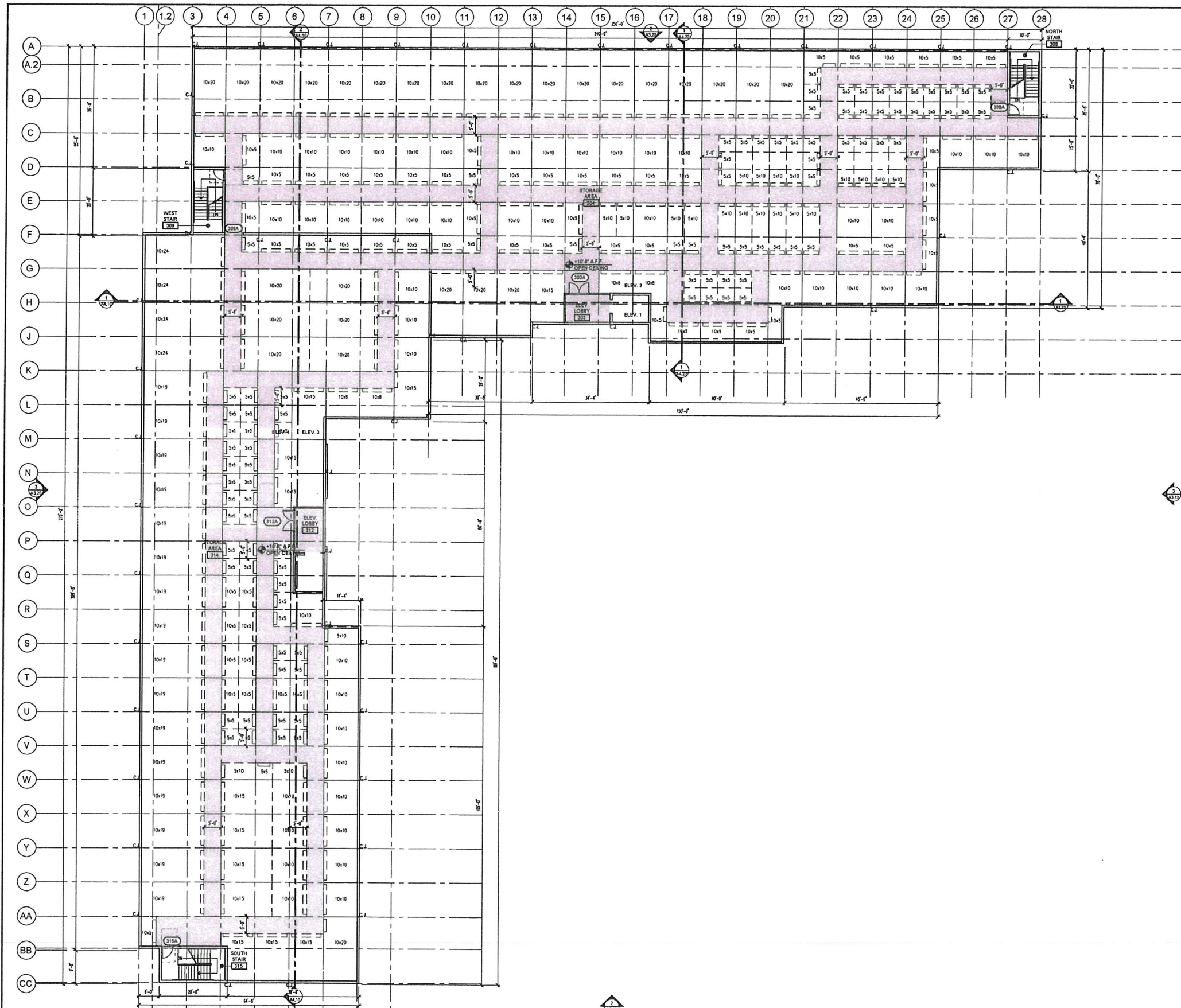
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SCALE: AS NOTED
PLOT DATE: 2018-06-05
CAD FILE: 18-057_A2.1-A24
JOB NUMBER: 18-057
CHECKED:
DRAWN: JJ
STATUS: DISCRETIONARY DIMS

LEVEL 2 FLOOR PLAN
A2.30
SHEET



LEVEL 3 FLOOR PLAN
SCALE: 3/32" = 1'-0"

KEY NOTES

UNIT MIX

PLAN NOTES

- A. DO NOT SCALE DIMS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT HENRY ARCHITECT PARTITION PLAN TAKES PRECEDENCE OVER ALL OTHER PLANS.
- B. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPE, SPOKED AND Sanded SMOOTH WITH NO JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ADDED.
- C. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF ONE TO FINISH FACE OF ONE UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "TYP" SHALL BE MAINTAINED AND SHALL ALLOW FOR TOLERANCES OF ALL FULL PROFILES. U.S.A.
- D. DIMENSIONS MARKED "L" MEAN A TOLERANCE NOT GREATER THAN 3/16" FROM INDICATED DIMENSION. U.S.A. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT BEFORE ARCHITECT'S APPROVAL.
- E. HENRY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION FROM COMPLETION OF PARTITION LAYOUT, HENRY ARCHITECT NOTIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
- F. REFER TO SHEET A2.1 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
- G. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB, U.S.A.
- H. "ALDY" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
- I. WOOLY DRESSING SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS, THIS PREVENTING UNDESIRABLE LUMPS OR DEPRESSIONS.
- J. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
- K. REFER TO MILLWORK SHOP DIMS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DRYWALL/MILLWORK CONDITIONS.
- L. ALL CEILING AND NEW FLOOR PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
- M. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOTTING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL CONCEALED LUMBER IS BLOTTING TO BE FIRE TREATED.
- N. CC TO PROVIDE SHOP DIMS FOR CASEWORK.

WALL LEGEND

SHADED WALLS INDICATE NEW WORK.

- (1) PARTITION WALLS PER PLAN: 1/2" STUDS (25 GA) AT 18" O.C. WITH 3/8" CWB EACH SIDE.
- (100A) DOOR: REFER TO KEYS ON PLAN AND SEE DOOR SCHEDULE, SHEET A2.10. DOORS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED A MIN. 4" FROM ADJACENT PERPENDICULAR WALL FINISH.
- (A) GLAZING REFER TO WINDOW SCHEDULE AND SHEET A2.10 FOR LOCATIONS.
- (FE) FIRE EXTINGUISHER

LEGEND NOTES:

1. PROVIDE WATER RESISTANT CWB IN ALL NET AREAS, AND BLOTTING BEHIND ALL FINISHES.
2. FURNITURE SHOWN ON PLAN IS FOR REFERENCE PURPOSES, ONLY AND IS NOT IN CONTRACT, U.S.A.



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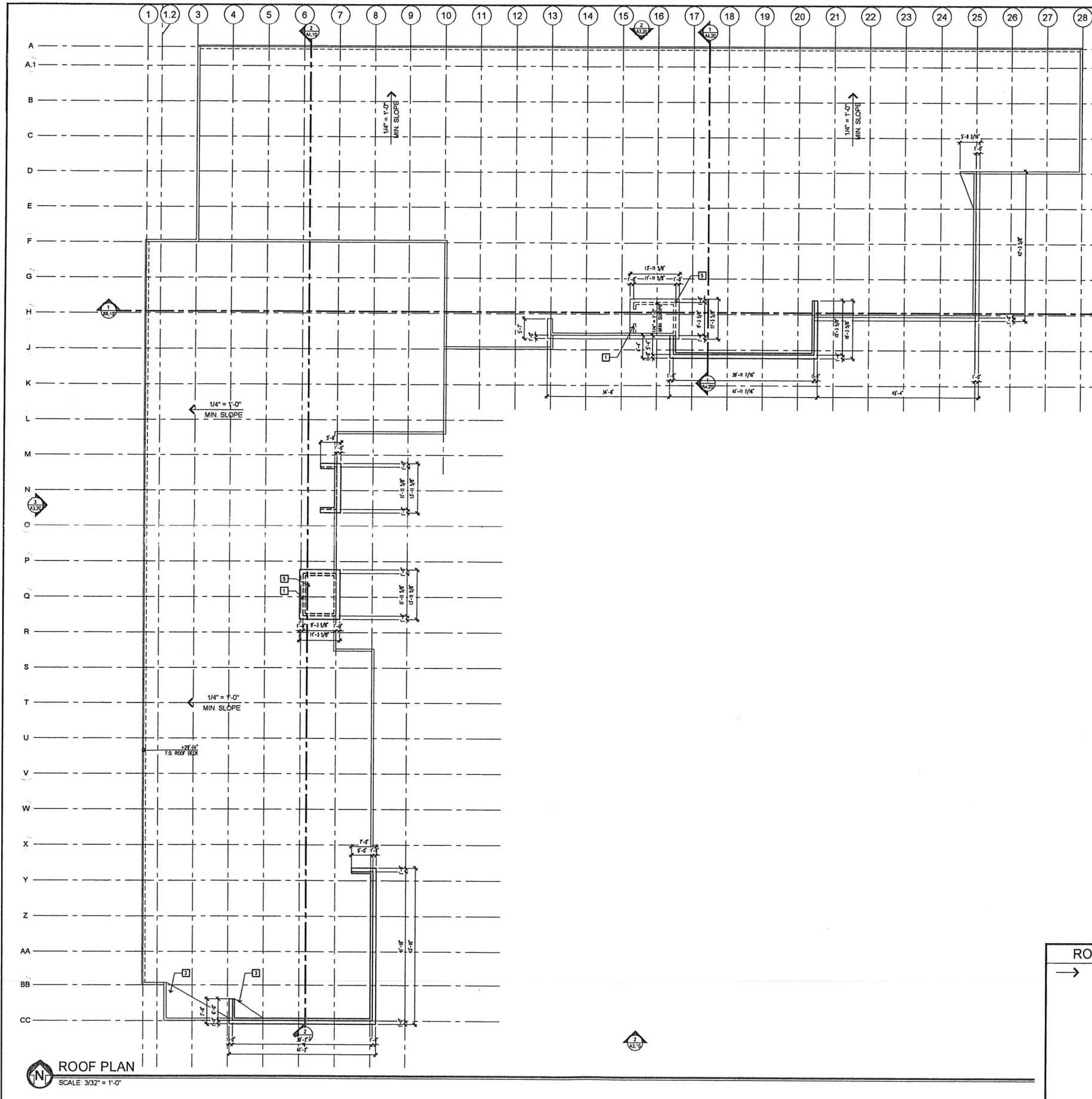
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DRAWN:	JJ
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LEVEL 3 FLOOR PLAN
A2.40
 SHEET



KEY NOTES

- 1 WALL LINE BELOW
 - 2 OUTER & DOWNPOUT. SEE DETAIL 1/18.11
 - 3 CHOCLET FORMED WITH TAPERED ROOF INSULATION
 - 4 SINGLE PLY ROOFING. SEE SPEC. BELOW
 - 5 STANDING SEAM METAL ROOF.
- *NOTE: NO ROOFTOP MECHANICAL UNITS WILL BE VISIBLE AND THEREFORE WILL NOT REQUIRE SCREENING.

ROOF PLAN NOTES

- A. SEE ROOF FRAMING PLAN (STRUCTURAL) FOR PLYWOOD AND FRAMING INFORMATION.
- B. REFER TO MECH. DIMS. FOR LOCATION OF ALL HVAC UNITS AND MECHANICAL REQUIREMENTS AND SPECIFICATIONS. SEE STRUCTURAL DIMS. FOR THE FRAMING REQUIREMENTS AT OPENINGS FOR THE CURS.
- C. REFER TO PLUMBING DIMS. AND DETAIL FOR PIPE ROOF PENETRATIONS.
- D. GENERAL CONTRACTOR SHALL COORDINATE WITH THE DIFFERENT TRADES FOR INSTALLATION OF ROOF PENETRATIONS PRIOR TO INSTALLATION OF ROOF MEMBRANE.
- E. GENERAL CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO ASSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS, STORM DRAIN SYSTEMS, BUILDING SANITARY AND SITE SEWER SYSTEMS ARE COMPLETED.
- F. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ON ROOF TO ALL ROOF DRAINS.
- G. ROOF INSULATION ATTACHMENT ON ROOF TO RESIST WIND UPLIFT FORCES GREATER THAN 110 KPA.

GENERAL NOTES

- 1. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PLATFORMS AND BASES, POWER, WATER AND DRAIN LOCATIONS AND INSTALLATION REQUIREMENTS WITH EQUIPMENT MANUFACTURERS PRIOR TO PROCEEDING WITH WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO OWNER.
- 2. MECHANICAL AND PLUMBING EQUIPMENT PLATFORM DIMENSIONS SHALL BE A MINIMUM OF 8 INCHES ABOVE ADJACENT ROOF ELEVATION.
- 3. VENTS THROUGH THE ROOF SHALL BE INSTALLED 10'-0" FROM AND TERMINATED 3'-0" ABOVE ANY FRESH AIR INTAKES.
- 4. LEAD FLASHING TO BE USED AT ALL ROOF DRAIN AND OVERFLOW PENETRATIONS.
- 5. SEE PLUMBING DRAWINGS FOR ALL ROOF DRAIN SIZES.
- 6. ALL ROOF SURFACES SHALL SLOPE AT A MINIMUM OF 1/4" INCH PER FOOT IN ALL DIRECTIONS. CROCKETS SHALL BE USED ON THE HIGH SIDE OF ALL SKYLIGHTS, ROOF HATCH AND EQUIPMENT PLATFORMS.
- 7. SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING.
- 8. SEE MECHANICAL DRAWINGS FOR HVAC EQUIPMENT, SHAFT, AND PENETRATION LOCATIONS.
- 9. ORIENT SKYLIGHT / SMOKE HATCH HINGES TOWARD THE PREVAILING WIND WHERE OCCURS.
- 10. ALL INDIRECT WASTE PIPING ON ROOF SHALL BE TYPE "L" COPPER ATTACHED BY PIPE STRAPS WELDED TO 3" x 4" REDWOOD BLOCKING. BLOCKING SHALL BE SET IN MASTIC AT 5'-0" O.C. PIPING SHALL BE SLOPED AND TERMINATE IN AN APPROVED RECEPTOR. PIPING TO BE INSTALLED PARALLEL AND PERPENDICULAR TO BUILDING ELEVATIONS.
- 11. ALL ROOFING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH LOCAL CITY PERMIT AND DESIGN REQUIREMENTS.
- 12. REFER TO STRUCTURAL DRAWINGS TO CONFIRM ROOF ELEVATIONS.
- 13. ALL ROOF ELEVATIONS INDICATE TOP OF STRUCTURAL ROOF DECK FROM FINISHED FLOOR, DATUM ELEVATION 0'-0". (FLOOR SLOPES) SEE STRUCTURAL DRAWINGS.
- 14. ROOFING IS CLASS A - FIRE RETARDANT RATING AS MANUFACTURE BY CM, MANVILLE OR EQUAL.
- 15. OVERFLOW SCUPPERS SHALL BE 3 TIMES THE AREA OF THE ROOF DRAIN INLET LOCATED 3' ABOVE THE LOW POINT OF THE ADJACENT FINISHED ROOF PER CBC SEC.1006.3.
- 16. LEAD FLASHING TO BE USED AT ALL ROOF VENT PENETRATIONS.

SINGLE PLY ROOFING SPEC.

APPLICABLE STANDARDS

UL LISTED, FM APPROVED, ASTM D6676, TYPE 24 COMPLIANT, MEAN-GRADE COUNTY APPROVED, FLORIDA BUILDING CODE APPROVED, ENERGY STAR® QUALIFIED.

PHYSICAL PROPERTIES ASTM TEST METHOD ASTM D6676 MINIMUM EXTENSIBLE EXTENSION

TYPICAL TEST DATA

1. CERTAIN DATA IS PROVIDED IN NO (MACHINE DIRECTION) x CMO (CROSS MACHINE DIRECTION) FORMAT.

2. DATA IS BASED UPON TYPICAL PRODUCT PERFORMANCE, AND IS SUBJECT TO NORMAL MANUFACTURING TOLERANCE AND VARIANCE.

NOMINAL THICKNESS: ASTM D751 0.031" (0.79) (0.18 AND 0.020" (1.31 MM) BREAKING STRENGTH: ASTM D751 GRAB METHOD 230 LBF/IN (26.5 KN/M) 305 LBF X 290 LBF (154 X 132.1 KG/M)

FACTORY SEAM STRENGTH: ASTM D751 84 LBF (38.34 KG/M) 150 LBF (23.5 KG/M) (MEMBRANE FAILURE)

ELONGATION AT BREAK: ASTM D751 126 30% HEAT AGING: ASTM D2241 SEE SECTION OF BREAKING STRENGTH AND ELONGATION AT BREAK 100%

TENSILE STRENGTH: ASTM D751 8" x 8" (203 X 203 MM) SAMPLE 55 LBF (24.5 KG/M) TO LBF 1 110 LBF (49.3 X 165.1 KG/M)

PUNCTURE RESISTANCE: FTM 101C METHOD 2021 NOT ESTABLISHED 300 (172 KG)

COLD BRITTLENESS: ASTM D2037 -40°C -40°C PENETRANCE: ASTM E96 NOT ESTABLISHED 0.00 PERMS DIMENSIONAL CHANGE: ASTM D2204 ROOF (TDS), 8 HRS. +/-1% 0.4% WATER ABSORPTION: ASTM D471 @50°F (10°C), 1 WEEK +/-3.0% (TOP COATING ONLY) 0.7%

HYDROSTATIC RESISTANCE: ASTM D751 METHOD D NOT ESTABLISHED 430 PS

ODOR RESISTANCE: ASTM D1149 NO VISIBLE DEGRADATION @ 7 X MAGNIFICATION NO VISIBLE DEGRADATION @ 7 X MAGNIFICATION REFLECTIVITY (WHITE) METAL/ACED: ASTM C1549 N/A @ 0.315/0.72 DENSITY (WHITE) METAL/ACED: ASTM G1311 N/A 0.84/0.91 WEATHER RESISTANCE: ASTM G155/0478 10,000 KJ/(M² x MM) AT 340 MM 345,000 KJ/(M² x MM) AT 340 MM HEAT AGING: ASTM D2241 (10°C) FOR 32 WEEKS 128 WEEKS THICKNESS ABOVE SCUM: ASTM D7515 MIN 30% OF TOTAL THICKNESS 17.8" (453 MM) (NORMAL)

WARRANTY - UP TO 25 YEARS

*ENERGY STAR® ONLY VALID IN THE USA

ROOF PLAN LEGEND



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AS NOTED	AS NOTED
PLOT DATE: 2018-08-05	CAO DATE: 16-07-15
JOB NUMBER: 16-057	CHECKED:
DRAWN: JJ	STATUS: DISCRETIONARY DIMS

ROOF PLAN
A2.50
SHEET

ROOF PLAN
SCALE: 3/32" = 1'-0"

MATL. I.D.	DESCRIPTION	COLOR	FINISH
CMU-1	CONCRETE MASONRY UNIT	COLOR MATCH SHERWIN WILLIAMS MEGA GREGE SPT53	PRECAST BLOCK
CMU-2	CONCRETE MASONRY UNIT	COLOR MATCH SHERWIN WILLIAMS MAIN STONE SPT53	PRECAST BLOCK
MP-1	HORIZONTAL REEB- METAL WALL PANEL	COLOR MATCH SHERWIN WILLIAMS GRANITON BROKE SPT53	PREFINISHED
MP-2	METAL PANEL	COLOR MATCH SHERWIN WILLIAMS ANEW GRAY 29 P20	PREFINISHED
MFL-1	METAL FORM	COLOR MATCH SHERWIN WILLIAMS SCEPTIVE 29 6111	PREFINISHED
MFL-2	PRE-FABRICATED METAL CANOPY WITH RE-BACK ROOF	COLOR MATCH SHERWIN WILLIAMS SCEPTIVE 29 6111	PREFINISHED
LT-1	COVERECK LAMP DOWN LIGHTING	T.B.D.	T.B.D.
LT-2	SCENE LIGHTING	T.B.D.	T.B.D.
SF-1	ALUMINUM STOREFRONT FRAMES	CLEAR ANODIZED	AMENOR ALUMINUM NO. 14

NOTE: LIGHTS SHALL BE SHIELDS TO PREVENT LIGHT SPILLAGE ONTO ADJACENT PROPERTIES.

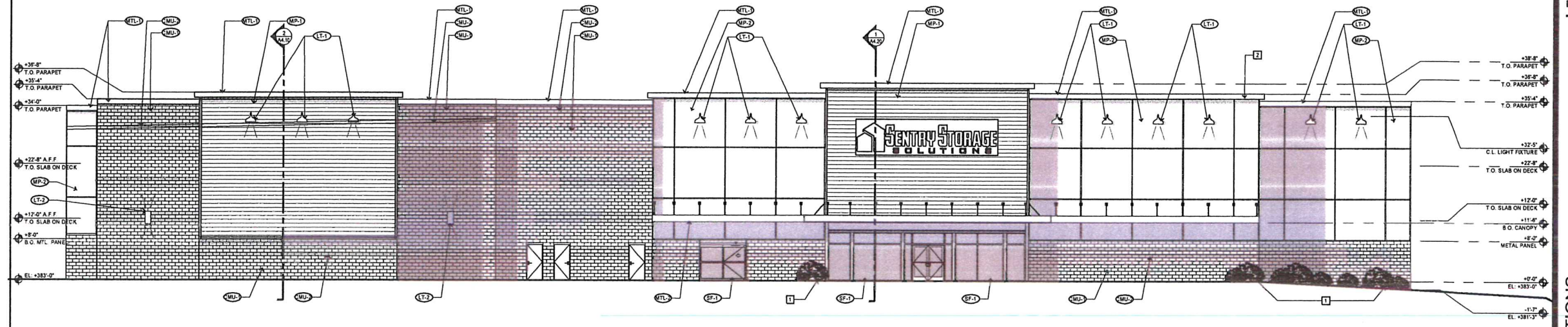
KEY NOTES

- LANDSCAPING PER LANDSCAPING DRAWINGS.
- READING ADDRESS NUMBERS TO BE MOBILE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PUPS POLICY P-20-4 (SFC 901.4).

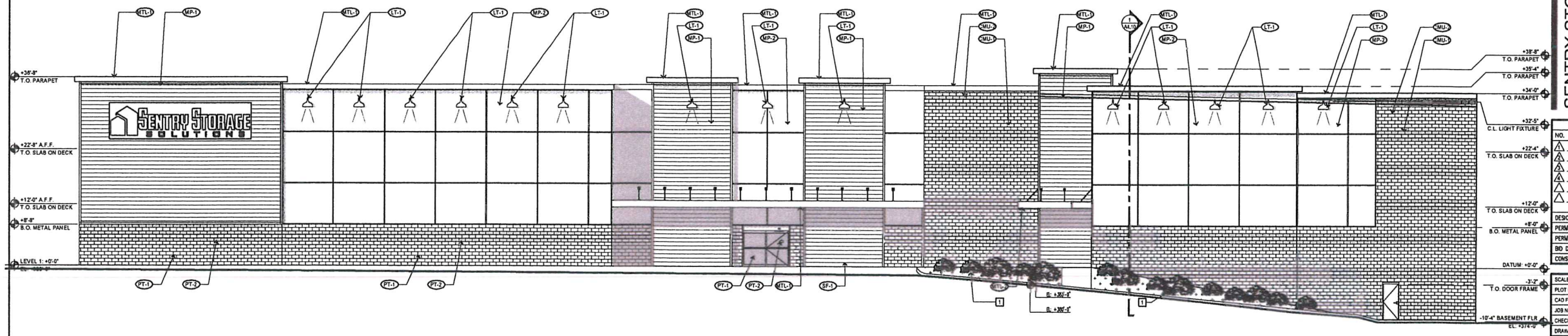


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1 EXTERIOR FINISH SCHEDULE
 SCALE: NONE



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

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PLLOT DATE:	2018-08-05
CAO FILE	18-057_A31
JOB NUMBER	18-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DWGS

SOUTH & EAST ELEVATIONS
A3.10
 SHEET

MAT'L I.D.	DESCRIPTION	COLOR	FINISH
CMU-1	CONCRETE MASONRY UNIT	COLOR MATCH SHERWIN WILLIAMS MESA GREY BRICK	PRESSED BLOCK
CMU-2	CONCRETE MASONRY UNIT	COLOR MATCH SHERWIN WILLIAMS MESA GREY BRICK	PRESSED BLOCK
MP-1	HORIZONTAL RIBBED - METAL WALL PANEL	COLOR MATCH SHERWIN WILLIAMS BRANFORD BRICK	PREFINISHED
MP-2	METAL PANEL	COLOR MATCH SHERWIN WILLIAMS ANEX GRAY SW 7033	PREFINISHED
MFL-1	METAL TRIM	COLOR MATCH SHERWIN WILLIAMS DEBTSHIRE SW 8741	PREFINISHED
MFL-2	PRE-FABRICATED METAL CANOPY WITH RE-BACK ROOF	COLOR MATCH SHERWIN WILLIAMS DEBTSHIRE SW 8741	PREFINISHED
LT-1	COOPERKAMP LAMP DOWN LIGHTING	F.S.D.	F.S.D.
LT-2	SCORCE LIGHTING	F.S.D.	F.S.D.
SF-1	ALUMINUM STOREFRONT FRAMES	CLEAR ANODIZED	KAMENSKI ALUMINUM NO. 14

NOTE: LIGHTS SHALL BE SHIELDED TO PREVENT LIGHT SPILLAGE DUE TO ADJACENT PROPERTIES.

KEY NOTES

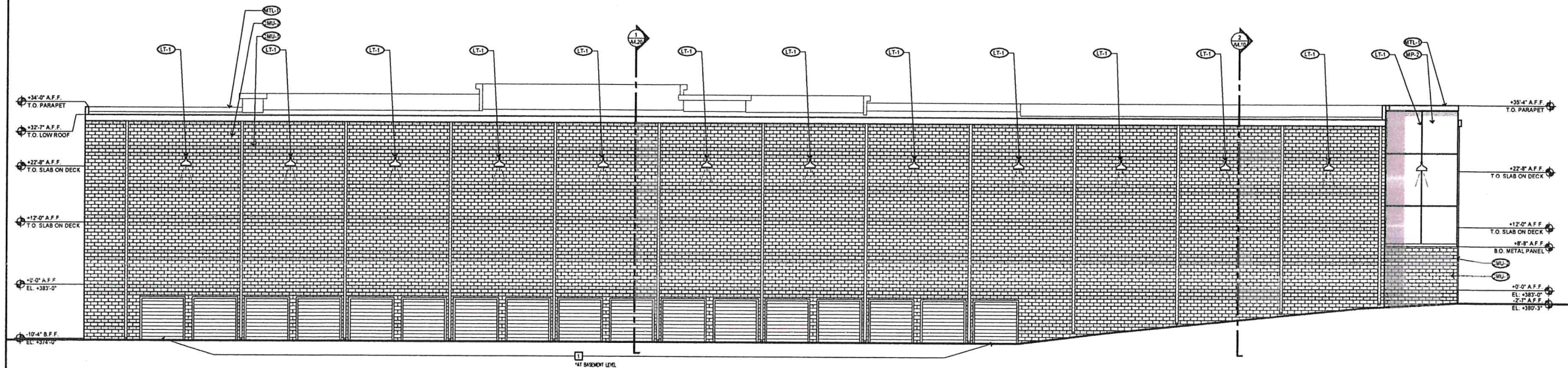
1 8'-0" x 8'-0" ROLL UP STORAGE DOORS TO THE EXTERIOR.

2 HOLD METAL WARE DOOR TO STAIRCASE.

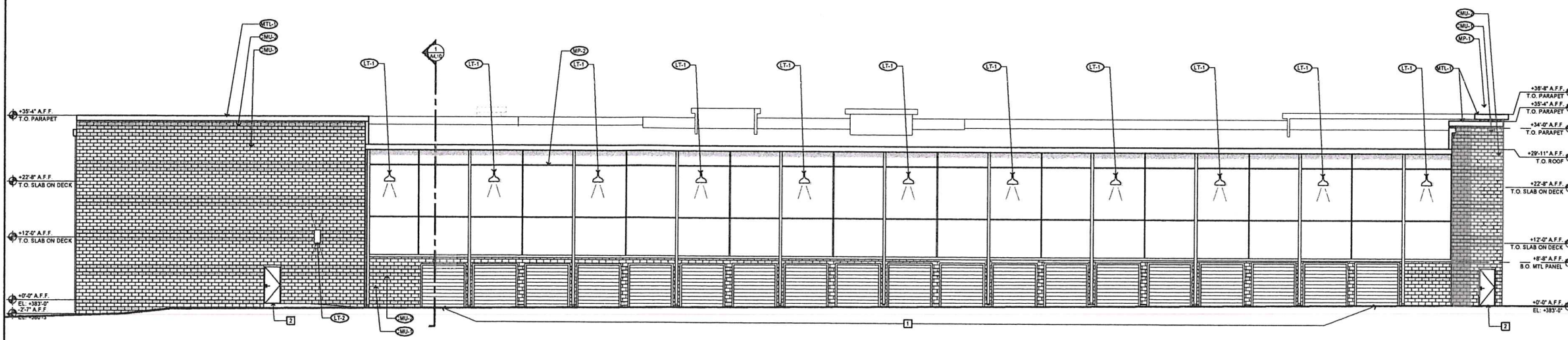


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1 EXTERIOR FINISH SCHEDULE
SCALE: NONE



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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SENTRY STORAGE SOLUTIONS
SAN DIEGO, CA
DEVELOPMENT / EXIST BUILDING NAME
8440 EASTGATE CT
SAN DIEGO, CA 92121

REVISIONS		
NO.	DATE	BY
1	08.28.17	OTY
2	10.23.17	OTY
3	04.24.18	OTY
4	05.24.18	OTY

ISSUE DATES	
DESIGN SUBMITTAL:	05.25.17
PERMIT REVIEW:	
S.D. DOCS:	
CONTR. DOCS:	

SCALE:	AS NOTED
PLOT DATE:	2018-08-05
CAD FILE:	18-057_A31
JOB NUMBER:	18-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DWGS

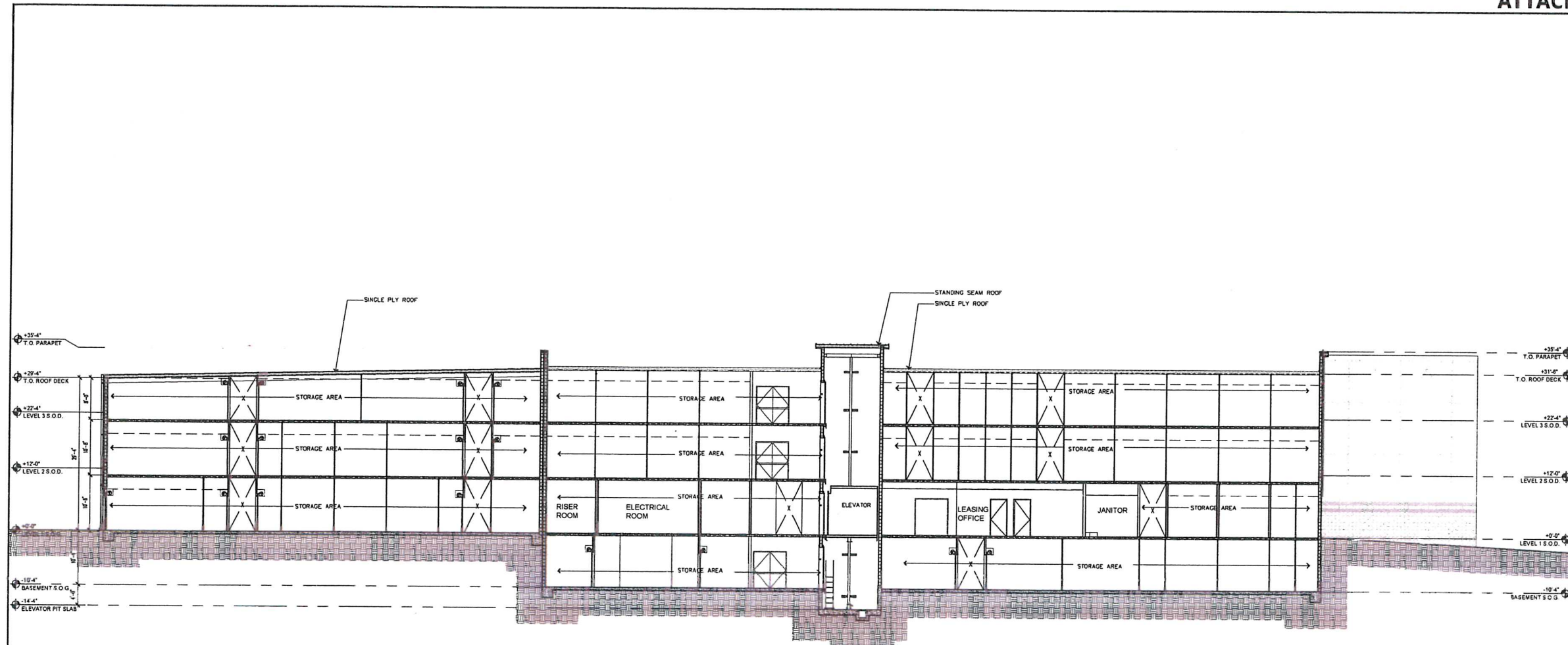
NORTH & WEST ELEVATIONS
A3.20
SHEET



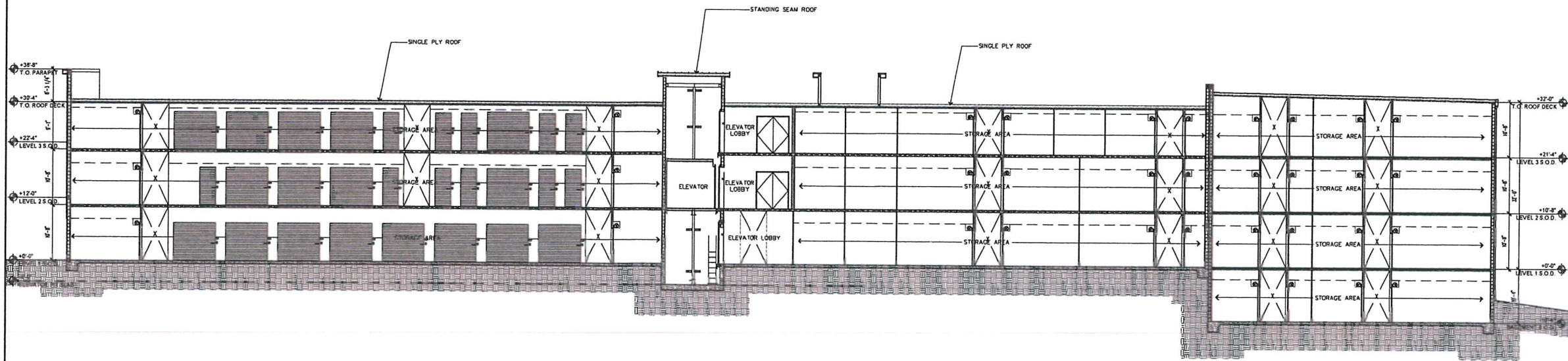
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SENTRY STORAGE SOLUTIONS
 SAN DIEGO, CA
 DEVELOPMENT: EAST BUILDING NAME
 SAN DIEGO, CA 92121



1 BUILDING SECTION
 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
 SCALE: 1/8" = 1'-0"

REVISIONS		
NO.	DATE	BY
▲	08.29.17	QTY
▲	10.23.17	QTY
▲	04.24.18	QTY
▲	05.24.18	QTY

ISSUE DATES	
DESIGN SUBMITTAL:	05.26.17
PERMIT SUBMITTAL:	
PERMIT RECEIVED:	
BID DOCS:	
CONSTR. DOCS:	

SCALE:	AS NOTED
PLOT DATE:	2018-08-06
CAD FILE:	16-057_A41-A42
JOB NUMBER:	16-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DWGS

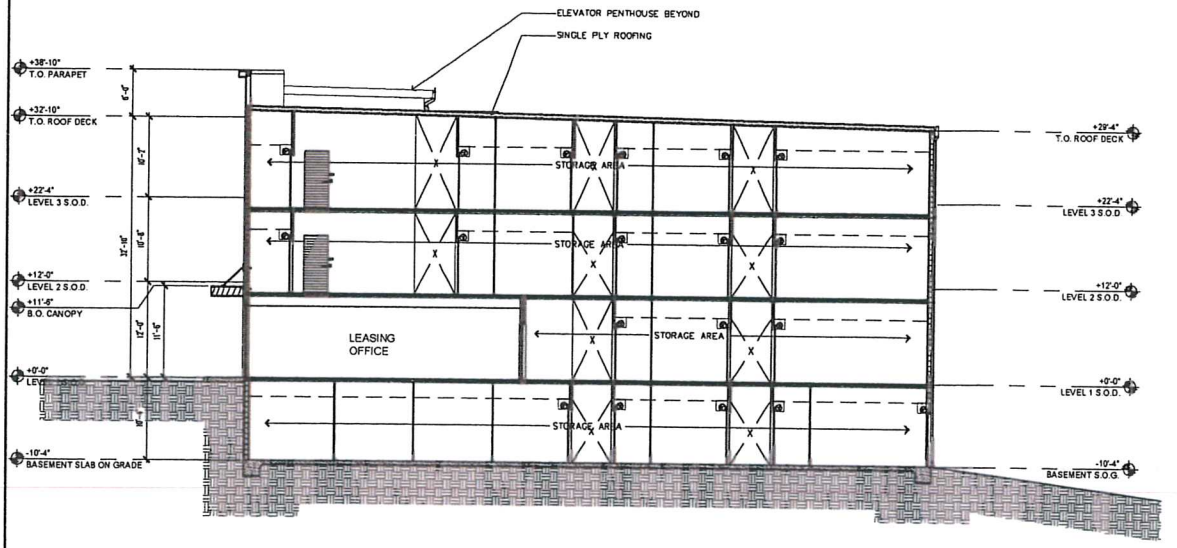
BUILDING SECTIONS
A4.10
 SHEET



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SENTRY STORAGE SOLUTIONS
 SAN DIEGO, CA
 DEVELOPMENT / LEASING NAME
 8440 EASTGATE, CT
 SAN DIEGO, CA 92121



1 BUILDING SECTION
 SCALE: 1/8" = 1'-0"

REVISIONS		
NO.	DATE	BY
1	08.28.17	QTY
2	10.23.17	QTY
3	04.24.18	QTY
4	05.24.18	QTY

ISSUE DATES	
DESIGN SUBMITTAL:	05.28.17
PERMIT SUBMITTAL:	
PERMIT RECEIVED:	
BD DOCS:	
CONTR. DOCS:	

SCALE:	AS NOTED
PLOT DATE:	2018-08-15
CAD FILE:	18-097_A41-A42
JOB NUMBER:	18-057
CHECKED:	
DRAWN:	JJ
STATUS:	DISCRETIONARY DMCS

BUILDING SECTIONS
A4.20
 SHEET