

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
Online Virtual Meeting**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items): PTS-0704168

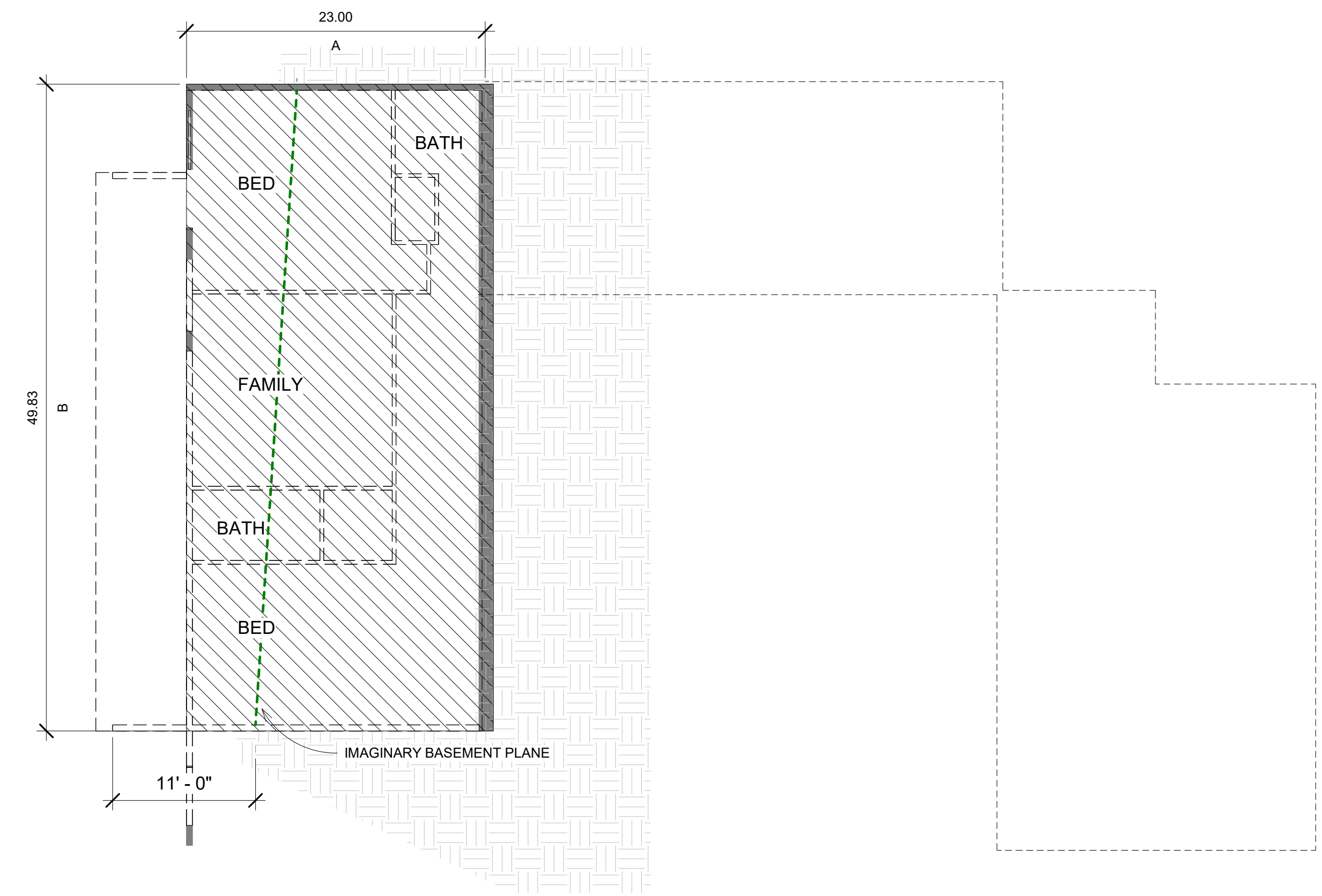
- Address and APN(s): 2421 Whale Watch Way; APN: 346-690-23

- Project contact name, phone, e-mail: Aaron Borja; Aaronb@architectslocal.com; 619.333.4885

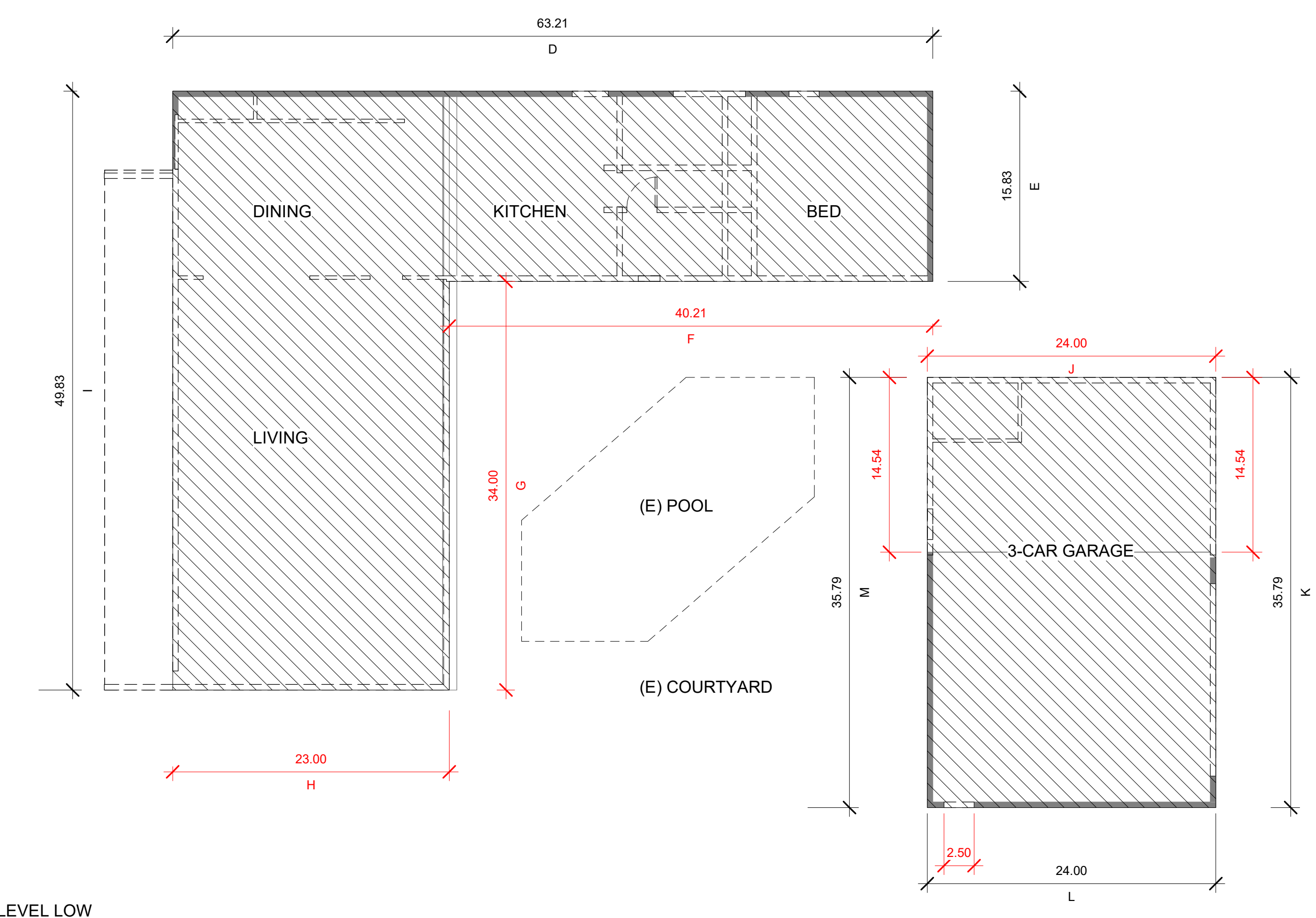
- Project description: REMODEL AND ADDITION OF AN EXISTING 3-STORY WITH BASEMENT, 3,834 SF SINGLE FAMILY HOME INTO A 3-STORY WITH BASEMENT 8,195 SF SINGLE FAMILY HOME

- In addition to the project description, please provide the following:
 - lot size: 19,962 SF
 - existing structure square footage and FAR (if applicable): 3834 SF; .21 FAR
 - proposed square footage and FAR: 8195 SF; .47 FAR
 - existing setbacks on all sides: SIDE 1: 10' & 13' FRONT: 129' REAR: 20'
 - proposed setbacks on all sides: SIDE 1: 5' & 7.5' FRONT: 129' REAR: 5'
 - height if greater than 1-story (above ground): 29'

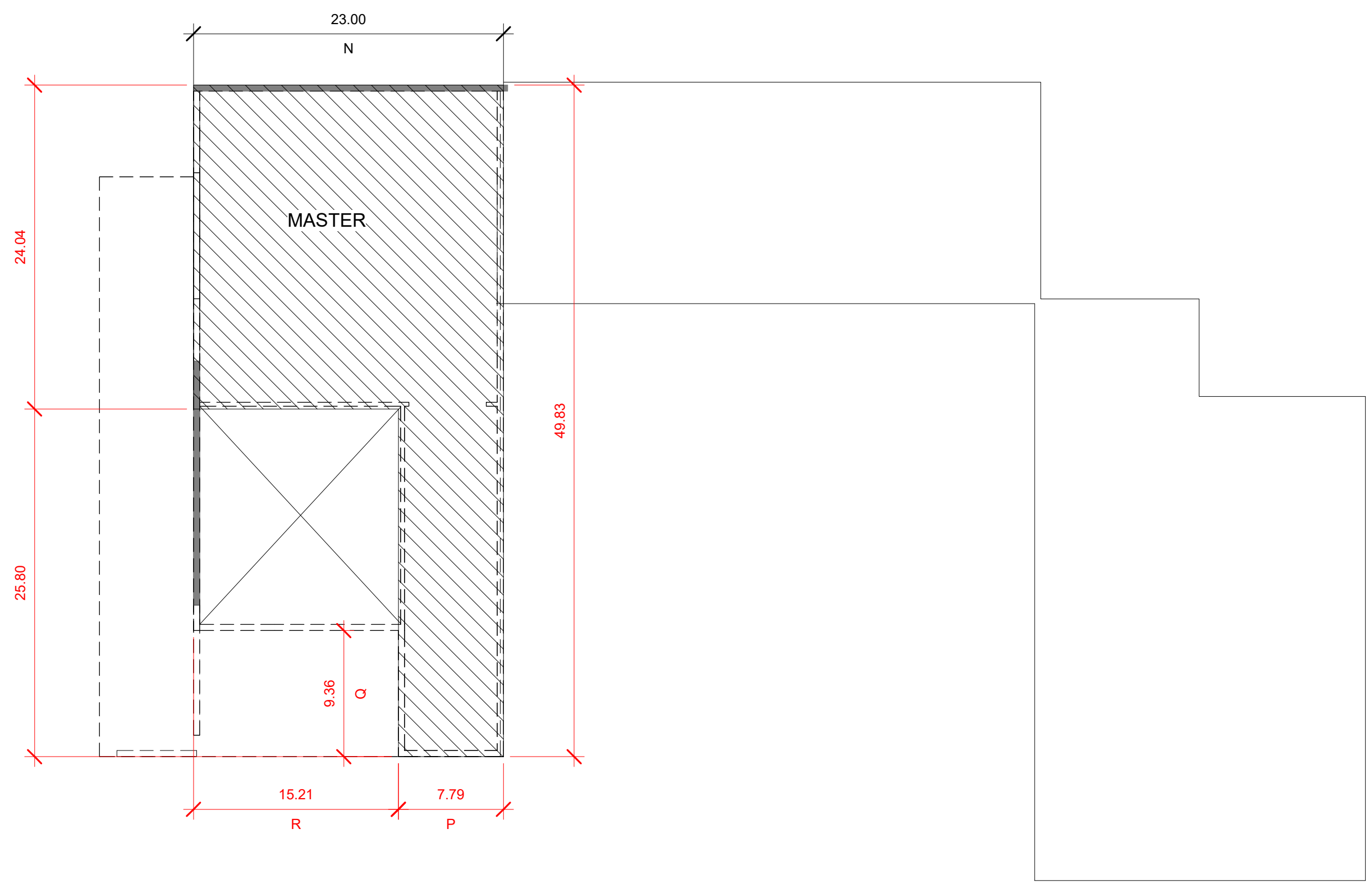
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (community character, aesthetics, design features, etc.): GENERAL DESIGN AND AESTHETIC APPROVAL



2 (E) LOWER LEVEL
1/8" = 1'-0"



1 (E) ENTRY LEVEL LOW
1/8" = 1'-0"



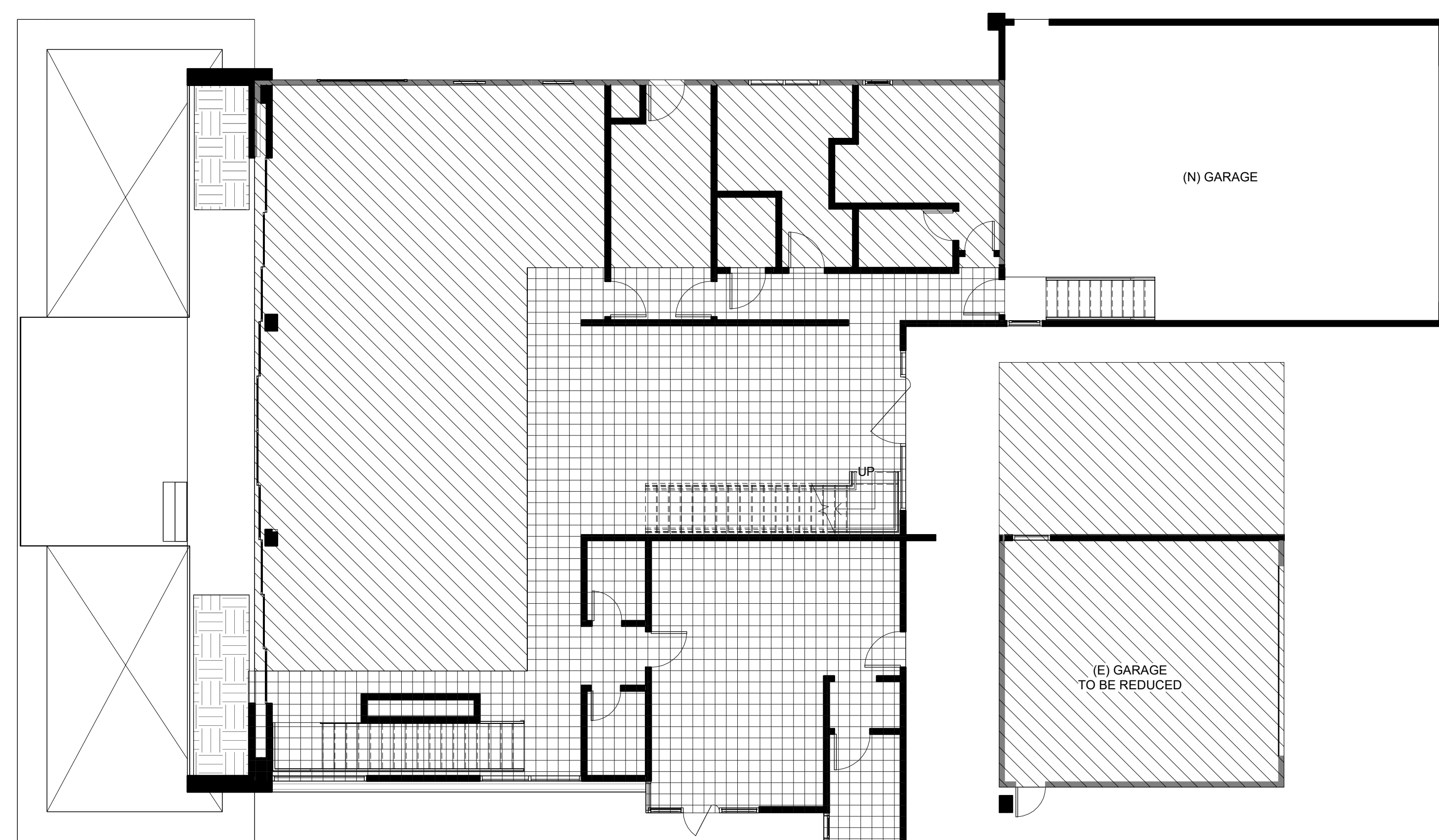
3 (E) UPPER LEVEL
1/8" = 1'-0"



LEGEND

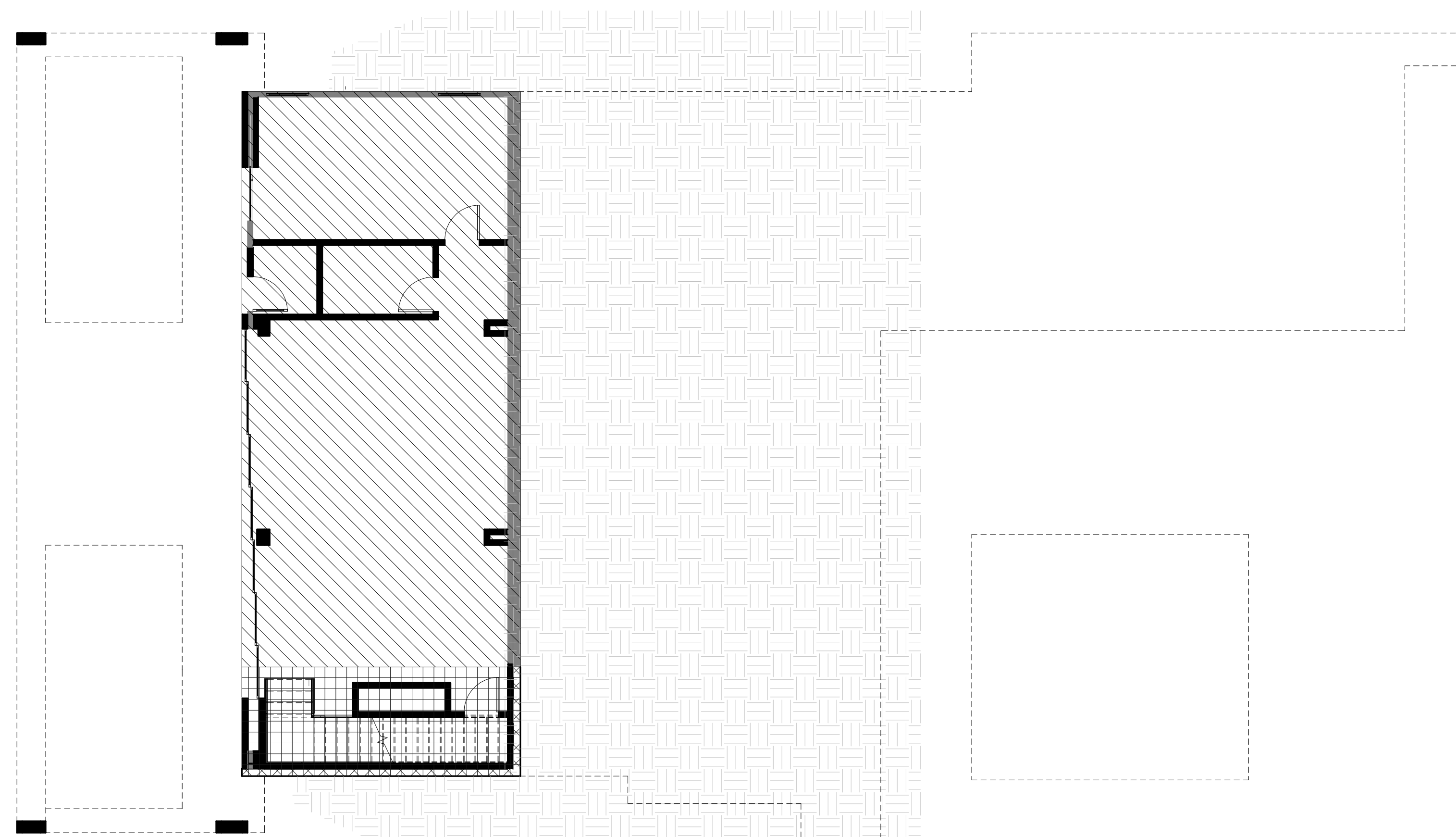
EXISTING FLOOR AREA

PROPOSED FLOOR AREA



① (E&N) ENTRY LEVEL LOW
1/8" = 1'-0"

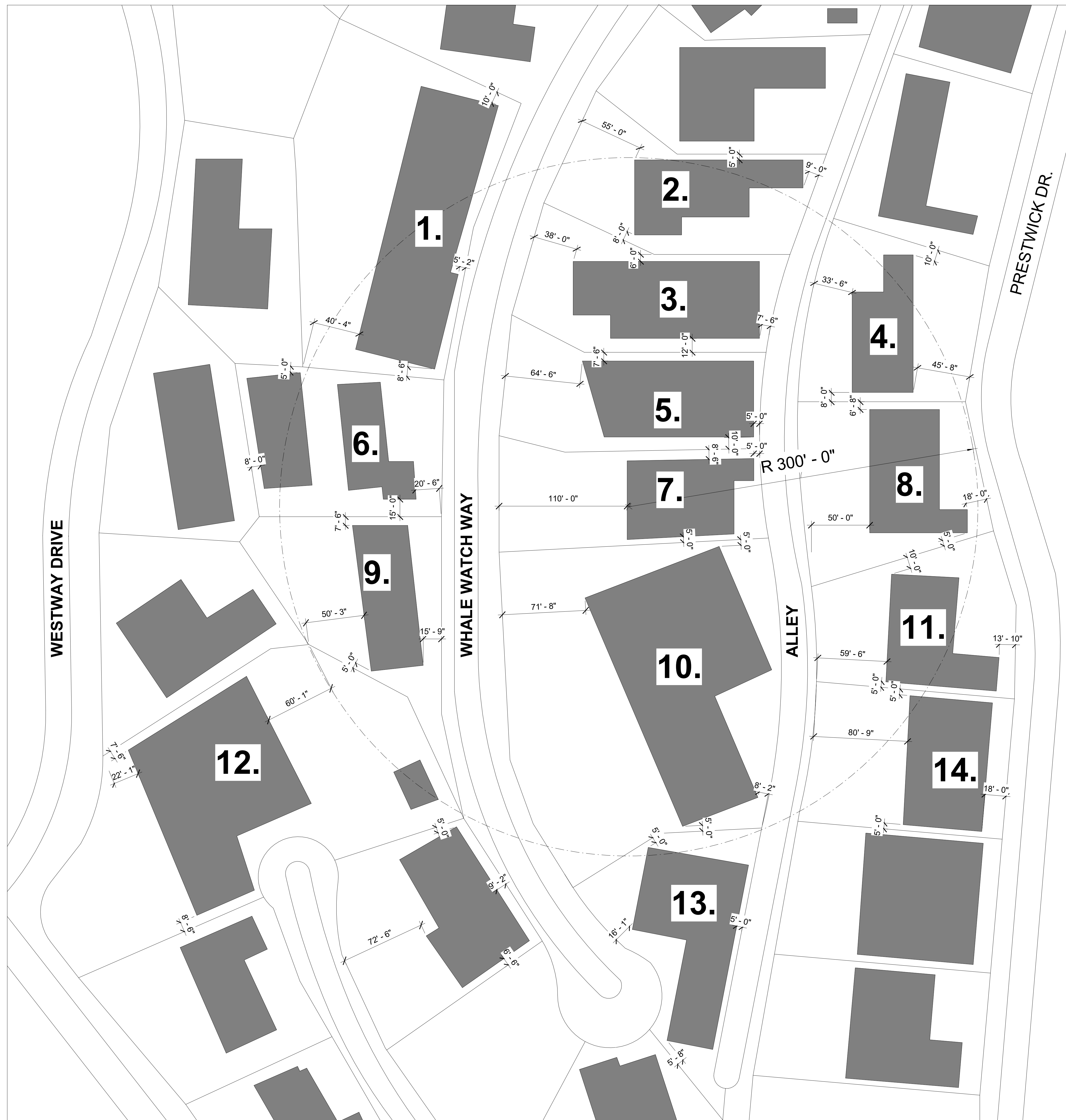
TOTAL (E) BUILDING SF:	3,834 SF
(E) LOWER LEVEL:	1180 SF
(E) ENTRY LEVEL SF:	1840 SF
(E) SECOND LEVEL SF:	814 SF
(E) BASEMENT:	810 SF
(EXCLUDED FROM FAR)	
(E) GARAGE:	860
(E) PHANTOM FLOOR:	392
(EXCLUDED FROM HABITABLE SF)	
(N) BUILDING SF ADDITION:	4,361 SF
(N) LOWER LEVEL SF:	230 SF
(N) ENTRY LEVEL SF ADDITION:	1675 SF
(N) SECOND LEVEL ADDITION:	2456 SF
(N) BASEMENT:	175 SF
(EXCLUDED FROM FAR)	
(N) GARAGE:	610 SF
(N) PHANTOM FLOOR:	363 SF
(EXCLUDED FROM HABITABLE SF)	
(P) TOTAL BUILDING SF:	8,195 SF
(P) LOWER LEVEL SF:	1410 SF
(P) ENTRY LEVEL SF:	3515 SF
(P) SECOND LEVEL SF:	3270 SF
(P) TOTAL BASEMENT:	1008 SF
(EXCLUDED FROM FAR)	
(P) TOTAL GARAGE:	1470 SF
(P) TOTAL PHANTOM FLOOR:	755 SF
(EXCLUDED FROM HABITABLE SF)	
(E) TOTAL FAR:	4,276 SF
(P) TOTAL FAR:	9,412 SF



② (E) LOWER LEVEL
1/8" = 1'-0"



③ (E&N) UPPER LEVEL
1/8" = 1'-0"



SQUARE FOOTAGE

ADDRESS	APN	HOUSE SIZE	LOT SF	HABITABLE FAR
1. 8440 WHALE WATCH WAY	346-690-12-00	14,038 SF	41,727 SF	.33
2. 8451 WHALE WATCH WAY	346-690-26-00	3,505 SF	20,178 SF	.17
3. 8441 WHALE WATCH WAY	346-690-25-00	8,121 SF	19,881 SF	.41
4. 8444 PRESTWICK DRIVE	346-152-03-00	3,255 SF	19,923 SF	.16
5. 8431 WHALE WATCH WAY	346-690-24-00	9,270 SF	19,568 SF	.47
6. 8430 WHALE WATCH WAY	346-690-14-00	4,533 SF	20,572 SF	.22
7. 8421 WHALE WATCH WAY	346-690-23-00	8,195 SF	19,962 SF	.41
8. 8442 PRESTWICK DRIVE	346-152-04-00	5,358 SF	19,910 SF	.27
9. 8420 WHALE WATCH WAY	346-690-15-00	7,767 SF	20,237 SF	.38
10. 8411 WHALE WATCH WAY	346-690-29-00	10,242 SF	60,548 SF	.17
11. 8404 PRESTWICK DRIVE	346-152-05-00	3,090 SF	19,280 SF	.16
12. 2430 CALLE DEL ORO	346-202-09-00	6,614 SF	54,450 SF	.12
13. 8391 WHALE WATCH WAY	346-690-19-00	10,784 SF	20,075 SF	.54
14. 8390 PRESTWICK DRIVE	346-152-06-00	4,824 SF	20,047 SF	.24











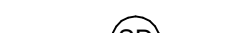


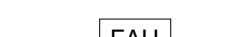




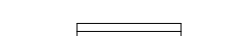

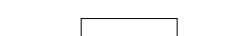
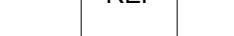
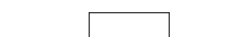
SETBACKS

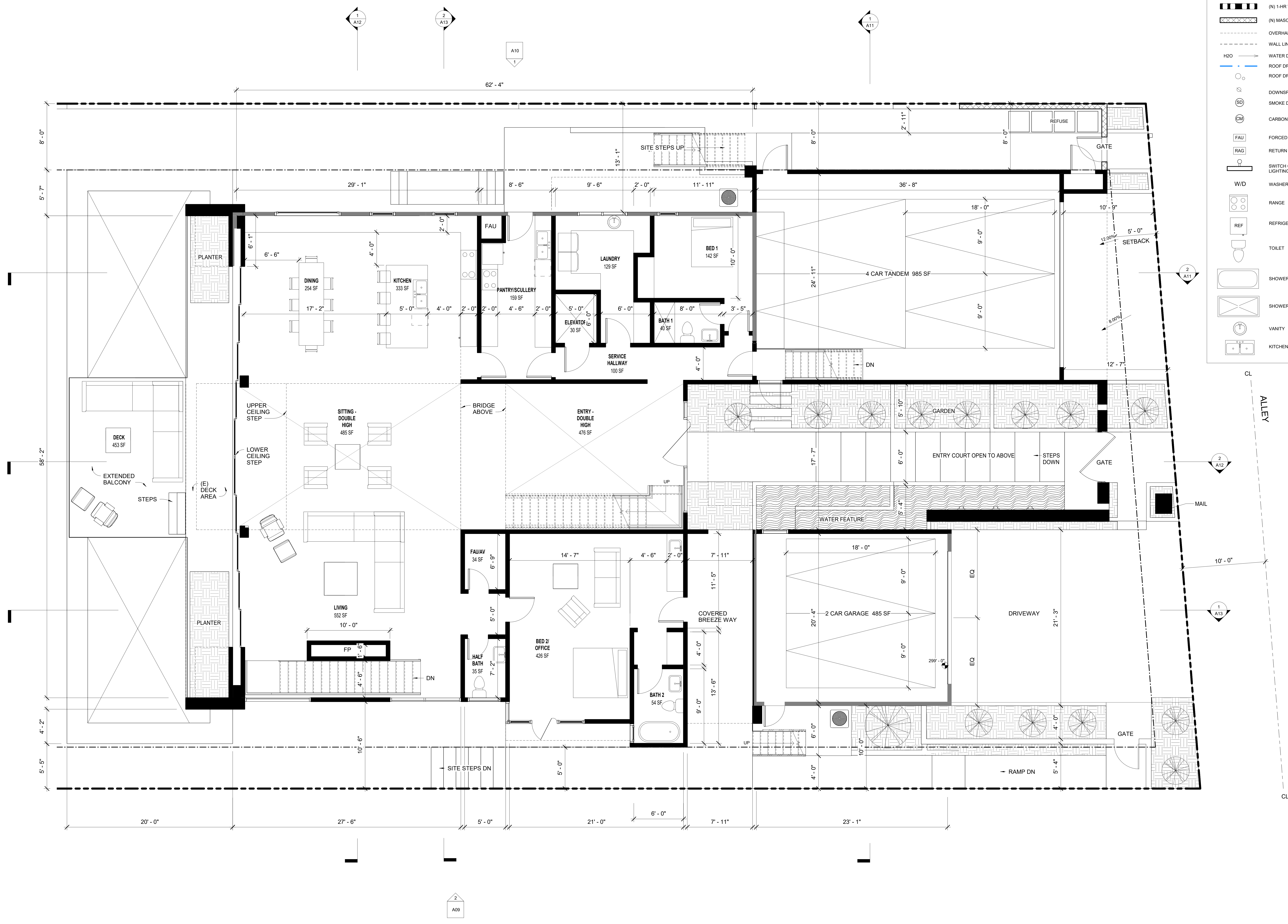
ADDRESS	FRONT	REAR	SIDE (SHORT)	SIDE (LONG)
1. 8440 WHALE WATCH WAY	5' - 2"	40' - 4"	8' - 6"	10' - 0"
2. 8451 WHALE WATCH WAY	55' - 0"	9' - 0"	5' - 0"	8' - 0"
3. 8441 WHALE WATCH WAY	38' - 0"	7' - 6"	6' - 0"	12' - 0"
4. 8444 PRESTWICK DRIVE	33' - 6"	45' - 8"	8' - 0"	10' - 0"
5. 8431 WHALE WATCH WAY	64' - 6"	5' - 0"	7' - 0"	10' - 0"
6. 8430 WHALE WATCH WAY	20' - 6"	8' - 0"	5' - 0"	15' - 0"
7. 8421 WHALE WATCH WAY	129' - 2"	5' - 0"	5' - 0"	8' - 6"
8. 8442 PRESTWICK DRIVE	50' - 0"	18' - 0"	5' - 0"	6' - 8"
9. 8420 WHALE WATCH WAY	15' - 9"	50' - 3"	5' - 0"	7' - 6"
10. 8411 WHALE WATCH WAY	71' - 8"	8' - 2"	5' - 0"	5' - 0"
11. 8404 PRESTWICK DRIVE	59' - 6"	13' - 10"	5' - 0"	10' - 0"
12. 2430 CALLE DEL ORO	8' - 6"	7' - 6"	22' - 1"	60' - 1"
13. 8391 WHALE WATCH WAY	16' - 1"	5' - 1"	5' - 0"	5' - 8"
14. 8390 PRESTWICK DRIVE	80' - 9"	13' - 10"	5' - 0"	10' - 0"

CONTEXT
1" = 40'-0"

WHALE WATCH WAY

LEGEND

-  (E) WALL
-  (N) WALL
-  (N) 1-HR WALL PER DETAIL
-  (N) MASONRY WALL
-  OVERHANG / WALL LINE BELOW
-  WALL LINE ABOVE
-  WATER DRAINAGE
-  ROOF DRAIN ROUTE
-  ROOF DRAIN & OVERFLOW
-  DOWNSPOUT
-  SMOKE DETECTOR (HARDWIRED)
-  CARBON MONOXIDE ALARM (HARDWIRED)
-  FORCED AIR UNIT
-  RETURN AIR GRILL
-  SWITCH CONTROLLED LIGHTING OUTLET
-  WASHER/DRYER
-  RANGE
-  REFRIGERATOR
-  TOILET
-  SHOWER/TUB
-  SHOWER BASIN
-  VANITY
-  KITCHEN SINK



1 (E) LEVEL 2 Copy 2
1/4" = 1'-0"

WHALE WATCH WAY

ENTRY LEVEL FLOOR PLAN: **A05**
 DATE: **11/09/2022**
 SCALE: **1/4" = 1'-0"**



LEGEND

	(E) WALL
	(N) WALL
	(N) 1-HR WALL PER DETAIL
	(N) MASONRY WALL
	OVERHANG / WALL LINE BELOW
	WALL LINE ABOVE
	WATER DRAINAGE
	ROOF DRAIN ROUTE
	ROOF DRAIN & OVERFLOW
	DOWNSPOUT
	SMOKE DETECTOR (HARDWIRED)
	CARBON MONOXIDE ALARM (HARDWIRED)
	FORCED AIR UNIT
	RETURN AIR GRILL
	SWITCH CONTROLLED LIGHTING OUTLET
	WASHER/DRYER
	RANGE
	REFRIGERATOR
	TOILET
	SHOWER/TUB
	SHOWER BASIN
	VANITY
	KITCHEN SINK

1 (P) UPPER LEVEL
1/4" = 1'-0"

DEVELOPERS
DESIGNERS
ARCHITECTS
BUILDERS
INVESTORS

LOCAL

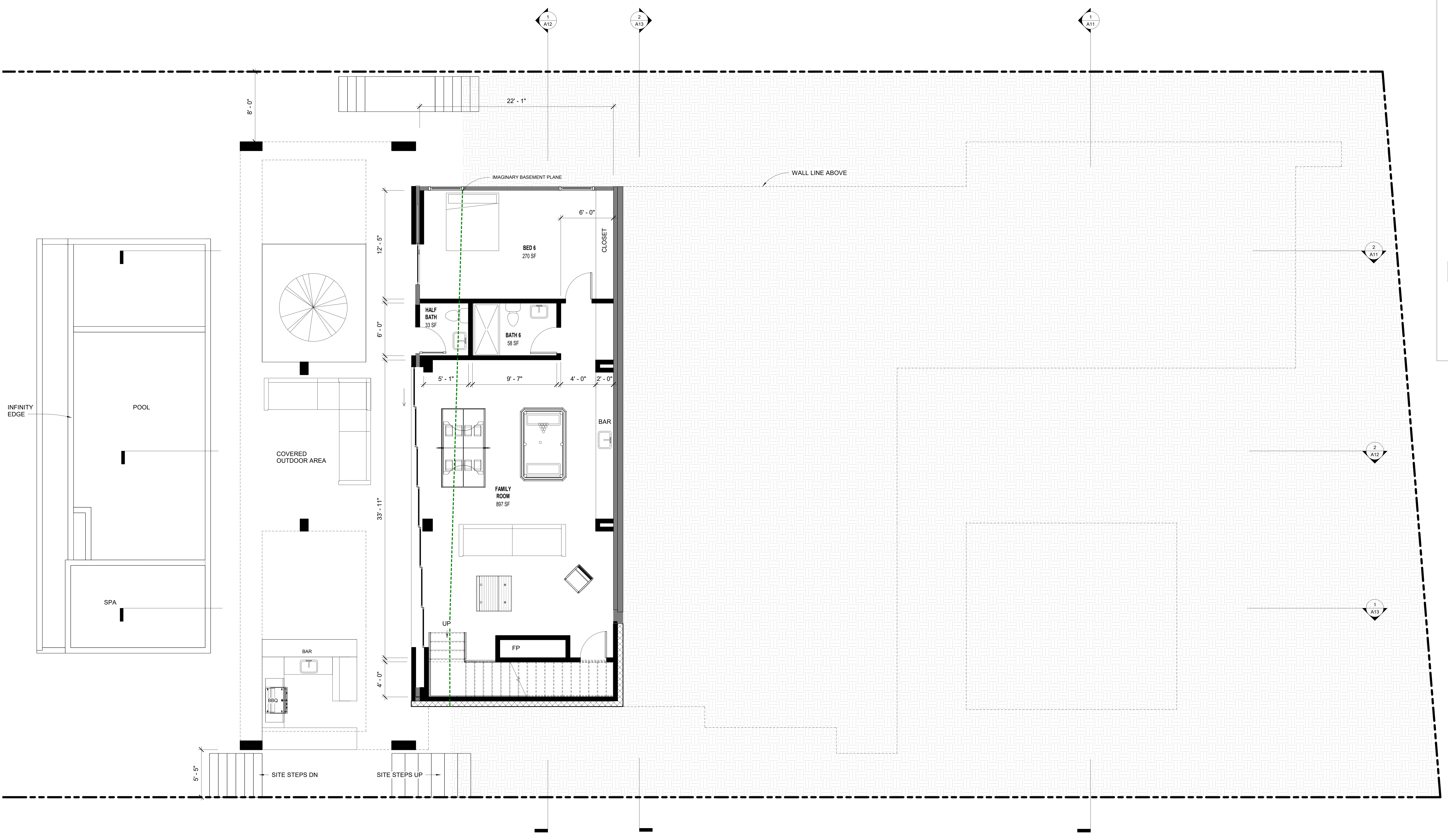
710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

WHALE WATCH WAY

UPPER LEVEL **A06**
FLOOR PLAN:
DATE: 11/09/2022
SCALE: 1/4" = 1'-0"

LEGEND

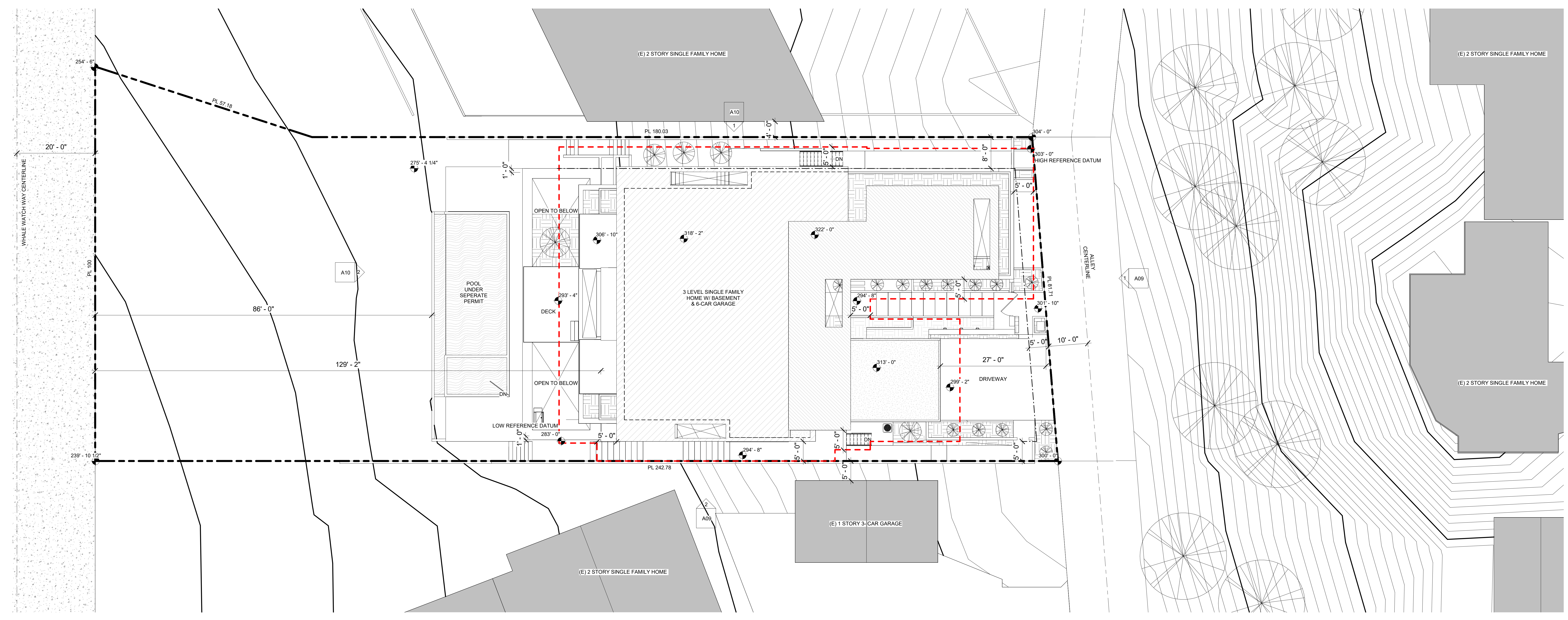
	(E) WALL
	(N) WALL
	(N) 1-HR WALL PER DETAIL
	(N) MASONRY WALL
	OVERHANG / WALL LINE BELOW
	WALL LINE ABOVE
	WATER DRAINAGE
	ROOF DRAIN ROUTE
	ROOF DRAIN & OVERFLOW
	DOWNSPOUT
	SMOKE DETECTOR (HARDWIRED)
	CARBON MONOXIDE ALARM (HARDWIRED)
	FORCED AIR UNIT
	RETURN AIR GRILL
	SWITCH CONTROLLED LIGHTING OUTLET
	WASHER/DRYER
	RANGE
	REFRIGERATOR
	TOILET
	SHOWER/TUB
	SHOWER BASIN
	VANITY
	KITCHEN SINK



① (P) LOWER LEVEL
1/4" = 1'-0"

WHALE WATCH WAY

SITE PLAN LEGEND	
	(E) BUILDING FOOTPRINT
	PERVIOUS SURFACE/ LANDSCAPE
	IMPERVIOUS SURFACE/ CONCRETE
	IMPERVIOUS SURFACE/ TILE
	PROPOSED ROOF AREA
	(E) EASEMENTS
	PROPERTY LINE
	SETBACK LINES
	STREET CENTERLINE
	(E) WALL LINE BELOW
	(E) 6' FENCE
	5' DATUM LINE
	WATER DRAIN FLOW DIRECTION
	(E) WATER METER
	(E) ELECTRICAL METER
	(E) GAS METER
	(E) TREE
	(E) SHRUB
	DOWNSPOUT LOCATION



1 SITE PLAN
1" = 10'-0"

DEVELOPERS
DESIGNERS
ARCHITECTS
BUILDERS
INVESTORS

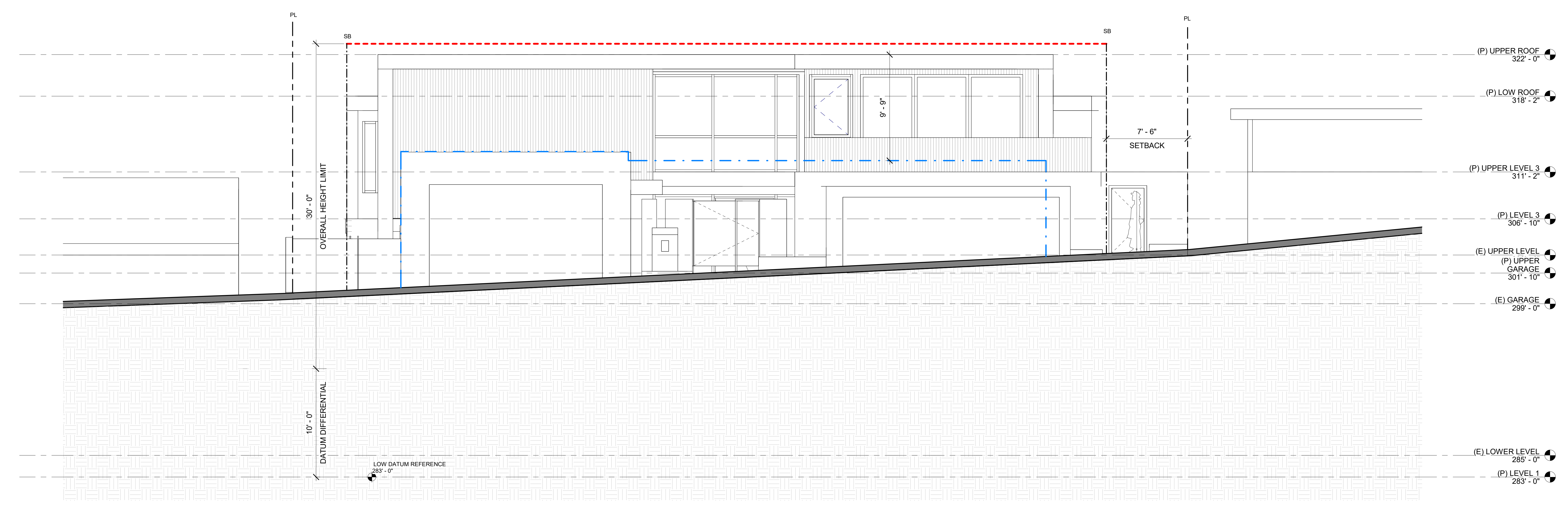
LOCAL

710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

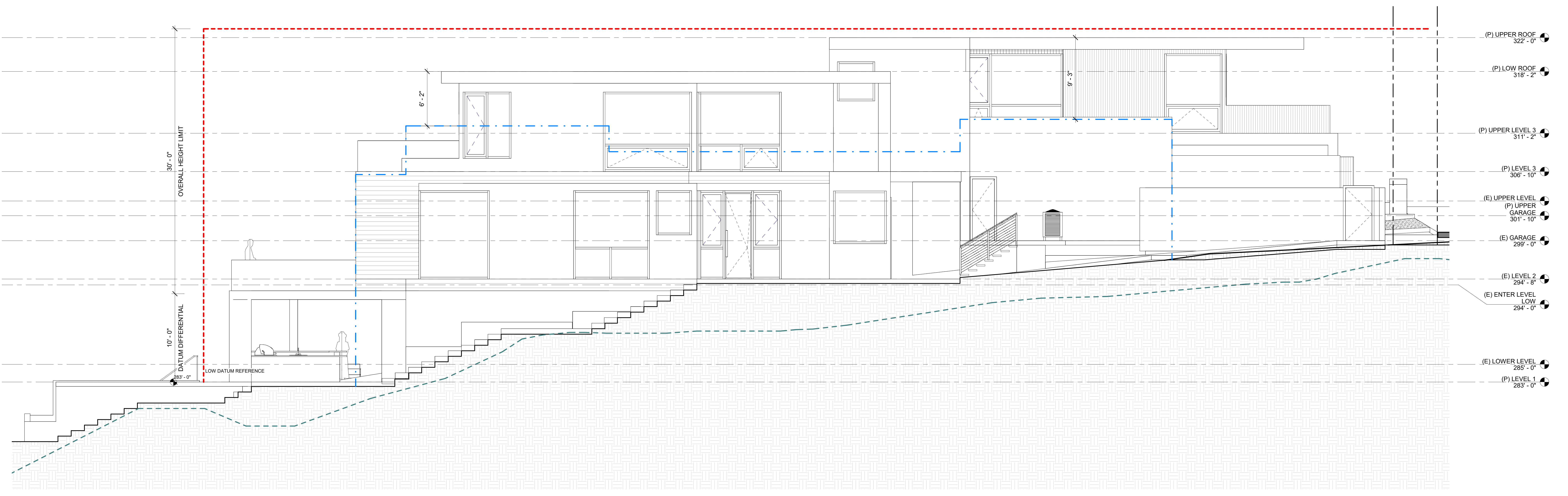
WHALE WATCH WAY

SITE PLAN: **A08**
DATE: **11/09/2022**
SCALE: **As indicated**

LEGEND	
	(E) GRADE LINE (AT CHANGE)
	PLUMB LINE
	OVERALL HEIGHT LIMIT
	EXISTING BUILDING OUTLINE
	PROPERTY LINE
	SETBACK LINE



1 East
1/4" = 1'-0"



2 SOUTH
1/4" = 1'-0"

DEVELOPERS
DESIGNERS
ARCHITECTS
BUILDERS
INVESTORS

LOCAL

710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

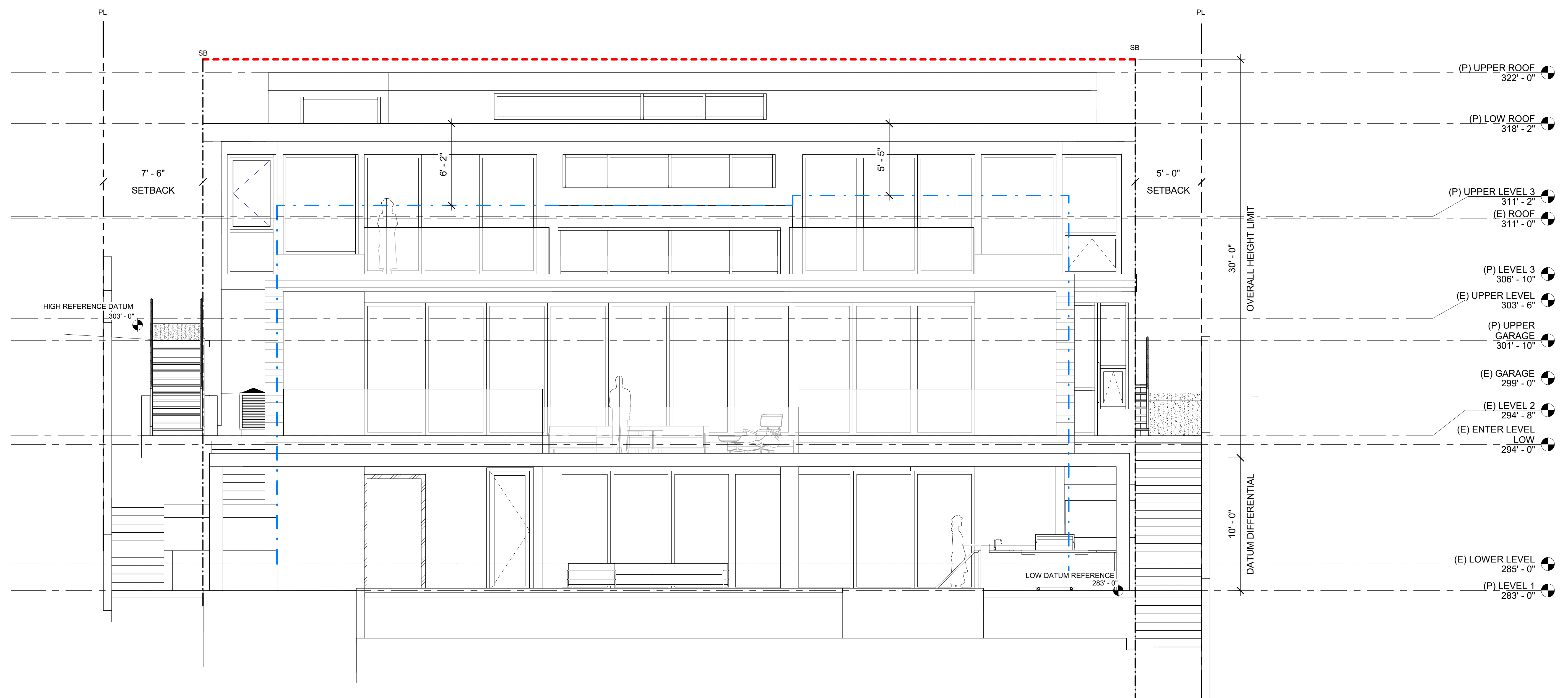
WHALE WATCH WAY

ELEVATIONS: **A09**

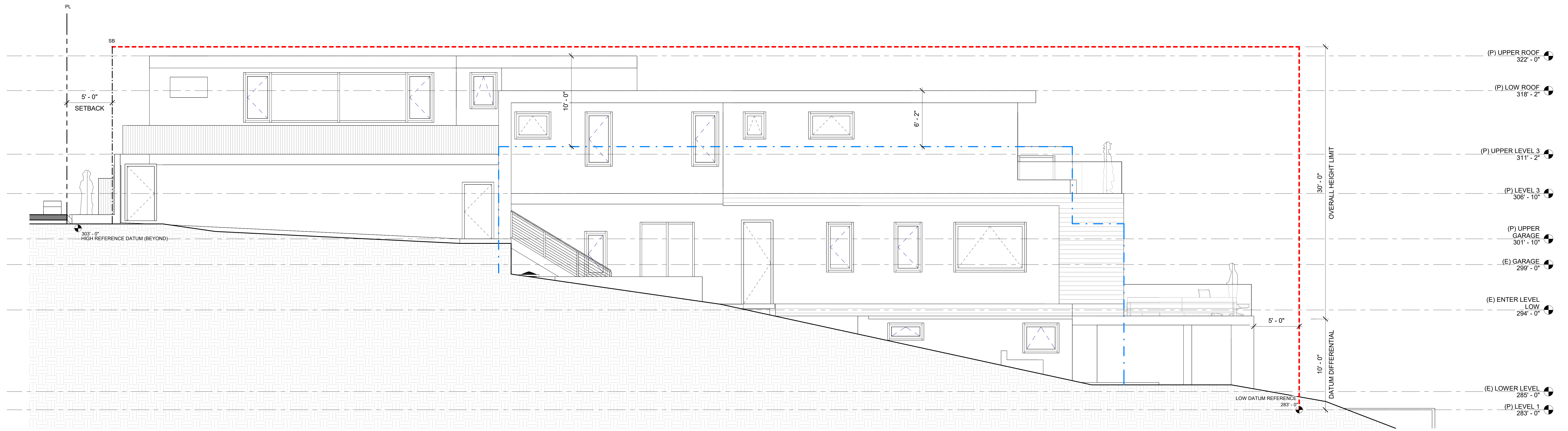
DATE: 11/09/2022

SCALE: 1/4" = 1'-0"

LEGEND	
	(E) GRADE LINE (AT CHANGE)
	PLUMB LINE
	OVERALL HEIGHT LIMIT
	EXISTING BUILDING OUTLINE
	PROPERTY LINE
	SETBACK LINE



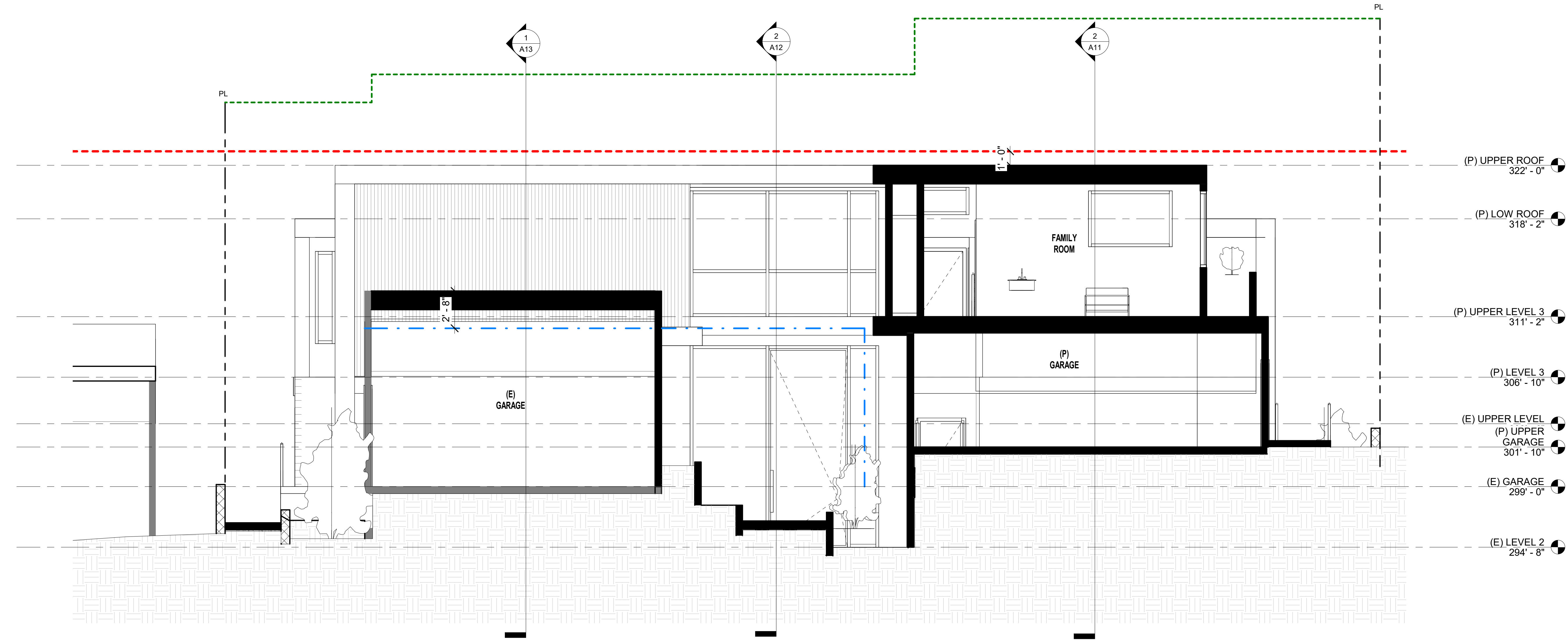
2 West
1/4" = 1'-0"



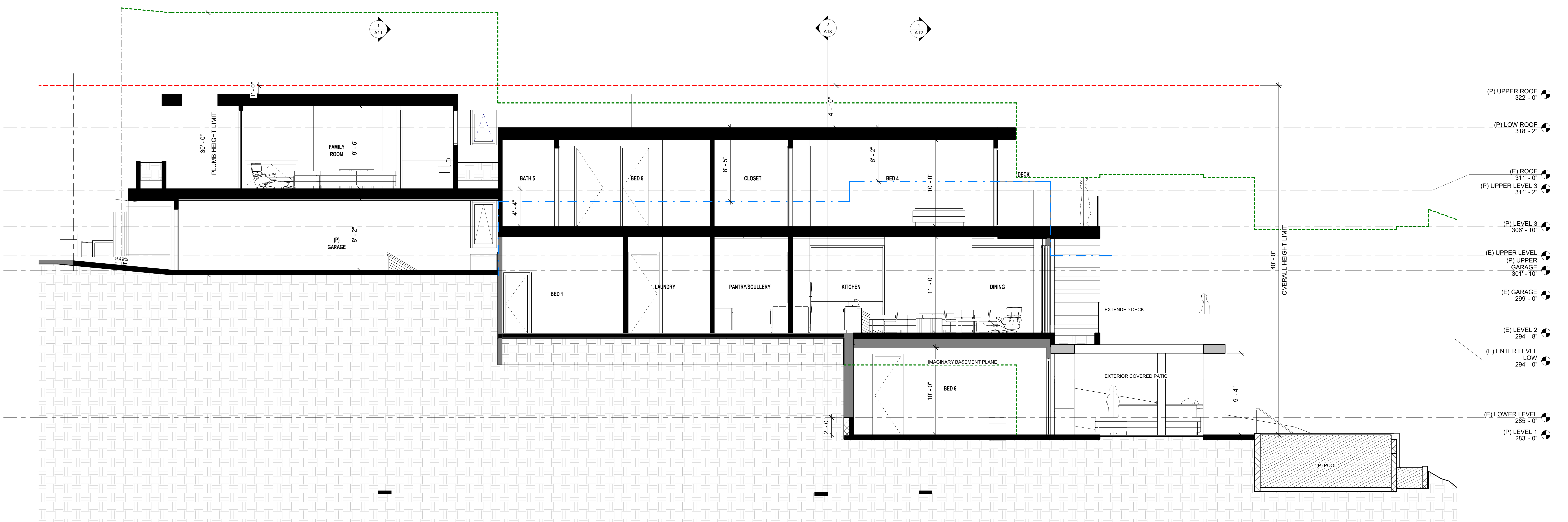
1 North
1/4" = 1'-0"

WHALE WATCH WAY

LEGEND	
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	1 HR WALL/FLOOR PER A701
	MASONRY
	EARTH
	PHANTOM FLOOR
	(E) BUILDING OUTLINE
	EXISTING & FINISH GRADE
	PLUMB LINE
	OVERALL HEIGHT LIMIT
	PROPERTY LINE
	SETBACK LINE



1 Section 13
1/4" = 1'-0"

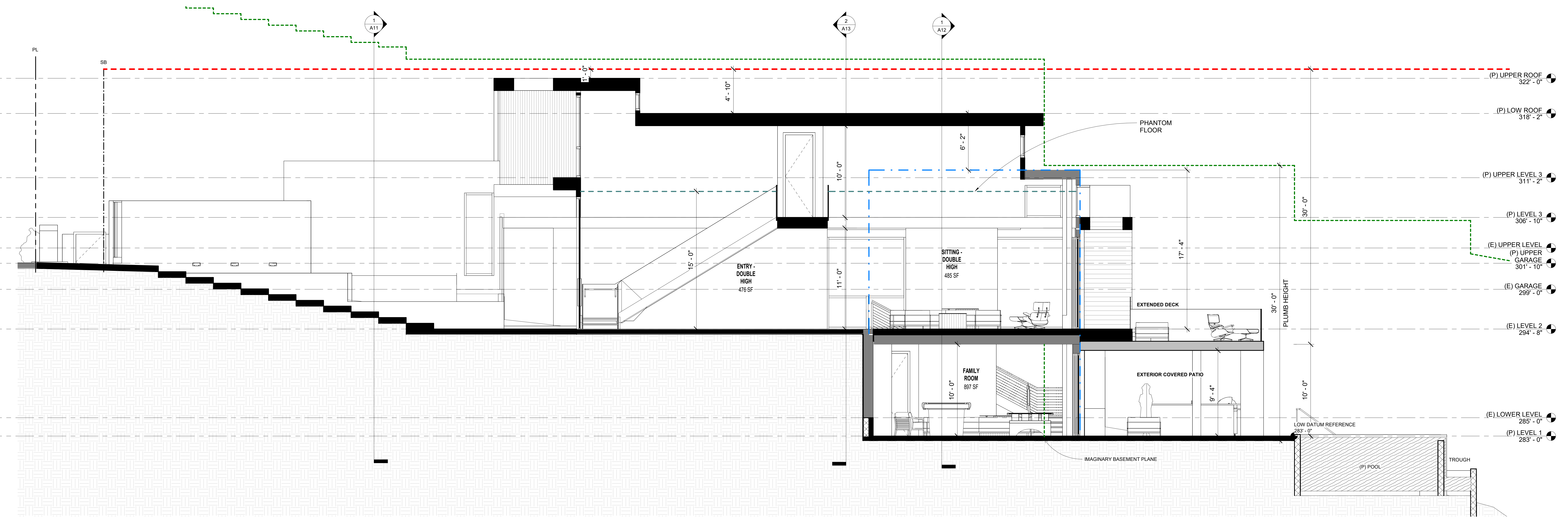


2 Section 1
1/4" = 1'-0"

LEGEND	
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	1 HR WALL/FLOOR PER A701
	MASONRY
	EARTH
	PHANTOM FLOOR
	(E) BUILDING OUTLINE
	EXISTING & FINISH GRADE
	PLUMB LINE
	OVERALL HEIGHT LIMIT
	PROPERTY LINE
	SETBACK LINE















1 Section 11
1/4" = 1'-0"

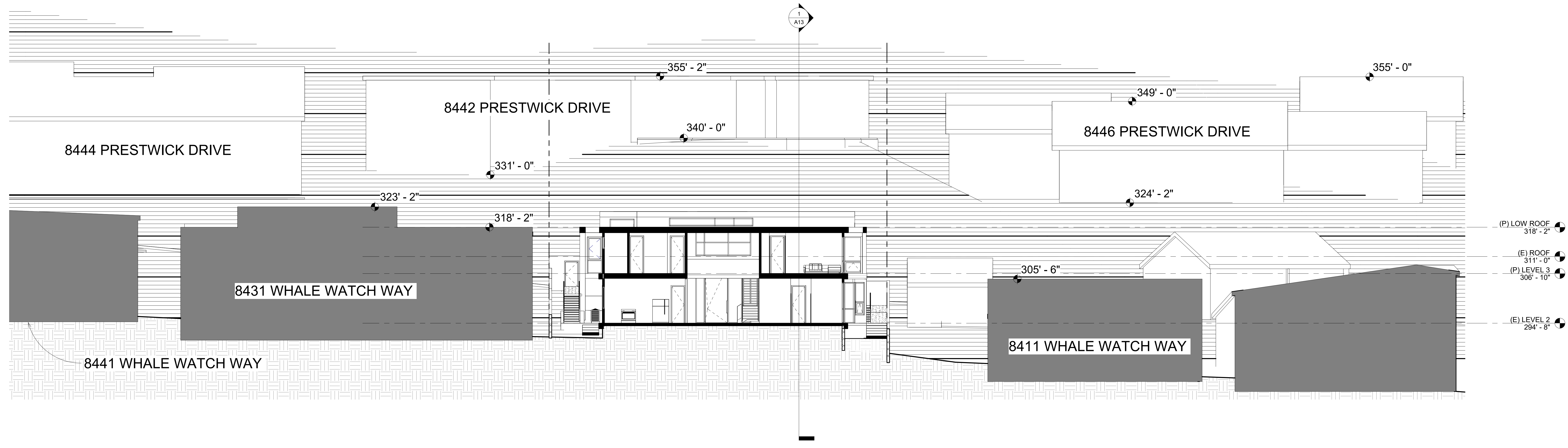


2 Section 6
1/4" = 1'-0"

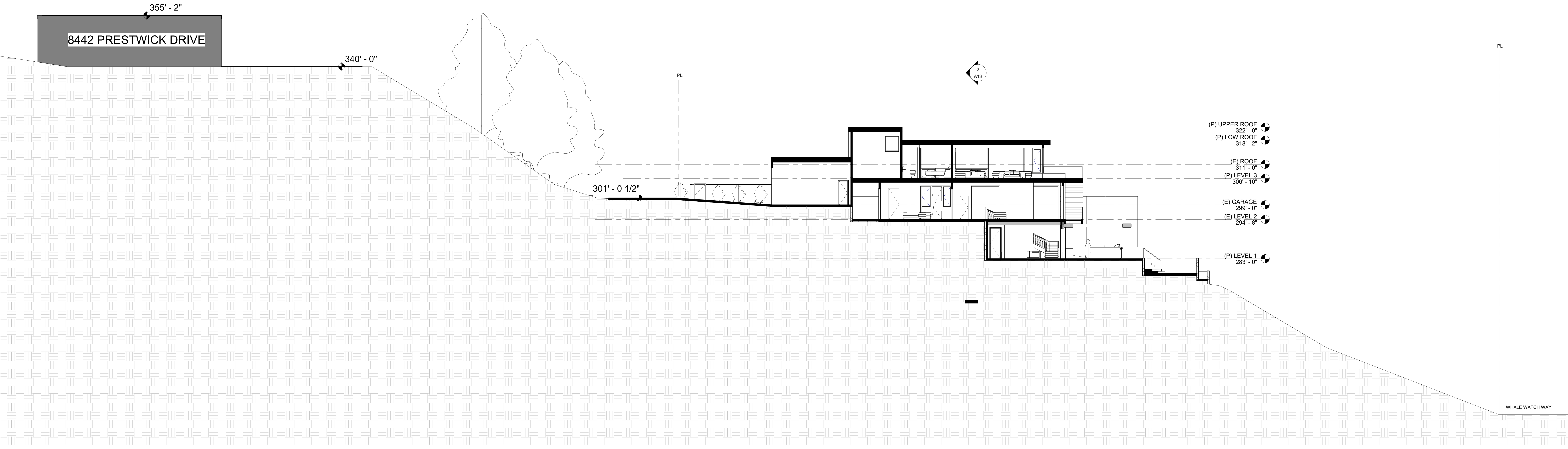
WHALE WATCH WAY

LEGEND

-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  1 HR WALL/FLOOR PER A701
-  MASONRY
-  EARTH
-  PHANTOM FLOOR
-  (E) BUILDING OUTLINE
-  EXISTING & FINISH GRADE
-  PLUMB LINE
-  OVERALL HEIGHT LIMIT
-  PROPERTY LINE
-  SETBACK LINE



2 SITE SECTION 2
1" = 10'-0"



1 SITE SECTION 1
1" = 10'-0"

DEVELOPERS
DESIGNERS
LOCAL
ARCHITECTS
BUILDERS
INVESTORS

710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

WHALE WATCH WAY

SITE SECTIONS: **A13**

DATE: **11/09/2022**

SCALE: **As indicated**



WHALE WATCH WAY

PERSPECTIVES: **A14**

DATE: 11/09/2022

SCALE: