

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
Online Virtual Meeting**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number and Project Name (only submitted projects can be heard as action items): PTS-0675102 Avenida de Las Ondas

- Address and APN(s): 8424 AVENIDA DE LAS ONDAS LA JOLLA, CA 92037 APN: 346-132-03-00

- Project contact name, phone, e-mail:
ARCHITECTSLOCAL
AARON BORJA
AARONB@ARCHITECTSLOCAL.COM
619.535.0537 X 104
710 13TH STREET #307
SAN DIEGO, CA 92101

- Project description:

Remodel and addition to an existing 4362 SF, 2 level, 5 bed, 5 bath single family residence into a 5178 SF, 2 level, 5 bed, 6.5 bath single family residence w/ attached guest dwelling & detached 3 car garage

REMODEL:
2,958 SF major remodel of a 2-story 5 bedroom 5 bathroom house

ADDITION:
0 bedrooms / 1.5 bathroom / detached 3 car garage
816 SF gross additions
2095 SF total addition (with garage and basement area)

- Please indicate the action you are seeking from the Advisory Board:

 Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)

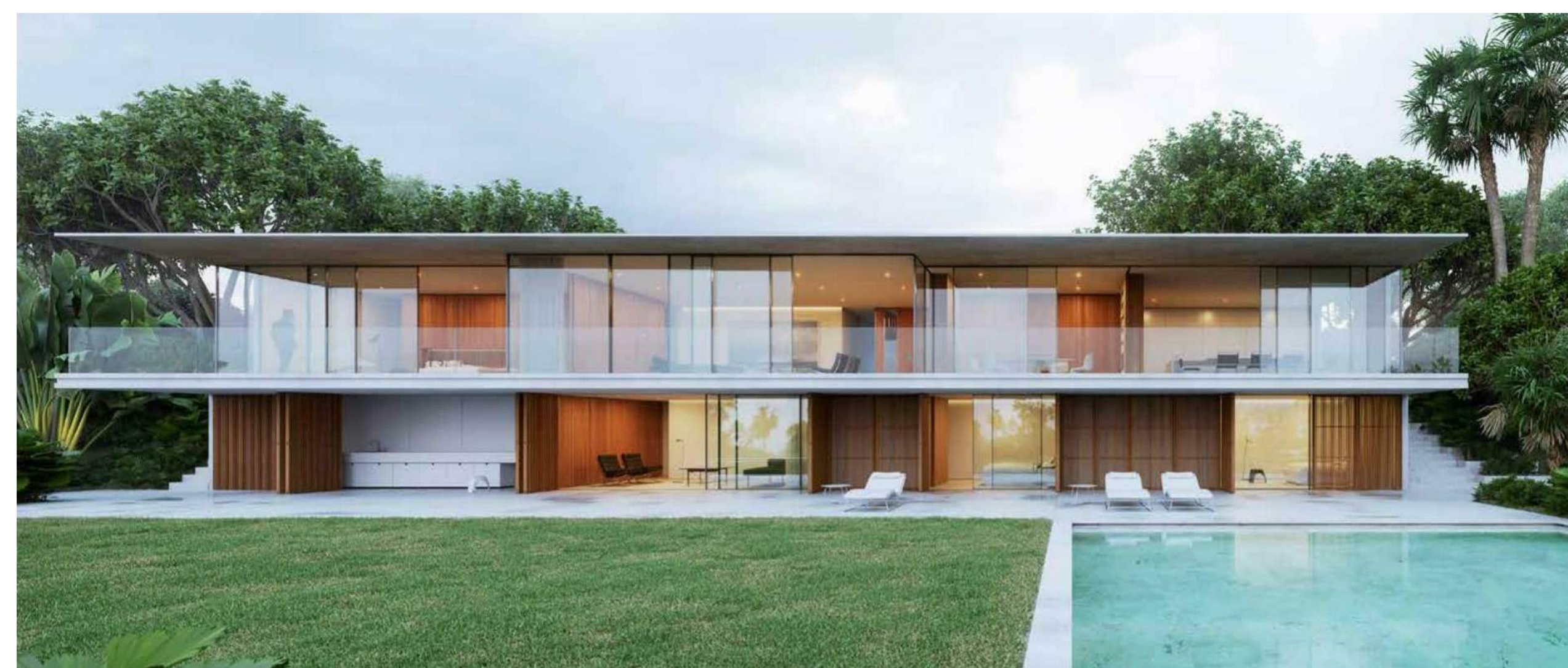
- In addition, provide the following:
 - lot size: 20,276 SF
 - existing structure square footage and FAR (if applicable): 4,362 SF; $(4362)/20276 = .22$
 - proposed square footage and FAR: 5,178 SF; $(5178)/20276 = .26$
 - existing and proposed setbacks on all sides: Front: 20' Side: 5' Rear: 30'
 - height if greater than 1-story (above ground): 25' Roof Height (5' 8" Height increase)

AVENIDA DE LAS ONDAS

PROJECT INFORMATION

RENDERINGS

SHEET INDEX



ADDRESS:	8424 AVENIDA DE LAS ONDAS LA JOLLA, CA 92037
LEGAL DESCRIPTION:	
APN:	346-132-03-00
LOT:	09
MAP:	002996
SUBDIVISION:	LA JOLLA SHORES TERRACE
PROJECT CONTACT:	ARCHITECTSLOCAL AARON BORJA AARONB@ARCHITECTSLOCAL.COM 619.535.0537 X 104 710 13TH STREET #307 SAN DIEGO, CA 92101
ZONING:	LJSPD-SF
OVERLAY ZONE:	LA JOLLA COMMUNITY PLAN CAMPUS PARKING IMPACT OVERLAY COASTAL HEIGHT LIMIT OVERLAY GEOLOGICAL HAZARD 52 COASTAL OVERLAY ZONE
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
GEO. HAZARD CAT.:	52
EASEMENTS:	10' UTILITY AS REAR PROPERTY LINE
YEAR BUILT:	1954
EXISTING USE:	2-LEVEL SINGLE FAMILY HOUSE
PROPOSED USE:	2-LEVEL SINGLE FAMILY HOUSE W/ DETACHED 2 CAR GARAGE
(P) BUILDING HEIGHT:	25'
LOT SIZE:	20,276 SF
(E) BUILDING	
(E) LEVEL 1	3,328 SF
(E) LOWER LEVEL	1,034 SF
(E) TOTAL BUILDING SF	4,362 SF
(P) GROSS BUILDING ADDITION:	816 SF
(P) BASEMENT ADDITION:	493 SF
(P) GARAGE ADDITION:	788 SF
(P) BUILDING:	
(P) LEVEL 1	4,007 SF
(P) LOWER LEVEL	1,171 SF
(P) BASEMENT (BSMT)	493 SF
(P) GARAGE:	788 SF
(P) TOTAL BUILDING SF (W/ GARAGE & BSMT):	6,459 SF
(P) GROSS BUILDING SF:	5,178 SF
(P) AREA OF REMODEL:	2,958 SF
(E) TOTAL DECK:	615 SF
(P) DECK ADDITION:	186 SF
(P) TOTAL DECK:	801 SF
TOTAL AREA OF GROUND DISTURBANCE:	20,276 SF
LANDSCAPE/PERVIOUS AREA:	11,272 SF
LOT COVERAGE:	
LOT SIZE:	20,276 SF
MAX COVERAGE:	N/A
(E) LOT COVERAGE:	6457/20276 = .32
(N) LOT COVERAGE:	7497/20276 = .37
PERCENT INCREASE	5%
FLOOR AREA RATIO:	
MAX FAR:	N/A
EXISTING GROSS FAR:	(4362)/20276 = .22
PROPOSED GROSS FAR:	(5178)/20276 = .26
PERCENTAGE INCREASE	(5178-4362)/4362 = .18 = 18%
OVERALL HEIGHT CHANGE:	5' - 8"

- A00 - TITLE SHEET
- A01 - SITE SURVEY
- A02 - SURROUNDING CONTEXT
- A03 - SITE PLAN
- A04 - FLOOR PLAN AREAS
- A05 - SITE SECTIONS
- A06 - SITE SECTIONS
- A07 - STREET VIEW & INTERIORS
- A08 - MATERIALS
- A09 - EXISTING FLOOR PLANS
- A10 - DEMO PLANS
- A11 - PROPOSED FLOOR PLANS
- A12 - NORTH & SOUTH ELEVATIONS
- A13 - EAST & WEST ELEVATIONS
- A14 - BUILDING SECTIONS
- A15 - BUILDING SECTIONS

VICINITY MAP



8424 AVENIDA DE LAS ONDAS



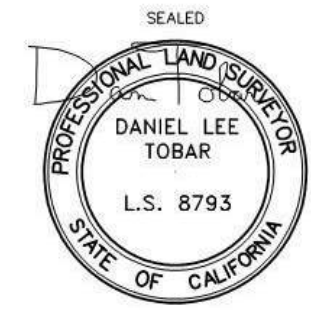
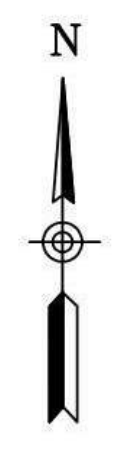
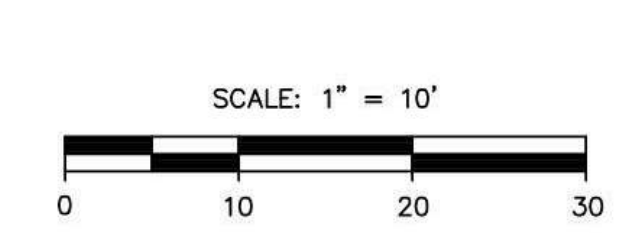
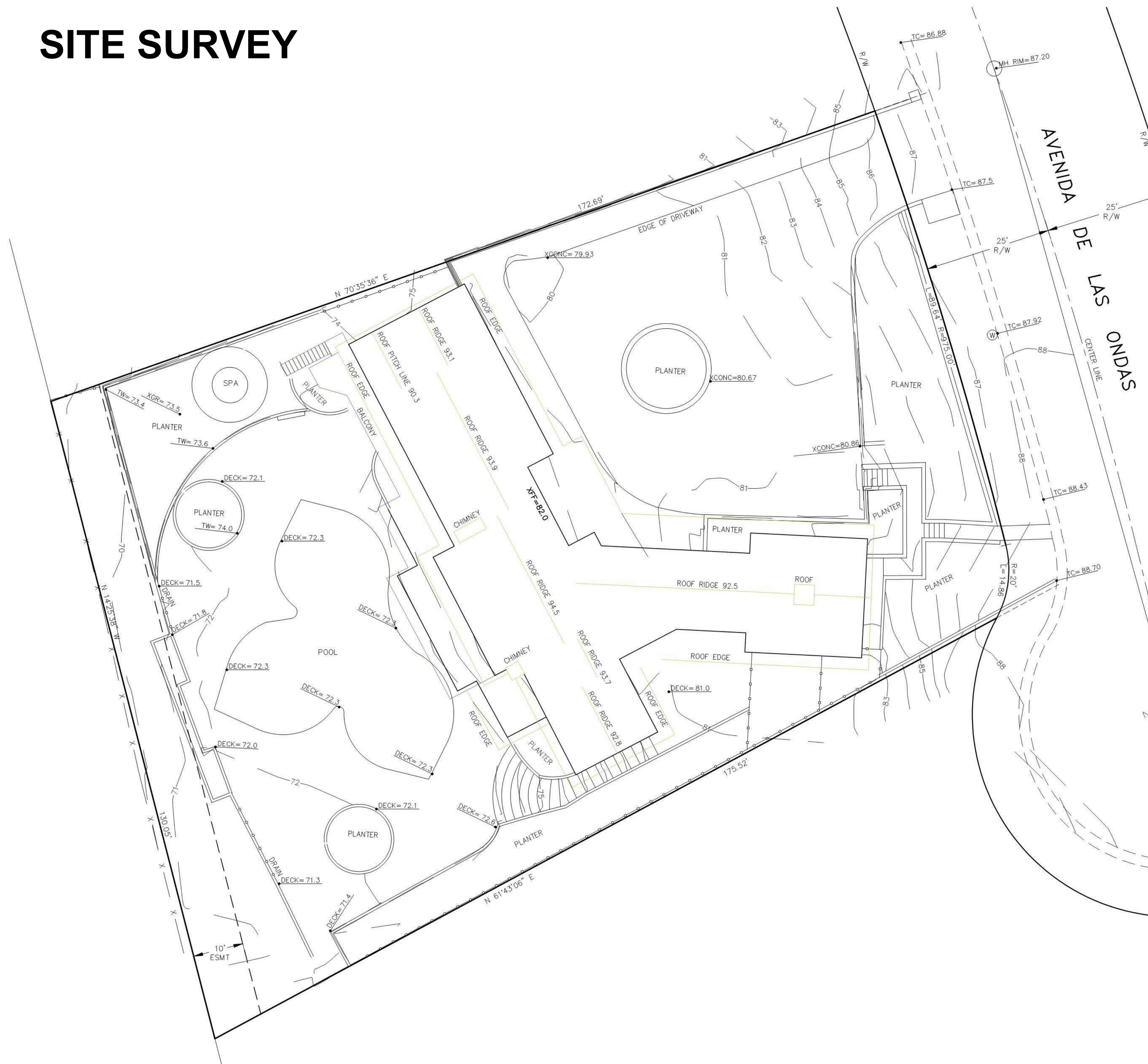
710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

TITLE SHEET: **A00**

DATE: **04/20/2022**

SCALE: **N/A**

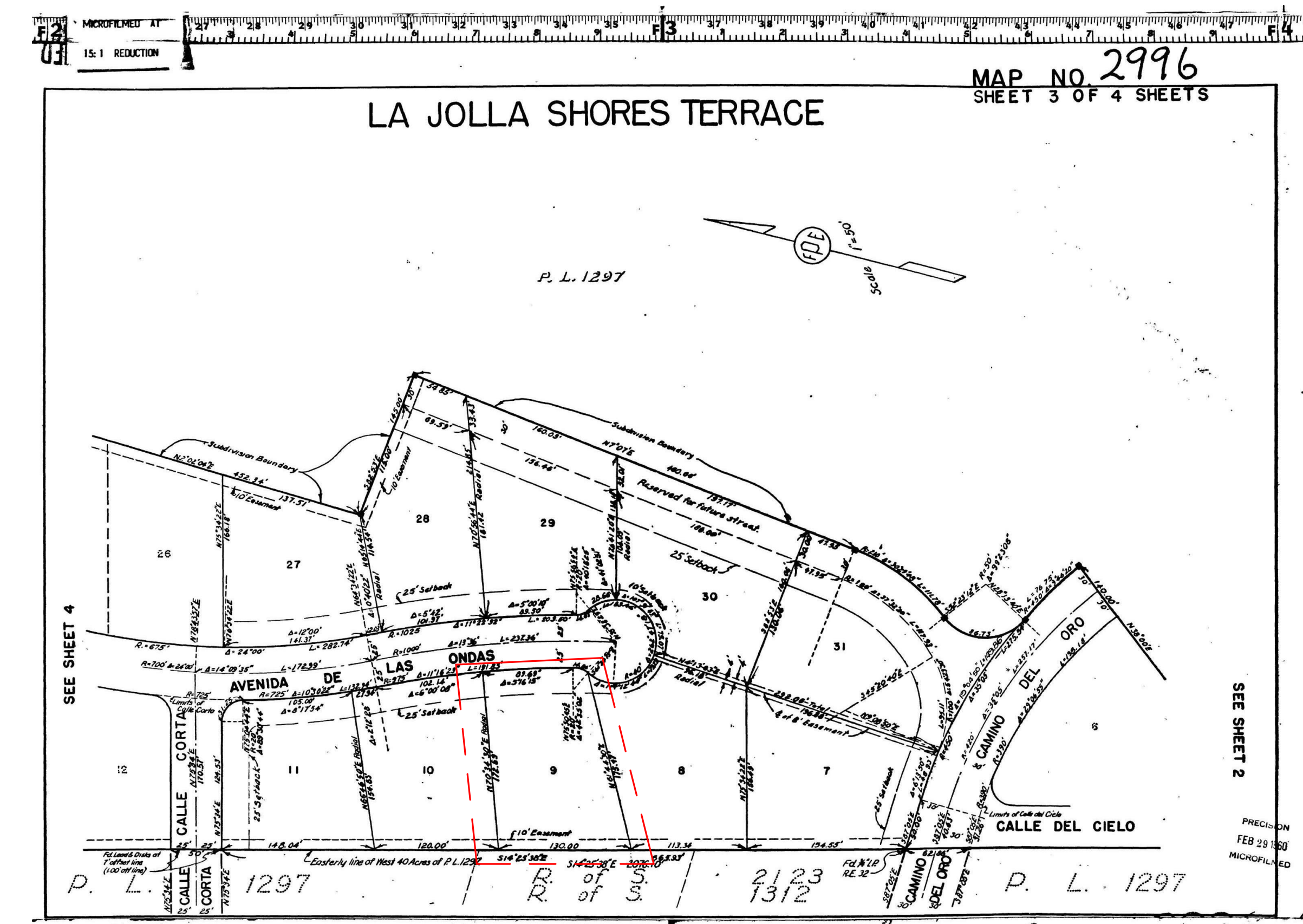
SITE SURVEY



BENCHMARK
 CITY OF SAN DIEGO BENCHMARK
 SE CORNER, INTERSECTION OF
 LA JOLLA SHORES DR & CALLE CORTA
 SOUTH CURB RETURN
 BRASS PLUG IN TOP OF CURB.
 ELEV=47.123

LEGAL DESCRIPTION
 LOT 9 OF LA JOLLA SHORES TERRACE
 SUBDIVISION, PER MAP NO. 2996, FILED
 IN THE SAN DIEGO COUNTY RECORDER'S
 OFFICE ON MAY 29, 1953.
 APN 346-13-203

PARCEL MAP



DEVELOPERS
 DESIGNERS
LOCAL
 ARCHITECTS
 BUILDERS
 INVESTORS

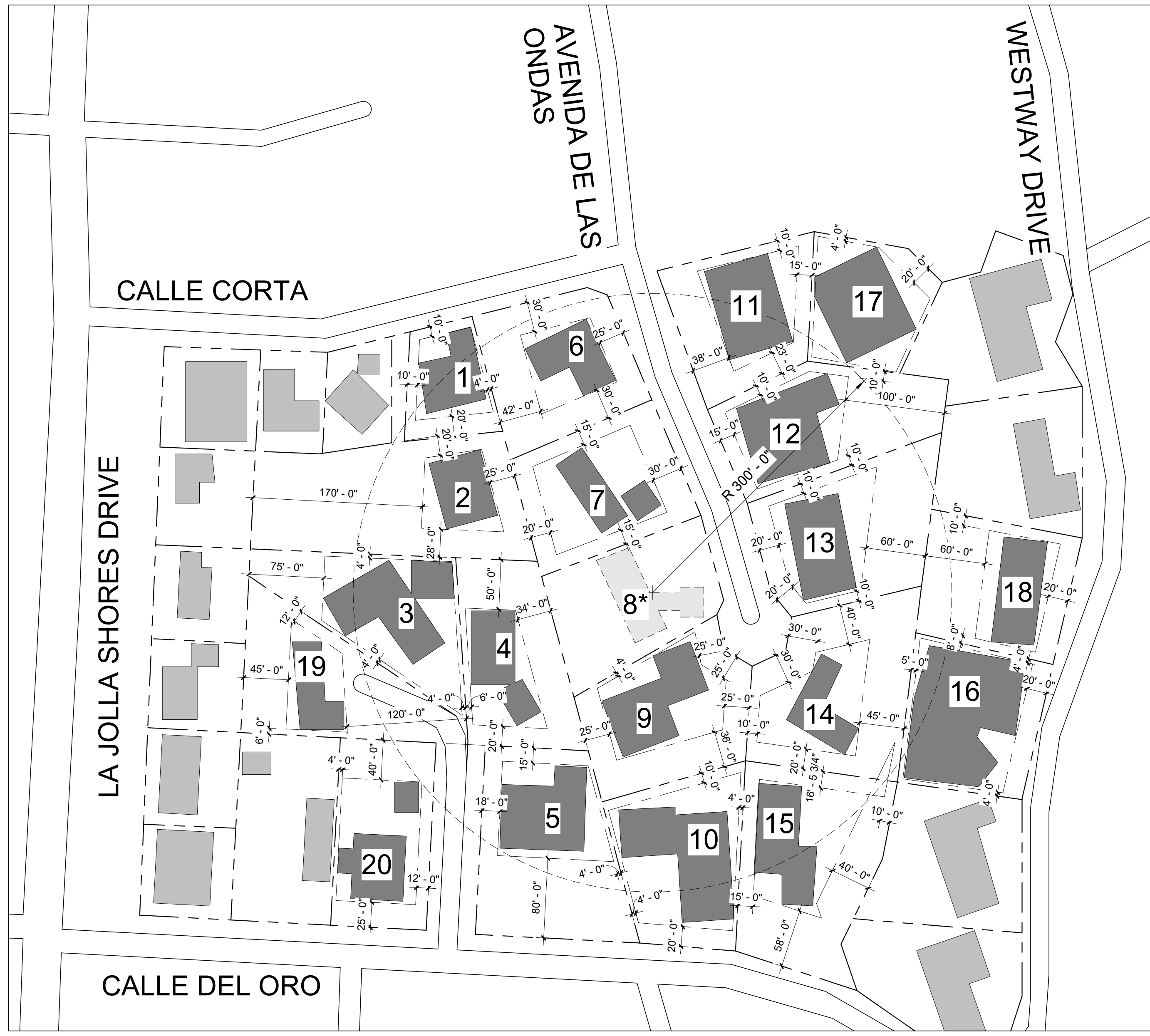
710 13th STREET, SUITE 307
 SAN DIEGO, CA | 92101
 619.535.0537

8424 AVENIDA DE LAS ONDAS

SITE SURVEY: **A01**

DATE: **04/20/2022**

SCALE: **1" = 10'**



ADDRESS	APN	LOT SIZE*	HOUSE SF
1. 2341 CALLE CORTA	346-120-16-00	9,798 SF	2,187 SF
2. 2337 CALLE CORTA	346-120-13-00	31,798 SF	4,633 SF
3. 2356 CALLE DEL ORO	346-120-11-00	21,780 SF	5,011 SF
4. 2360 CALLE DEL ORO	346-120-10-00	24,393 SF	3,579 SF
5. 2380 CALLE DEL ORO	346-120-09-00	26,571 SF	7,284 SF
6. 2351 CALLE CORTA	346-132-01-00	20,825 SF	3,805 SF
7. 8434 AVENIDA DE LAS ONDAS	346-132-02-00	20,762 SF	2,425 SF
8. 8424 AVENIDA DE LAS ONDAS	346-132-03-00	(E) 20,276 SF	(P) 5,178 SF
9. 8414 AVENIDA DE LAS ONDAS	346-132-04-00	23,086 SF	2,781 SF
10. 2404 CALLE DEL ORO	346-132-05-00	22,215 SF	4,194 SF
11. 8445 AVENIDA DE LAS ONDAS	346-132-10-00	20,175 SF	3,247 SF
12. 8435 AVENIDA DE LAS ONDAS	346-132-09-00	22,215 SF	6,150 SF
13. 8425 AVENIDA DE LAS ONDAS	346-132-08-00	25,264 SF	3,134 SF
14. 8415 AVENIDA DE LAS ONDAS	346-132-07-00	26,163 SF	2,984 SF
15. 2414 CALLE DEL ORO	346-132-06-00	29,185 SF	6,546 SF
16. 8456 WESTWAY DR	346-690-03-00	20,096 SF	5,764 SF
17. 8528 RUETTE MONTE CARLO	346-831-12-00	14,805 SF	6,926 SF
18. 8476 WESTWAY DR	346-690-02-00	20,081 SF	6,306 SF
19. 2352 CALLE DEL ORO	346-120-12-00	26,136 SF	2,427 SF
20. 2340 CALLE DEL ORO	346-120-08-00	18,874 SF	5,092 SF
AVERAGE (EXCLUDING PROJECT SITE)		22,225 SF	4,477 SF

① SURROUNDING HOMES
1" = 80'-0"

ADDRESS	FAR	BUILDING SETBACKS:			
		FRONT	SIDE 1	SIDE 2	REAR
1. 2341 CALLE CORTA	.22	10'	4'	10'	20'
2. 2337 CALLE CORTA	.15	28'	25'	170'	20'
3. 2356 CALLE DEL ORO	.23	20'	4'	4'	75'
4. 2360 CALLE DEL ORO	.15	20'	6'	34'	50'
5. 2380 CALLE DEL ORO	.27	80'	4'	18'	15'
6. 2351 CALLE CORTA	.18	25'	25'	20'	42'
7. 8434 AVENIDA DE LAS ONDAS	.12	20'	15'	15'	35'
8. 8424 AVENIDA DE LAS ONDAS	(P) .25	(E) 20'	(E) 5'	(P) 10'	(P) 30'
9. 8414 AVENIDA DE LAS ONDAS	.12	25'	4'	36'	25'
10. 2404 CALLE DEL ORO	.19	20'	4'	4'	10'
11. 8445 AVENIDA DE LAS ONDAS	.16	38'	10'	23'	15'
12. 8435 AVENIDA DE LAS ONDAS	.28	15'	10'	10'	100'
13. 8425 AVENIDA DE LAS ONDAS	.12	20'	10'	10'	60'
14. 8415 AVENIDA DE LAS ONDAS	.11	30'	10'	40'	45'
15. 2414 CALLE DEL ORO	.22	55'	15'	40'	15'
16. 8456 WESTWAY DR	.29	20'	4'	4'	5'
17. 8528 RUETTE MONTE CARLO	.47	20'	4'	4'	20'
18. 8476 WESTWAY DR	.31	20'	4'	10'	60'
19. 2352 CALLE DEL ORO	.09	6'	45'	120'	12'
20. 2340 CALLE DEL ORO	.27	25'	4'	12'	40'
AVERAGE (EXCLUDING PROJECT SITE)	.22	25.85'	10.6'	29.7'	34.7'

DEVELOPERS
DESIGNERS
ARCHITECTS
BUILDERS
INVESTORS

LOCA

710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

8424 AVENIDA DE LAS ONDAS

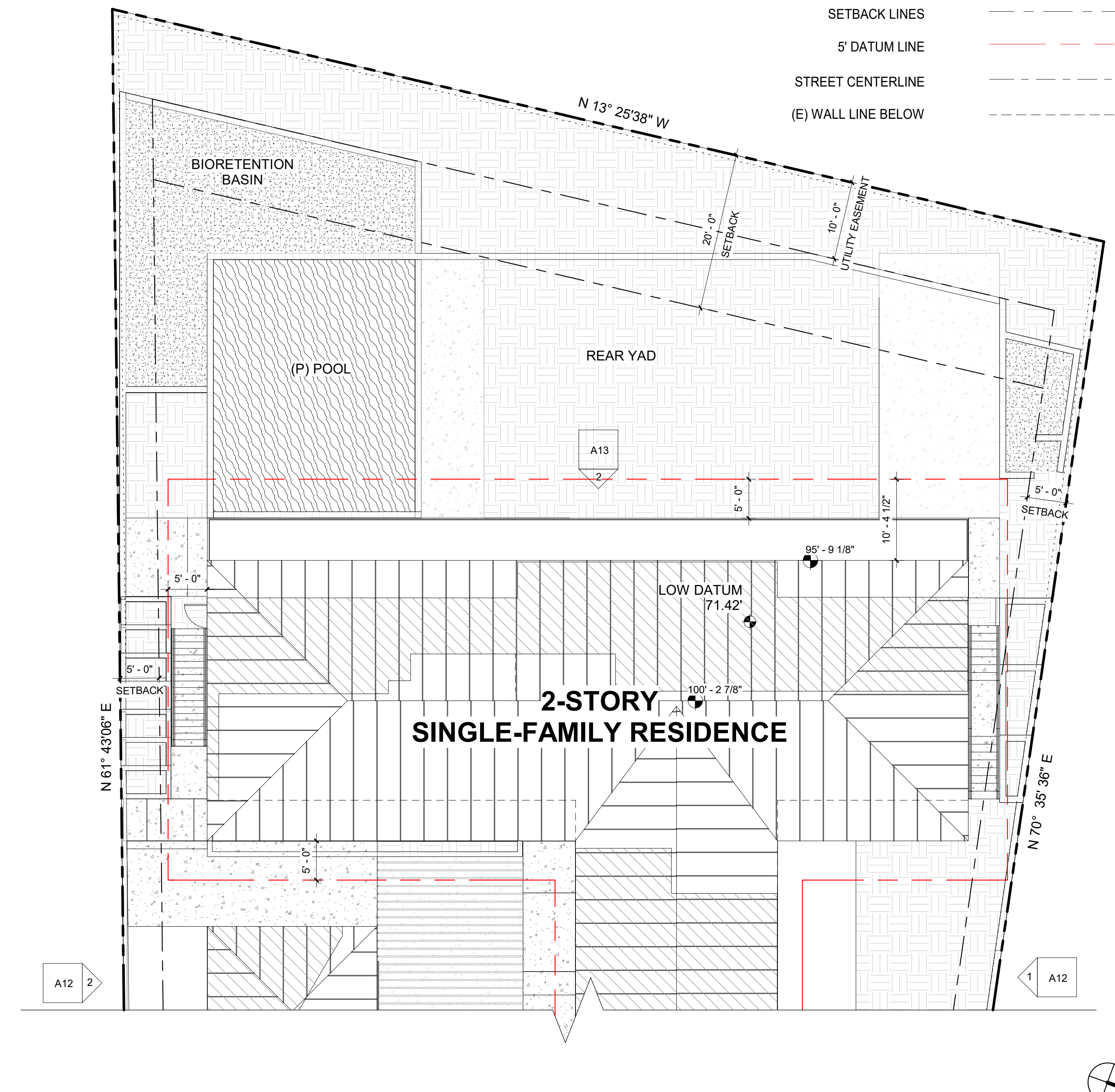
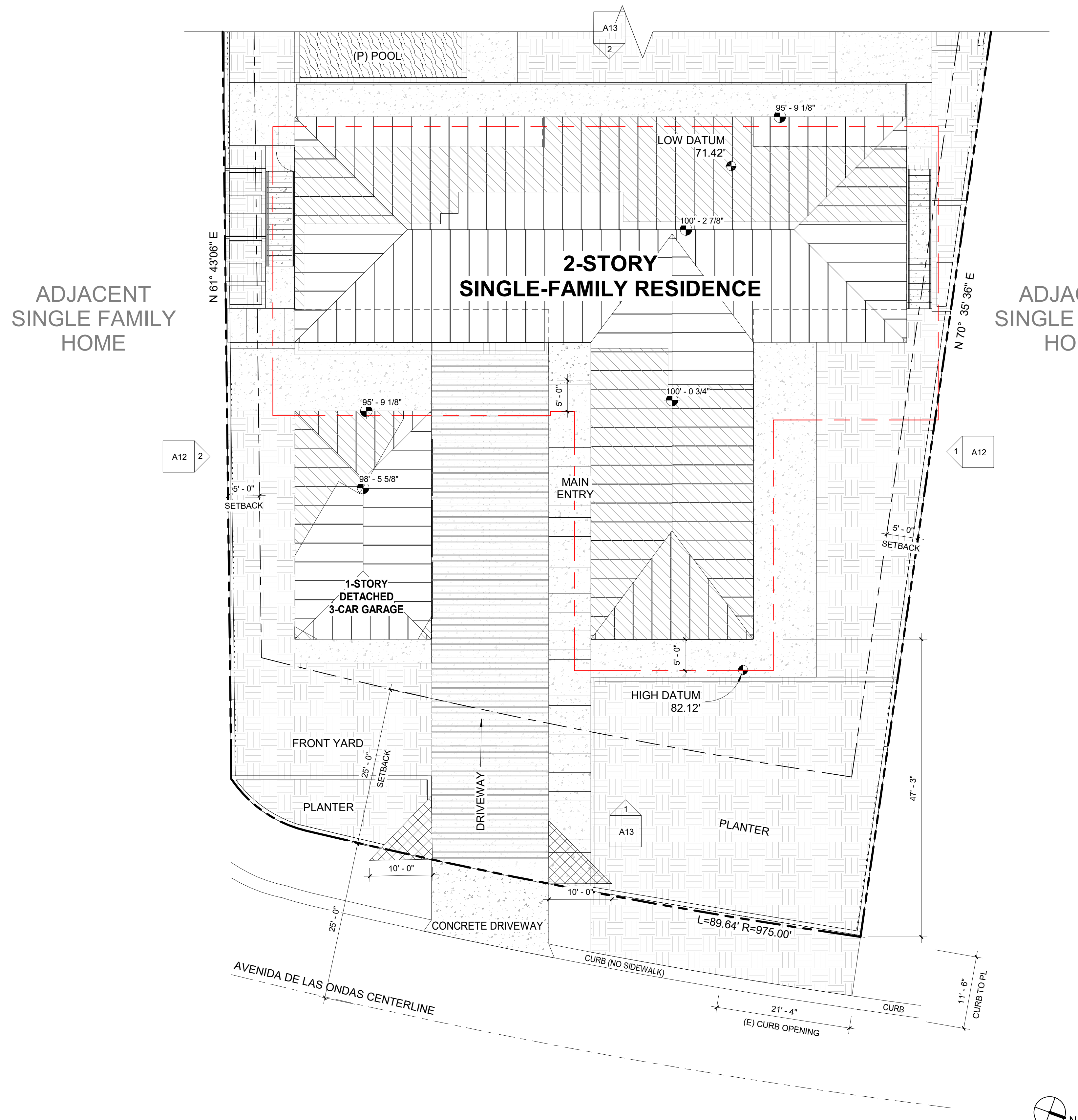
SURROUNDING CONTEXT: **A02**

DATE: **04/20/2022**

SCALE: **1" = 80'-0"**

LEGEND

- BUILDING FOOTPRINT INCREASE
- PERVIOUS SURFACE/ LANDSCAPE
- IMPERVIOUS SURFACE
- BIORETENTION BASIN
- PROPERTY LINE
- SETBACK LINES
- 5' DATUM LINE
- STREET CENTERLINE
- (E) WALL LINE BELOW



8424 AVENIDA DE LAS ONDAS

DEVELOPERS
 DESIGNERS
LOCAL
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710 13th STREET, SUITE 307
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 619.535.0537

SITE PLAN: **A03**

DATE: **04/20/2022**

SCALE: **As indicated**

LOT SIZE: 20,276 SF LANDSCAPE/PERVIOUS AREA: 7,497 SF OVERALL HEIGHT CHANGE: 5' - 8"

(E) BUILDING
 (E) LEVEL 1 3,328 SF
 (E) LOWER LEVEL 1,034 SF
 (E) GARAGE 0 SF
 (E) TOTAL BUILDING SF 4,362 SF
 (E) GROSS BUILDING SF 4,362 SF

(E) TOTAL DECK: 615 SF
 (P) DECK ADDITION: 186 SF
 (P) TOTAL DECK: 801 SF


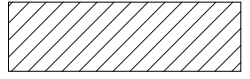



(P) BUILDING:
 (P) LEVEL 1 4,007 SF
 (P) LOWER LEVEL 1,171 SF
 (P) BASEMENT (BSMT) 493 SF
 (P) GARAGE: 788 SF
 (P) TOTAL BUILDING SF (W/ GARAGE & BSMT): 6,459 SF
(P) GROSS BUILDING SF (W/O GARAGE & BSMT): 5,178 SF

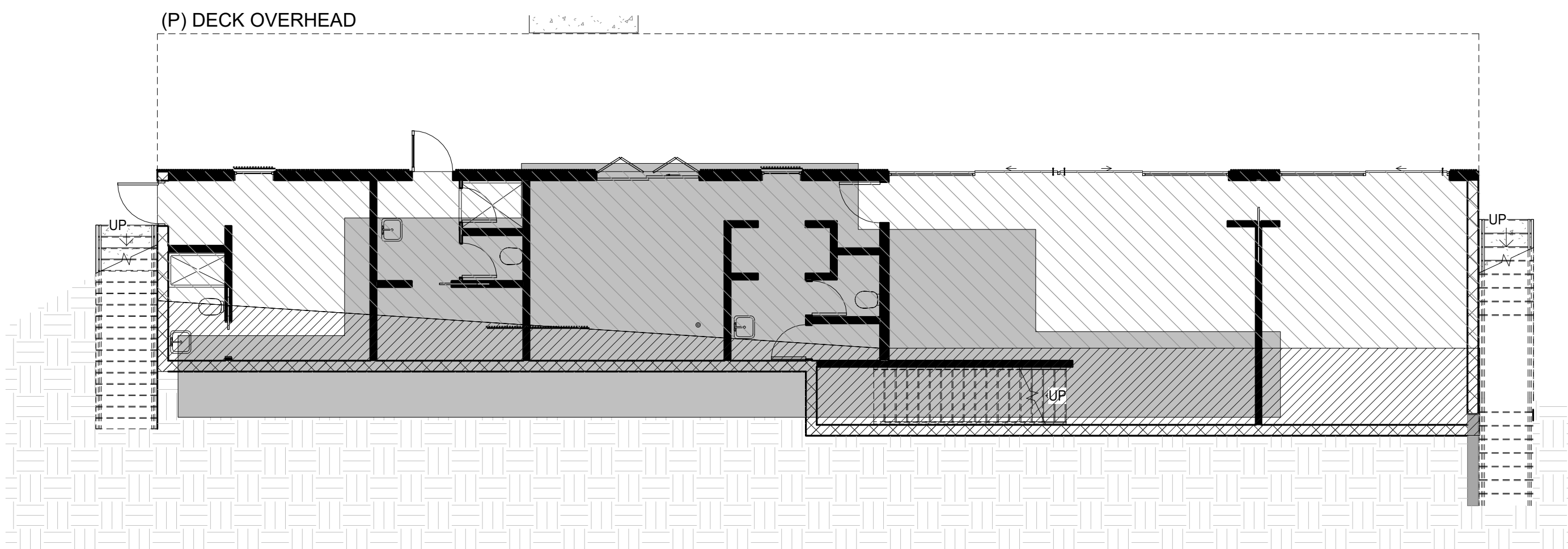
(P) GROSS BUILDING ADDITION: 816 SF
 (P) BASEMENT ADDITION: 493 SF
 (P) GARAGE ADDITION: 788 SF
 (P) AREA OF REMODEL: 2,958 SF

LOT COVERAGE:
 LOT SIZE: 20,276 SF
 MAX COVERAGE: N/A
 (E) LOT COVERAGE: $6457/20276 = .32$
 (N) LOT COVERAGE: $7497/20276 = .37$
 PERCENT INCREASE 5%

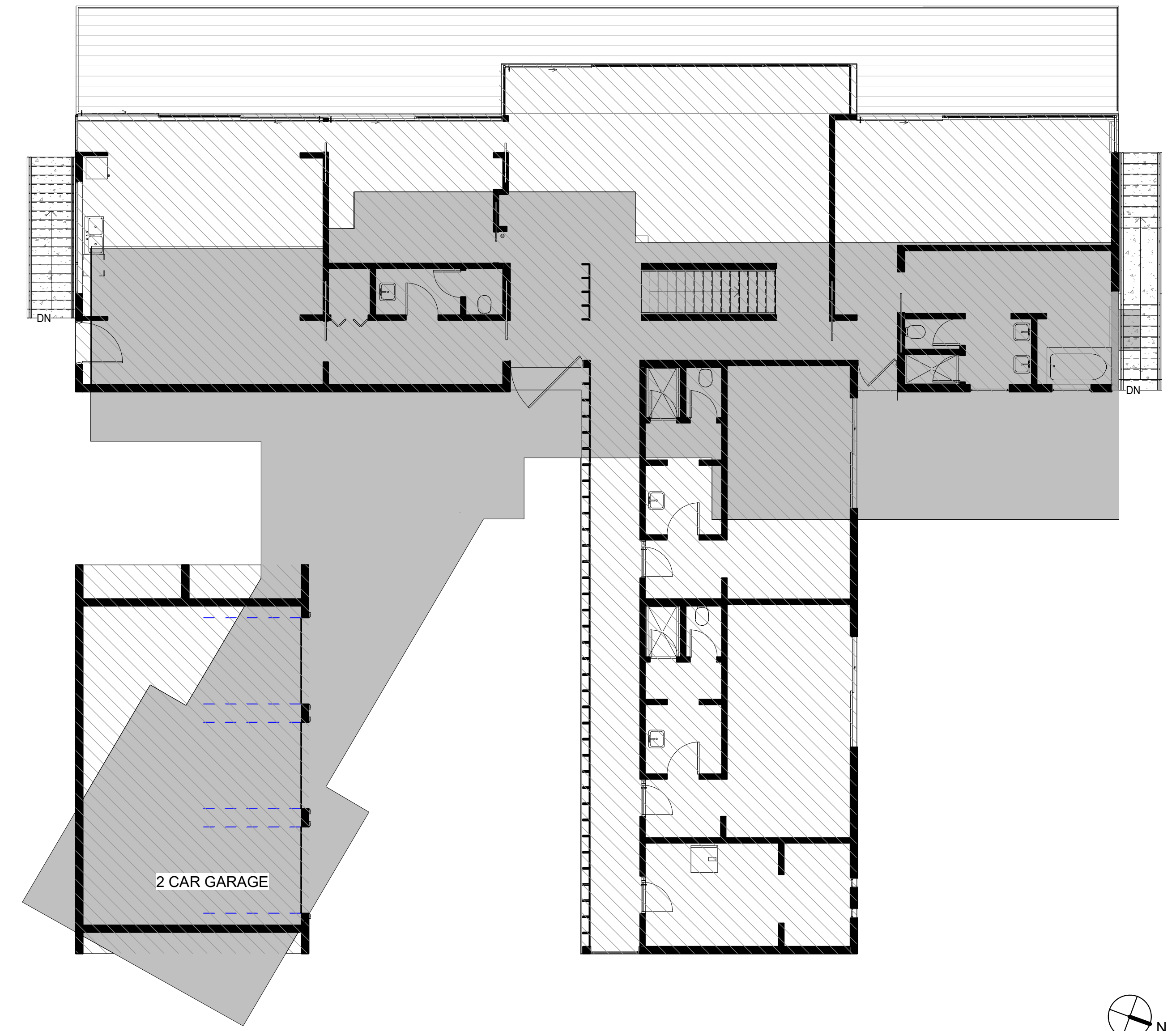
FLOOR AREA RATIO:
 EXISTING GROSS FAR: $(4362)/20276 = .22$
 PROPOSED GROSS FAR: $(5178)/20276 = .26$
 PERCENTAGE INCREASE $(5178-4362)/4362 = .18 = 18\%$

LEGEND

-  PROPOSED BUILDING FOOTPRINT
-  PROPOSED BASEMENT AREA (NOT IN GFA; SEE SHEETS A204 & A205)
-  EXISTING FOOTPRINT
-  WOOD DECKING
-  OVERHEAD LINE



② **BASEMENT**
 1/8" = 1'-0"



① **LEVEL 1**
 1/8" = 1'-0"



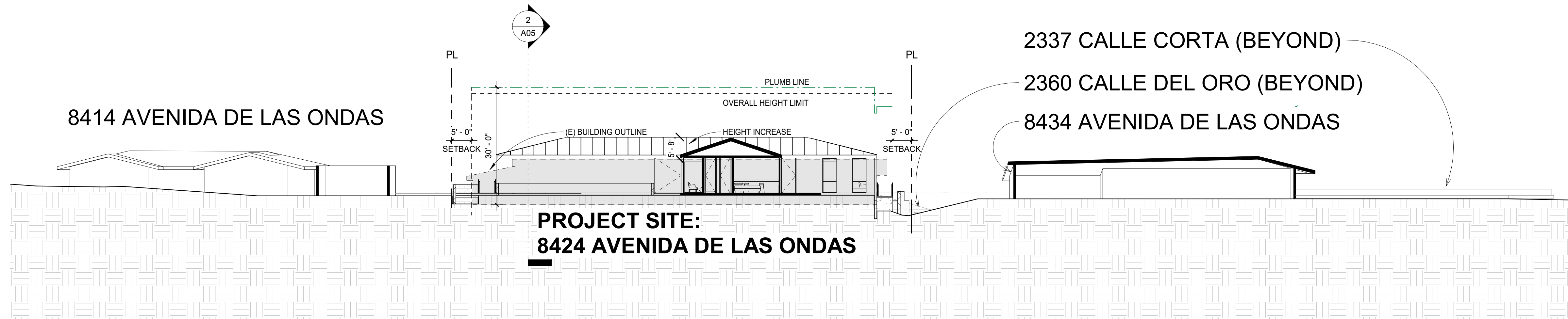
DEVELOPERS
 DESIGNERS
ARCHITECTS
 BUILDERS
 INVESTORS

LOCA

710 13th STREET, SUITE 307
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 619.535.0537

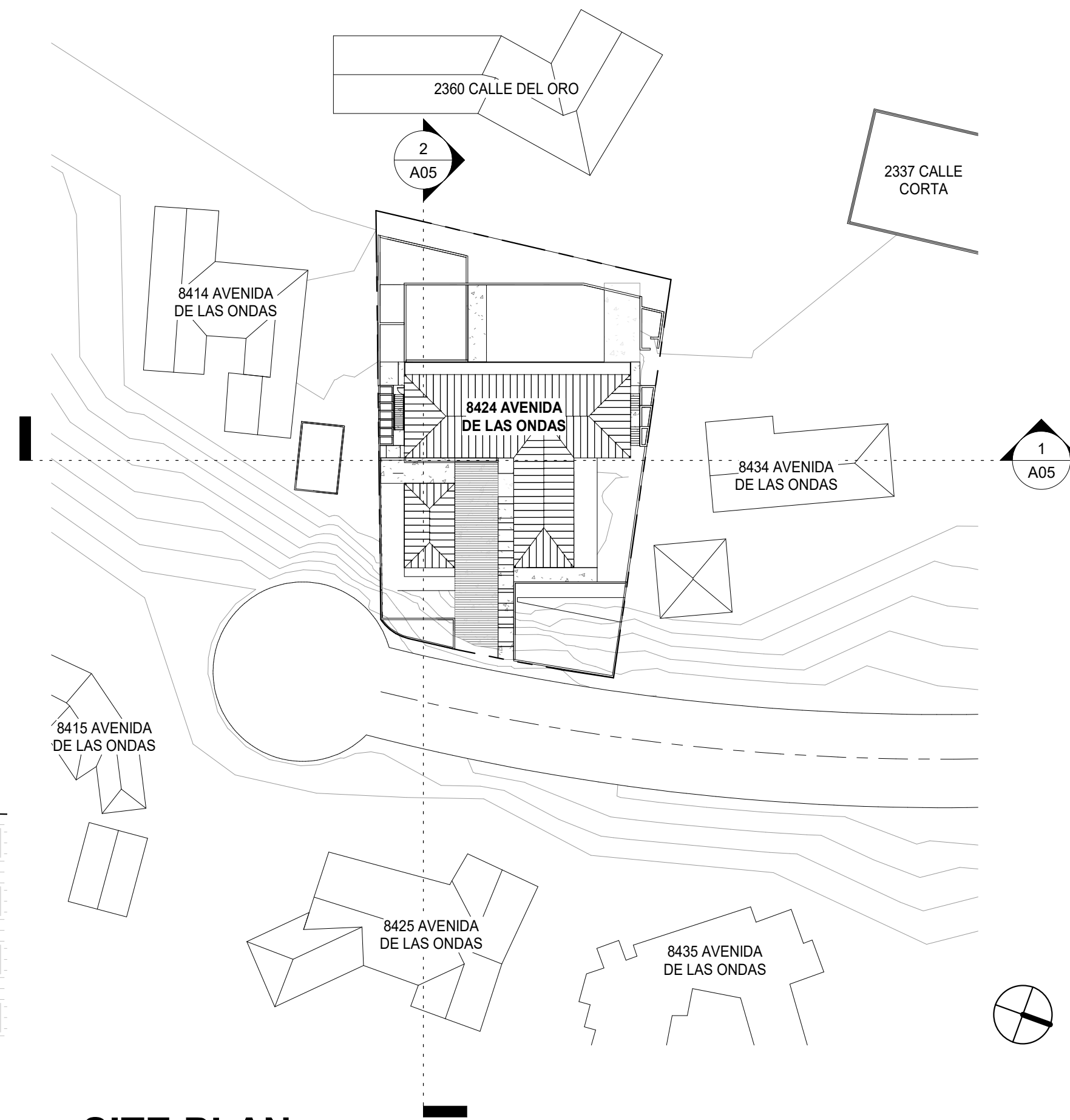
8424 AVENIDA DE LAS ONDAS

FLOOR PLAN **A04**
 AREAS:
 DATE: **04/20/2022**
 SCALE: **As indicated**



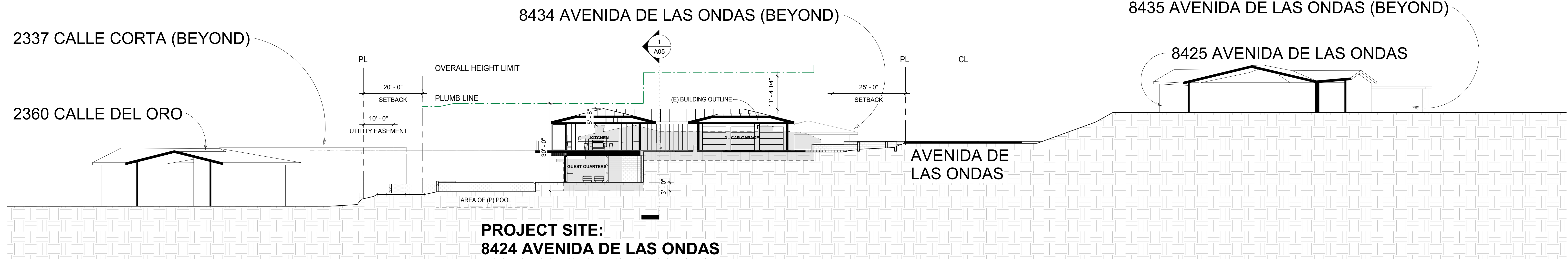
1 SITE SECTION 1

1/16" = 1'-0"



0 SITE PLAN

1" = 50'-0"



2 SITE SECTION 2

1/16" = 1'-0"

8424 AVENIDA DE LAS ONDAS

DEVELOPERS
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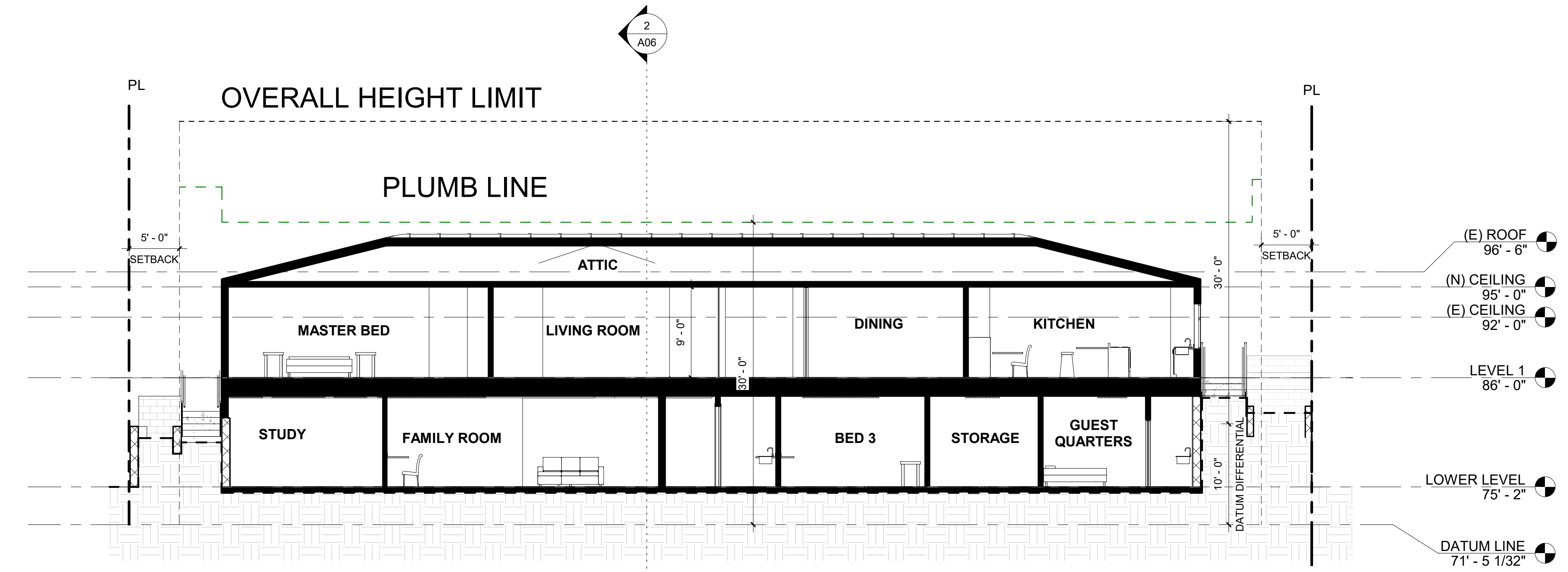
LOCAJ

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619.535.0537

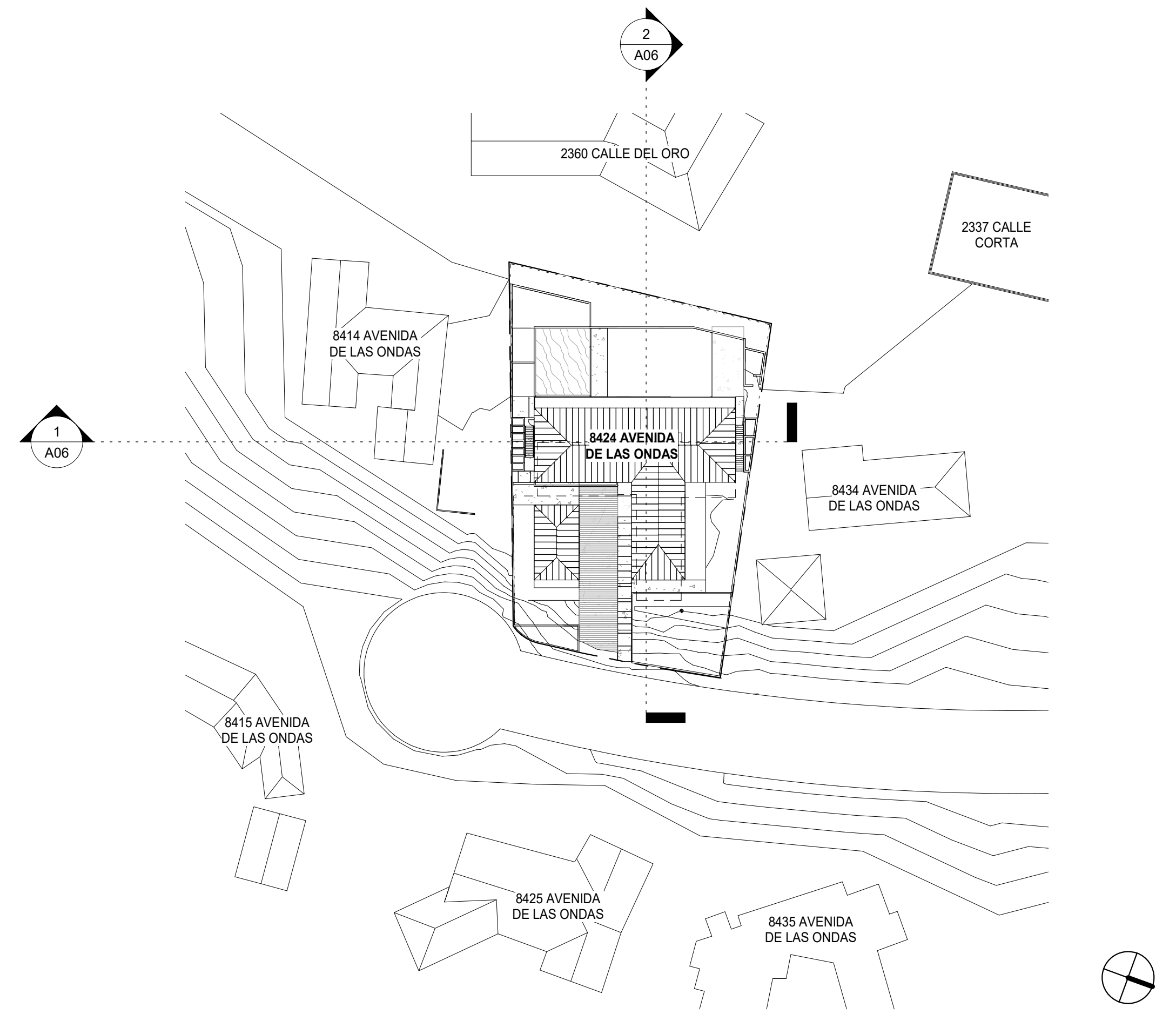
SITE SECTIONS: **A05**

DATE: **04/20/2022**

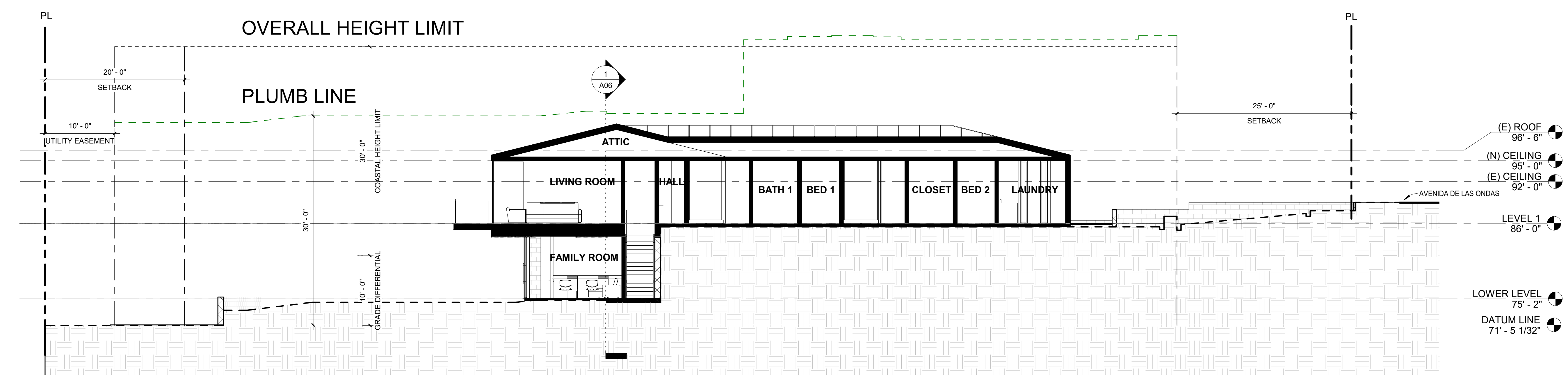
SCALE: **As indicated**



SECTION 1
1/8" = 1'-0"



SITE PLAN
1" = 50'-0"



Section 2
1/8" = 1'-0"

DEVELOPERS
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BUILDERS
INVESTORS

LOCA

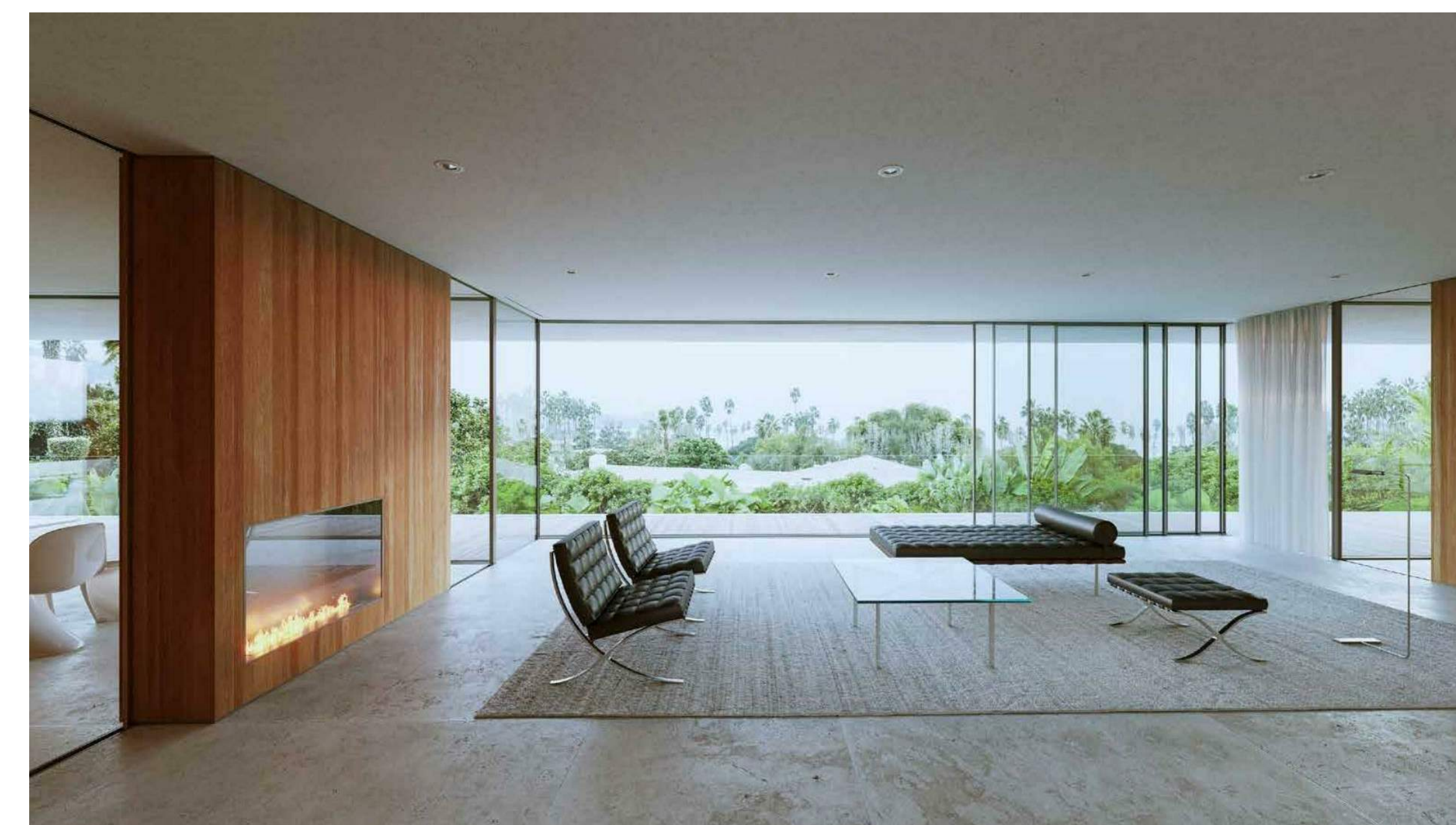
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SAN DIEGO, CA | 92101
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8424 AVENIDA DE LAS ONDAS

SITE SECTIONS: **A06**

DATE: **04/20/2022**

SCALE: **As indicated**



DEVELOPERS
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LOCAJ

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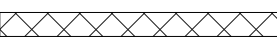
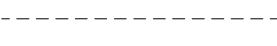
8424 AVENIDA DE LAS ONDAS

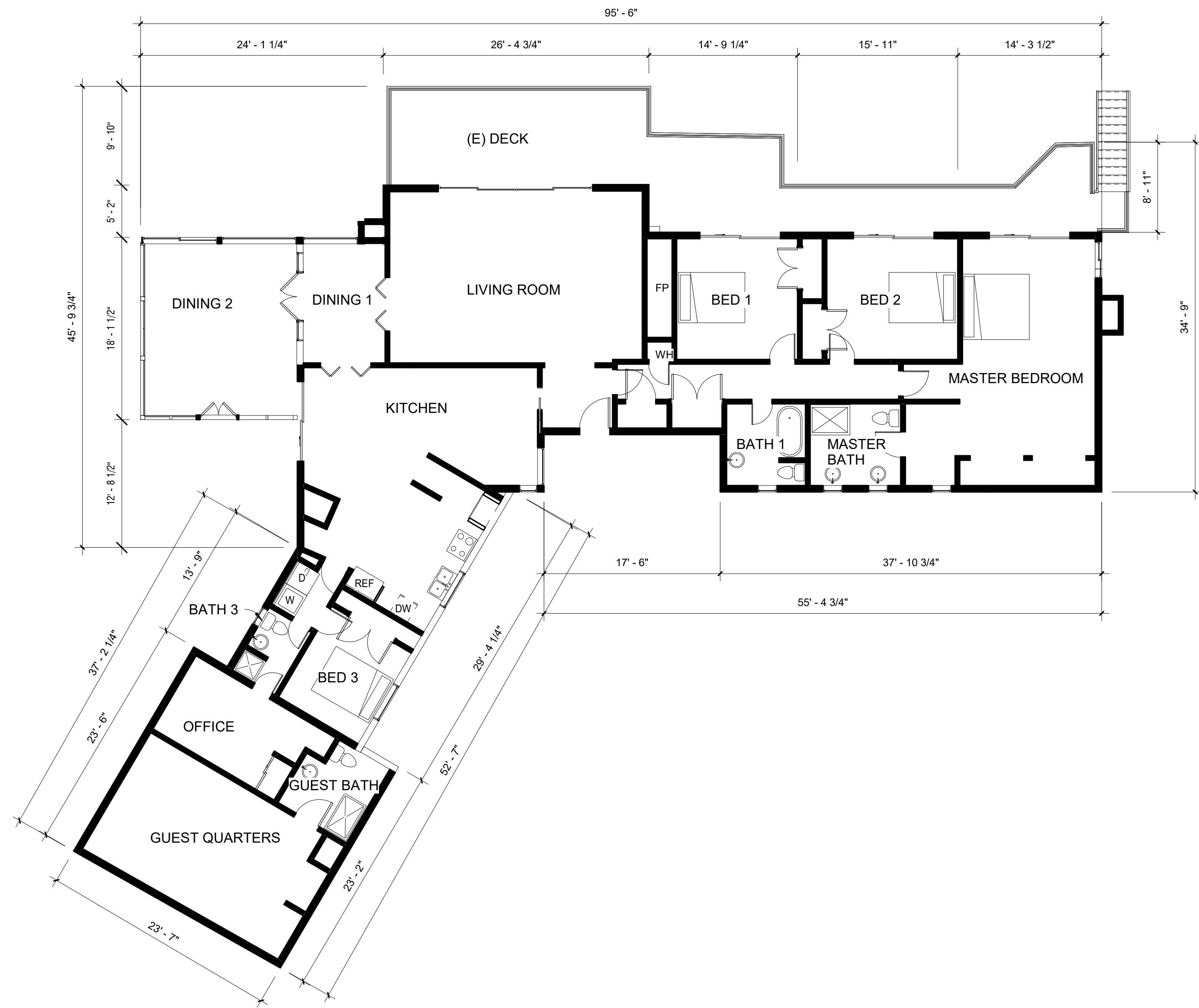
STREET VIEW & INTERIOR: **A07**

DATE: **04/20/2022**

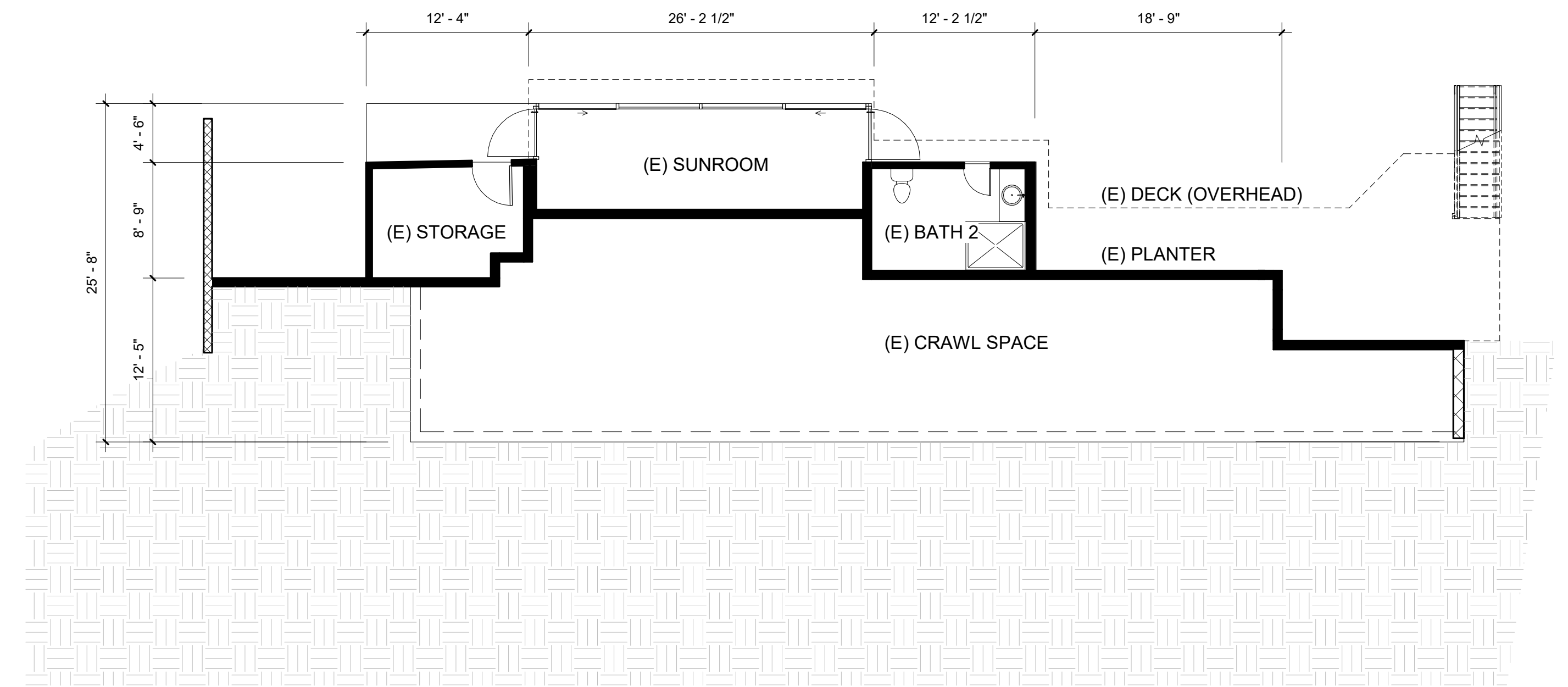
SCALE: **N/A**

LEGEND

2x4 WALL	
MASONRY WALL	
OVERHEAD LINES	

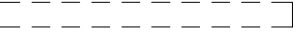

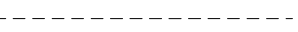


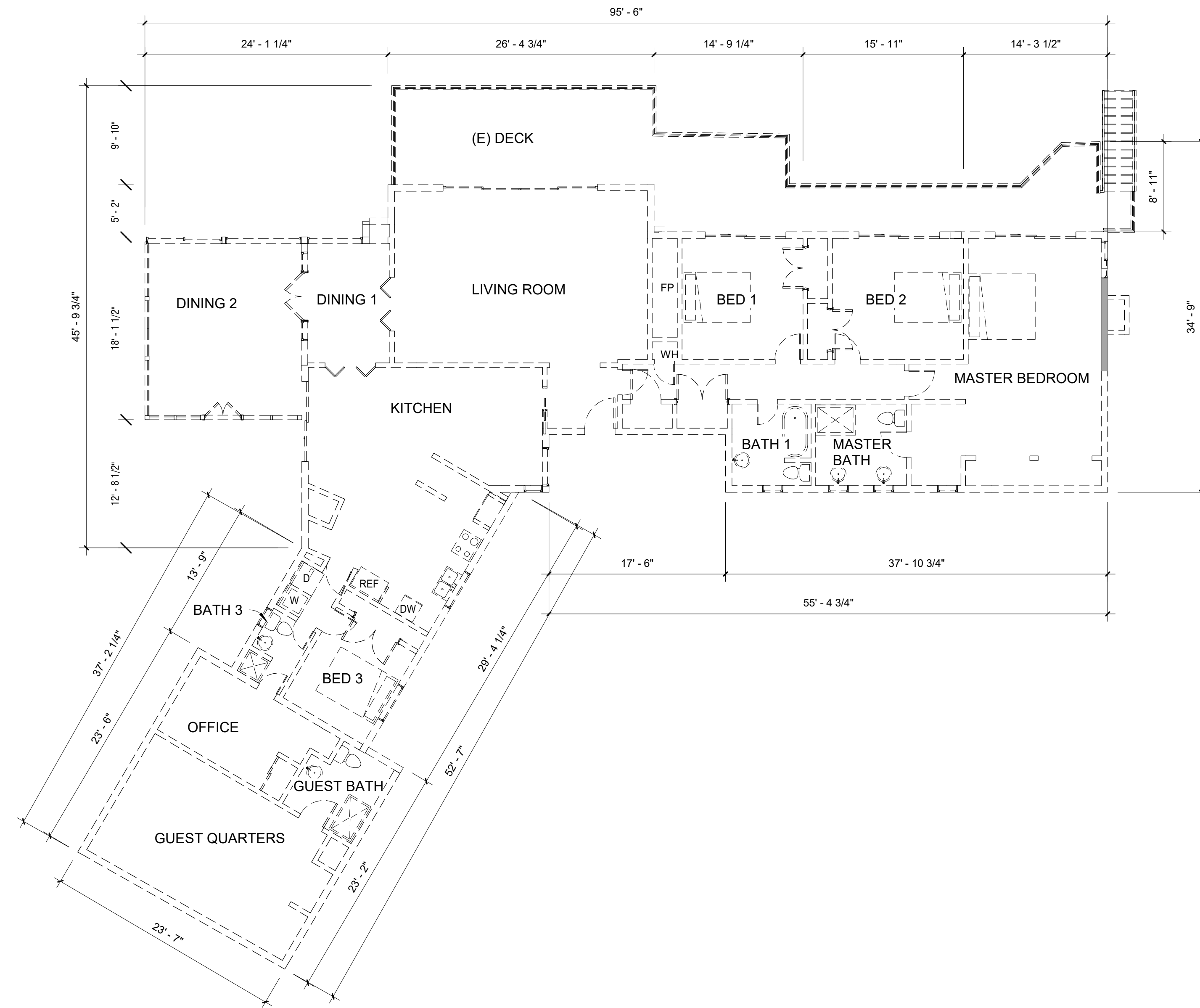
1 LEVEL 1 DEMO
1/8" = 1'-0"



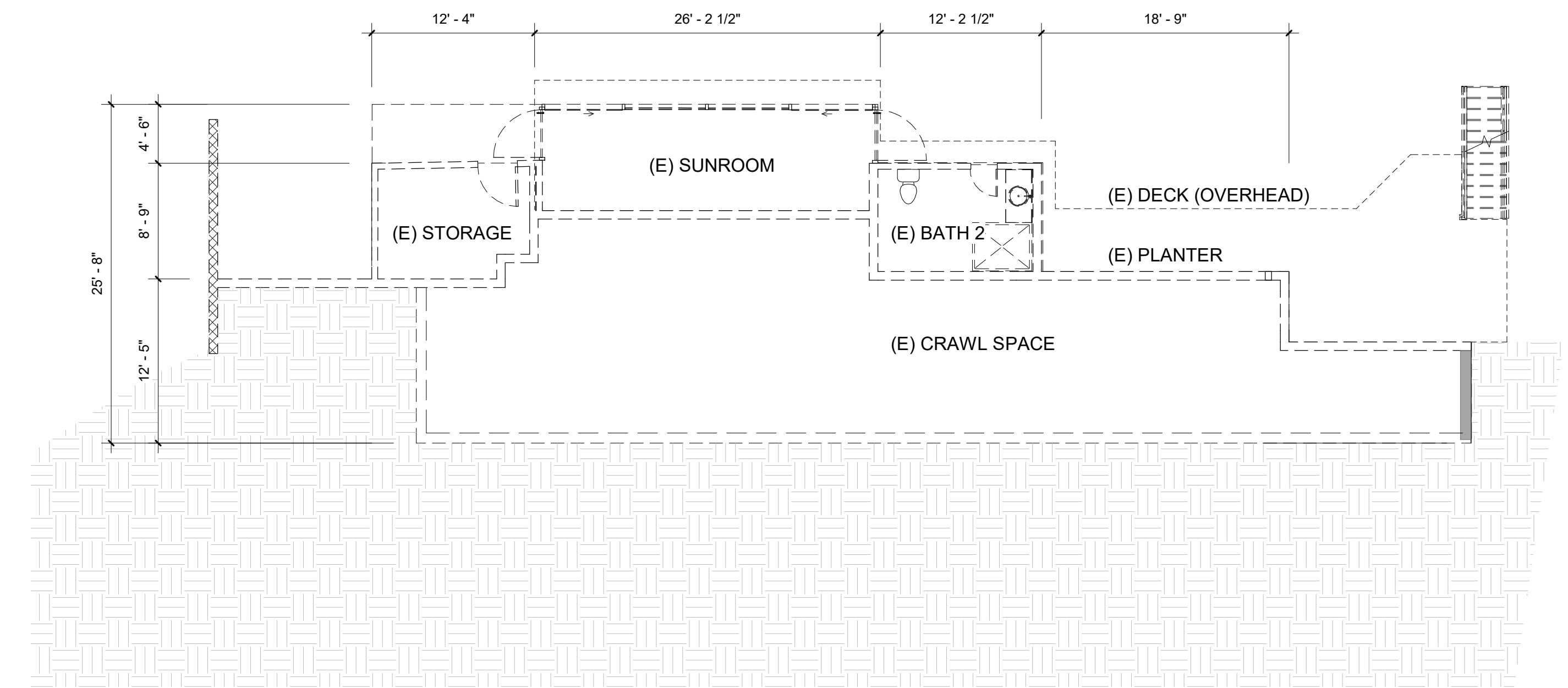
2 LOWER LEVEL DEMO
1/8" = 1'-0"

LEGEND

DEMOLISHED	
EXISTING WALL (TO REMAIN)	
OVERHEAD	



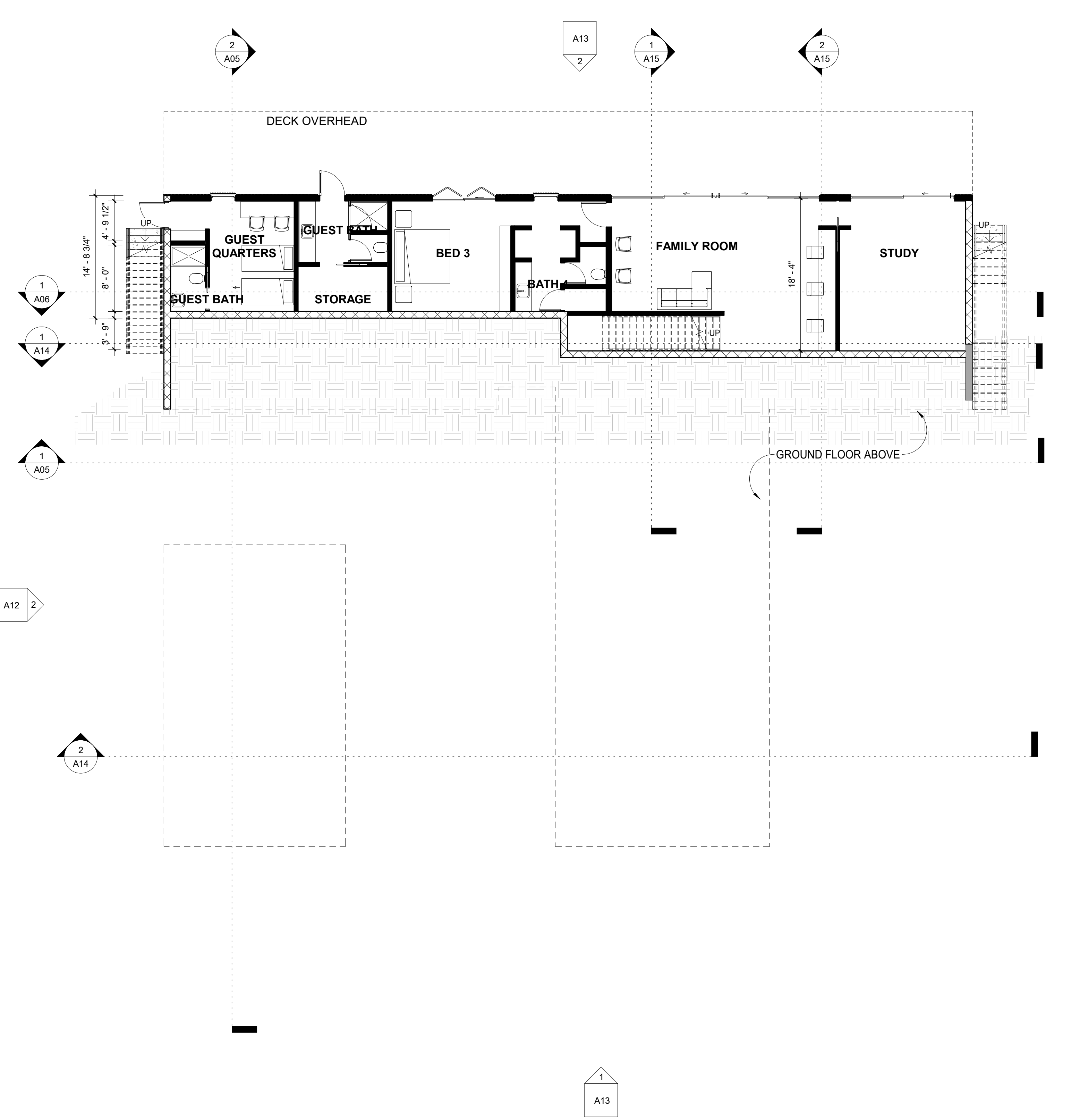
① **GROUND FLOOR DEMO**
1/8" = 1'-0"



② **LOWER LEVEL DEMO**
1/8" = 1'-0"



① (P) FIRST FLOOR PLAN
1/8" = 1'-0"



② (P) LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"

DEVELOPERS
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INVESTORS

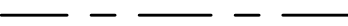






LOCA

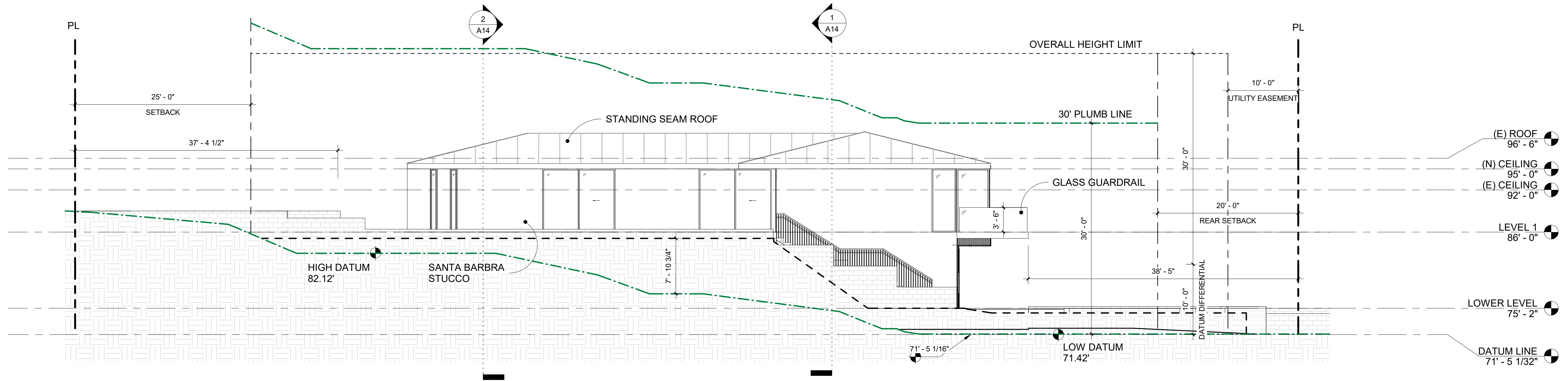
710 13th STREET, SUITE 307
SAN DIEGO, CA | 92101
619.535.0537

8424 AVENIDA DE LAS ONDAS

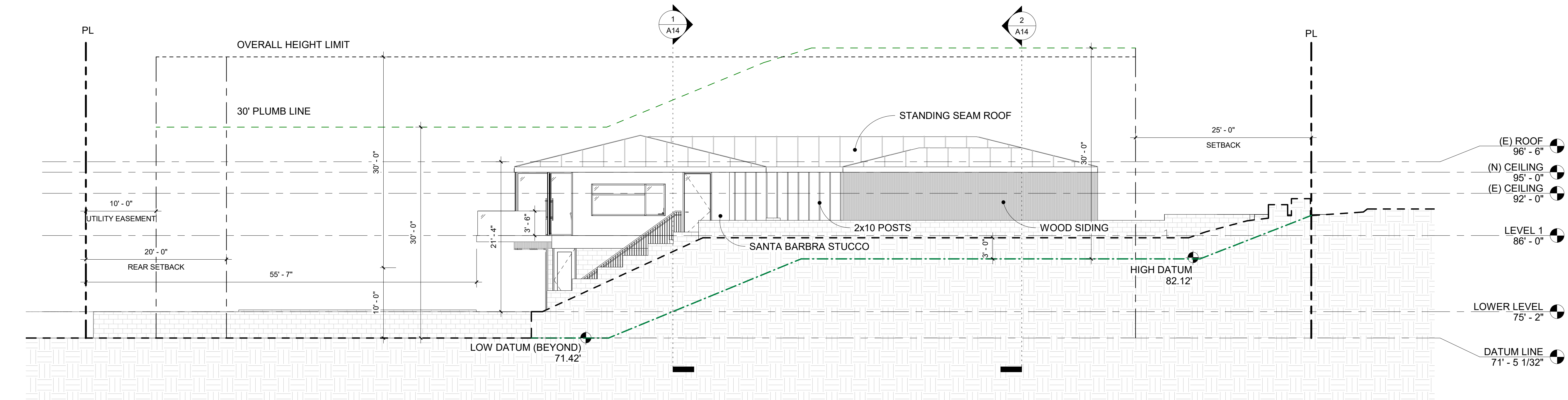
PROPOSED FLOOR PLANS: **A11**
DATE: **04/20/2022**
SCALE: **1/8" = 1'-0"**

LEGEND

- PROPERTY LINE 
- SETBACK 
- EXISTING GRADE 
- PROPOSED GRADE 
- OVERALL HEIGHT LIMIT 
- 30' PLUMB LINE 
- DATUM EXTENTS 
- SPOT ELEVATION 



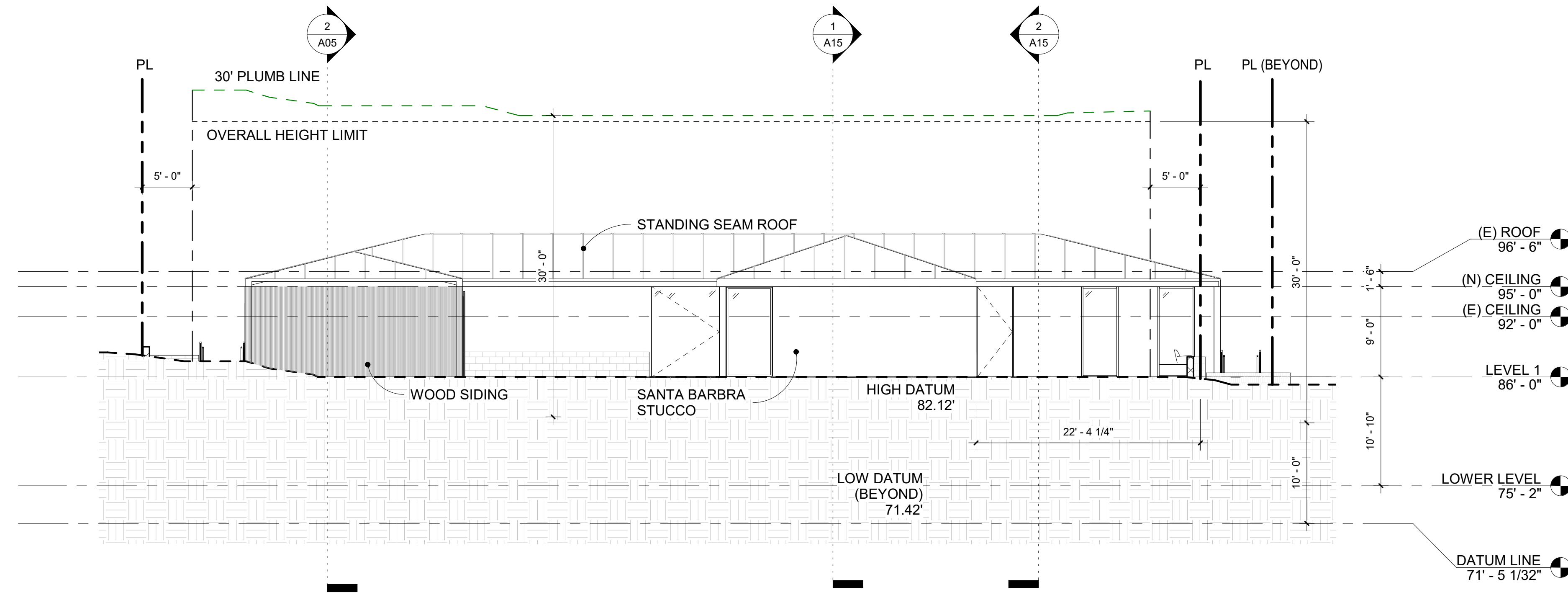
1 NORTH ELEVATION
1/8" = 1'-0"



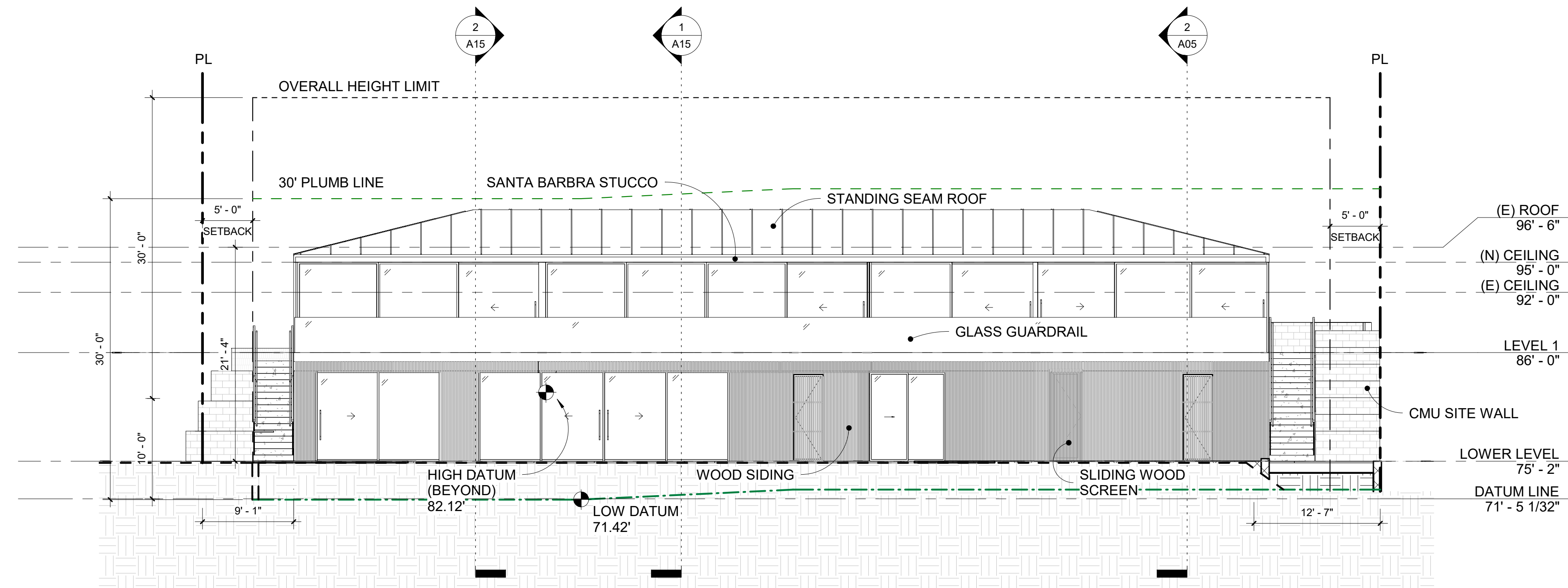
2 SOUTH ELEVATION
1/8" = 1'-0"

LEGEND

- PROPERTY LINE ---
- SETBACK ---
- EXISTING GRADE ---
- PROPOSED GRADE ---
- OVERALL HEIGHT LIMIT ---
- 30' PLUMB LINE ---
- DATUM EXTENTS ---
- SPOT ELEVATION ●



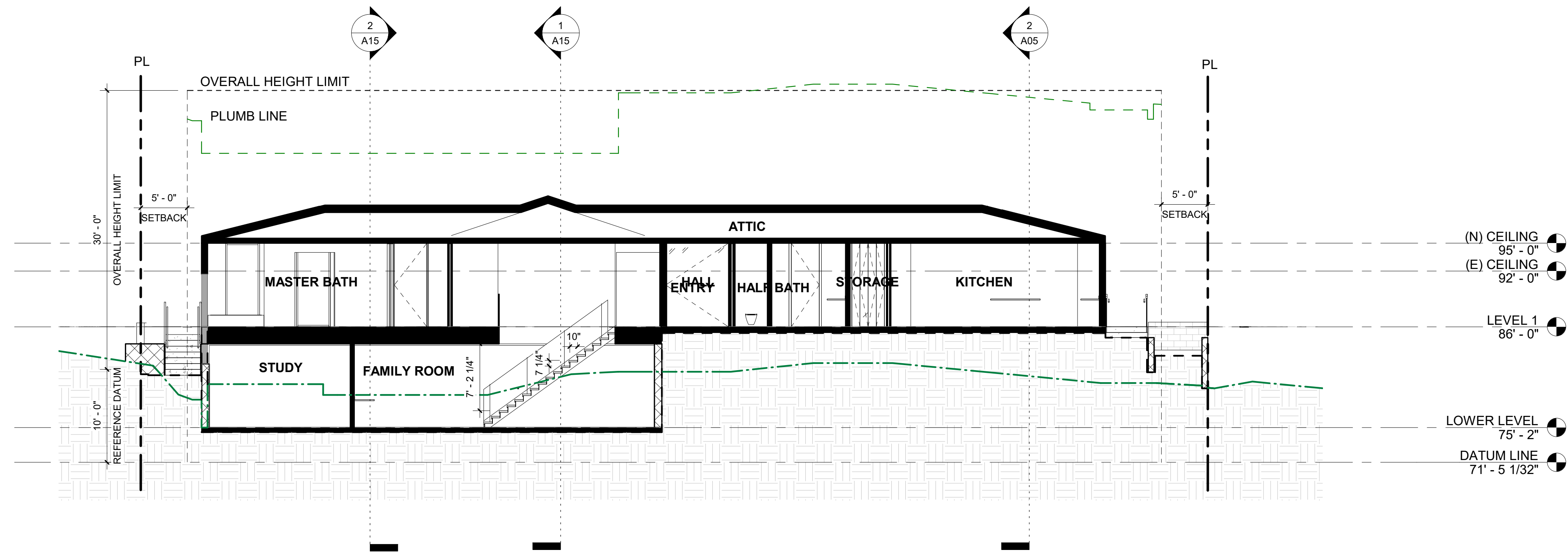
1 EAST ELEVATION
1/8" = 1'-0"



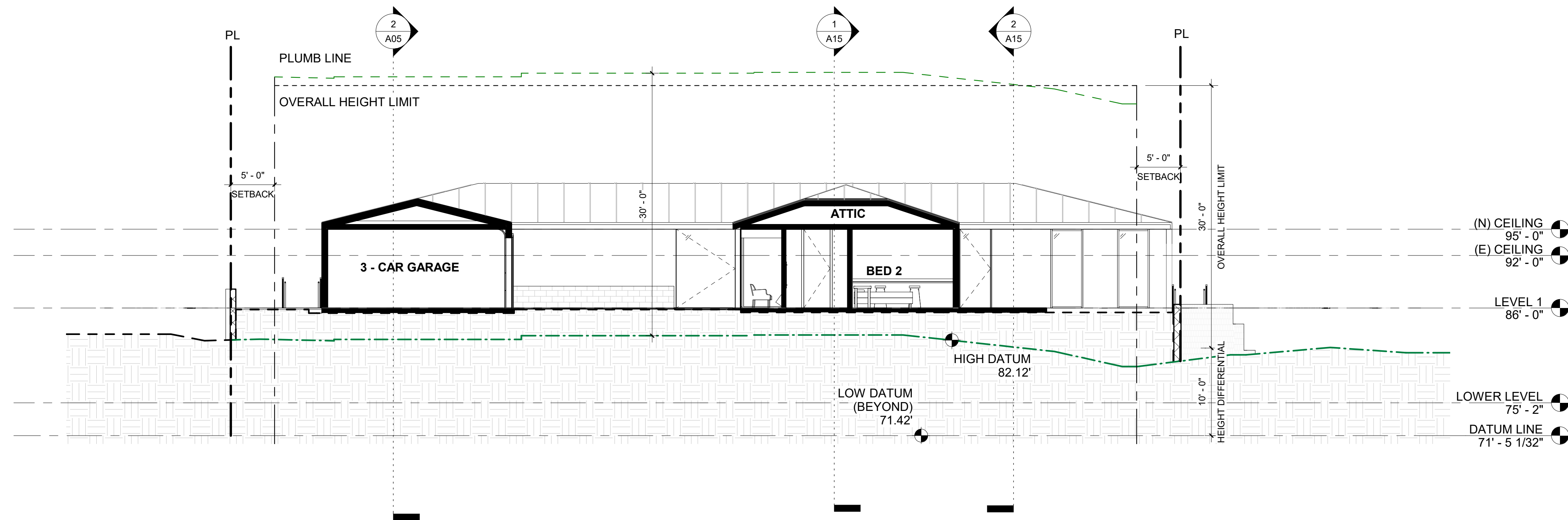
2 WEST ELEVATION
1/8" = 1'-0"

LEGEND

- (E) GRADE
- (P) GRADE
- OVERALL HEIGHT LIMIT
- PLUMB LINE
- (E) WALL
- (P) WALL
- SPOT ELEVATION



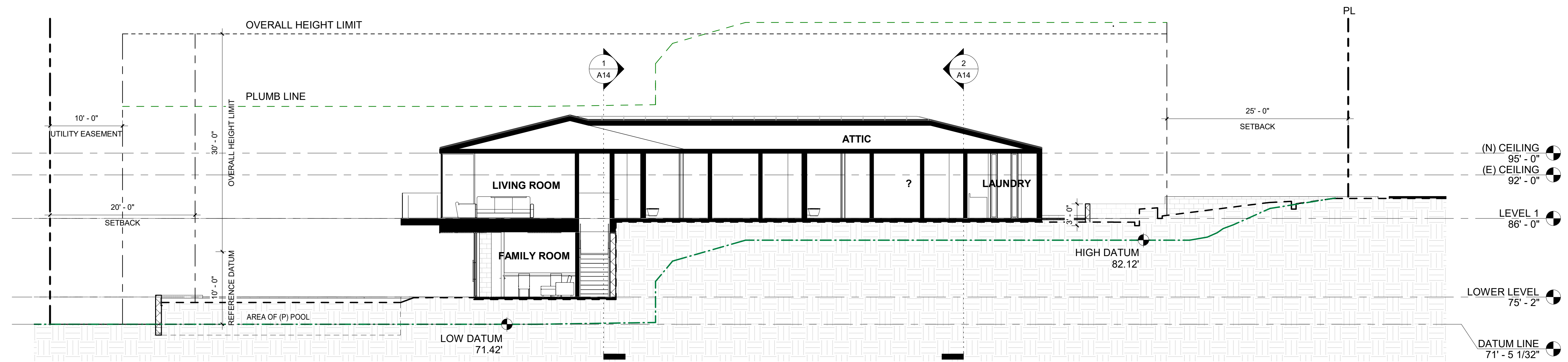
Section 1
1/8" = 1'-0"



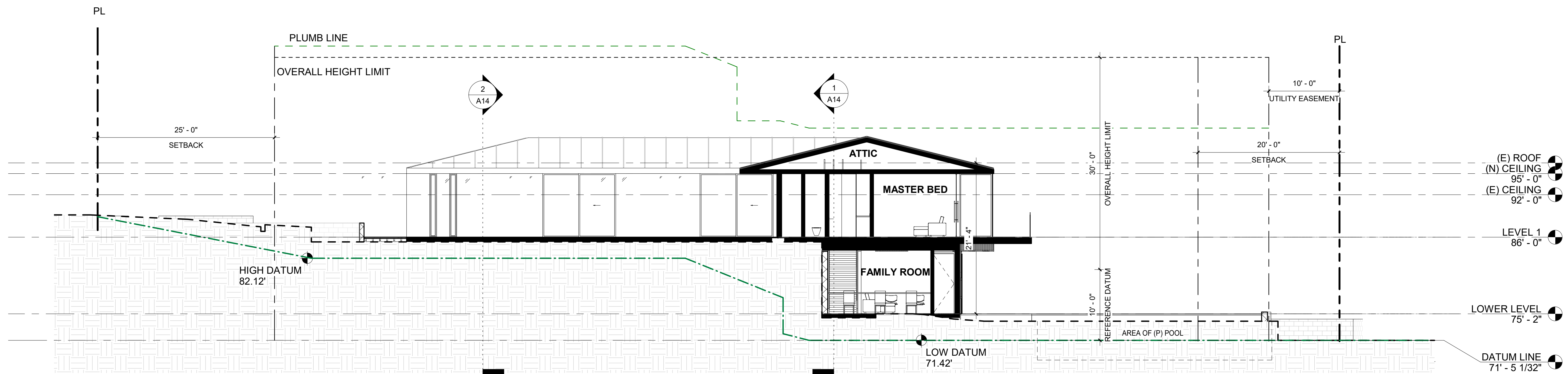
Section 2
1/8" = 1'-0"

LEGEND

- (E) GRADE
- (P) GRADE
- OVERALL HEIGHT LIMIT
- PLUMB LINE
- (E) WALL
- (P) WALL
- SPOT ELEVATION +



Section 3
1/8" = 1'-0"



Section 4
1/8" = 1'-0"



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619.535.0537 x 104

8424 AVENIDA DE LAS ONDAS
REMODEL AND ADDITION

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037
APN: 346-132-03-00

OWNER: DIEGO SULLIVAN

8424 AVENIDA DE LAS ONDAS
LA JOLLA, CA 92037

NO.	DESCRIPTION	DATE
1	SUBMITTAL	03/31/21

PROJECT:	190429
CITY PROJECT:	676603
DATE:	04/20/2022
DRAWN BY:	Author

MATERIALS

G008

SCALE:
SHEET: OF 21

ROOF:
LIGHT GRAY
STANDING SEAM

STUCCO:
LIGHT GRAY

DRIVEWAY:
SEMI PERMIABLE
GRASSCRETE

EXTERIOR FLOORS:
TRAVERTINE MARBLE

WINDOW GLASS:
CLEAR WHITE

INTERIOR FLOORS:
NATURAL STONE

WINDOW'S FRAMES:
DARK GRAY

WOOD SLATS & SIDING:
NATURAL WHITE OAK

