



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: February 24, 2016 REPORT NO. HO-16-010

ATTENTION: Hearing Officer

SUBJECT: TIME WARNER COM HUB COMMUNICATION SWITCHING STATION, PROJECT NUMBER - 427117

LOCATION: 4020 Convoy Street

APPLICANT: Stephen Slater

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit for a communication switching station located at 4020 Convoy Street within the Kearny Mesa Community Planning area?

Staff Recommendation(s) - APPROVE Conditional Use Permit No. 1502164.

Community Planning Group Recommendation - The project was presented to the Kearny Mesa Community Planning Group on September 16, 2015 and on October 16, 2015 as action items. The community group voted 9-1-0 to recommend approval of the project with no conditions (Attachment 7). Reference the Discussion section of this report.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures). On February 2, 2016, the City Council considered an appeal of the environmental determination in accordance with San Diego Municipal Code Section 112.0520(d). The City Council voted (9-0) to deny the appeal and approve the environmental determination.

BACKGROUND

The project proposes to demolish an existing commercial building and construct an approximate 6,238-square-foot, unmanned (controlled remotely) communication switching station on a 0.52-acre site located at 4020 Convoy Street. The site is zoned IL-3-1 and designated for General Commercial uses within the Kearny Mesa Community Plan. The site is currently developed with an existing market/restaurant building which has been vacant since 2011. The

project requires a Conditional Use Permit Process 3 pursuant to Land Development Code Section 141.0416 for the following separately regulated use category: Major Transmission, Relay, or Communication Switching Systems.

Environmental Determination Appeal Hearing

As noted above, on February 2, 2016, the City Council considered an appeal of the environmental determination in accordance with San Diego Municipal Code Section 112.0520(d). The City Council voted (9-0) to deny the appeal and approve the environmental determination.

DISCUSSION

The proposed project would construct a maximum 28'-6" high structure including a cable hub room, direct current power room, service room, electrical room, and an enclosed generator yard. The facility will provide enhanced high speed internet and phone services to business class and residential customers, including increased capacity and improved reliability. The facility is designed to operate unmanned and will be remotely monitored with minimum on-site visits for regular maintenance and testing of equipment. The structure is sited within the northerly portion of the site, allowing for vehicular access and parking along the southerly portion of the property. The access gate to the facility is set back from the building to allow for queueing of vehicles and for the installation of increased landscaping in front of the structure. A total of 6 parking spaces are required for the facility.

The project complies with all of the underlying zone regulations, and the separately regulated use requirements. The separately regulated use regulations require that structures are located so that visibility from adjacent public rights-of-way or adjacent residential development is minimized, and that fences, walls, trees and other forms of landscaping are used to screen structures from adjacent public rights-of-way or adjacent residential development. New landscape features adjacent to the front of the building along Convoy Street include 5 new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover as well as decorative fencing, which will provide additional screening. There are no adjacent residential developments to the site.

Community Plan Analysis

The site is designated for General Commercial uses within the Kearny Mesa Community Plan. Plan policies contained within the Commercial Element state that commercial developments within the western Kearny Mesa area on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..." including both commercial and industrial uses.

The Urban Design Element of the Community Plan contains guidelines for general application in the community. Specifically, developments should be consistent with the scale and character of the surrounding development and transition to older buildings by providing similar building

setbacks. New buildings which are larger than existing structures should avoid abrupt differences in building height and mass through the use of step-back techniques. A primary goal of the Urban Design Element is to preserve and enhance the physical environmental, visual appearance, identity and character of the community. The Plan acknowledges that major streets in the community, including Convoy Street, lack aesthetic quality derived from the provision of basic amenities such as landscaped medians, street trees and other urban design elements. Surrounding developments include one, two, and three level buildings with varying setbacks. As noted above, the project will provide new landscaped areas consistent with the city-wide regulations. The building provides varying step backs from the front property line and conforms to the IL-3-1 zone's front setback requirement of 15 feet, consistent with other developments on the block. The project is consistent with the Community Plan.

Community Planning Group Vote:

At the request of the Kearny Mesa Community Planning Group, the applicant presented the project on two occasions as action items. On September 16, 2015, the Community Group requested that the applicant redesign the visual appearance of the east side of the building facing Convoy Street in order to appear more like the surrounding retail structures. The item was scheduled again for the October 21, 2015 meeting in which the applicant presented modified elevations to include façade related changes. These changes include: enlarging windows, plaster surface treatment, various articulation and color finishes, lighting, awnings and cornice treatments. The Community Group voted 9-1-0 to recommend approval of the project on October 21, 2015.


Conclusion:

Staff has reviewed the proposed project and all issues identified through that review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 4). Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES:

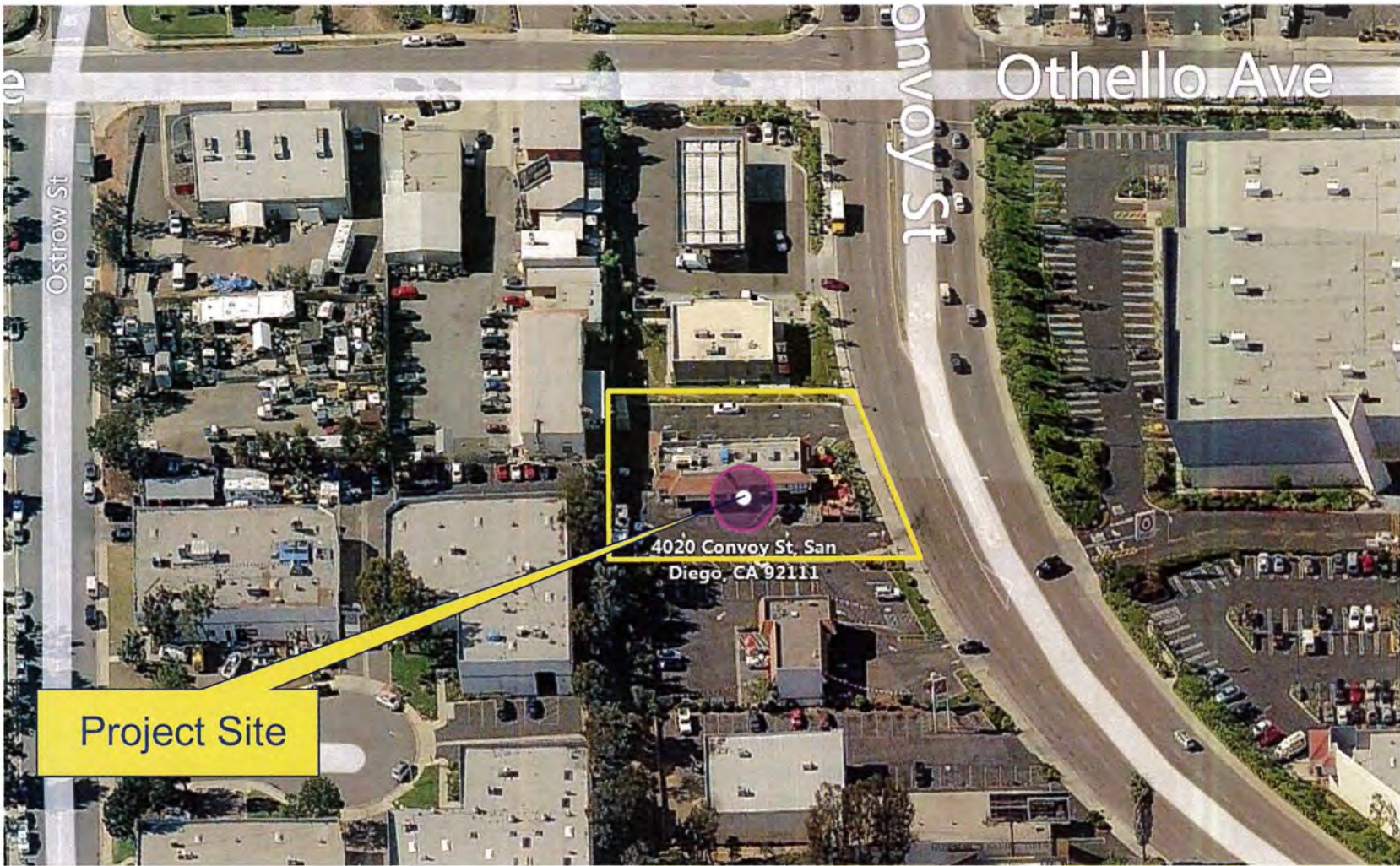
1. Approve Conditional Use Permit No. 1502164, with modifications.
2. Deny Conditional Use Permit No. 1502164, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


Sandra Teasley, Development Project Manager

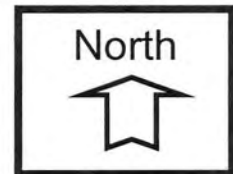
Attachments:

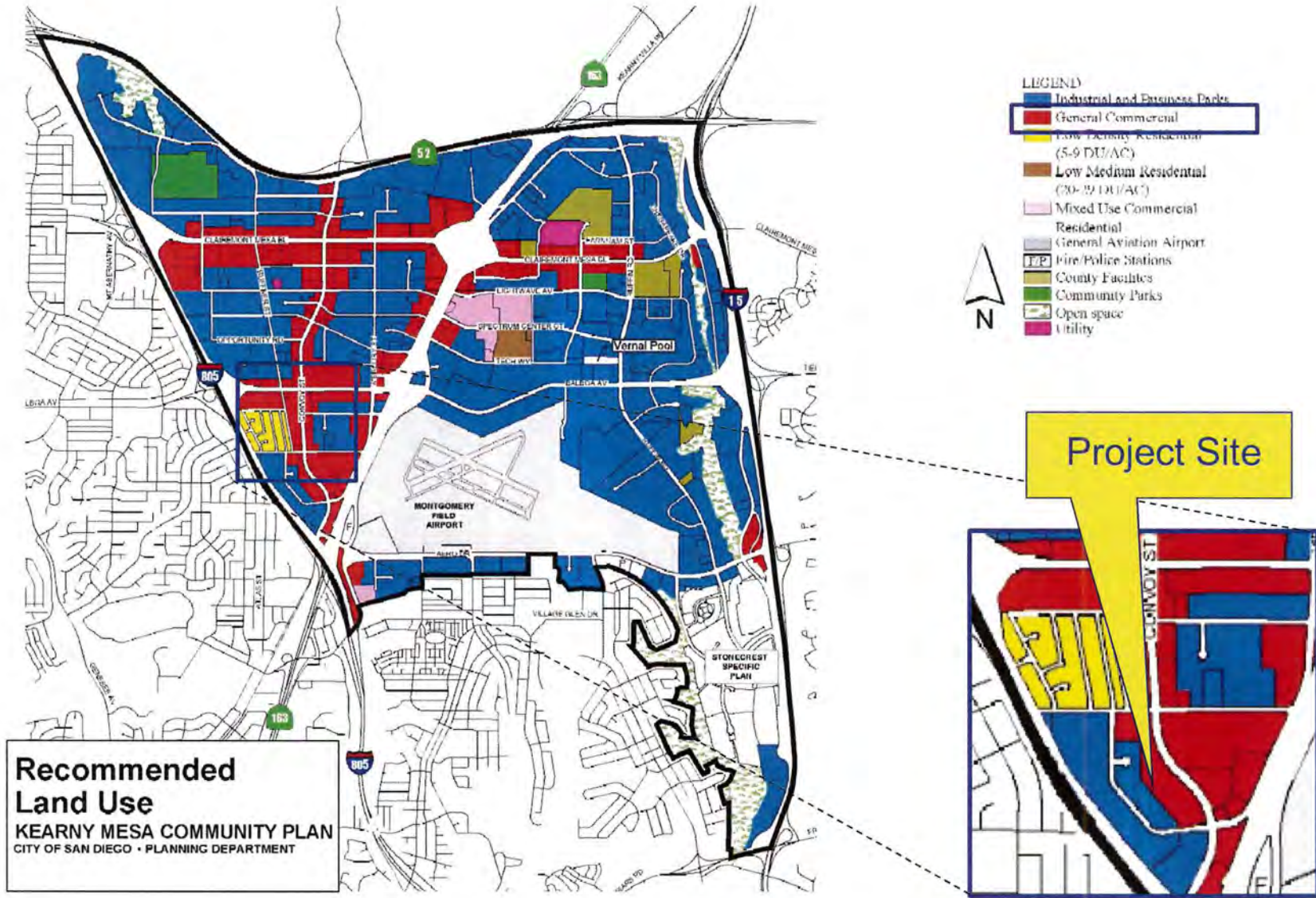
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. Public Correspondence (Opposition Letter dated 10.21.15 / Applicant Response Letter 11.10.15)
9. Project Plans



Aerial Photo

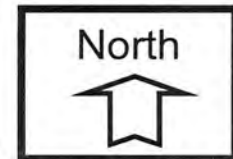
**TIME WARNER COM. HUB COMMUNICATION SWITCHING STATION- 4020
CONVOY STREET
PROJECT NO. 427117**



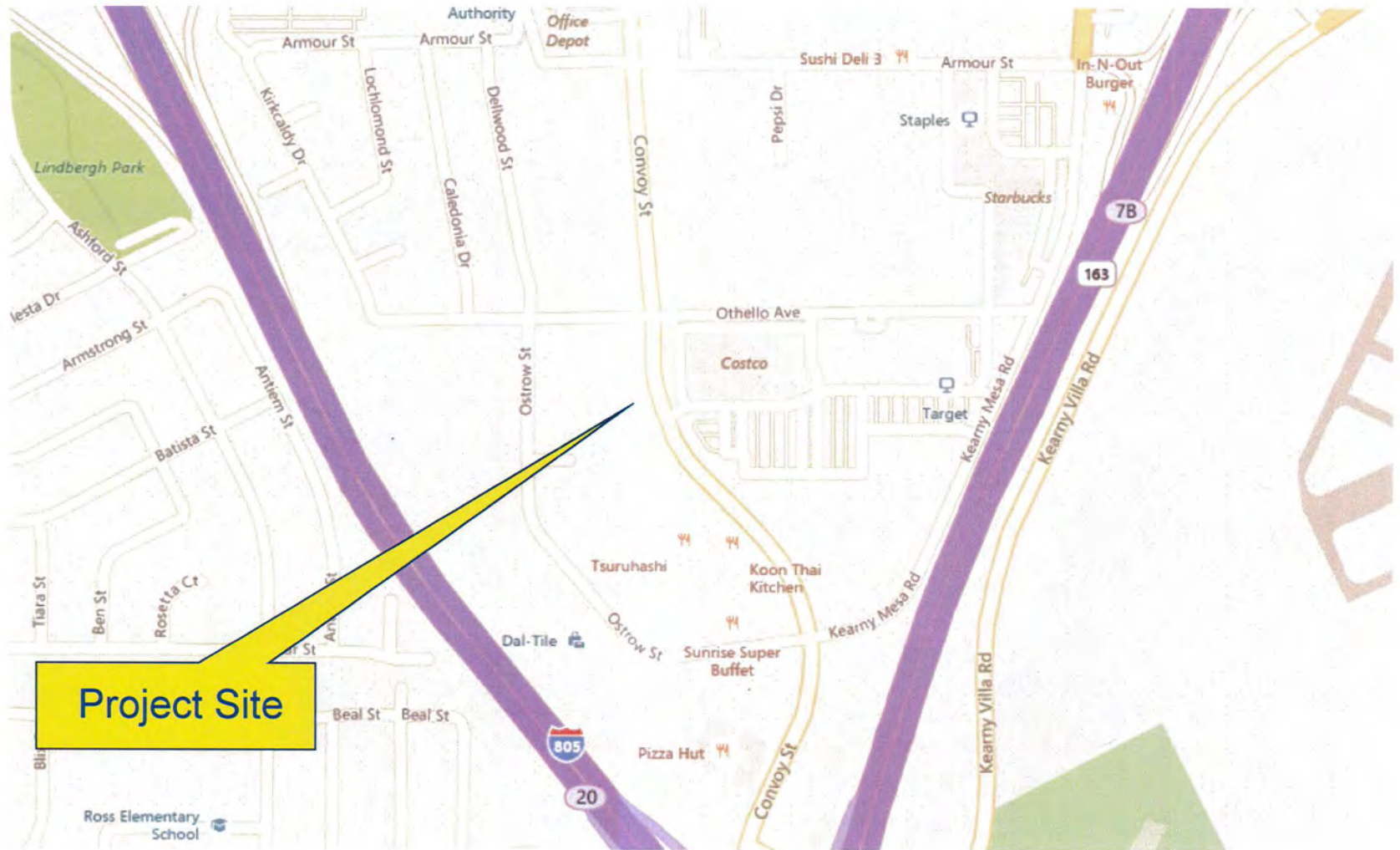


Land Use Map

**TIME WARNER COM HUB COMMUNICATION SWITCHING STATION 4020
CONVOY ST
PROJECT NO. 427117**



ATTACHMENT 2



Project Location Map

TIME WARNER COM HUB CUP – 4020 CONVOY STREET
PROJECT NO. 427117



HEARING OFFICER
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1502164
**TIME WARNER CABLE COM. HUB COMMUNICATION SWITCHING STATION
PROJECT NO. 427117**

WHEREAS, TIME WARNER CABLE PACIFIC WEST LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing commercial building and construct a 6,238-square-foot, unmanned (remotely controlled) communication switching station on a site (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1502164), on portions of a 0.52-acre site;

WHEREAS, the project site is located at 4020 Convoy Street in the IL-3-1 zone of the Kearny Mesa Community Plan;

WHEREAS, the project site is legally described as a portion of Lot 3 of Fed-Mart Tract Unit No. 2, Map No. 5625;

WHEREAS, on February 24, 2016 the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1502164 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 30, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 2, 2016, the City Council of the City of San Diego considered an appeal of the CEQA determination and voted to deny the appeal and approve the determination ;

NOW THEREFORE;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 24, 2016:

FINDINGS:

CONDITIONAL USE PERMIT FINDINGS SECTION 126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The site is zoned IL-3-1 and designated for General Commercial uses within the Kearny Mesa Community Plan. The property is located within the General Plan's Commercial Employment,

Retail and Services subarea (CERS) which is intended to address the commercial-related needs of the various community planning areas. The project will provide improved and enhanced internet, telephone, cable and other related services used in the day-to-day operations of those uses located with the CERS designated areas within the Kearny Mesa Community Plan.

The Kearny Mesa Community Plan does not specifically address communication switching stations. The proposed use is a separately regulated institutional use allowed in the zone with a Conditional Use Permit regardless of the land use designation. The Commercial Element of the Community Plan states that properties within the General Commercial land use designation should be allowed to re-develop with a broad array of uses, including both commercial and industrial uses. The Land Development Code's Grouping of Category Section (Section 131.0111) states the following: *Any use within the institutional, retail sales, commercial services, offices, and vehicle and vehicular equipment sales and services categories is considered a commercial use or commercial development.* Plan policies contained with the Commercial Element state that commercial developments within the western Kearny Mesa area on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..."

The Urban Design Element of the Community Plan contains guidelines for general application in the community. Specifically, developments should be consistent with the scale and character of the surrounding development and transition to older buildings by providing similar building setbacks. New buildings which are larger than existing structures should avoid abrupt differences in building height and mass through the use of step-back techniques. A primary goal of the Urban Design Element is to preserve and enhance the physical environmental, visual appearance, identity and character of the community. The Plan acknowledges that major streets in the community, including Convoy Street, lack aesthetic quality derived from the provision of basic amenities such as landscaped medians, street trees and other urban design elements. Surrounding developments include one, two, and three level buildings with varying setbacks. The building provides varying step backs from the front property line and conforms to the IL-3-1 zone's front setback requirement of 15 feet, consistent with other developments on the block.

The proposed project is consistent with these guidelines in that the building uses step-back design techniques and new landscape features including five new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover. Perimeter landscaping is proposed consistent with the current landscape regulations. Façade treatments and colors used compliment adjacent properties including the use of plastic surface treatments, awnings and cornice treatments and neutral earth tones. These articulation, façade treatments and landscape features serve to soften the bulk and scale of the building and implement the streetscape objectives of the Community Plan. The project would demolish an existing market/restaurant building which has been vacant since 2011. The proposed development will be a physical improvement to the existing site by providing a new building, new landscaping and site improvements which implement several recommendations and plan policies, therefore, the proposed development will not adversely affect the land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project was determined to be exempt from environmental review. Additionally, the permit controlling this development contains conditions addressing compliance with the City's regulations

and other regional, State, and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in and frequenting the area. These conditions address requirements relating to storm water runoff, runoff during construction, public improvement repairs, fire protection, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. Prior to issuance of any construction permits for the proposed development, the project plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing, and fire codes.

The project proposes the construction of a 6,238-square-foot, unmanned (remotely controlled) communication switching station. The use is a separately regulated, institutional use which requires a Conditional Use Permit. Separately regulated uses are considered to be conditionally compatible with other uses. Additionally, the Land Development Code's Grouping of Category Section states the following regarding the Institutional Use Category: *This category includes uses that provide unique services that are of benefit to society as a whole.* The facility will provide enhanced high speed internet and phone services to business class and residential customers, including increased capacity and improved reliability. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land development Code including any allowable deviations pursuant to the Land Development Code.

The proposed use is an allowable use in the IL-3-1 zone with a Conditional Use Permit. The development complies with all of the development regulations of the Land Development Code including coverage, parking, landscaping, setbacks and building height. No deviations are requested with this application. The project is also consistent with the separately regulated use regulations contained within Chapter 14 of the Land Development Code for communications switching stations. These regulations require that structures are located so that visibility from adjacent public rights-of-way or adjacent residential development is minimized, and that fences, walls, trees, and other forms of landscaping are used to screen structures from adjacent public rights-of-way or adjacent residential development. New landscape features adjacent to the front of the building along Convoy Street include 5 new street trees, drought tolerant, self sufficient landscaping materials including new shrubs, bushes and ground cover. There are no adjacent residential developments to the site. Therefore, the proposed development complies with the Land Development Code.

4. The proposed use is appropriate at this proposed location.

The proposed hub facility, which includes a cable hub room, direct current power room, service room, electrical room, and generator yard will provide enhanced high speed internet, cable and telephone services to business and residential customers, including increased capacity and improved reliability. The facility is designed to operate unmanned and will be remotely monitored with minimum on-site visits for regular maintenance and testing of equipment. The development is sited within the northerly portion of the site, allowing for vehicular access and parking along the southerly portion of the property. Currently, surface parking areas surround the existing building to be demolished. The access gate to the facility is setback from the building to allow for queueing of vehicles and for the installation of increased landscaping in front of the structure. Given the institutional nature of the use and limitations on design standards for such structures within the

industry, window treatments and enhanced plaster surface around the entire perimeter of the structure, additional cornices and eave projections are included to provide an element of aesthetics.

The proposed use is consistent with the land use designation of the Kearny Mesa Community Plan and implements several plan policies and recommendations of the General Plan and the Community Plan. The site is designated for General Commercial uses within the Kearny Mesa Community Plan. Plan policies contained within the Commercial Element state that commercial developments within the western Kearny Mesa area on certain streets, including Convoy Street, "...are encouraged to redevelop with an array of uses permitted by that land use category..." including both commercial and industrial uses. The proposed development complies with all of the regulations of the IL-3-1 zone and the separately regulated use regulations for communication switching stations. Reference Conditional Use Permit Findings Nos. 1 through 3 for additional information for the Record. Therefore, the proposed use is appropriate at this location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1502164 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1502164 a copy of which is attached hereto and made a part hereof.

Sandra Teasley
Development Project Manager
Development Services

Adopted on: February 24, 2016

SAP No. 24005926

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005926

CONDITIONAL USE PERMIT NO. 1502164
TIME WARNER CABLE COM. HUB COMMUNICATION SWITCHING STATION
PROJECT NO. 427117
HEARING OFFICER

This Conditional Use Permit is granted by the Hearing Officer of the City of San Diego to TIME WARNER CABLE PACIFIC WEST LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0416. The 0.52-acre site is located at 4020 Convoy Street IL-3-1 zone of the Kearny Mesa Community Plan. The project site is legally described as a portion of Lot 3 of Fed-Mart Tract Unit No. 2, Map No. 5625;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing commercial building and construct a communication switching station described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 24, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing commercial building;
- b. Construction of a 6,238-square-foot communication switching station to include cable hub room, direct current power room, service room, electrical room, and an enclosed generator yard.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 9, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 13 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for the curb outlet in the Convoy Street Right-of-Way.
14. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Convoy Street, satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, reconstruct the existing driveway with a current City Standard concrete driveway, adjacent to the site on Convoy Street, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Convoy Street, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
20. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.
22. Construction documents for grading shall include the following note: "All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown in Table 142-04F and in accordance with the

standards in the San Diego Municipal Code, Section 142.0411. All required revegetation and erosion control shall be completed within 90 calendar days of the completion of grading or disturbance."

23. Prior to issuance of any construction permits for grading, landscape construction documents shall provide a provisional, non-irrigated hydroseed mix for the purposes of Grading Note 3. Mix shall include no invasive or potentially invasive species. Indicate mix by species, percent purity and live seed. Include application procedures consistent with section 4.4 of the Landscape Standards.

24. Construction documents for grading shall include a vegetated swale section detail showing a minimum dimensioned 3-foot growing medium and will specify liner type. Trees will not be incorporated within an impermeable liner and must have access to the native soil.

25. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

28. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be

maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

31. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

TRANSPORTATION REQUIREMENTS:

32. No fewer than 6 off-street parking spaces (with 6 off-street parking spaces provided; including 1 disabled accessible space) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A," as part of an unmanned communications switching facility. All on-site parking stalls and aisle widths shall be in compliance with requirements of the San Diego Municipal Code (SDMC), and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

33. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD) , on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

34. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities or within five feet of any water facilities.

35. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 24, 2016 and [Approved Resolution Number].

Permit Type/PTS Approval No.: Conditional Use Permit No. 1502164

Date of Approval: 2.24.16

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

SANDRA TEASLEY
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

LLC

TIME WARNER CABLE PACIFIC WEST
Owner/Permittee

By _____
DAN COOPER
VICE PRESIDENT OF CRITICAL
INFRASTRUCTURE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 2

Project Name: Time Warner Com. Hub CUP	Project Number: 427117	Distribution Date: 06/26/2015
Project Scope/Location: KEARNY MESA - (Process 3) Conditional Use Permit to demolish a commercial structure and construct a 6,600 square-foot Communications Switching Station. The 0.50-acre site is located at 4020 Convoy Street in the IL-3-1 zone of the Kearny Mesa Community Plan area within Council District 6.		
Applicant Name: Steve Slater		Applicant Phone Number: (818) 228-8511
Project Manager: Will Zounes	Phone Number: (619) 687-5942	Fax Number: (619) 446-5245
E-mail Address: WZounes@sandiego.gov		
Committee Recommendations (To be completed for Initial Review):		
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 9	Members No 1
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No
<input type="checkbox"/> Vote to Deny	Members Yes	Members No
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		<input type="checkbox"/> Continued
CONDITIONS: NONE		
NAME: JEFFREY SALLEN		TITLE: KMPG CHAIR
SIGNATURE:		DATE: 10/21/15
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.		



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title _____ **Project No.** _____
 TIME WARNER SWITZ HUB

Project Address:
 4020 CONVOY ST. SAN DIEGO, CA.

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: TIME WARNER SWITCH HUB Project No. (427117)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
TIME WARNER
 Owner Tenant/Lessee
 Street Address:
4020 CONVUL / 10450 PACIFIC CENTER CT.
 City/State/Zip:
SAN DIEGO CA 92121
 Phone No: 859 635 8874 Fax No:
 Name of Corporate Officer/Partner (type or print):
DAN COOPER
 Title (type or print):
VICE PRESIDENT
 Signature: [Signature] Date: 5/29/15

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

October 21, 2015

Office of the Mayor
 City of San Diego
 202 C Street, 11th Floor
 San Diego, CA 92101

SUBJECT: OPPOSITION TO TIME WARNER CABLE EQUIPMENT FACILITY ON CONVOY

Dear Mayor Faulconer,

This letter is to express our opposition to the proposed Time Warner Cable (TWC) equipment storage facility at 4020 Convoy Street. It is our understanding that TWC is seeking a conditional use permit (case #1500264). It is our intent to appeal this project to the Planning Commission for the following reasons:

- 1) The design is not compatible to nor enhances the character of the community
- 2) The project is not pedestrian-friendly and further divide Convoy's north-south commercial areas
- 3) The use lacks gathering space and does not promote human activity on a bustling corridor

Background

The Convoy District, located in central San Diego in Kearny Mesa, is a neighborhood that has deep cultural ties similar to other areas like Little Italy, Hillcrest and Barrio Logan. In the past 25 years, entrepreneurs and community members have invested money and time growing this area to what has become the cultural and commercial heart for San Diego's 350,000 Asian Pacific American community. Today, the area has developed into one of, if not the largest cluster of Pan-Pacific businesses and institutions anywhere in America.

Members of our community (with a combined seven decades of relevant professional expertise in urban planning, community design, and real estate development) have reviewed the proposed TWC project and concluded the project does not meet the character of the community, and could be detrimental to implementing the city and community's long-term goals. A summary of recent activities:

- The City's promotion of the area as growing small business district;
- SANDAG / City \$600,000 public investment to analyze Smart Growth, mixed-use development in the community, with eventual connection to the region's trolley system;
- The Convoy District was featured as a cultural and dining destination as part of San Diego Tourism Authority's marketing campaign aimed at Latin America & Asia;
- Dozens of media publications the past two years highlighting the area's businesses and emergence as a dining destination. Media features include the New York Times, USA Today, San Diego Magazine, San Diego City Beat, Union Tribune, NBC, and KPBS, among others

We appreciate TWC's effort to meet with us. Unfortunately, their outreach efforts occurred only within the last 2-3 weeks, while it was acknowledged that TWC has been working on this project for several years. Additionally, it has been misrepresented in the community - the proposed project is not permitted by right in the applicable zone and per City code, community review is needed to determine whether and under what conditions may be applicable in order to fully protect the public health, safety, and welfare of the community. At this time, impacts such as noise, aesthetics, and other environmental concerns to small retail businesses and to customers are unclear.

We have presented a number alternative solutions to TWC that could meet the long-term goals of the community, TWC and the City. We request the City to delay your decision, and recommend TWC to

work with the community to come up with an alternative plan that the community could get behind. Feel free to contact us at tim@convoydistrict.com and ping@convoydistrict.com if you have any questions.

Best regards,

Tim Nguyen

Tim Nguyen
Executive Director
Convoy District Partnership

Ping Wang

Dr. Ping Wang
Board Chairman
Convoy District Partnership

Michael Wong

Michael Wong
Board Chairman
Asian Pacific American
Coalition (APAC)

cc:

Hon. Council Member Chris Cate, District 6
Hon. Tom Hom, Past City Council Member
Planning Commission & Hearing Officer, City of San Diego
David Graham, Deputy COO, Neighborhood Services
Elizabeth Studebaker, City Small Business Advocate
Sandra Teasley, Development Project Manager, City of San Diego
Kearny Mesa Planning Group
Peter Chu, Esq., Chinese Consolidated Benevolent Association
Esther Hyun, Korean American Bar Association of San Diego
Su Nguyen, Little Saigon Foundation
Dr. Mitsuo Tomita, Japanese American Citizens League
Katrina Lee, National Association of Asian American Professionals, San Diego
Jack Lee, Korean Chamber of Commerce
Peter Pham, Vietnamese Federation of San Diego
Grace Lin, Taiwanese American Professionals
Bennett Peji, Filipino American Chamber of Commerce
Deven Patel, Federation of Indian Associations of San Diego
Wesley Quach, Ansir Innovation Center
Dr. Allen Chan, Jasmine Seafood Restaurant
Tim Moon, Zion Market
Cris Liang, Common Theory Public House Restaurant
Kim Phan, Crab Hut Restaurant
Michael Tu, Phuong Trang Restaurant
Sean Yeo, Manna BBQ Restaurant
Patrick Chan, Soho Gastropub
Lillian Chu ESQ, Law Offices of Peter Chu
Bryan Tran, East West Bank
Nancy Phung, Cali Baguette Restaurant
Robert Yang, Iceskimo Desserts
Joon Han, Social Entrepreneur
Dennis-Michael Broussard, Silk Road Productions
Robert Ito, Convoy District Advisor
BH Kim, Convoy District Advisor
Gil Ontai, Convoy District Advisor, Urban Planner & Architect
Dan Hom, Co-Chair, Mayor Asian Advisory Board
Faith Bautista, Co-Chair, Mayor Asian Advisory Board
John Ly, Mayor Director of Community Outreach
Time Warner Cable Senior Management Southern California



BLU CROIX LTD.

3961 Blackbird Way Calabasas, California 91302

818 222 8511

10 November 2015

Ms. Sandra Teasley
Development Project Manager
City of San Diego
1222 First Ave. M.S. 501
San Diego, CA. 92101

RE: Time Warner Cable Switching (Hub) Facility, 4020 Convoy Street, San Diego, CA.

Dear Ms. Teasley:

As the Applicant's Representative, please accept this letter, on behalf of Time Warner Cable (Applicant), relevant to the subject property and to the applicable Conditional Use Permit (CUP) application. More particularly, I am responding to that certain letter (the subject Letter), dated 21 October 2015, as submitted by Messrs. Nguyen, Wang and Wong. The aforementioned have expressed opposition to the Time Warner Switching Station (also known as a "Switching Hub" or "Switching Facility") which is proposed at the subject location.

Of paramount importance, this application is for a telecommunication switching facility, which will enhance the telecommunication infrastructure of the area, bringing faster internet speeds, enhanced services and more choices for local customers and businesses. It is not an Equipment Storage Facility as described in the subject Letter. Time Warner Cable is respectively seeking a CUP to allow said switching station, which is conditionally permitted in the underlying IL-3-1 light industrial zone, as it is in all commercial zones (excluding only CN and CP). As you know, these types of facilities are routinely installed, welcomed and encouraged not only in San Diego but throughout the United States.

Pursuant to the foregoing, and relative to statements made in the subject Letter, please be advised of the following:

1. The design of the facility has been enhanced and improved with input from local retail architects and commentary provided directly from the Kearny Mesa Planning Group. Time Warner Cable has expended significant additional time and funds to incorporate retail façade enhancements (windows, awnings, lighting, cornice and plaster treatments, as well as extensive landscaping).

The redesign of the facility was specifically reviewed and approved by the Kearny Mesa Planning Group. This project will dramatically enhance the community and the Convoy corridor.

2. The facility has extensive front yard landscaping and compliant setback areas, offering a welcome and pedestrian friendly green space, between auto oriented commercial uses (Jiffy Lube and 7-11) to the north and south. It will serve as an example property, showcasing higher levels of architectural and site design aesthetics, as implemented through the CUP (discretionary review) process.
3. The proposed use is supported by the General Plan and the goals and objectives of the Kearny Mesa Community Plan, as it is clearly a community serving business, offering and providing necessary telecommunication services for the community as well as to local businesses.
4. The proposed use is clearly not detrimental to the public health, safety and welfare. In fact, it is the converse, it will provide the community with a productive, safe, and environmentally friendly community serving installation. Telecommunication switching stations or hubs of this type are conditionally permitted in this zone and are routinely established throughout the City of San Diego. Furthermore, the conditions associated with the application have been determined by Development Services, via an extensive cycle review process, with all relevant disciplines participating. These conditions are extensive, thorough, complex and detailed; being specifically tailored to this facility.
5. Switching stations are permitted with a Conditional Use Permit in the underlying IL-3-1 zone, as well as similar commercial zones pursuant to Section 141.0416 of the San Diego Municipal Code (SDMC). This project will comply with all applicable and relevant sections of the building, zoning, electrical and mechanical codes and the Land Development Code.
6. The proposed use is appropriate at the proposed location as it meets all respective zoning and development codes and, as general city policy, community serving uses are deemed necessary and appropriate, especially when conditioned through discretionary review. The property is bounded by intense commercial uses on both sides and has existing power and fiber runs positioned to serve the hub facility. It is essentially sometimes referred to as a "hub" because fiber and other conduit junction at the facility (underground), increasing the importance of a definitive location. This facility has also been designed with additional architectural enhancements and extensive landscaping that would not be obtainable from a proposed use which did not require discretionary review. The local planning group has endorsed the project, and local retail architects participated in design enhancements to insure the facility blends into the Convoy Street corridor. Furthermore, the facility meets all required setbacks, coverage ratios, code requirements (no variances) and noise ordinances.

For benefit of record, please also be advised that the Applicant and their representative have contacted Messrs. Nguyen, Wang and Wong by email, telephone and personal meetings. While discussions remain on-going, it was the hope of the Applicant that the extensive time, investment and effort expended improving the project during the local planning group process would also satisfy the authors of the subject Letter. As of this writing, that does not appear to be the case. As such, the Applicant has looked

closely at the suggestions (referenced as "the alternative solutions" in the subject Letter), which were:

- A. Enter into a "land swap" with them, to move the site.
- B. Change the project to a mixed use building, moving the hub facility to a second floor and adding ground floor retail to the project.
- C. Allow them to negotiate on behalf of Time Warner Cable, as related to other locations being replaced by the subject new facility, to get additional time for implementation of items A or B.

After internal review and consideration, Time Warner Cable was not able to proceed with the aforementioned proposed alternatives, as each would essentially render the project infeasible, thereby eliminating a project which brings great benefit to the area, and one which many others in the community support and desire.

In closing, I assure you that Time Warner Cable is committed to keeping an open, amenable and on-going dialogue with all members of the community, for ways it can implement the proposed use, and bring additional benefits to a community that it eagerly looks forward to becoming part of. Should you have any questions or desire additional information, please contact me directly, without hesitation, at 818-625-9013 or s.slater@blucroix.com

Sincerely,

S.M. Slater

Stephen M. Slater,
Blu Croix Ltd.

Cc: E. Lent, T. Beckers, J. Gabaldon (Time Warner Cable)
B. Atkins, Derra Design
L. Martin, MGAC
P. Robinson, Hecht Solberg

ASSESSOR'S PARCEL NUMBER: 396-390-03

LEGAL DESCRIPTION:

THAT PORTION OF LOT 3 OF FED-MART TRACT UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5265, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 18, 1963, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 0° 23' 4.5" WEST ALONG THE WEST LINE OF SAID LOT 260.02 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 0° 23' 4.5" WEST ALONG SAID WEST LINE 140.01 FEET; THENCE NORTH 88° 51' 55" EAST, PARALLEL WITH THE SOUTH LINE OF SAID LOT, 138.64 FEET TO A POINT IN THE EASTERLY LINE OF SAID LOT BEING A POINT IN THE ARC OF A 853 FOOT RADIUS CURVE, CONCAVE EASTERLY; THENCE SOUTHERLY ALONG SAID CURVE 144.75 FEET TO A LINE WHICH BEARS NORTH 88° 51' 55" EAST, PARALLEL WITH SAID SOUTH LINE OF SAID LOT FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE SOUTH 88° 51' 55" WEST 176.63 FEET TO THE TRUE POINT OF BEGINNING.

LIVING PLANTS STATEMENT:

THE HEIGHTS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.

LEGAL DESCRIPTION



TIME WARNER CABLE

THE POWER OF YOU

"CONVOY CABLE HUB FACILITY"

4020 CONVOY STREET
SAN DIEGO, CA 92111

AS OF JANUARY 1, 2014 ALL WORK AND MATERIALS SHALL COMPLY WITH THE FOLLOWING:

- 2013 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24, C.C.R.
 - 2013 CALIFORNIA BUILDING CODE (C.B.C.) PART 2, TITLE 24, C.C.R. (BASED ON THE 2012 INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS)
 - 2013 CALIFORNIA ELECTRICAL CODE (C.E.C.) PART 3, TITLE 24, C.C.R. (BASED ON THE 2011 NATIONAL ELECTRICAL CODE)
 - 2013 CALIFORNIA MECHANICAL CODE (C.M.C.) PART 4, TITLE 24, C.C.R. (BASED ON THE 2012 UNIFORM MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
 - 2013 CALIFORNIA PLUMBING CODE (C.P.C.) PART 5, TITLE 24, C.C.R. (BASED ON THE 2012 UNIFORM PLUMBING CODE)
 - 2013 CALIFORNIA ENERGY CODE (PART 6, TITLE-24, CCR)
 - 2013 CALIFORNIA FIRE CODE (C.F.C.) PART 9, TITLE 24, C.C.R. (BASED ON THE 2012 INTERNATIONAL FIRE CODE WITH 2013 CALIFORNIA AMENDMENTS)
 - 2013 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- AND ALL APPLICABLE CODES, LOCAL CURRENT OSHA LAWS, T-24 ENERGY CONSERVATION, LISTS OF STANDARDS, AND DISABLED ACCESS REGULATIONS WHERE REQUIRED.

CODES



VICINITY MAP

REVISIONS				
#	DATE	ISSUED BY	DESCRIPTION	AFFECTED DISCIPLINE
0	5/12/15	ARCHITECT	LAND DEVELOPMENT PACKAGE	ALL
0	5/29/15	ARCHITECT	DESIGN DEVELOPMENT PACKAGE	ALL
0	6/8/15	ARCHITECT	DESIGN DEVELOPMENT PACKAGE	ALL
0	7/7/15	ARCHITECT	90% CD SUBMITTAL	ALL
0	7/27/15	ARCHITECT	100% CD SUBMITTAL	ALL
0	8/12/15	ARCHITECT	100% CD SUBMITTAL & BID SET	ALL
0	8/17/15	ARCHITECT	UPDATED BID SET	Struct (sh. S-1)/Mech (sh. M-2)/Plumb (sh. P-2)
A	9/18/15	ARCHITECT	MECHANICAL EQUIPMENT REVISIONS	
B	9/18/15	ARCHITECT	CYCLE 2 REVISIONS	
C	11/2/15	ARCHITECT	CLIENT REVISIONS	

PROJECT TRACKING

PROJECT SCOPE
CONSTRUCTION OF THE FOLLOWING:
A NEW 6238 SQ. FT. UNMANNED TIME WARNER CABLE CABLE HUB FACILITY TO INCLUDE CABLE HUB ROOM, DC POWER ROOM, SERVICE ROOM, ELECTRICAL ROOM, & TECH/TEST

- NEW GENERATOR YARD TO INCLUDE A 1000KW DIESEL POWERED BACK-UP STAND BY GENERATOR ON A SUB BASE TANK
- LANDSCAPE AND PAVING
- ELECTRICAL SERVICE TO FACILITY
- MECHANICAL SERVICE TO FACILITY
- PLUMBING SERVICE TO FACILITY

FEDERAL AVIATION ADMINISTRATION NOTIFICATION
I WILLIAM C. ATKINS, AIA, DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(a) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

SIGNED _____ DATE _____

BUILDING SUMMARY (AREA WITHIN SURROUNDING EXTERIOR WALLS PER CBC 502)		
AREA INCLUSIONS:	DOC. TYPE	AREA
ELECTRONIC DATA PROCESSING	B	4,377 SQ. FT.
POWER ELECTRICAL	B	858 SQ. FT.
ELECTRICAL ROOM	B	310 SQ. FT.
UNISEX TOILET	B	61 SQ. FT.
SERVICE ROOM	B	74 SQ. FT.
TECH/TEST ROOM	B	185 SQ. FT.
ENTRY/STAGING AREA	B	219 SQ. FT.
SECURITY	B	154 SQ. FT.
ELECTRONIC DATA PROCESSING	B	4,377 SQ. FT.
STATIONARY BATTERY STORAGE AREA (DC POWER ROOM)	B	858 SQ. FT.
COMBINED FOOTAGE (OFFICE OCCUPANCY)	B	1003 SQ. FT.
TOTAL BUILDING SQUARE FOOTAGE (CBC SECTION 502)		6238 SQ. FT.
ALLOWABLE FLOOR AREA:		8,000 SQ. FT. ✓ OK
OUTDOOR GENERATOR YARD	U	871 SQ. FT.

PROJECT DATA

PARKING
PARKING PROVIDED (AS DETERMINED BY CUP) STANDARD STALLS = 5
VAN ACCESSIBLE STALLS = 1

TOTAL PARKING STALLS PROVIDED: 6

CONSTRUCTION DATA:
JURISDICTION: CITY OF SAN DIEGO
CURRENT ZONING: L-3-1
OVERLAY ZONES: AIRPORT INFLUENCE AREA:
-MIRAMAR MARINE CORPS AIR STATION (MCAS MIRAMAR)
-MONTGOMERY FIELD (MONTGOMERY FIELD)

TYPE OF CONSTRUCTION: V-B
OCCUPANCY (NEW BUILDING): B/S-1
POWER COMPANY: SDG&E
BUILDING HEIGHT: 29'-5 1/2"
GEOLOGIC HAZARD CATEGORY: 52
GENERAL CONDITION OF SOIL: SAND, SILTY SAND TERRACE DEPOSITS-VARYING MOISTURE CONTENT/DENSITY

PROJECT STATISTICS:

SITE STATISTICS			
TOTAL BUILDING COVERAGE PER SDMC 113.0234:	6,698 SQ. FT.		30.80%
TOTAL GENERATOR YARD	871 SQ. FT.		4.02%
PAVED AREAS:	5,973 SQ. FT.		27.48%
GRAVEL AREAS:	2,764 SQ. FT.		12.82%
LANDSCAPED AREA:	5,452 SQ. FT.		25.08%
GROSS SITE:	21,758 SQ. FT.		100%
FLOOR AREA RATIO (MAXIMUM)		0.50	
FLOOR AREA RATIO (PROPOSED)		0.35	
SITE SETBACKS:			
FRONT	REQUIRED: 15'	PROPOSED: 15'-3" (EAST)	
SIDE	10'	10'-0" (NORTH)	
REAR	-	22'-1" (WEST)	
GEOLOGIC SITE CLASS			C

EXISTING BUILDING SUMMARY

BUILDING AREA	3464 SQ. FT.
HEIGHT:	#15 FT.
OCCUPANCY:	(FAST FOOD RESTAURANT) B
CONSTRUCTION TYPE:	V-B

PROJECT TEAM

PROPERTY OWNER:
TIME WARNER CABLE
10450 PACIFIC CENTER DRIVE
SAN DIEGO, CA 92121
PHONE: (858) 635-8808
CONTACTS: ANTHONY BECKERS

ARCHITECT:
DERRA DESIGN, INC.
495 E. RINCON STREET
SUITE #204
CORONA, CA 92879
PHONE: (951) 268-1850
CONTACT: BILL ATKINS

STRUCTURAL:
CONSULTING ENGINEERING, INC.
112 EAST CHAPMAN AVENUE
SUITE D
ORANGE, CA 92666
PHONE: (714) 724-9814
CONTACT: SHUCHI YAGHI

MECHANICAL & PLUMBING:
OPTIMUM ENERGY DESIGN
5200 EAST LA PALMA AVENUE
ANNAND, CA 92807
PHONE: (714) 892-2277
CONTACT: ABBY BANERJEE

GENERAL CONTRACTOR:
GOOD & ROBERTS, LLC
2455 IMPALA DRIVE
CARLSBAD, CA 92010
(760) 598-7614
TIM SAENZ

ELECTRICAL:
CD DESIGN GROUP
P.O. BOX 4107
IRVINE, CA 92614
PHONE: (949) 387-8478
CONTACTS: CHRIS KARJALA

CIVIL:
SWCE
1740 EAST GARRY AVE, SUITE 112
SANTA ANA, CA 92704
PHONE: (949) 852-8852
CONTACT: JESSE GREEN

LANDSCAPE ARCHITECT:
TERRAIN INTEGRATION
191 SOUTH ORANGE STREET
ORANGE, CA 92666
PHONE: (714) 724-9814
CONTACT: STEPHANIE SHERMOEN

SPECIFICATIONS:
STEVEN OLSKY, AIA, CCS, CSI
11554 SPRING OAK AVE.
BOYNTON BEACH, FL 33437
PHONE: (849) 235-9366
CONTACT: STEVEN OLSKY

FIRE PROTECTION:
ORANGE COUNTY FIRE PROTECTION
137 BRISTOL LANE
ORANGE, CA 92666
1150 WEST CENTRAL AVENUE
PHONE: (714) 974-9025
CONTACT: GREG GILBERT

SHEET INDEX

COUNT	SHEET NO.	SHEET TITLE - BID PACKET
1	T-1	TITLE SHEET
2	LS-1	TOPOGRAPHIC SURVEY
3	LS-2	TOPOGRAPHIC SURVEY
4	C-1	BRIEF LEGAL DESCRIPTION
5	C-2	BRIEF LEGAL DESCRIPTION
6	C-3	PRECISE GRADING PLAN
7	C-4	EROSION CONTROL PLAN
8	L-00	LANDSCAPE PLANS
9	L-10	IRRIGATION PLAN
10	L-20	PLANTING PLAN
11	L-30	DETAILS
12	A-0	EXISTING SITE/DEMO PLAN
13	A-10	SITE PLAN
14	A-11	SITE ACCESSIBILITY
15	A-12	SITE SECTION
16	A-30	BUILDING FLOOR PLAN
17	A-5	BUILDING SECTIONS
18	A-6	BUILDING SECTIONS
19	A-7	ROOF PLAN
20	A-8	ELEVATIONS
21	A-9	ELEVATIONS
22	A-10	ELEVATIONS

495 E. Rincon Street, Suite 204
Corona, CA 92879
Ph: 951.268.1650 Fax: 951.268.1651

PROPOSED CABLE HUB FACILITY FOR:

TIME WARNER CABLE
THE POWER OF YOU

CONVOY HUB FACILITY
4020 CONVOY STREET
SAN DIEGO, CA 92111

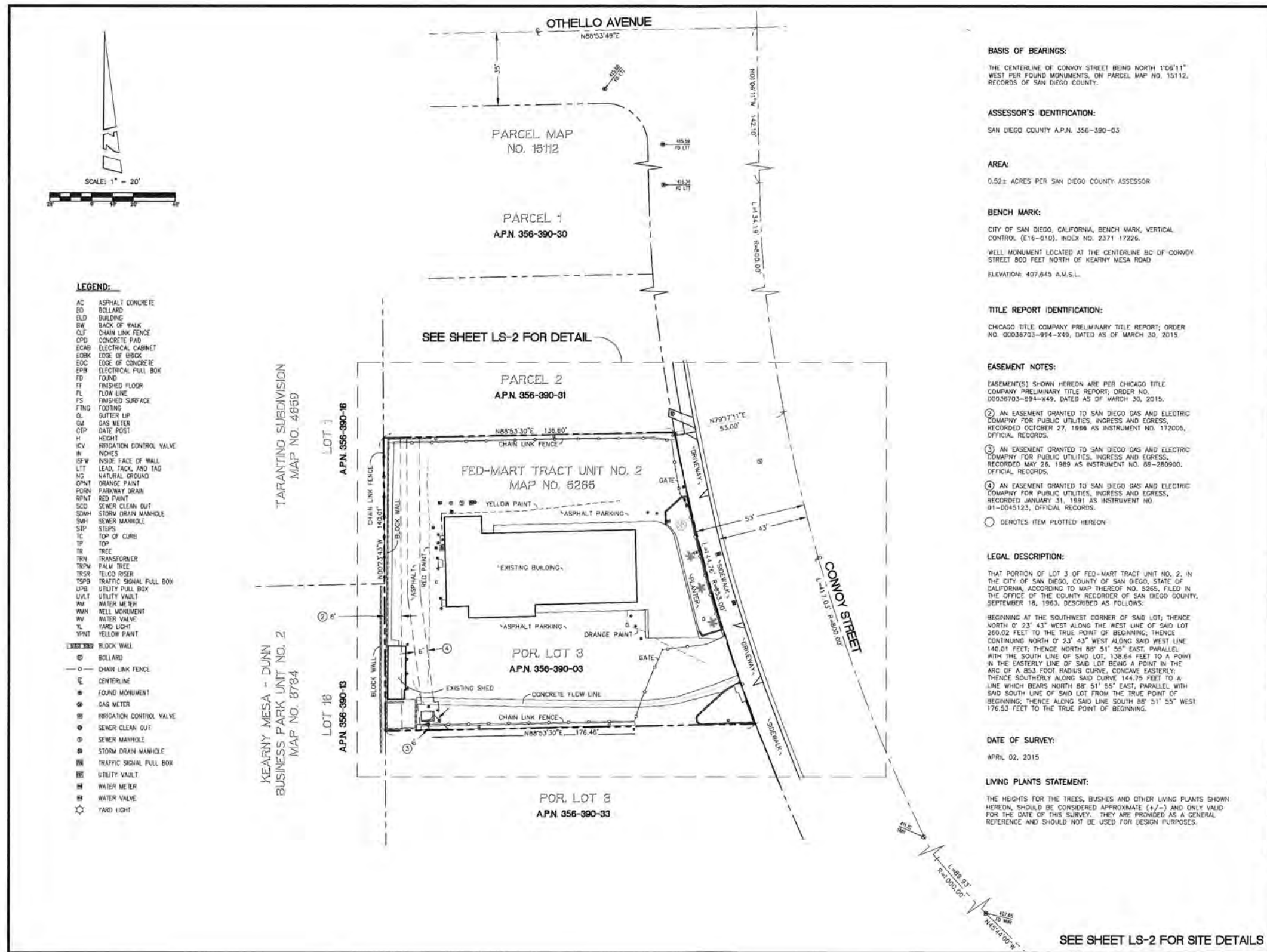
Revisions

LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/29/15
DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
Title Sheet

T-1



BASIS OF BEARINGS:
THE CENTERLINE OF CONVOY STREET BEING NORTH 1°06'11" WEST PER FOUND MONUMENTS, ON PARCEL MAP NO. 15112, RECORDS OF SAN DIEGO COUNTY.

ASSESSOR'S IDENTIFICATION:
SAN DIEGO COUNTY A.P.N. 356-390-03

AREA:
0.52± ACRES PER SAN DIEGO COUNTY ASSESSOR

BENCH MARK:
CITY OF SAN DIEGO, CALIFORNIA, BENCH MARK, VERTICAL CONTROL (E16-010), INDEX NO. 2371 17226.
WELL MONUMENT LOCATED AT THE CENTERLINE BC OF CONVOY STREET 800 FEET NORTH OF KEARNY MESA ROAD
ELEVATION: 407.645 A.M.S.L.

TITLE REPORT IDENTIFICATION:
CHICAGO TITLE COMPANY PRELIMINARY TITLE REPORT; ORDER NO. 00036703-994-X49, DATED AS OF MARCH 30, 2015.

EASEMENT NOTES:

EASEMENT(S) SHOWN HEREON ARE PER CHICAGO TITLE COMPANY PRELIMINARY TITLE REPORT; ORDER NO. 00036703-994-X49, DATED AS OF MARCH 30, 2015.

② AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED OCTOBER 27, 1966 AS INSTRUMENT NO. 172005, OFFICIAL RECORDS.

③ AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED MAY 26, 1989 AS INSTRUMENT NO. 89-280900, OFFICIAL RECORDS.

④ AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED JANUARY 31, 1991 AS INSTRUMENT NO. 91-0045123, OFFICIAL RECORDS.

○ DENOTES ITEM PLOTTED HEREON.

LEGAL DESCRIPTION:

THAT PORTION OF LOT 3 OF FED-MART TRACT UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5265, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 18, 1963, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 0° 23' 43" WEST ALONG THE WEST LINE OF SAID LOT 260.02 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 0° 23' 43" WEST ALONG SAID WEST LINE 140.01 FEET; THENCE NORTH 88° 51' 55" EAST, PARALLEL WITH THE SOUTH LINE OF SAID LOT, 138.64 FEET TO A POINT IN THE EASTERLY LINE OF SAID LOT BEING A POINT IN THE ARC OF A 631 FOOT RADIUS CURVE, CONCAVE EASTERLY; THENCE SOUTHERLY ALONG SAID CURVE 144.75 FEET TO A LINE WHICH BEARS NORTH 88° 51' 55" EAST, PARALLEL WITH SAID SOUTH LINE OF SAID LOT FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE SOUTH 88° 51' 55" WEST 176.53 FEET TO THE TRUE POINT OF BEGINNING.

DATE OF SURVEY:
APRIL 02, 2015

LIVING PLANTS STATEMENT:
THE HEIGHTS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.

derra
495 E. RINCON ST., SUITE 204
CORONA, CA 92679
PH. (951) 268-1650 FX. (951)268-1651

BERT HARRIS
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3185 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 803.338

SITE NAME
CONVOY ST. HUB
SITE ADDRESS
4020 CONVOY STREET
SAN DIEGO, CA 92111



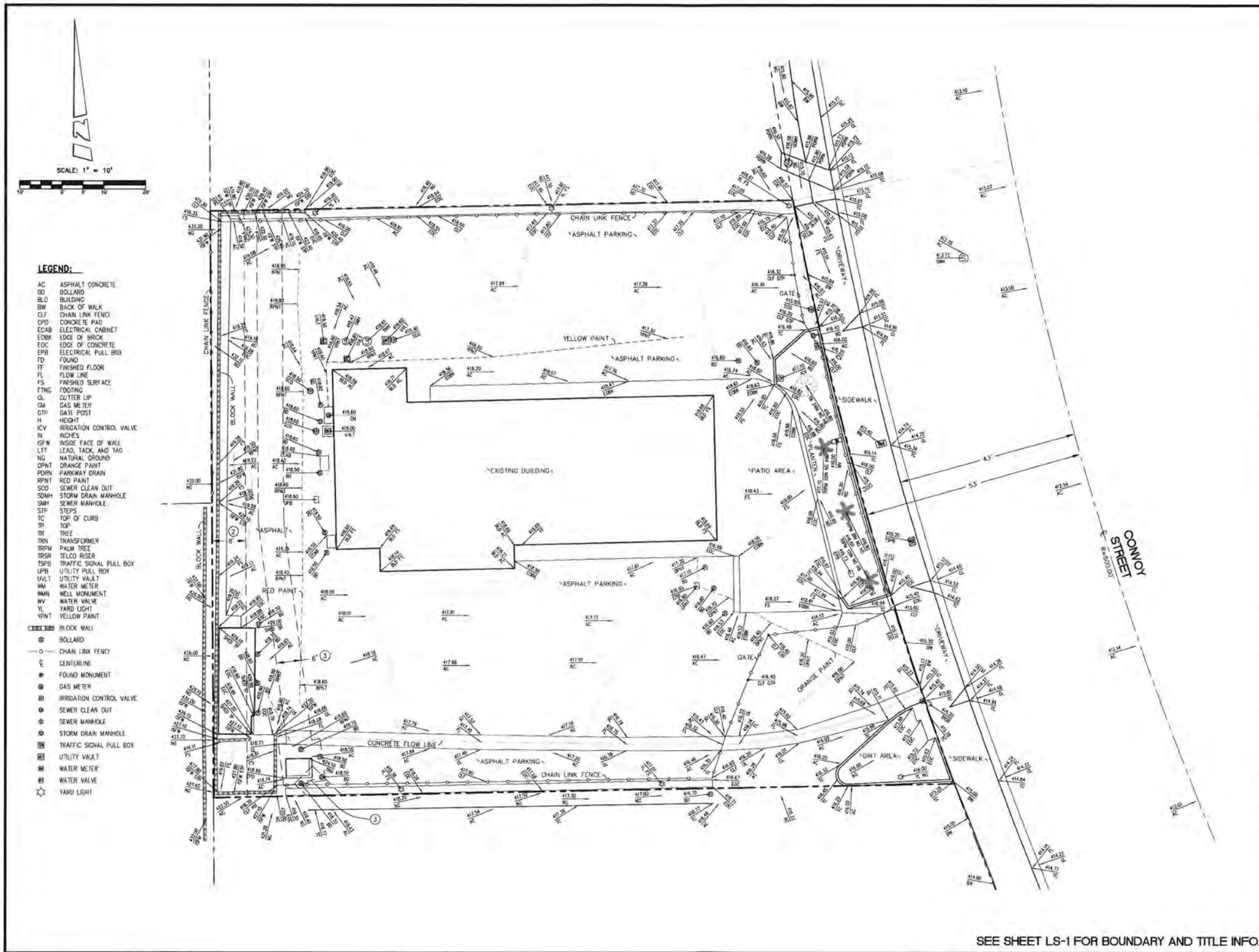
REVISIONS

①	04/08/15	ISSUED FOR REVIEW (RF)
②	04/23/15	ADDED TITLE INFO. (CWW)

JN. 803.338	Date 04/08/15
Drawn By RF	Checked By CWW

Sheet Title
TOPOGRAPHIC SURVEY
LS-1

CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111



- LEGEND:**
- AC ASPHALT CONCRETE
 - BD BOLLARD
 - BLD BUILDING
 - BW BACK OF WALK
 - CLF CHAIN LINK FENCE
 - CPD CONCRETE PAD
 - ECAB ELECTRICAL CABINET
 - EDBK EDGE OF BRICK
 - EOC EDGE OF CONCRETE
 - EPB ELECTRICAL PULL BOX
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FS FINISHED SURFACE
 - FT FOOTING
 - GL CUTTER LIP
 - GM GAS METER
 - GTP GATE POST
 - H HEIGHT
 - ICV IRRIGATION CONTROL VALVE
 - IN INCHES
 - ISF INSIDE FACE OF WALL
 - LT LEAD, TACK, AND TAG
 - NG NATURAL GROUND
 - OPNT ORANGE PAINT
 - PDN PARKWAY DRAIN
 - RPNT RED PAINT
 - SOD SEWER CLEAN OUT
 - SDMH STORM DRAIN MANHOLE
 - SMH SEWER MANHOLE
 - STF STEPS
 - TC TOP OF CURB
 - TP TOP
 - TR TREE
 - TRX TRANSFORMER
 - TRPM PALM TREE
 - TRSR TELCO RISER
 - TSPD TRAFFIC SIGNAL PULL BOX
 - UPB UTILITY PULL BOX
 - UVLT UTILITY VAULT
 - WM WATER METER
 - WMN WELL MONUMENT
 - WV WATER VALVE
 - YL YARD LIGHT
 - YPNT YELLOW PAINT
- SYMBOLS:**
- BLOCK WALL
 - BOLLARD
 - CHAIN LINK FENCE
 - CENTERLINE
 - FOUND MONUMENT
 - ⊗ GAS METER
 - ⊗ IRRIGATION CONTROL VALVE
 - ⊗ SEWER CLEAN OUT
 - ⊗ SEWER MANHOLE
 - ⊗ STORM DRAIN MANHOLE
 - ⊗ TRAFFIC SIGNAL PULL BOX
 - ⊗ UTILITY VAULT
 - ⊗ WATER METER
 - ⊗ WATER VALVE
 - ★ YARD LIGHT

derra
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 JN. 803.338

SITE NAME
 CONVOY ST. HUB

SITE ADDRESS
 4020 CONVOY STREET
 SAN DIEGO, CA 92111



REVISIONS

1	04/08/15	ISSUED FOR REVIEW (RF)
2	04/23/15	ADDED TITLE INFO. (CWW)

PL 803338	Date 04/08/15
Drawn By RF	Checked By CWW

Sheet Title
 TOPOGRAPHIC SURVEY
LS-2

SEE SHEET LS-1 FOR BOUNDARY AND TITLE INFO.

CONVOY HUB FACILITY
 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT/ A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBMITTER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERE TO (16 USC SECTION 1531 ET SEQ.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8171 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DESULTUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (658) 627-3200.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9185 AERO DR.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDBOXES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SIDWALK, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

PRIVATE ENGINEERS NOTES:

- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT UNLESS PREVIOUSLY APPROVED.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION PLAN FOR CITY REVIEW.

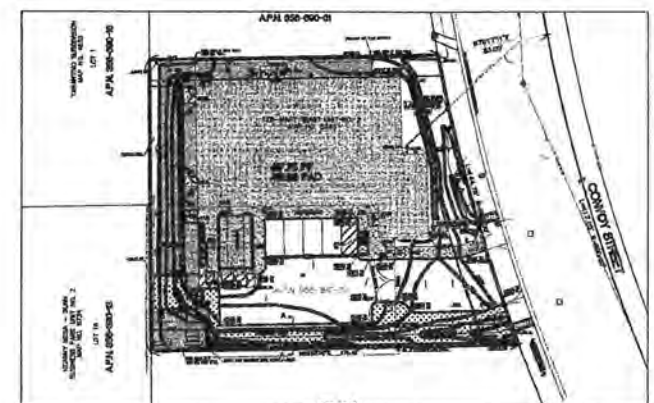
POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS

PROJECT BMP'S

- EC-1 SCHEDULING
- ES-2 PRESERVATION OF EXISTING VEGETATION
- NS-1 WATER CONSERVATION
- NS-6 ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION REPORTING
- SE-4 1-BAG SANDBAG VELOCITY REDUCER
- SE-7 STREET SWEEPING AND VACUUMING
- SE-B 2'-BAG HIGH SANDBAG BARRIER
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- WE-1 WIND EROSION
- WM-1 MATERIAL DELIVERY AND STORAGE DETECTION REPORTING
- WM-2 MATERIAL USE
- WM-3 SOLID WASTE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT



**GRADING PLANS FOR:
CONVOY CABLE
HUB FACILITY**



KEY MAP
NOT TO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED:
REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME), DATED (THEIR COMPANY PROJECT NO.)
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING, WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS. THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

DEREK J. MCCRUEOR DMC ENGINEERING	DATE	R.C.E. #38483	EXPIRATION DATE
JAMES R. COLEMAN COLEMAN GEOTECHNICAL	DATE	C.E. #229	EXPIRATION DATE
LEE A. SHOEMAKER COLEMAN GEOTECHNICAL 470 WALD IRVINE CA 92618 TEL 949-872-2582 FAX 949-872-2586	DATE	C.E.G. #1961	EXPIRATION DATE

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DEREK J. MCCRUEOR R.C.E. #38483 EXP. 3-31-17 DATE

DMC ENGINEERING
CIVIL • SURVEYING • PLANNING • CONSTRUCTION
18 Technology Drive, Suite 100, Irvine, CA 92618
E-Mail: dmc@dmceng.com (949) 751-9393

"NOT FOR CONSTRUCTION"

OWNER/APPLICANT

THE WARNER CABLE
10450 PACIFIC CENTER DRIVE, SAN DIEGO, CA 92121
(658) 635-8808

SITE ADDRESS

4020 CONVOY STREET, SAN DIEGO, CA 92111

TOPOGRAPHY SOURCE

BERT HAZE AND ASSOCIATES, INC. 3188 AIRWAY AVENUE, SUITE K1 COSTA MESA 92626
TOPOGRAPHIC SURVEY OF THE SITE WAS COMPLETED ON APRIL 02, 2015.

BENCHMARK

CITY OF SAN DIEGO, CALIFORNIA, BENCH MARK, VERTICAL CONTROL (E16-010), INDEX NO. 2371 17226. ELEVATION: 407.645 A.M.S.L.
WELL MONUMENT LOCATED AT THE CENTERLINE BC OF CONVOY STREET 800 FEET NORTH OF KEARNEY MESA ROAD. ELEVATION: 407.645 A.M.S.L.

TOTAL DISTURBED AREA

0.52+/- ACRES PER SAN DIEGO COUNTY ASSESSOR.

GRADING QUANTITIES

GRADED AREA	0.52 [ACRES]	MAX CUT DEPTH 4.25' [FT]
CUT QUANTITIES	1,727 [CY]	MAX CUT SLOPE RATIO (2:1)MAX
FILL QUANTITIES	725 [CY]	MAX FILL DEPTH 0.15' [FT]
EXPORT	1,002 [CY]	MAX FILL SLOPE RATIO (2:1)MAX

THIS PROJECT PROPOSES TO EXPORT 1,002 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

ASSESSORS PARCEL NUMBER

SAN DIEGO COUNTY A.P.N. 356-390-03.

LEGAL DESCRIPTION

THAT PORTION OF LOT 3 OF FED-MART TRACT UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5265, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 15, 1981, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 0°21'43" WEST ALONG SAID WEST LINE 140.01 FEET; THENCE NORTH 88°51'55" EAST, PARALLEL WITH THE SOUTH LINE OF SAID LOT, 136.64 FEET TO A POINT IN THE EASTERLY LINE OF SAID LOT BEING A POINT IN THE ARC OF A 853 FOOT RADIUS CURVE, CONCAVE EASTERLY; THENCE SOUTHERLY ALONG SAID CURVE 144.75 FEET TO A LINE WHICH BEARS NORTH 88°51'55" EAST, PARALLEL WITH SAID SOUTH LINE OF SAID LOT FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE SOUTH 88°51'55" WEST 176.53 FEET TO THE TRUE POINT OF BEGINNING.

PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

TRAFFIC CONTROL NOTE

(DELETE IF GREATER THAN 5000 ADT)

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-446-3150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

STORM WATER PROTECTION NOTES

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. _____ AND RISK LEVEL, TYPE: CHECK ONE BELOW
 - WFCP
 - CCP RISK LEVEL 1
 - CCP RISK LEVEL 2
 - CCP RISK LEVEL 3
 - CCP LUP TYPE 1
 - CCP LUP TYPE 2
 - CCP LUP TYPE 3
- CHECK ONE
 - THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
 - THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
 - NOT APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WFCP OR SMPWP AS APPLICABLE.

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO. PITS070112-01	DESCRIPTION: STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION
PITS070112-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2012 EDITION
PITS070112-04	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PITS070112-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION
DOCUMENT NO. PITS070112-03	DESCRIPTION: CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION
PITS070112-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION

LEGEND

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD UFGS	SYMBOL
CURB & GUTTER	SDG-151	=====
DRIVEWAY	SDG-159	=====
SIDEWALK	SDG-155	=====
SIDEWALK CULVERT (TYPE "A")	D-25	=====

(SAN DIEGO REGIONAL STDL DWGS)

EXISTING IMPROVEMENTS

ITEM	SYMBOL
SIDEWALK	=====
CURB & GUTTER	=====
DRIVEWAYS	N/A

SHEET INDEX

SHEET DESCRIPTION	SHEET #/RANGE
TITLE SHEET	SHT C-1
CONSTRUCTION NOTES	SHT C-2
PRECISE GRADING AND OFFSITE IMPROVEMENT PLAN	SHT C-3
EROSION CONTROL PLAN	SHT C-4



VICINITY MAP
NO SCALE

ENGINEERING PERMIT NO: _____
DISCRETIONARY PERMIT NO: _____
WPD NO: N/A
CONSTRUCTION SITE
STORM WATER PRIORITY: LOW

PRIVATE CONTRACT

GRADING PLANS FOR
CONVOY STREET HUB
TITLE SHEET

CITY OF SAN DIEGO, CALIFORNIA
Development Services Department
SHEET 1 OF 4 SHEETS

I.O. NO. _____
PROJECT NO. _____

FOR CITY ENGINEER: _____ DATE _____
DESCRIPTION BY: _____ APPROVED: _____ DATE _____ FILED: _____

AS-BUILTS _____
CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

V.I.M. _____
N/A
N/A
LAMBERT COORDINATES

SHEET C-1

STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING
0 1/2"
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW.

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/4 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/4 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SMDDMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

CURB RAMP NOTE

THE REQUIRED DETECTABLE WARNING (TRUNCATED DOMES) ON CURB RAMPS ARE TO COMPLY WITH THE CITY STANDARDS (SDG-130) AND SPECIFICATIONS. A 12" X 12" (MIN.) SAMPLE OF THE DETECTABLE WARNING, THE PRODUCTS' TEST REPORT AND A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTION MUST BE SUBMITTED TO THE DESIGNATED CITY RESIDENT ENGINEER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THE STANDARDS, SPECIFICATIONS AND SAMPLE SUBMITTAL REVIEW PROCESS WILL RESULT IN THE REMOVAL OR REPLACEMENT OF THE DETECTABLE WARNING AND/OR CURB RAMP(S) AT CONTRACTOR AND/OR OWNER'S EXPENSE.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

A GENERAL REQUIREMENTS

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDER'S REPRESENTATIVE(S), JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS:

[LIST PROJECT SPECIFIC CONSULTANTS HERE]

NOTE: FAILURE OF ALL RESPONSIBLE PERMIT HOLDER'S REPRESENTATIVES AND CONSULTANTS TO ATTEND SHALL REQUIRE AN ADDITIONAL MEETING WITH ALL PARTIES PRESENT.

CONTACT INFORMATION:

a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION AT 658-627-3200.
b) IT IS ALSO REQUIRED TO CALL THE RE AND MMC AT 658-627-3360 FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS.

2. MMRP COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) # _____ AND/OR ENVIRONMENTAL DOCUMENT # _____ SHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT AND SHALL BE IMPLEMENTED TO THE SATISFACTION OF OSD'S ENVIRONMENTAL DESIGNER (MMC) AND THE RE. THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTATED (I.E. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.). ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (E.G. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.).

NOTE: PERMIT HOLDER'S REPRESENTATIVES MUST ALERT THE RE AND MMC IF THERE ARE ANY DISCREPANCIES IN THE PLANS, NOTES OR ANY CHANGES DUE TO FIELD CONDITIONS. ALL CONFLICTS MUST BE APPROVED BY THE RE AND MMC BEFORE THE WORK IS PERFORMED.

3. OTHER AGENCY REQUIREMENTS: EVIDENCE OF COMPLIANCE WITH ALL OTHER AGENCY REQUIREMENTS OR PERMITS SHALL BE SUBMITTED TO THE RE AND MMC FOR REVIEW AND ACCEPTANCE PRIOR TO THE BEGINNING OF WORK OR WITHIN ONE (1) WEEK OF THE PERMIT HOLDER OBTAINING DOCUMENTATION OF THOSE PERMITS OR REQUIREMENTS. EVIDENCE SHALL INCLUDE COPIES OF PERMITS, LETTERS OF RESOLUTION OR OTHER DOCUMENTATION ISSUED BY THE RESPONSIBLE AGENCY.

[LIST PROJECT SPECIFIC REQUIRED PERMITS AND CIVIL PENALTY DOCUMENTS HERE]

4. MONITORING EXHIBITS: ALL CONSULTANTS ARE REQUIRED TO SUBMIT TO THE RE AND MMC, A MONITORING EXHIBIT ON A 11"x17" REDUCTION OF THE APPROPRIATE CONSTRUCTION PLAN, SUCH AS SITE PLAN, GRADING, LANDSCAPE, ETC. MARKED TO CLEARLY SHOW THE SPECIFIC AREAS INCLUDING THE LIMIT OF WORK, SCOPE OF THAT DISCIPLINE'S WORK, AND NOTES INDICATING WHEN IN THE CONSTRUCTION SCHEDULE THAT WORK WILL BE PERFORMED. WHEN NECESSARY FOR CLARIFICATION, A DETAILED METHODOLOGY OF HOW THE WORK WILL BE PERFORMED SHALL BE INCLUDED.

NOTE: SURETY AND COST RECOVERY - WHEN DEEMED NECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER, THEY MAY REQUIRE ADDITIONAL SURETY INSTRUMENTS OR BONDS FROM THE PERMIT HOLDER TO ENSURE THE LONG TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OFFSET THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING PROJECTS.

5. OTHER SUBMITTALS AND INSPECTIONS: THE PERMIT HOLDER'S REPRESENTATIVES SHALL SUBMIT ALL REQUIRED DOCUMENTATION, VERIFICATION LETTERS, AND REQUESTS FOR ALL ASSOCIATED INSPECTIONS TO THE RE AND MMC FOR APPROVAL PER THE FOLLOWING SCHEDULE:

[LIST ALL AND ONLY PROJECT SPECIFIC REQUIRED VERIFICATION DOCUMENTS AND RELATED INSPECTIONS ON THE TABLE BELOW]

ISSUE AREA	DOCUMENT SUBMITTAL	ASSOC. INSPECTION/APPV	NOTES
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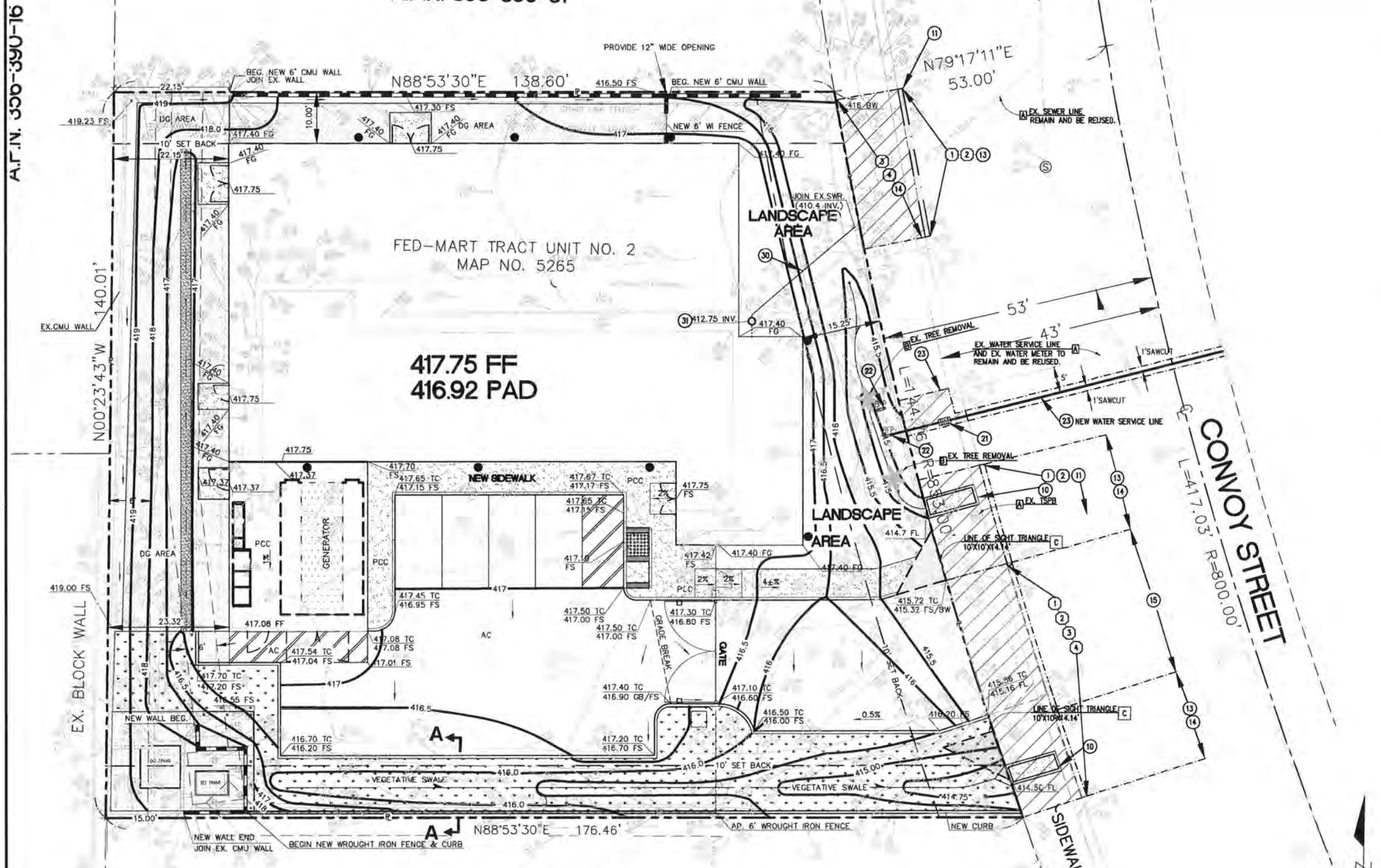
B SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

[LIST ONLY PROJECT SPECIFIC MMRP ISSUE/CONDITIONS HERE]

ISSUE AREA - CONDITIONS

PRIVATE CONTRACT			
GRADING PLANS FOR			
CONVOY STREET HUB			
BRIEF LEGAL DESCRIPTION			
CONSTRUCTION NOTES			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 4 SHEETS			FIG. NO. PROJECT NO.
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	XXX		
AS-BUILTS			N/A NAD83 COORDINATES
			N/A LAURENT COORDINATES
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	
			SHEET C-2

A.P.N. 356-390-31



DEMOLITION NOTES-(OFFSITE):

- 1 REMOVE EXISTING PAVEMENT SECTION AS NEEDED TO ACCOMMODATE NEW IMPROVEMENTS. DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.
- 2 REMOVE EXISTING CURB AND GUTTER DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.
- 3 REMOVE EXISTING PCC DRIVEWAY APRON. DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.
- 4 REMOVE EXISTING PCC SIDEWALK. DISPOSE OF MATERIALS PER CITY OF SAN DIEGO STD. PLAN SDG-156.

CONSTRUCTION NOTES-OFFSITE IMPROVEMENT(S):

- 10 CONSTRUCT SIDEWALK CULVERT PER SORSO DWG. D-25.
- 11 CONSTRUCT ASPHALT PAVING, FULL DEPTH SECTION TO MATCH EXISTING PAVEMENT SECTION.
- 12 CONSTRUCT PCC DRIVEWAY APRON PER SAN DIEGO STD. PLAN NO. SDG-159.
- 13 CONSTRUCT TYPE A2-6 CURB AND GUTTER PER SPPWC STD PLAN.
- 14 CONSTRUCT 4\" PCC SIDEWALK PER CITY OF SAN DIEGO STD. PLAN NO. SDG-155.
- 15 RECONSTRUCT TO CURRENT CITY STANDARDS WITH SDG-159 CONCRETE DRIVEWAY.

WATER CONSTRUCTION NOTES:

- 20 CONSTRUCT 1\" WATER SERVICE PER CITY OF SAN DIEGO STANDARD PLAN SDW-150 BEDDING AND BACKFILL PER SDW-107.
- 21 INSTALL WATER METER BOX PER CITY OF SAN DIEGO STANDARD PLAN SDW-113.
- 22 CONSTRUCT 1\" WATER BACK FLOW PREVENTION DEVICE PER CITY OF SAN DIEGO STANDARD PLAN SDW-140.
- 23 CONSTRUCT 1\" IRRIGATION WATER SERVICE PER CITY OF SAN DIEGO STANDARD PLAN SDW-150 BEDDING AND BACKFILL PER SDW-107.

SEWER CONSTRUCTION NOTES:

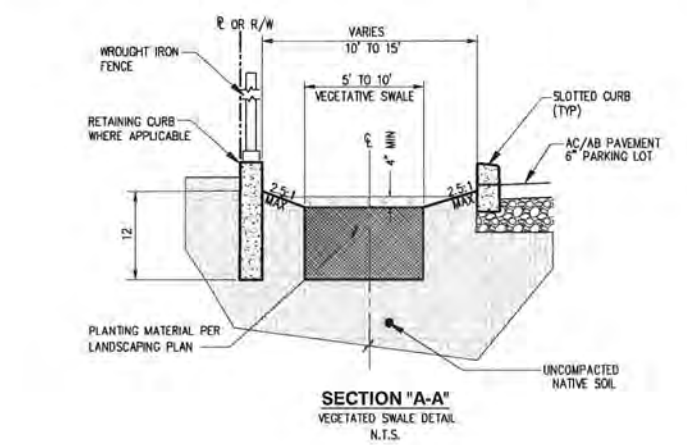
- 30 CONSTRUCT 4\" SEWER LATERAL SDR-30 SEWER LATERAL PER SAN DIEGO REGIONAL STD. DWG. SDS-101 FOR PERMISSIBLE DEPTH, BEDDING AND BACKFILL PER SDS-110.
- 31 CONSTRUCT SEWER LATERAL CLEAN OUT (OUTSIDE TRAVEL WAY) PER CITY OF SAN DIEGO STD. PLAN SDS-103.

KEY NOTE (S):

- A ITEM TO REMAIN.
- B SEE LANDSCAPE ARCH. PLAN FOR TREE REMOVALS OR NEW TREE LOCATIONS.
- C NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

LEGEND:

- CONCRETE REMOVAL LIMITS (AREA SHOWN IS A MINIMUM FIELD CONDITIONS MAY VARY).
- REMOVE AREAS OF ASPHALT PAVEMENT (AREA SHOWN IS A MINIMUM FIELD CONDITIONS MAY VARY). DURING THE PATCH PHASE ALL JOINING EDGES SHALL BE CLEAN AND SUITABLE TO THE INSPECTOR.
- DOWNSPOUT LOCATIONS



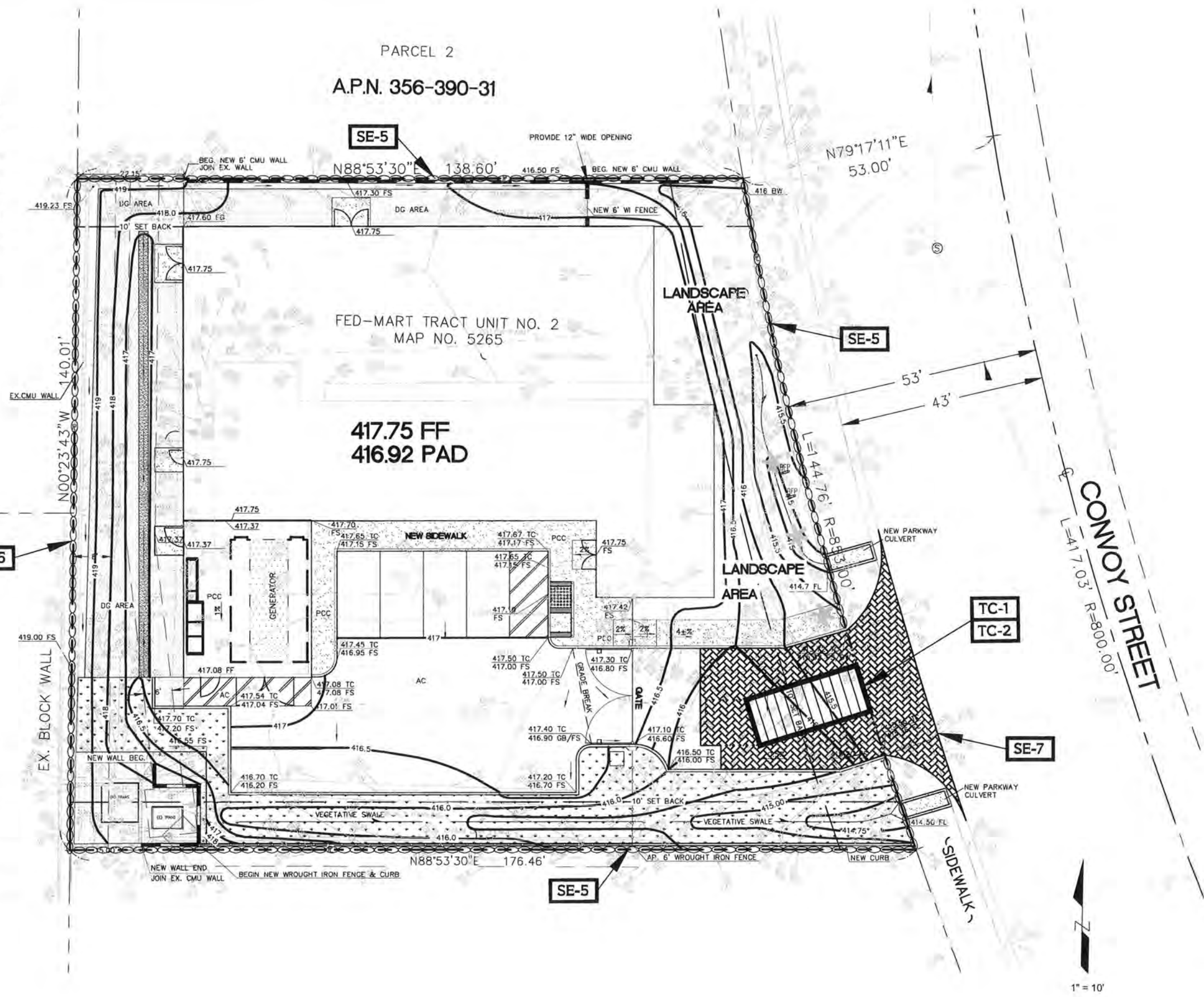
PRIVATE CONTRACT				
GRADING PLANS FOR				
CONVOY STREET HUB				
BRIEF LEGAL DESCRIPTION				
PRECISE GRADING PLAN AND OFFSITE IMPROVEMENTS				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 4 SHEETS				I.O. NO. PROJECT NO.
FOR CITY ENGINEER				DATE
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				DATE STARTED
CONTRACTOR				DATE COMPLETED
INSPECTOR				SHEET C-3

EROSION CONTROL CONSTRUCTION NOTE(S):

- SE-5 FIBER ROLLS
- SE-7 STREET SWEEPING AND VACUUMING
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT WITH CORRUGATED STEEL PANELS ON CRASHED AGGREGATE
- TC-2 STABILIZED CONSTRUCTION ROADWAY

A.P.N. 356-390-16

A.P.N. 356-390-13



PRIVATE CONTRACT				I.O. NO.	
GRADING PLANS FOR				PROJECT NO.	
CONVOY STREET HUB BRIEF LEGAL DESCRIPTION EROSION CONTROL PLAN					
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 4 SHEETS					
FOR CITY ENGINEER		DATE		V.T.M.	
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	XXX				N/A NAD83 COORDINATES
AS-BUILTS					N/A LAMBERT COORDINATES
CONTRACTOR	DATE STARTED		DATE COMPLETED		SHEET C-4
INSPECTOR					

SUBMITTAL: NOVEMBER 02, 2015

CITY OF SAN DIEGO

Time Warner- Cable Hub Facility

4020 CONVOY STREET
SAN DIEGO, CA 92111

LANDSCAPE PLANS



PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
 THE POWER OF YOU

CONVOY HUB FACILITY
 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

REVISIONS	
LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/29/15
DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By SS	Checked By SS

Sheet Number
 Title Sheet
L-0.0

SITE STATISTICS PER ARCHITECT		
TOTAL BUILDING COVERAGE PER SDMC 113.0234:	6,698 SQ. FT.	30.80%
TOTAL GENERATOR YARD	871 SQ. FT.	4.02%
PAVED AREAS:	5,973 SQ. FT.	27.48%
GRAVEL AREAS:	2,764 SQ. FT.	12.62%
LANDSCAPE AREA:	5,452 SQ. FT.	25.08%
GROSS SITE:	21,758 SQ. FT.	100%

DESIGN STATEMENT

The design intent of this landscape plan is to provide the Owner with a low maintenance, drought tolerant landscape that utilizes California natives in order to conserve water and other resources. The plant material is placed in a natural form amongst a dry cobble bed for a natural look with aesthetic interest. The irrigation system utilizes low volume drip for shrubs and root watering systems for trees in order to better and most efficiently disperse water to each plant.

GENERAL NOTES

- 1) All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- 2) All work shall be performed by a licensed landscape contractor.
- 3) Landscape contractor shall obtain a Landscape Permit from the City of San Diego prior to commencement of work.
- 4) All work shall conform to Standard Specifications for Public Works Construction (SSPWC), latest edition, (published by Building News, 3055 Overland Avenue, Los Angeles, CA) for all work performed and not specifically mentioned herein.
- 5) All work shall be done in accordance with the plans, specifications, and any special requirements of the permit. Any violation will result in the stoppage of all work until the violation is corrected.
- 6) No work shall commence on the project until a pre-construction conference has been held with the Landscape Architect or an authorized representative.
- 7) The contractor shall be responsible for notifying the Landscape Architect for any required site visits as follows:

Pre-construction conference	48 hrs. notice
Mainline inspection and plant material	48 hrs. notice
Final walk through for completion of improvements	7 day notice
Final walk through for acceptance	7 day notice
- 7) Contractor shall make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Prior to the commencement of work the contractor shall contact Underground Service Alert (800)422-4133 for location of underground utilities.
- 8) Do not willfully proceed with Construction as designed when it is obvious that unknown obstructions, area discrepancies and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the owner. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 9) These plans are intended for planting & irrigation purposes only.
- 10) Maintenance: All required landscape areas shall be maintained by the Owner. There is no landscape in the public right of way that needs to be maintained. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- 11) Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistance condition. The design of the system shall provide adequate support for the vegetation selected. Proposed irrigation includes: Drip and bubblers

VICINITY MAP



SHEET INDEX

DRAWING NAME	SHEET NUMBER
TITLE SHEET & KEY MAP	LA-0.0
IRRIGATION PLAN	LA-1.0
PLANTING PLAN	LA-2.0
IRRIGATION & PLANTING DETAILS	LA-3.0

PROJECT TEAM

<p>PROPERTY OWNER: TIME WARNER CABLE 19450 PACIFIC CENTER DRIVE SAN DIEGO, CA 92121 PHONE: (619) 535-8803 CONTACT: ANTHONY BECKERS</p>	<p>ELECTRICAL: CD DESIGN GROUP P.O. BOX 4197 IRVINE, CA 92614 PHONE: (949) 387-8476 CONTACT: CHRIS KARJALA</p>
<p>ARCHITECT: DERRA DESIGN, INC. 310 E. CAMINO REAL SUITE 4018 TUSTIN, CA 92780 PHONE: (714) 730-0606 CONTACT: BIL ATKINS</p>	<p>LANDSCAPE ARCHITECT: TERRAIN INTEGRATION, INC. 191 S. ORANGE STREET ORANGE, CA 92668 PHONE: (714) 734-8814 CONTACT: STEPHANIE SHERMOEN</p>
<p>STRUCTURAL: CONSULTING ENGINEERS, INC. 112 EAST CHAPMAN AVENUE SUITE C ORANGE, CA 92665 PHONE: (714) 987-9120 CONTACT: SHUOJI YAGHI</p>	<p>CIVIL: SWCE 1740 EAST GARRY AVE, SUITE 112 SANTA ANA, CA 92704 PHONE: (949) 842-8867 CONTACT: JESSIE GREEN</p>
<p>MECHANICAL & PLUMBING: OPTIMUM ENERGY DESIGN 5201 EAST LA PALMA AVENUE ANAHEIM, CA 92807 PHONE: (714) 882-2277 CONTACT: ABBY BAKESLUE</p>	
<p>GENERAL CONTRACTOR: TO BE DETERMINED</p>	



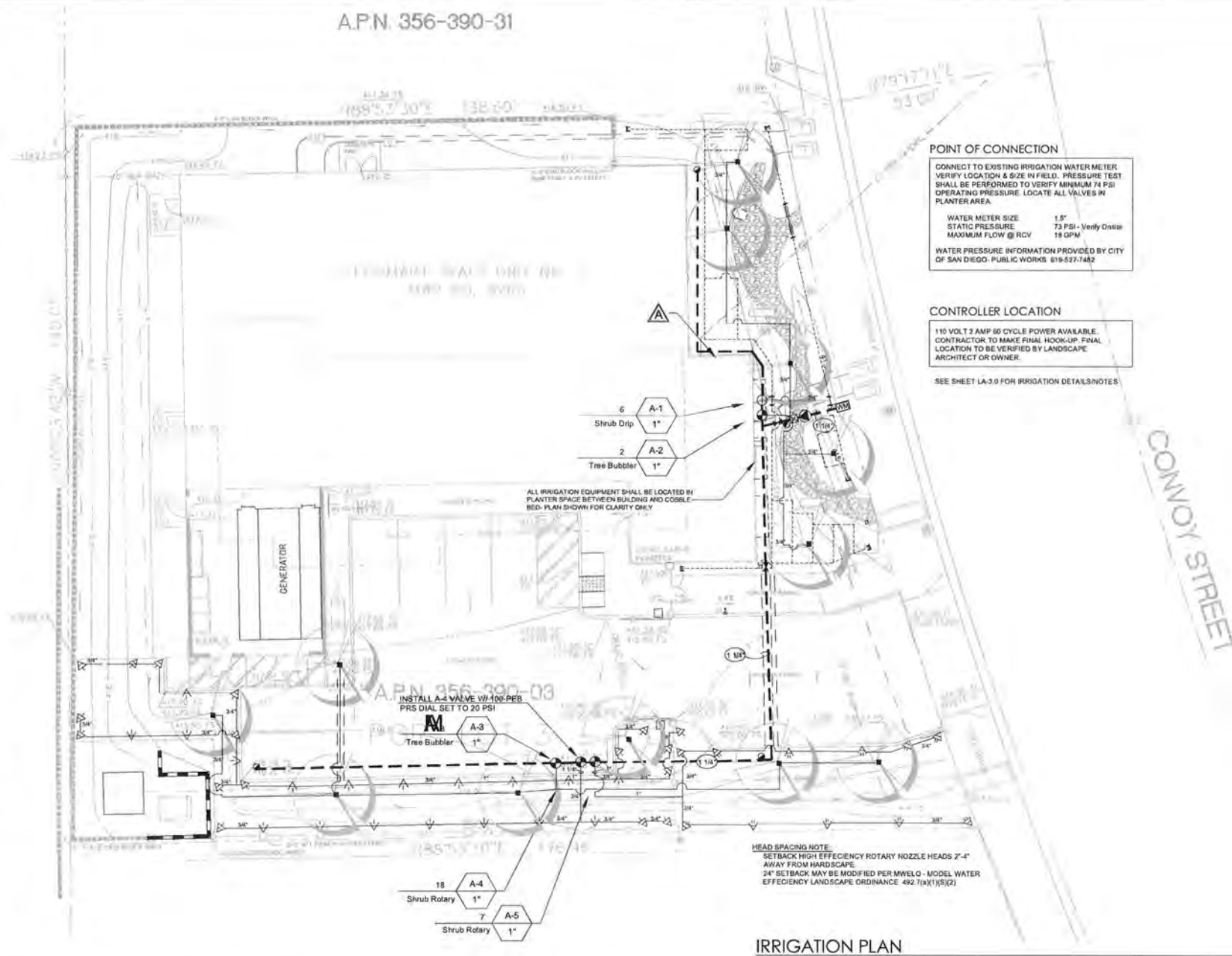
PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
THE POWER OF YOU

CONVOY HUB FACILITY
4020 CONVOY STREET,
SAN DIEGO, CA 92111

A.P.N. 356-390-31

A.P.N. 356-390-16

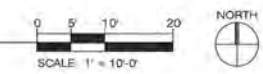
A.P.N. 356-390-13



POINT OF CONNECTION
CONNECT TO EXISTING IRRIGATION WATER METER. VERIFY LOCATION & SIZE IN FIELD. PRESSURE TEST SHALL BE PERFORMED TO VERIFY MINIMUM 74 PSI OPERATING PRESSURE. LOCATE ALL VALVES IN PLANTER AREA.
WATER METER SIZE: 1.5"
STATIC PRESSURE: 73 PSI - Verify Onsite
MAXIMUM FLOW @ RCV: 18 GPM
WATER PRESSURE INFORMATION PROVIDED BY CITY OF SAN DIEGO - PUBLIC WORKS 619-527-1482

CONTROLLER LOCATION
110 VOLT 2 AMP 60 CYCLE POWER AVAILABLE. CONTRACTOR TO MAKE FINAL HOOK-UP. FINAL LOCATION TO BE VERIFIED BY LANDSCAPE ARCHITECT OR OWNER.
SEE SHEET LA-3.0 FOR IRRIGATION DETAILS/NOTES

IRRIGATION PLAN



Irrigation Notes

- ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE COORDINATED AND INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGES AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL EXISTING AND NEW SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH NO OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROOMMATES AND PAVING, ETC.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- USE CHECK VALVES WHEN LOW HEAD DRAINAGE OCCURS.
- ALL LATERAL LINE AND MAINLINE INSTALLED UNDER PAVING TO BE PROVIDED WITH PIPE SLEEVING (2 TIMES LINE SIZE) SEE IRRIGATION DETAILS FOR DEPTHS.
- ALL CONTROLLER/VALVE WIRING INSTALLED UNDER PAVING TO BE PROVIDED WITH PIPE SLEEVING.
- INSTALL PRESSURE COMPENSATING SCREENS TO SPRAY HEADS TO PREVENT OVERSPRAY OR MISTING ONTO WALKS, WALLS, PAVING, ETC. PER MANUFACTURER'S RECOMMENDATIONS.
- A REDUCED COPY OF THE APPROVED AS-BUILT IRRIGATION PLAN COLOR CODED BY STATIONS AND LAMINATED IN PLASTIC, SHALL BE MOUNTED ON THE INSIDE OF THE CONTROLLER ENCLOSURE FOR MAINTENANCE PERSONNEL AT THE TIME OF THE FINAL ACCEPTANCE.
- THE CONTRACTOR'S GUARANTEE SHALL CONSIST OF SECTION 306-7 OF THE STANDARD SPECIFICATIONS AND THE FOLLOWING: THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF WORK. SHOULD THE CONTRACTOR FAIL DURING THE GUARANTEE PERIOD TO EXPEDITIOUSLY CORRECT A DEFECT UPON WRITTEN NOTIFICATION BY THE CITY, THE CITY SHALL CAUSE THE WORK TO BE CORRECTED AND BILL THE ACTUAL COSTS INCURRED TO THE CONTRACTOR. DEFECT CORRECTIONS SHALL INCLUDE THE COMPLETE RESTORATION OF EXISTING IMPROVEMENTS THAT WERE DAMAGED AS A RESULT OF THE DEFECT.

Irrigation Legend

SYMBOL	MP/MODEL NO.	DESCRIPTION	PS	GPM	RADIUS	ARC
▽	RANBRD 1806-R13-1E	6" POP-UP HEAD W/ HIGH EFFICIENCY ROTARY NOZZLE	20	33.00	13'-1E	0.4
▽	RANBRD 1806-R13-1S	8" POP-UP HEAD W/ HIGH EFFICIENCY ROTARY NOZZLE	30	40.00	15'-1E	0.4
■	RANBRD RWS-0-C-101	DEEPROOT WATERING SYSTEM (2) PER TREE W/ BUBBLER NOZZLE	30	25		
NO SYMBOL	RANBRD XB-20P-PC	XEB-BUG EMITTER & DIFFUSER CAP ON 1/4" TUBING STAGS W/ 3/8" 1/2" DISTRIBUTION TUBING (1) EMITTER PER 1 GAL. - (2) EMITTERS PER SGAL.	30	30		
⊕	RANBRD MDCP/CAP-MDCP/COUP	MANUAL FLUSH VALVE CAP & COMPRESSION COUPLER. INSTALL IN EMITTER BOX.				
NO SYMBOL	RANBRD ARV50	1" AIR/VACUUM RELIEF VALVE. INSTALL IN EMITTER BOX. INSTALL (1) RELIEF VALVE PER DRIP VALVE ZONE.				
→	RANBRD MDCP	EASY FIT FITTING AND ADAPTER FOR PVC TO DISTRIBUTION TUBING TRANSITION				
—		NON-PRESSURE LATERAL PVC SCH 40 WITH PVC SCH 40 FITTINGS. BURY SLEEVED PVC MIN. 12" BELOW GRADE FOR PEDESTRIAN, 30" FOR VEHICULAR PAVING. BURY UNSLEEVED PVC 12" BELOW GRADE. SIZE NOTED ON PLAN.				
—		RANBRD XT-700 DISTRIBUTION TUBING - BURIED 2" BELOW FINISH GRADE				
—		NIRCO 1 1/2" LINE SIZED GATE VALVE - LINE SIZE				
—		RANBRD 3/8" O-RING QUICK COUPLING VALVE - 1" SIZE				
—		RANBRD PER SERIES REMOTE CONTROL VALVE - SIZE NOTED ON PLAN				
—		RANBRD XICZ-175-PRF CONTROL ZONE KIT FOR DRIP SYSTEM				
—		FEBCO BACKFLOW DEVICE - 825 YA - SMALL FOOTPRINT "N-SHAPE" - 1.5" INSTALL IN STRONGBOX/IT PRODUCTS - #6880-20CR LOW PROFILE, SMOOTH TOUCH ENCLOSURE				
—		ORISVOLD #2290 PRESSURE REGULATING MASTER VALVE (NORMALLY CLOSED) - 1.25" - SET AT 60 PSI				
—		PRESSURE MAINLINE - 3/4" TO 2" PVC SCH 40. BURY SLEEVED PVC MIN. 18" BELOW GRADE FOR PEDESTRIAN, 30" FOR VEHICULAR PAVING. BURY UNSLEEVED PVC MIN. 18" BELOW GRADE.				
—		PIPE SLEEVING PVC SCH 40 FOR MAINLINE AND WIRES UNDER VEHICULAR PAVING. SCH 40 FOR MAINLINE, WIRES AND LATERALS UNDER PEDESTRIAN PAVING. EXTEND 12" BEYOND EDGE OF PAVING.				
—		WIRE SLEEVING PVC SCH 40. BURY MIN. 24" BELOW GRADE. EXTEND MIN. 12" BEYOND EDGE.				
⚠		RANBRD ESP-SMT SMART MODULAR AUTOMATIC IRRIGATION CONTROLLER W/ SMARTY SOIL MOISTURE SENSOR KIT. WALL MOUNT ON OUTSIDE WALL IN STAINLESS STEEL LOCKING METAL CABINET. ALL WIRING SHALL BE SLEEVED UNDER HARDCAPE PER PLAN. SEASONALLY ADJUST SOIL MOISTURE SENSOR.				

Lateral Pipe Sizing

FLOW (GPM)	PIPE SIZE
0-8	3/4"
8.1-12	1"
12.1-22	1.5"
22.1-28	1.75"
28.1-45	2"
45.1 +	2.5"

Irrigation Calculations & Point of Connection

Pressure Calculation

ITEM	VALVE A-4
1.5" WATER METER	0.0
MAINLINE - 123' @ 114"	0.5
REMOTE CONTROL VALVE	2.8
LATERALS	5.0
FITTINGS	0.1
PRESSURE AT HEAD	20
ELEVATION	0.5
MISCELLANEOUS	3.0
PRESSURE LOSS	32 PSI
AVAILABLE PRESSURE	73 PSI
SET PRESSURE REGULATOR @	50 PSI
ADJUST IN FIELD AS NEEDED	

Water Use Calculation

ITEM	AREA	UNIT	TOTAL
MAWA	47 x 0.62 X (0.55 + 4.516) + (0.45 x 1.0)		72,378 GAL/YEAR
EAWW - SHRUBS W/ DRIP	(47)(.62)(.25 X 1.707) + (5)		11,093 GAL/YEAR
EAWW - TREES W/ BUBBLERS	(47)(.62)(.40 X 206) + (6)		2,852 GAL/YEAR
EAWW - SHRUBS W/ ROTARY	(47)(.62)(.20 X 2.601) + (0)		17,833 GAL/YEAR
TOTAL EAWW			31,780 GAL/YEAR

THIS PROJECT REQUIRES AN IRRIGATION AUDIT TO BE SUBMITTED TO THE CITY OF SAN DIEGO. CONSISTANT WITH SAN DIEGO MUNICIPAL CODE (SDMC) 142.04100 AND SECTION 2.7 OF THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL, PRIOR TO OCCUPANCY AND USE.

Controller 'A'

HEADZONE	VALVE #	PLANT FACTOR	IRRIGATED AREA	IRRIGATION METHOD	IRRIGATION EFFICIENCY
LOW WATER SHRUB	A-1	0.2	1,707 S.F.	DRIP	0.90
MEDIUM WATER TREE	A-2	0.4	64 S.F.	BUBBLER	0.85
MEDIUM WATER TREE	A-3	0.4	144 S.F.	BUBBLER	0.85
LOW WATER SHRUB	A-4	0.2	1,836 S.F.	ROTARY	0.85
LOW WATER SHRUB	A-5	0.2	340 S.F.	ROTARY	0.85

Irrigation Schedule Recommendation

- ESTABLISHMENT PERIOD**
- SHRUB DRIP ZONE: 30 MINUTES EVERY 4 DAYS
 - TREE BUBBLER ZONE: 15 MIN EVERY 4 DAYS
 - ROTARY: 30 MINUTES EVERY 4 DAYS
- OPERATIONAL SCHEDULE**
- SEASONAL ADJUST AS NEEDED
 - SCHEDULE WATER BETWEEN 7am - 9am
 - CYCLE & SOAK - 30 MINUTE RUN TIME LIMIT ON UNITS
 - RUNOFF OCCURS
 - CONTRACTOR TO ADJUST IRRIGATION SCHEDULE TO SUIT ON-SITE CONDITIONS AS NEEDED

REVISIONS

NO.	DESCRIPTION	DATE
1	LAND USE PACKAGE	5/12/15
2	DESIGN DEVELOPMENT PKG.	5/29/15
3	DESIGN DEVELOPMENT PKG.	6/8/15
4	90% CD	7/7/15
5	100% CD	7/27/15
6	100% CD SUBMITTAL & BD SET	8/12/15
7	UPDATED BID SET	8/17/15
8	MECHANICAL EQUIPMENT REVISIONS	9/18/15
9	CYCLE 2 REVISIONS	10/7/15
10	CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By SS	Checked By SS

Sheet Number
Irrigation Plan
L-1.0

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
LANDSCAPE ARCHITECT SIGNATURE
5-1-15
DATE





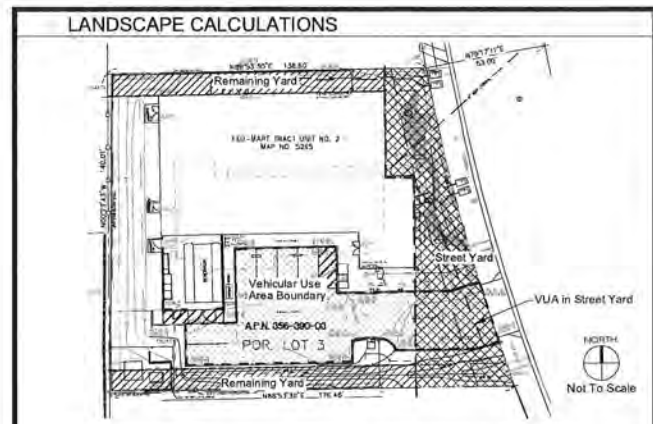
PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
 THE POWER OF YOU

CONVOY HUB FACILITY
 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

Item	Revision	Date
LAND USE PACKAGE	5/12/15	
DESIGN DEVELOPMENT PKG.	5/29/15	
DESIGN DEVELOPMENT PKG.	6/8/15	
90% CD	7/7/15	
100% CD	7/27/15	
100% CD SUBMITTAL & BID SET	8/12/15	
UPDATED BID SET	8/17/15	
MECHANICAL EQUIPMENT REVISIONS	9/18/15	
CYCLE 2 REVISIONS	10/7/15	
CLIENT REVISIONS	11/2/15	

Job No. 1580LC	Date 05/01/2015
Drawn By SS	Checked By SS

Sheet Number
 Planting Plan
L-2.0



Landscape Calculations Worksheet
 Industrial Development in RM and C Zones
 Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area 3,715 sq ft. x 25% = 928.75 sq ft.	2,840 sq ft.	1,711.25 sq ft.

Planting Points Required (142.0404)	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 3,715 sq ft. x 0.04 = 148.75 points	302 points	142.25 points

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area 2,353 sq ft. x 30% = 705.9 sq ft.	2,051 sq ft.	1,345.1 sq ft.

Plant Points Required (142.0404)	Plant Points Provided	Excess Points Provided
Total Area 2,353 sq ft. x 0.05 = 117.7 points	148 points	26.4 points

Landscape Calculations Worksheet
 Vehicular Use Area (VUA)

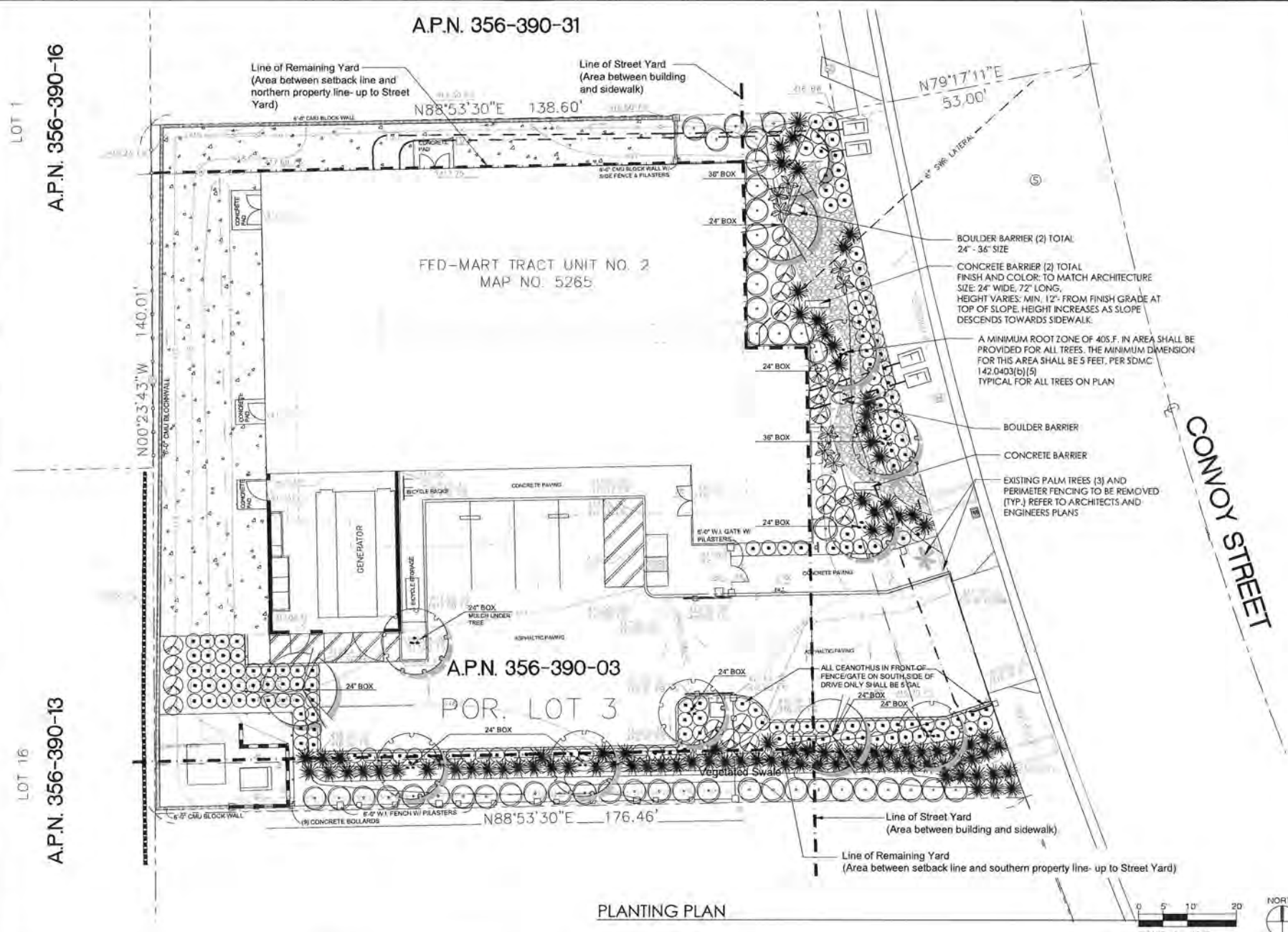
Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

Use tree (minimum 24-inch box size) in required within 30 ft. of each parking space. (3 point trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total VUA 4,108 sq ft. x 0.05 = 205.4 points	302 points	43.6 points

Points achieved through trees (at least half) 140 points

STREET YARD	REMAINING YARD	VEHICULAR USE AREA
QTY: 5 SIZE: 24" BOX POINTS: 100	QTY: 2 SIZE: 24" BOX POINTS: 104	QTY: 62 SIZE: 5 GAL POINTS: 318
TOTAL POINTS: 200	TOTAL POINTS: 144	TOTAL POINTS: 302



PLANTING PLAN



Planting Notes

- TREE MATERIAL SPECIFIED MUST MEET SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED ON PLAN. IF THE CONTRACTOR CANNOT LOCATE MATERIAL OF ACCEPTABLE SIZE AT THE TIME OF INSTALLATION, CONTACT LANDSCAPE ARCHITECT FOR SPECIES SUBSTITUTION. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER WILL NOT BE ALLOWED. TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- PLANTS NOT MEETING THE REQUIREMENTS OF THESE SPECIFICATIONS SHALL BE CONSIDERED TO BE DEFECTIVE. THEY MUST BE IMMEDIATELY REMOVED AND REPLACED (WHETHER PLANTED OR NOT) WITH NEW ACCEPTABLE AND APPROVED PLANTS OF THE REQUIRED SIZE, SPECIES AND VARIETY AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR OR OTHER SHALL NOT PRUNE, TRIM, TOP OR ALTER THE SHAPE OF TREES OR PLANTS EXCEPT AS APPROVED BY THE LANDSCAPE ARCHITECT.
- ANY MAJOR DIFFERENCES OR FIELD CONDITIONS NOT ADDRESSED IN THE PLANS OR THAT SEEM TO BE IN CONFLICT WITH EXISTING CONDITIONS OR PLANS MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO DO SO MAY RESULT IN EXTRA WORK SERVICES BY CONTRACTOR WITH NO ADDITIONAL COST TO CLIENT OR LANDSCAPE ARCHITECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE TO EXISTING SITE HARDSCAPE, SOFTSCAPE, OR ARCHITECTURE BROUGHT ABOUT FROM LANDSCAPE INSTALLATION OR REMOVAL.
- EXISTING PLANT MATERIAL TO BE REMOVED BY BEST INDUSTRY PRACTICES. REMOVAL PRACTICE TO BE APPROVED BY OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- INSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS- 2% MINIMUM
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREES FOR 1 YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER/OWNERS REPRESENTATIVE.
- PLANT SHRUBS WITH FERTILIZER TABLETS AT HALF THE DEPTH OF THE ROOT BALL. PLANTING TABLETS SHALL BE 21 OZ/AM AGRIFORM OR EQUAL. 1 TABLET/1 GAL, 2 TABLETS/3 GAL.
- PLANTING HOLE SHALL BE DUSTED WITH GYPSUM OR EQUIVALENT ON ALL SIDES AND BOTTOM. GYPSUM SHALL BE BLENDED THOROUGHLY WITH THE BACKFILL SOIL AND AMENDMENTS UTILIZED COMPLETELY IN THE BACKFILL.

Planting Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	MATURE SIZE (HxW)	REMARKS
(Tree symbol)	TREE						
(Circle symbol)	CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	7	MED-LOW	6' x 15'	STANDARD
(Circle symbol)	LAURUS NOBILIS	SWEET BAY	24" BOX	7	LOW	20' x 15'	STANDARD
(Star symbol)	ACCENT & FOUNDATION SHRUBS						
(Star symbol)	AGAVE SHAWI DR HESPERDYCCA WHIPPLEI	SHAW AGAVE DR OUR LORDS CANDLE	5 GAL	5	LOW	2' x 3'	@ 3'-0" O.C. @ 4'-0" O.C.
(Star symbol)	DENDRAMECON HARBORII	ISLAND BUSH POPPY	3 GAL	44	VERY LOW	5' x 8'	@ 5'-0" O.C. MAX
(Star symbol)	MUHLENBERGIA RIGENS	DEER GRASS	3 GAL	102	LOW	4' x 4'	@ 4'-0" O.C.
(Star symbol)	SALVIA CL EVELANDII	CLEVELAND SAGE	3 GAL	21	VERY LOW	4' x 8'	@ 4'-0" O.C.
(Star symbol)	GROUND COVER						
(Star symbol)	CEANTHUS 'CENTENNIAL'	CENTENNIAL CEANTHUS	1 GAL	120	LOW	8' x 4'	@ 3'-0" O.C.
(Star symbol)	COBBLESTONE		4"-5" SIZE	735 ± 1	NA	NA	COBBLE SET IN MORTAR BASE
(Star symbol)	STABILIZED DECOMPOSED GRANITE		3/24 ± 1	NA	NA	NA	BROWN-TAN COLOR

Planting Percentages	
SIZE OF PLANT	QUANTITY / OVERALL %
36" BOX	2 / 1%
24" BOX	10 / 3%
5 GAL	207 / 81%
1 GAL	126 / 35%
TOTAL PLANTS	339 / 100%

AND PLANTING PROCESS: A SHALLOW DRAINAGE SUMP OR TREE WELL SHALL BE REQUIRED AROUND ALL SHRUB & TREE PLANTING.

- ALL PLANT MATERIAL SHALL BE APPROVED AT THE SITE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL PLANT MATERIAL WHICH IS REJECTED SHALL BE RETURNED AT NO COST TO THE OWNER.
- FERTILIZER SHALL BE A COMMERCIAL GRADE OF THE INORGANIC OR ORGANIC TYPE, PRODUCED IN PELLETTIZED, GRANULAR OR SLURRY FORM. ADDITIONAL ADDITIVES ARE RECOMMENDED DEPENDING ON SOIL CONDITIONS, E.G. SOIL SULFUR, IRON SULFATE, CALCIUM/MAGNESIUM SULFATE. FERTILIZER SHALL CONFORM TO CITY STANDARDS.
- CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY DRAINAGE COURSE OR SWALE TO BE BLOCKED FROM CONVEYANCE OF WATER FROM SITE. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE MAINTAINED.
- CONTRACTOR SHALL MAINTAIN AND PROTECT IN PLACE EXISTING PLANT MATERIAL THAT IS TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGED PLANT MATERIALS AT HIS COST.
- PER CITY OF SAN DIEGO M.C. 142.0403 (b)(8) - ANY PLANT MATERIAL REQUIRED THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL APPROVED ON PLANS. REQUIRED SHRUBS THAT DIES 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15 GAL. SIZE. REQUIRED TREES THAT DIE 3 YEARS OR MORE AFTER SHALL BE REPLACED WITH 60" BOX MATERIAL. SIZE. THE CITY MANAGER MAY AUTHORIZE ADJUSTMENT OF THE SIZE & QUANTITY OF REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN ACCESSIBLE AREAS OR WHERE THE EXISTING PLANT BEING REPLACED IS LARGER THAN A 15 GALLON SHRUB OR 60" BOX TREE.

MINIMUM TREE SEPARATION DISTANCE

- 10'-0" FROM ABOVE GROUND UTILITIES
- 5'-0" FROM UNDERGROUND UTILITIES (10'-0" FROM SEWER)
- 20'-0" FROM TRAFFIC SIGNALS/STOP SIGNS
- 10'-0" FROM DRIVEWAY ENTRIES
- 25'-0" FROM INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)

CONTRACTOR TO VERIFY EXISTING AND PROPOSED SITE CONDITIONS PRIOR TO PLANTING TREES.

IF DISCREPANCIES OCCUR, LANDSCAPE ARCHITECT IS TO BE NOTIFIED AND TREE PLACEMENTS SHALL BE ADJUSTED ACCORDINGLY.

FAILURE TO DO SO THAT RESULT IN CHANGES TO THE PLAN, THERE SHALL BE NO COST TO OWNER OR LANDSCAPE ARCHITECT.

NOTE:

- DECOMPOSED GRANITE SHALL HAVE A COMMERCIAL GRADE STABILIZER INCORPORATED INTO IT OR TOPICALLY SPRAYED - IF TOPICALLY APPLIED, APPLY PRIOR TO DG COMPACTATION AND AFTER DG COMPACTATION.
- DECOMPOSED GRANITE SHALL BE 2" MINIMUM WITH 3" GRAVEL BASE BELOW BOTH COMPACTED AT EACH APPLICATION.
- ALL PLANTERS NOT COVERED BY DECOMPOSED GRANITE OR COBBLE SHALL RECEIVE A 2" LAYER OF SHREDDED BARK MULCH WITH WEED BARRIER BELOW.
- FINISH GRADE OF PLANTERS, BEFORE MULCH IS APPLIED, SHALL BE 1"-2" BELOW ADJACENT FINISH SURFACE IN ALL AREAS FOR WATER QUALITY MANAGEMENT.
- INSTALL ROOT BARRIERS FOR ANY TREE WITHIN 5'-0" OF HARDSCAPE OR MAJOR UTILITY- SEE DETAIL.
- ALL EXISTING PLANT MATERIAL SHALL BE REMOVED DURING DEMOLITION OF THE SITE.

I HAVE COMPLIED WITH THE CRITERIA OF THE DRAINAGE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LANDSCAPE ARCHITECT SIGNATURE: *[Signature]* DATE: 5-1-15

DIGALERT logo and seal.

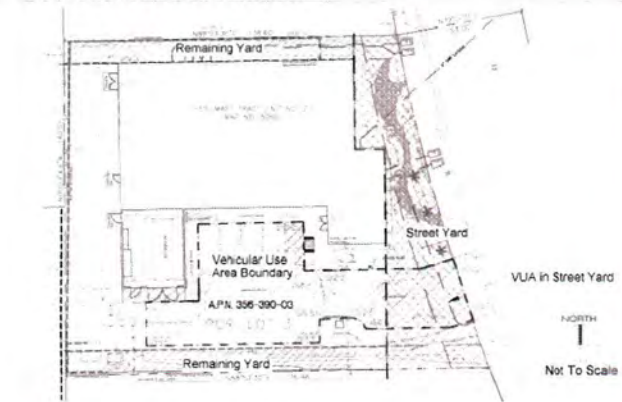
PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
 THE POWER OF YOU

CONVOY HUB FACILITY
 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

Revisions

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	5/1/15
2	REVISIONS TO PERMITS	5/1/15
3	REVISIONS TO PERMITS	5/1/15
4	REVISIONS TO PERMITS	5/1/15
5	REVISIONS TO PERMITS	5/1/15
6	REVISIONS TO PERMITS	5/1/15
7	REVISIONS TO PERMITS	5/1/15
8	REVISIONS TO PERMITS	5/1/15
9	REVISIONS TO PERMITS	5/1/15
10	REVISIONS TO PERMITS	5/1/15

LANDSCAPE CALCULATIONS



City of San Diego
 Development Services
 1222 First Ave. MS-501
 San Diego, CA 92101-4154
 (619) 448-5000

Landscape Calculations Worksheet
 Industrial Development in RM and C Zones
 Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development except Auto Service Stations, see below:

Planting Area Required [142.040]	Planting Area Provided	Excess Area Provided
Total Area 3,715 sq. ft. x 25% = 928.75 sq. ft.	2,840 sq. ft.	1,711.25 sq. ft.

Planting Points Required [142.040]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 3,715 sq. ft. x 0.05 = 185.75 points	200 points	14.25 points

REMAINING YARD

Planting Area Required [142.040]	Planting Area Provided	Excess Area Provided
Total Area 2,353 sq. ft. x 30% = 705.9 sq. ft.	2,051 sq. ft.	1,345.1 sq. ft.

Plant Points Required [142.040]	Plant Points Provided	Excess Points Provided
Total Area 2,353 sq. ft. x 0.05 = 117.7 points	144 points	26.4 points

City of San Diego
 Development Services
 1222 First Ave. MS-501
 San Diego, CA 92101-4154
 (619) 448-5000

Landscape Calculations Worksheet
 Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24 inch tree size) is required within 30 ft. of each parking space. (If palm trees are used, one palm tree (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (11,000 sq. ft. [142.040E - 142.040F])

Planting Area Required (provide 40 sq. ft. per tree (with no dimension less than 5'))	Plant Points Provided	Excess Points Provided
Total VUA 5,165 sq. ft. x 0.05 = 258.4 points	302 points	43.6 points

Points achieved through trees (at least half) 140 points

STREET YARD			REMAINING YARD			VEHICULAR USE AREA		
QTY	SIZE	POINTS	QTY	SIZE	POINTS	QTY	SIZE	POINTS
6	24" BOX	100	52	10"	52	38	1 GAL	38
2	36" BOX	100	2	24" BOX	40	62	5 GAL	124
TOTAL POINTS		200	TOTAL POINTS		144	TOTAL POINTS		140

Planting Notes

- TREE MATERIAL SPECIFIED MUST MEET SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED ON PLAN. IF THE CONTRACTOR CANNOT LOCATE MATERIAL OF ACCEPTABLE SIZE AT THE TIME OF INSTALLATION CONTACT LANDSCAPE ARCHITECT FOR SPECIES SUBSTITUTION. DOWNIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT OWNER WILL NOT BE ALLOWED. TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- PLANTS NOT MEETING THE REQUIREMENTS OF THESE SPECIFICATIONS SHALL BE CONSIDERED TO BE DEFECTIVE. THEY MUST BE IMMEDIATELY REMOVED AND REPLACED (WHETHER PLANTED OR NOT) WITH NEW ACCEPTABLE AND APPROVED PLANTS OF THE REQUIRED SIZE, SPECIES AND VARIETY AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR OR OTHER SHALL NOT PRUNE, TRIM, TOP OR ALTER THE SHAPE OF TREES OR PLANTS EXCEPT AS APPROVED BY THE LANDSCAPE ARCHITECT.
- ANY MAJOR DIFFERENCES OR FIELD CONDITIONS NOT ADDRESSED IN THE PLANS OR THAT SEEM TO BE IN CONFLICT WITH EXISTING CONDITIONS OR PLANS MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY. FAILURE TO DO SO MAY RESULT IN EXTRA WORK/SERVICES BY CONTRACTOR WITH NO ADDITIONAL COST TO CLIENT OR LANDSCAPE ARCHITECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE TO EXISTING SITE HARDSCAPE, SOFTWARE OR ARCHITECTURE BROUGHT ABOUT FROM LANDSCAPE INSTALLATION OR REMOVAL.
- EXISTING PLANT MATERIAL TO BE REMOVED BY BEST INDUSTRY PRACTICES. REMOVAL PRACTICE TO BE APPROVED BY OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- INSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS-2% MINIMUM.
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREES FOR 1 YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER/OWNERS REPRESENTATIVE.
- PLANT SHRUBS WITH FERTILIZER TABLETS AT HALF THE DEPTH OF THE ROOT BALL. PLANTING TABLETS SHALL BE 21 GRAM AGRIFORM OR EQUAL. 1 TABLET: 1 GAL. 2 TABLETS: 5 GAL.
- PLANTING HOLES SHALL BE DUSTED WITH GYPSUM OR EQUIVALENT ON ALL SIDES AND BOTTOM. GYPSUM SHALL BE BLENDED THOROUGHLY WITH THE BACKFILL SOIL AND AMENDMENTS UTILIZED COMPLETELY IN THE BACKFILL.

- AND PLANTING PROCESS A SHALLOW DRAINAGE SLUMP OR TREE WELL SHALL BE REQUIRED AROUND ALL SHRUB & TREE PLANTING.
- ALL PLANT MATERIAL SHALL BE APPROVED AT THE SITE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL PLANT MATERIAL WHICH IS REJECTED SHALL BE RETURNED AT NO COST TO THE OWNER.
 - FERTILIZER SHALL BE A COMMERCIAL GRADE OF THE INORGANIC OR ORGANIC TYPE, PRODUCED IN PELLETTIZED, GRANULAR OR SLURRY FORM. ADDITIONAL ADJUTIVES ARE RECOMMENDED DEPENDING ON SOIL CONDITIONS. E.G. SOIL SULFUR, IRON SULFATE, CALCIUM MAGNESIUM SULFATE. FERTILIZER SHALL CONFORM TO CITY STANDARDS.
 - CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY DRAINAGE COURSE OR SWALE TO BE BLOCKED FROM CONVEYANCE OF WATER FROM SITE. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE MAINTAINED.
 - CONTRACTOR SHALL MAINTAIN AND PROTECT IN PLACE EXISTING PLANT MATERIAL THAT IS TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGED PLANT MATERIALS AT HIS COST.
 - PER CITY OF SAN DIEGO M.C. 142.0403 (b)(5) - ANY PLANT MATERIAL REQUIRED THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL APPROVED ON PLAN. REQUIRED SHRUBS THAT DIES 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15 GAL. SIZE. REQUIRED TREES THAT DIE 3 YEARS OR AFTER SHALL BE REPLACED WITH 90" BOX MATERIAL. SIZE. THE CITY MANAGER MAY AUTHORIZE ADJUSTMENT OF THE SIZE & QUANTITY OF REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN AN ACCESSIBLE AREA OR WHERE THE EXISTING PLANT BEING REPLACED IS LARGER THAN A 15 GALLON SHRUB OR 60" BOX TREE.
- MINIMUM TREE SEPERATION DISTANCE**
- 10' FROM ABOVE GROUND UTILITIES
 - 5' FROM UNDERGROUND UTILITIES (10' FROM SEWER)
 - 20' FROM TRAFFIC SIGNALS/ STOP SIGNS
 - 10' FROM DRIVEWAY ENTRIES
 - 25' FROM INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)
- CONTRACTOR TO VERIFY EXISTING AND PROPOSED SITE CONDITIONS PRIOR TO PLANTING TREES.
- IF DISCREPANCIES OCCUR, LANDSCAPE ARCHITECT IS TO BE NOTIFIED AND TREE PLACEMENTS SHALL BE ADJUSTED ACCORDINGLY.
- FAILURE TO DO SO THAT RESULT IN CHANGES TO THE PLAN, THERE SHALL BE NO COST TO OWNER OR LANDSCAPE ARCHITECT.

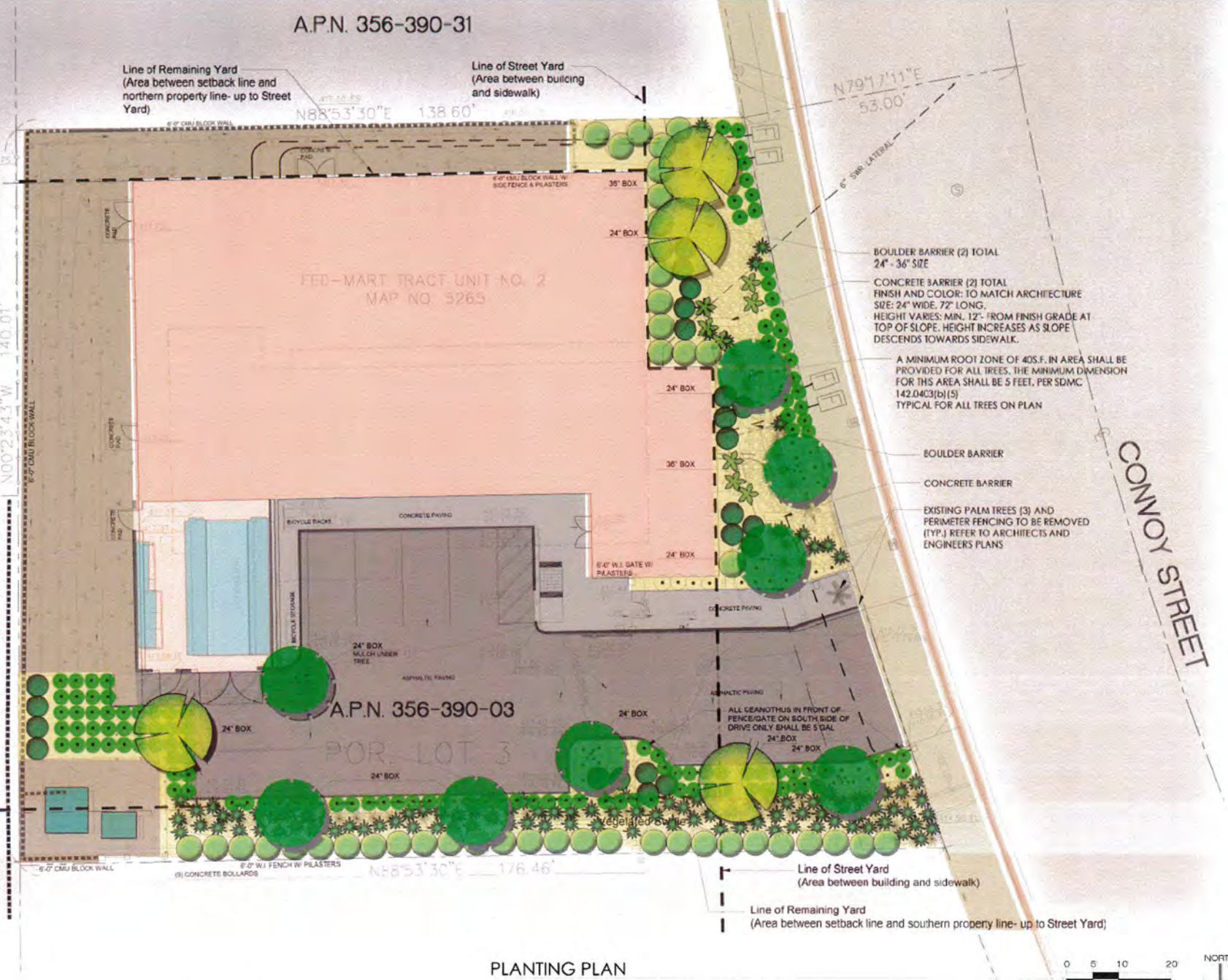
Planting Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS	MATURE SIZE (HxW)	REMARKS	Planting Percentages		
								SIZE OF PLANT	QUANTITY	OVERALL %
TREE										
	CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	3	MED-LOW	60 x 15'	STANDARD	36" BOX	2	1%
	LAIURUS NOBILIS	SWEET BAY	24" BOX	7	LOW	20' x 15'	STANDARD	24" BOX	10	3%
			36" BOX	1				5 GAL	207	61%
								1 GAL	120	35%
ACCENT & FOUNDATION SHRUBS								TOTAL PLANTS =	339	100%
	AGAVE SHAWII OR HESPEROYUCCA WHIFFLEI	SHAW AGAVE DR OUR LORDS CANDLE	5 GAL	8	LOW VERY LOW	2' x 3' 3' x 4'	@ 3'-0" O.C			
	DENDROMECON HARPORDII	ISLAND BUSH POPPY	5 GAL	44	VERY LOW	6' x 5'	@ 5'-0" O.C MAX			
	MULLENBERGIA RIGENS	DEER GRASS	5 GAL	102	LOW	4' x 4'	@ 4'-0" O.C			
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	21	VERY LOW	4' x 4'	@ 4'-0" O.C			
GROUND COVER										
	CEANTHUS 'CENTENNIAL'	CENTENNIAL CEANTHUS	1 GAL	120	LOW	8' x 4'	@ 3'-0" O.C			
			5 GAL	32						
	COBBLESTONE		4"-8" SIZE	735 +/-	NA	NA	COBBLE SET IN MORTAR BASE			
	STABILIZED DECOMPOSED GRANITE		3.251 +/-	NA	NA	NA	BROWN-TAN COLOR			
NOTE										
<ul style="list-style-type: none"> DECOMPOSED GRANITE SHALL HAVE A COMMERCIAL GRADE STABILIZER INCORPORATED INTO IT OR TOPICALLY SPRAYED IF TOPICALLY APPLIED. APPLY PRIOR TO DG COMPACTION AND AFTER DG COMPACTION. DECOMPOSED GRANITE SHALL BE 2" MINIMUM WITH 3" GRAVEL BASE BELOW BOTH COMPACTION AT EACH APPLICATION. ALL PLANTERS NOT COVERED BY DECOMPOSED GRANITE OR COBBLE SHALL RECEIVE A 2" LAYER OF SHREDED BARK MULCH WITH WEED BARRIER BELOW. FINISH GRADE OF PLANTERS, BEFORE MULCH IS APPLIED, SHALL LIE 1"-2" BELOW ADJACENT FINISH SURFACE IN ALL AREAS FOR WATER QUALITY MANAGEMENT. INSTALL ROOT BARRIERS FOR ANY TREES WITHIN 5'-0" OF HARDSCAPE OR MAJOR UTILITY- SEE DETAIL. ALL EXISTING PLANT MATERIAL SHALL BE REMOVED DURING DEMOLITION OF THE SITE. 										

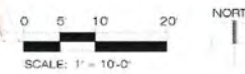
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

[Signature]
 LANDSCAPE ARCHITECT SIGNATURE

5/1/15
 DATE

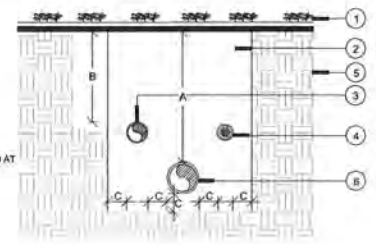


PLANTING PLAN



MINIMUM PIPE COVERAGE SHALL BE AS FOLLOWS:

- A. PRESSURE LINES
 - LESS THAN 3" INNER DIAMETER - 18" COVER
 - 3" INNER DIAMETER - 24" COVER
 - 4" INNER DIAMETER - 30" COVER
- B. LATERAL LINES
 - LESS THAN 3" INNER DIAMETER - 12" COVER
 - 3" INNER DIAMETER - 18" COVER
 - 4" INNER DIAMETER - 24" COVER
- C. ALL PIPE UNDER PAVING AND ROAD SHALL BE SLEEVED AT REQUIRED DEPTHS



LEGEND

- 1. FINISH GRADE
- 2. CLEAN COMPACT BACKFILL
- 3. CONTROL WIRES
- 4. UNDISTURBED SOIL
- 5. PRESSURE MAINLINE

Pipe Installation

n.l.s.

Remote Control Valve

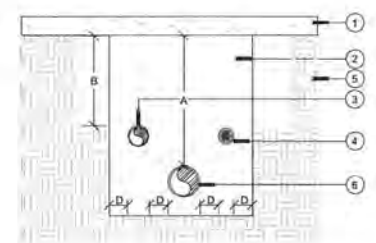
n.l.s.

Gate Valve

n.l.s.

MINIMUM PIPE COVERAGE SHALL BE AS FOLLOWS:

- A. SLEEVES UNDER ROADS
 - 8" OR LESS IN DIAMETER - 36" COVER
 - GREATER THAN 8" IN DIAMETER - 48" COVER
 - SCHEDULE 40 PVC
- B. SLEEVES UNDER PAVING (NON-ROADS)
 - LESS THAN 3" INNER DIAMETER - 30" COVER
 - 3" INNER DIAMETER - 36" COVER
 - SCHEDULE 40 PVC



LEGEND

- 1. ROADWAY PAVING OR PEDESTRIAN PAVING
- 2. SAND BACKFILL COMPACTED TO THE DENSITY OF EXISTING SOIL
- 3. LATERAL LINES IN SCH 40 SLEEVE
- 4. CONTROL WIRES IN SCH 40 SLEEVE
- 5. UNDISTURBED SOIL
- 6. PRESSURE MAINLINE IN SCH 40 SLEEVE

NOTES:

- 1) PVC SLEEVES TO BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED
- 2) DETAIL ALSO FOR PIPE INSTALLED IN ROCK SOIL
- 3) METALLIC BACKED LOCKING TAPE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF THE SLEEVE, 12 INCHES DIRECTLY ABOVE THE SLEEVE TAPE SHALL BE MARKED "IRRIGATION" IN TWO INCH CAPITAL LETTERS EVERY THREE FEET ALONG THE TAPE.

Sleeving Detail

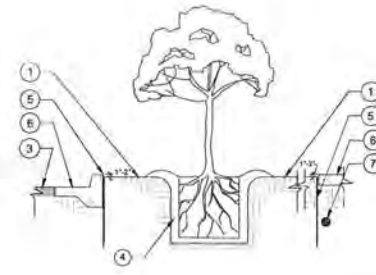
n.l.s.

Root Zone Watering System

n.l.s.

Control Zone Kit

n.l.s.

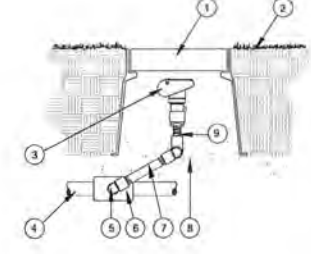


LEGEND

- 1. FINISH GRADE - 1" BELOW ADJACENT HARDSCAPE
- 2. CONCRETE CURB
- 3. ROADWAY PAVING
- 4. BACKFILL
- 5. DEEP ROOT CONTROL BARRIER, 20 L.F. CENTERED ON TRUNK - DO NOT WRAP TRUNK
- 6. ADJACENT CONCRETE SURFACE
- 7. ADJACENT UTILITIES

Rootbarrier Detail

n.l.s.

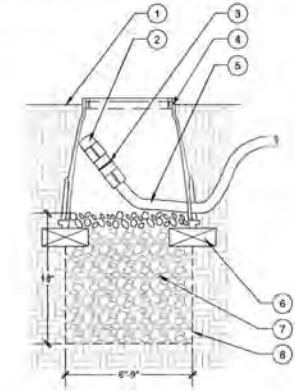


LEGEND

- 1. GREEN 1" ROUND VALVE BOX WITH LOCKING BOLT LID AND HEAT BRANDED LABEL "QC"
- 2. FINISH GRADE
- 3. QUICK COUPLER VALVE
- 4. PRESSURE SUPPLY LINE
- 5. PVC STREET ELL (2 REQUIRED) SCH 80
- 6. PVC TEE
- 7. PVC SCH 80 NIPPLE
- 8. 3 CU. FT. CRUSHED ROCK SUMP
- 9. THREADED NIPPLE, SCH 80

Quick Coupler Valve

n.l.s.



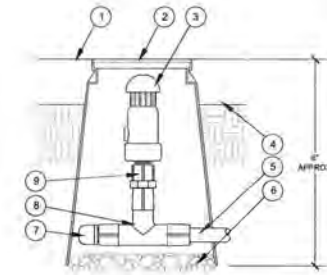
LEGEND

- 1. FINISH GRADE
- 2. FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS-RAIN BIRD MDCFCAP
- 3. EASY FIT COUPLING-RAIN BIRD MDCFCOUP
- 4. GREEN SUBTERRANEAN EMITTER BOX-RAIN BIRD SEB 7XB
- 5. SUB-SURFACE DRIP LINE-RAIN BIRD XP SERIES DRIP LINE-NON POTTABLE-XPSP DRIP LINE
- 6. BRICK (TWO TOTAL)
- 7. CLEAN GRAVEL FILTER MATERIAL-VARYING SIZE FROM 3/4" TO 1 1/2"
- 8. FILTER FABRIC

NOTE: 1. ALLOW A MINIMUM OF 4-6 INCHES OF DRIP LINE TUBING IN VALVE BOX. FLUSH DISCHARGE SHALL BE CONTAINED IN VALVE BOX

Flush Valve

n.l.s.



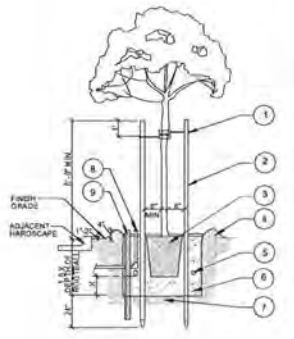
LEGEND

- 1. TOP OF MULCH
- 2. GREEN 6-INCH ROUND VALVE BOX
- 3. AIR RELIEF VALVE-RAINBIRD ARV050
- 4. FINISH GRADE
- 5. PVC PIPE
- 6. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 7. END CAP-RAINBIRD MDCFCAP
- 8. TEE-RAINBIRD MDCFTEE
- 9. ADAPTER-RAINBIRD MDCFT75FT

NOTE: 1. LOCATE AIR RELIEF VALVE AT HIGHEST POINT OF THE DRIP ZONE.
2. INSTALL (1) AIR RELIEF VALVE PER DRIP ZONE

Air Relief Valve

n.l.s.



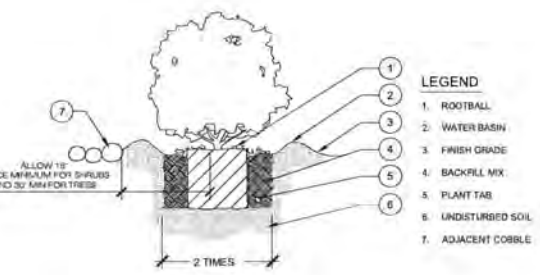
LEGEND

- 1. "SUPER 2" LOC @ 2 LOC TREES TO SECURE TO STAKE PER MANUFACTURERS RECOMMENDATION PLACE BELOW BRANCHING YOKE OF TREE
- 2. LODGEPOLE PINE STAKES: 1 STAKE FOR 8 GALLON, 2 STAKES FOR 15 GALLON / 24" BOX
- 3. SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLING. INSTALL 2" NITROLIZED WOOD CHIP MULCH. DO NOT COVER WITH DECOMPOSED GRANITE
- 4. WATER BASIN / REMOVE ONCE PLANT IS ESTABLISHED PER LANDSCAPE ARCH DIRECTION
- 5. GFO POWER FERTILIZER TABLETS. APPLICATION RATES PER TABLE. REFER TO PLANTING NOTES
- 6. BACKFILL MIX PER NOTES
- 7. NATIVE SOIL SUBGRADE (EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT)
- 8. IRRIGATION BUBBLER. INSTALL PER IRRIGATION PLAN
- 9. 1.5" PERFORATED PIPE. EXTEND 12" BELOW BASE OF ROOT BALL

NOTE: 1. USE ROOT BARRIERS WHEREVER TREES ARE PLANTED WITHIN 6 FT. OF ANY STRUCTURE, CONCRETE FLATWORK, CURB & UTILITY UTILITIES, ETC.
2. INSTALL ROOT GUARD BARRIERS PER MANUFACTURERS RECOMMENDATION

Tree Planting Detail

n.l.s.

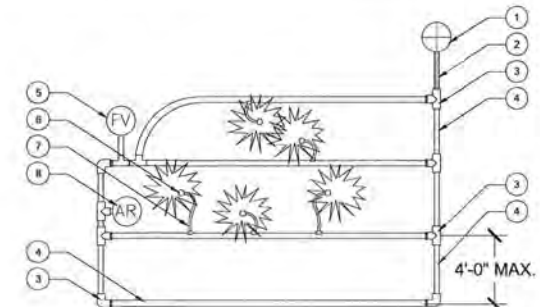


LEGEND

- 1. ROOTBALL
- 2. WATER BASIN
- 3. FINISH GRADE
- 4. BACKFILL MIX
- 5. PLANT TAB
- 6. UNDISTURBED SOIL
- 7. ADJACENT COBBLE

Shrub Planting

n.l.s.

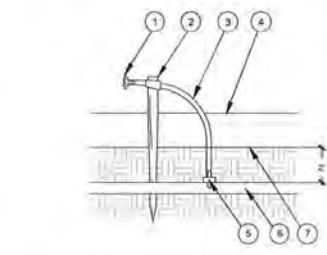


LEGEND

- 1. REMOTE CONTROL VALVE
- 2. PVC SCH 40
- 3. MDCF FITTING & ADAPTER
- 4. XT-700 DISTRIBUTION TUBING
- 5. FLUSH VALVE
- 6. DIFFUSER CAP ON TUBING STAKE
- 7. 1/4" XQ DISTRIBUTION TUBING AND XER-BUG EMITTER

Drip Tubing Layout

n.l.s.



LEGEND

- 1. OFF FUSION END CAP
- 2. 1/4" TUBING STAKE
- 3. 1/2" DISTRIBUTION TUBING
- 4. TOP OF MULCH
- 5. XER-BUG EMITTER
- 6. XT SERIES BLANK TUBING-BURIED
- 7. FINISH GRADE

Drip Emitter Assembly

n.l.s.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
LANDSCAPE ARCHITECT SIGNATURE DATE

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REVISION

LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/29/15
DESIGN DEVELOPMENT PKG.	6/8/15
SOX CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & B.O SET	8/12/15
UPDATED B.O SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

Job No: 1580C Date: 05/01/2015
Drawn By: SS Checked By: SS

Sheet Number
Planting & Irrigation
Details
L-3.0

derra
 497 E Rincon Street, Suite 204
 Corona, CA 92679
 Ph: 951.268.1650 Fax: 951.268.1651



- KEYNOTE LEGEND**
- 1 EXISTING RESTAURANT BUILDING TO BE COMPLETELY REMOVED (YEAR BUILT - 1969)
 - 2 EXISTING TREE TO BE REMOVED
 - 3 EXISTING DRIVEWAY TO BE REMOVED - SEE SITE PLAN AT SHEET A-1.0 FOR PROPOSED IMPROVEMENT
 - 4 EXISTING ASPHALTIC CONCRETE DRIVE/PARKING AREA TO BE COMPLETELY REMOVED
 - 5 EXISTING PUBLIC SIDEWALK IN THE RIGHT OF WAY TO REMAIN - PROTECT IN PLACE
 - 6 EXISTING DRIVEWAY CUT-IN TO REMAIN
 - 7 EXISTING TOPO LINE - GRADING TO BE MODIFIED - SEE GRADING PLAN
 - 8 EXISTING CONC. FLATWORK TO BE COMPLETELY REMOVED
 - 9 EXISTING CONC. TO BE REMOVED
 - 10 (E) TRANSFORMER BY SDG&E
 - 11 CMU WALL TO BE REMOVED
 - 12 (E) RETAINING WALL TO REMAIN
 - 13 EXISTING RETAINING WALL AT NEIGHBORING LOT (NOT A PART)
 - 14 EXISTING FENCE WALL TO REMAIN
 - 15 EXISTING CONC. PLANTER CURB TO BE REMOVED
 - 16 EXISTING BUILDING TO BE REMOVED
 - 17 RESERVED
 - 18 EXISTING TELEPHONE RISER - PROTECT IN PLACE
 - 19 EXISTING EQUIPMENT TO BE REMOVED
 - 20 REQUIRED BUILDING SETBACK LINE
 - 21 SDG&E RECORDED EASEMENT
 - 22 SDG&E RECORDED EASEMENT

ABBREVIATIONS

LS. LANDSCAPE AREA
 P.L. PROPERTY LINE

- SYMBOL LEGEND**
- ⊕ EXISTING DOMESTIC WATER METER
 - * EXISTING TREE TO BE REMOVED
 - ⊕ GAS METER TO BE REMOVED
 - ⊕ EXISTING STORM DRAIN MANHOLE
 - ⊕ UTILITY VAULT TO BE REMOVED - FILL VOID PER SOL REPORT
 - ⊕ EXISTING CLEANOUT TO BE REMOVED
 - ⊕ EXISTING BOLLARD TO REMAIN
 - ⊕ EXISTING BOLLARD TO BE REMOVED
 - ⊕ EXISTING SEWER ACCESS TO BE REMOVED
 - ⊕ EXISTING SEWER ACCESS TO REMAIN
 - ⊕ EXISTING LIGHT STANDARD TO BE REMOVED
 - ⊕ EXISTING CHAIN LINK FENCE TO BE REMOVED
 - ⊕ EXISTING CONC. BLOCK FENCE WALL TO REMAIN
 - ⊕ EXISTING CONC. BLOCK RETAINING WALL TO REMAIN
 - ⊕ CONCRETE FLATWORK

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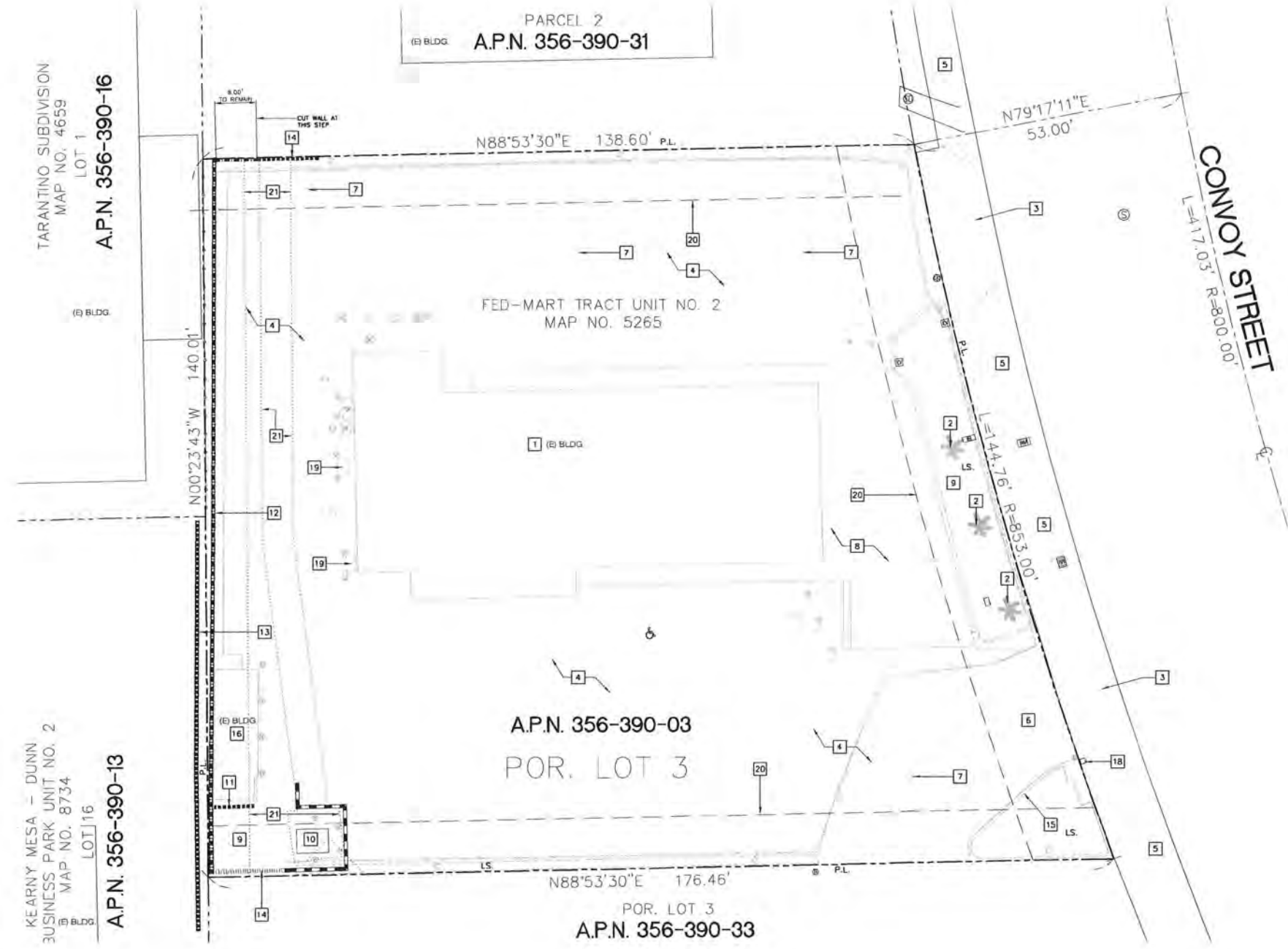
Revisions

LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/28/15
DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
 Existing/Demo Site Plan

A-0

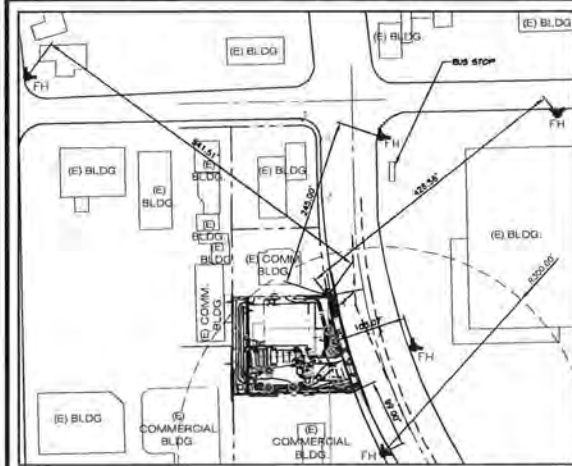


TARANTINO SUBDIVISION
 MAP NO. 4659
 LOT 1
 A.P.N. 356-390-16

KEARNY MESA - DUNN
 BUSINESS PARK UNIT NO. 2
 MAP NO. 8734
 LOT 16
 A.P.N. 356-390-13

Existing/Demo Site Plan

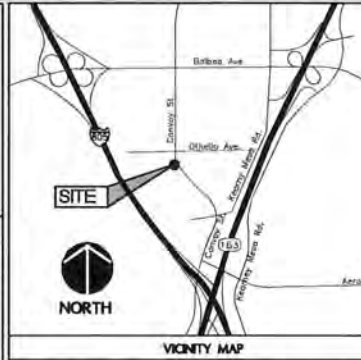




Hydrant Plan

PROJECT STATISTICS:

SITE STATISTICS		
TOTAL BUILDING COVERAGE PER SDMC 113.0234:	6,698 SQ. FT.	30.80%
TOTAL GENERATOR YARD:	871 SQ. FT.	4.02%
PAVED AREAS:	5,973 SQ. FT.	27.48%
GRAVEL AREAS:	2,764 SQ. FT.	12.83%
LANDSCAPED AREA:	3,432 SQ. FT.	20.08%
GROSS SITE:	21,758 SQ. FT.	100%
SITE SETBACKS:		
FRONT:	REQUIRED 15'	PROPOSED 15'-3" (EAST)
SIDE:	10'	10'-0" (NORTH)
REAR:	-	22'-1" (WEST)
PARKING		
PARKING PROVIDED (AS DETERMINED BY CUP)		STANDARD STALLS = 5
		VAN ACCESSIBLE STALLS = 1
TOTAL PARKING STALLS PROVIDED: 6		
CONSTRUCTION DATA:		
JURISDICTION:	CITY OF SAN DIEGO	E-3-1
CURRENT ZONING:		V-8
TYPE OF CONSTRUCTION:		B/S-1
OCCUPANCY (NEW BUILDING):		506AE
POWER COMPANY:		29'-0"
BUILDING HEIGHT:		



GENERAL REQUIREMENTS

AUTOMATIC LANDSCAPE IRRIGATORS SHALL BE INSTALLED IN SUCH A WAY THAT IT DOESN'T SPRAY ON THE BUILDING.

CONSTRUCTION WASTE SHALL BE REDUCED BY 50%. WASTE TO BE HANDLED BY A HAULER CERTIFIED BY THE CITY OF SANTA ANA. WASTE MANAGEMENT SHALL MEET ALL SANTA ANA WASTE MANAGEMENT ORDINANCES.

100% OF ALL TREES, STUMPS, ROCKS & ASSOCIATED VEGETATION & SOILS SHALL BE REUSED OR RECYCLED. FOR ADDITIONAL REQUIREMENTS, SEE SHEET T-2

- KEYNOTE LEGEND**
- N NEW ITEM
 - S REQUIRED SETBACK LINE
 - 1 NEW TREE - SEE LANDSCAPE DRAWINGS
 - 2 CURB RAMP
 - 3 CONCRETE FLATWORK
 - 4 ASPHALTIC CONCRETE DRIVE/PARKING AREA
 - 5 CONCRETE PEDESTRIAN SIDEWALK
 - 6 NEW 30" WIDE SWINGING WROUGHT-IRON GATE. GATE SHALL REMAIN UNLOCKED FROM THE INSIDE (PROVIDE PANIC HARDWARE FOR ONE-WAY EXIT TRAVEL). PROVIDE KEYS TO ENTRY FROM THE PUBLIC SIDE.
 - 7 KNOX BOX INSTALLED ON GATE OR WALL FOR EMERGENCY SERVICES ACCESS - MOUNT 5' ABV. ADJ. GRADE
 - 8 CMU PLASTER
 - 9 ELECTRICALLY OPERATED PAIR OF 10" NEW WROUGHT-IRON SWINGING GATES. PROVIDE KNOX OVERRIDE KEY SWITCH WITH DUST COVER MTD. AT 48" ABV. FIN. GFD. FOR EMERGENCY SERVICES ACCESS. SWITCH TO BE READILY VISIBLE & LABELED WITH 1/2" HIGH RED LETTERS READING "FIRE DEPT."
 - 10 UPON ACTIVATION OF THE KEY SWITCH, THE GATE SHALL OPEN & REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH.
 - 11 CONCRETE WHEEL STOP
 - 12 BUILDING MOUNTED METAL CANOPY
 - 13 REPLACE DRIVEWAY CURB WITH CONTINUOUS CONCRETE SIDEWALK IN LINE WITH EXISTING PEDESTRIAN SIDEWALK
 - 14 REMOVE & REPLACE (E) DRIVEWAY CURB CUT WITH NEW CITY STANDARD DRIVEWAY AND CURB CUT 100%W STAND-BY BACKUP GENERATOR WITHIN SOUND ATTENUATING CMU ENCLOSURE, OVER SUB BASE FUEL TANK OVER THICKENED CONCRETE PAD
 - 15 PAVEMENT STRIPED LOADING AREA
 - 16 PAVEMENT STRIPED ACCESSIBLE PATH
 - 17 EXISTING EASEMENT - SEE SURVEY
 - 18 9'-0" x 18'-0" STANDARD PARKING STALL
 - 19 9'-0" x 18'-0" VAN ACCESSIBLE PARKING STALL
 - 20 CONCRETE LANDING (STOOP) AT DOOR
 - 21 PRIMARY BUILDING ENTRY
 - 22 TELCO RISER (2 TOTAL)
 - 23 (E) AT&T TELCO PEDESTAL (TWO P.O.C.) - STUB UP (1) 4" SCH. 40 PVC CONDUIT INSIDE (E) PEDESTAL
 - 24 NEW 8'-0" HIGH CMU SITE WALL - SEE STRUCTURAL
 - 25 DIRECTIONAL SIGNAGE POINTING TO PUBLIC TRANSIT
 - 26 ACCESSIBLE ENTRANCE SIGNAGE
 - 27 ACCESSIBLE PARKING SIGNAGE ON BUILDING FACE
 - 28 NEW 6'-0" HIGH WROUGHT-IRON SITE FENCE
 - 29 NEW ELECTRICAL TRANSFORMER
 - 30 NEW GUTTER
 - 31 NEW PARKWAY CULVERT
 - 32 30" WIDE WROUGHT-IRON ACCESSIBLE FIRE ACCESS GATE
 - 33 RED PAINTED CURB
 - 34 FIRE LANE SIGNAGE
 - 35 NEW RETAINING WALL PER CIVIL
 - 36 CONSTRUCTION JOINT AT NEW TO EXISTING WALL
 - 37 (4) 4" SCHEDULE 40 UNDERGROUND CONDUITS
 - 38 STRIPE PAVED AREA AND PROVIDE 12" HIGH WHITE LETTERING STATING "KEEP CLEAR"
 - 39 EMBED PROTECTION LOOP IN PAVEMENT FOR REQUEST TO EXIT
 - 40 PARKING SPACE DESIGNATED FOR CLEAN LOW EMITTING, FUEL EFFICIENT VEHICLE - PROVIDE 6" HIGH LETTERING IN GREEN STATING "CLEAN AIR VEHICLE"



PROPOSED CABLE HUB FACILITY FOR:

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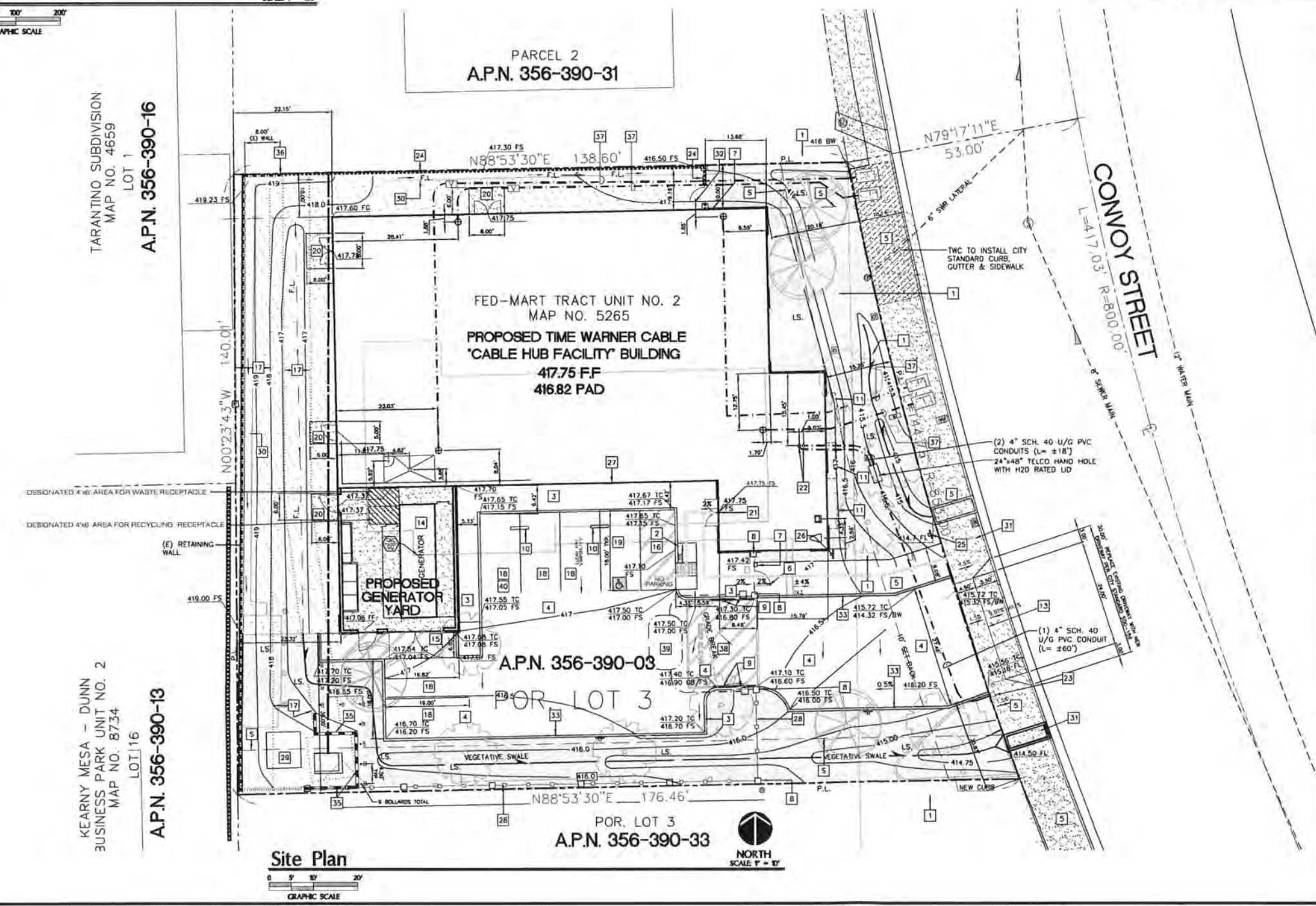
Revisions

LAND USE PACKAGE	5/12/15
DESIGN DEVELOPMENT PKG.	5/28/15
DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
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CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

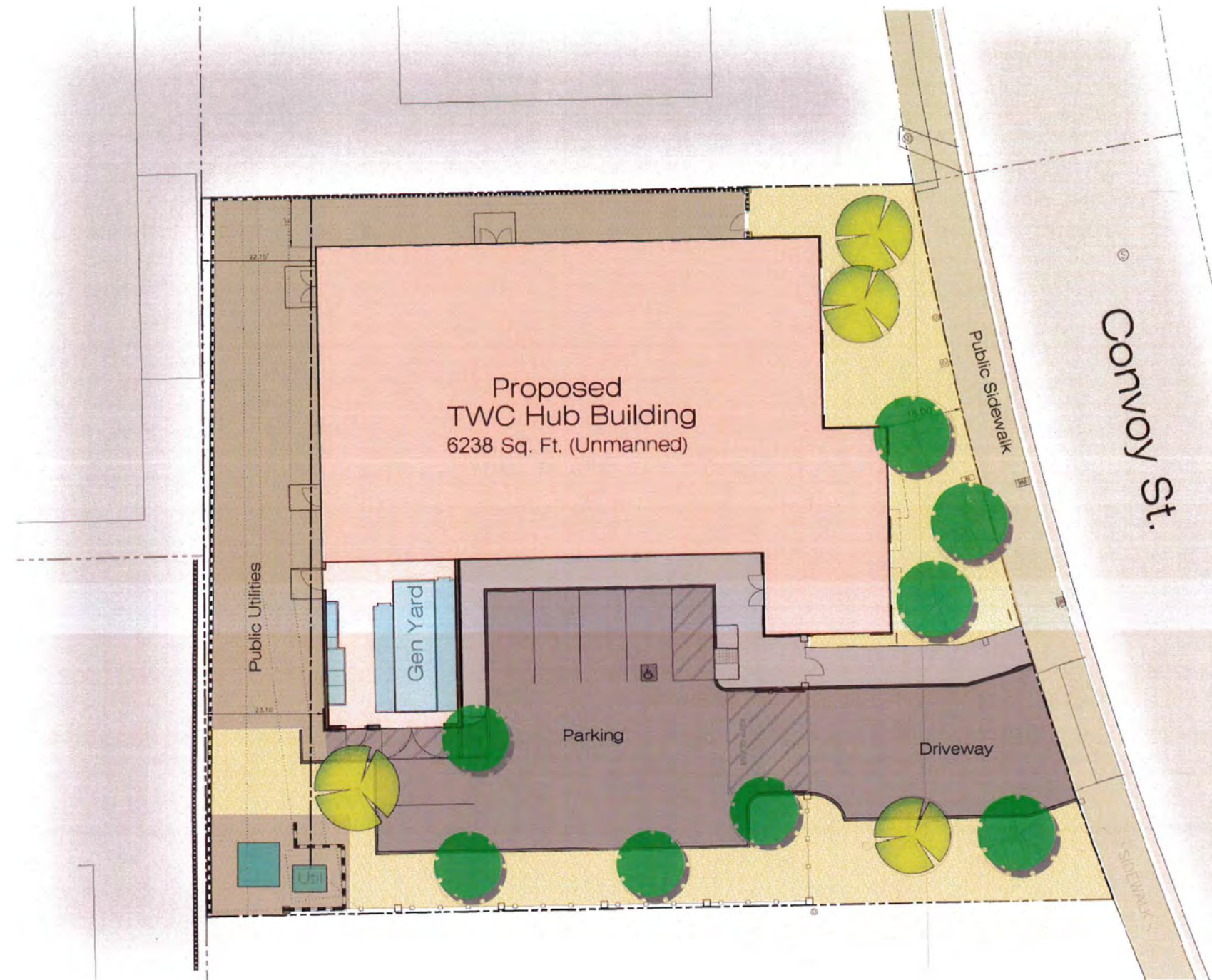
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Sheet Title
Site Plan

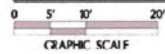
A-1.0



Site Plan



Site Plan



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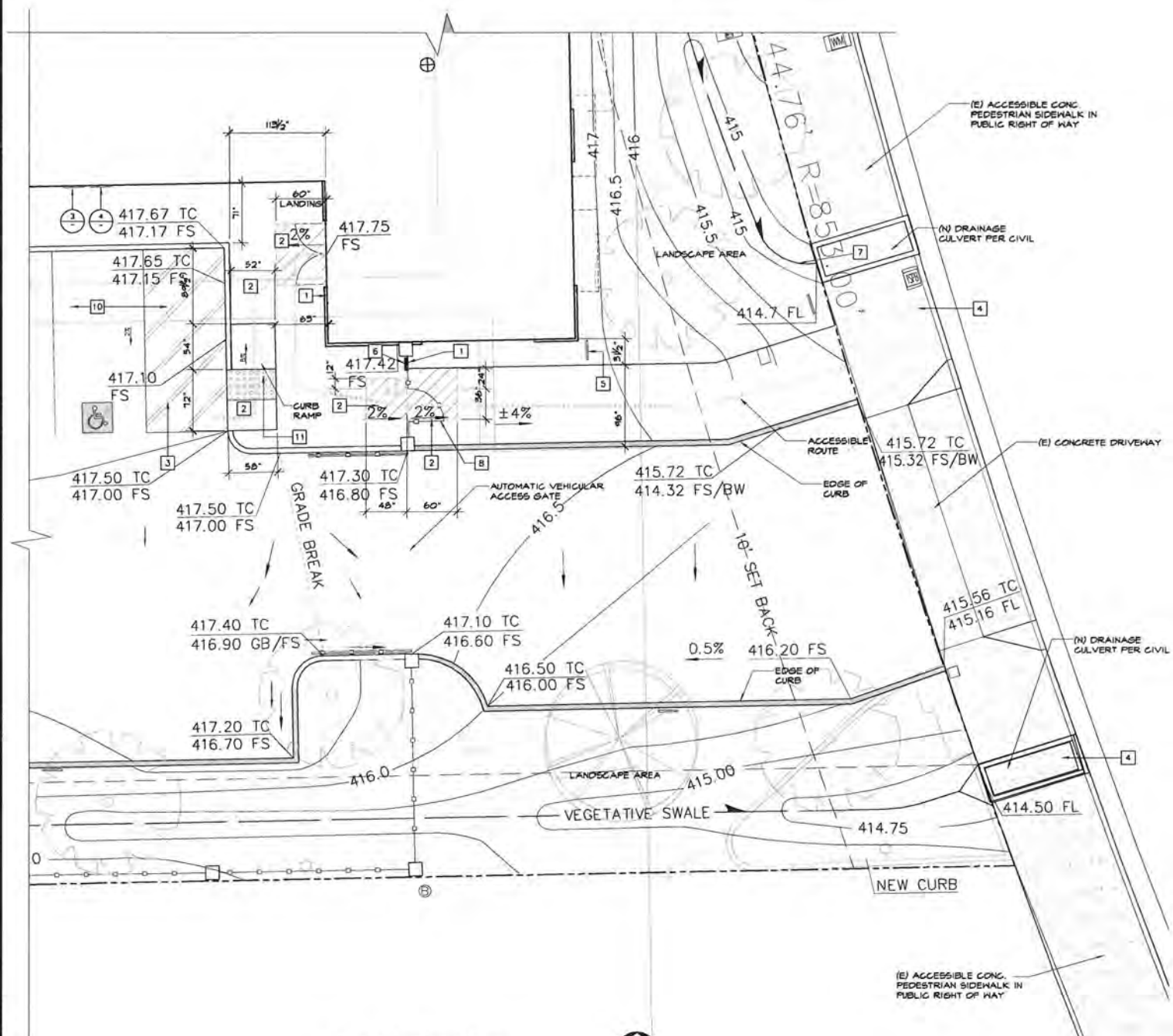
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Sheet Title
Site Accessibility

A-1.1

KEY NOTES		
1	PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE ENTRANCE MTD. AT 60" A.F.F.	5
2	REQUIRED CLEAR LEVEL LANDING SPACE. LANDING SPACE - 2% MAX. SLOPE/CROSS SLOPE	5
3	4" TRAFFIC BLUE STRIPPING (36" CENTER TO CENTER OF STRIPE)	5
4	H20 TRAFFIC RATED LIDS AT VAULTS AND CULVERTS SHALL BE PEDESTRIAN RATED AND FLUSH TO ADJACENT PAVEMENT	5
5	PROVIDE SIGNAGE INDICATING DIRECTION TO ACCESSIBLE FACILITY	5
6	PROVIDE A TACTILE EXIT SIGN AT 40" A.F.F. - SEE 'ACCESSIBLE SIGNAGE NOTES' ON THIS PAGE FOR REQUIREMENTS	5
7	PROVIDE SIGNAGE INDICATING DIRECTION TO PUBLIC TRANSPORTATION	5
8	3x6" SWINGING WROUGHT-IRON GATE. PROVIDE LEVER-TYPE HARDWARE. GATE TO BE SELF-LOCKING AT EXTERIOR - GATE TO BE OPENABLE FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. OPENING THE GATE SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST. FORCE NEEDED TO OPERATE GATE SHALL NOT EXCEED 8#. SURFACE OF LANDING ON THE PUSH SIDE OF THE GATE, WITHIN 10" OF THE GATE SHALL HAVE A SMOOTH SURFACE	5
9	-RESERVED-	5
10	SLOPE AND CROSS SLOPE SHALL NOT EXCEED 2% MAXIMUM AT ACCESSIBLE SPACE OR LOADING AREA	5
11	PROVIDE TRUNCATED DOMES TO 36" IN THE DIRECTION OF TRAVEL AT THE BASE OF THE RAMP	5
SYMBOLS		
ACCESSIBLE PATH OF TRAVEL WITH LESS THAN 5% SLOPE AND MAX. 2% CROSS SLOPE TYPICAL. WALK SURFACE SHALL BE AT LEAST AS SLIP-RESISTANT AS A MEDIUM SALTED FINISH. GROUND/FLOOR SURFACE ALONG ROUTE & ROOM IT SERVES SHALL BE STABLE, FIRM & SLIP RESISTANT. THERE SHALL BE NO GRATINGS OR ABRUPT CHANGES IN EXCEEDING 1/2"		
NOTES		
1. PER CBC 2010 SEC. 1103B - An accessible route of travel complying with section 1114b.1.2 shall connect all elements and spaces within a building or facility. Exception: Floors or sections of floors not currently occupied, and frequented only by service personnel for repair or maintenance purposes.		
NOTES		
SEALANT FIRE CAST CONCRETE WHEEL STOP ANCHOR PIN MIN. 2 PER BUMPER STOP (NO. 3 REBAR 18" LONG) PAVING SECTION PER PLAN		
WHEEL STOP	SCALE: 1-1/2" = 1'-0"	6
RESERVED	SCALE: -	7
RESERVED	SCALE: 1-1/2" = 1'-0"	8



Partial Site Plan - Accessibility
NORTH
SCALE: 3/16" = 1'-0"
0 4' 8' 16' FOR FACILITY ACCESSIBILITY - SEE SHEET A-3.0
GRAPHIC SCALE

<p>VAN ACCESSIBLE PARKING STALL</p> <p>SCALE: 1/4" = 1'-0"</p> <p>1</p>
<p>INT'L. SYMBOL OF ACCESSIBILITY</p> <p>SCALE: 3/4" = 1'-0"</p> <p>2</p>
<p>VAN ACCESSIBLE PARKING SIGNAGE</p> <p>SCALE: 1" = 1'-0"</p> <p>3</p>
<p>PARKING SIGNAGE</p> <p>SCALE: 1" = 1'-0"</p> <p>4</p>
<p>DETECTABLE WARNING</p> <p>SCALE: 3" = 1'-0"</p> <p>5</p>

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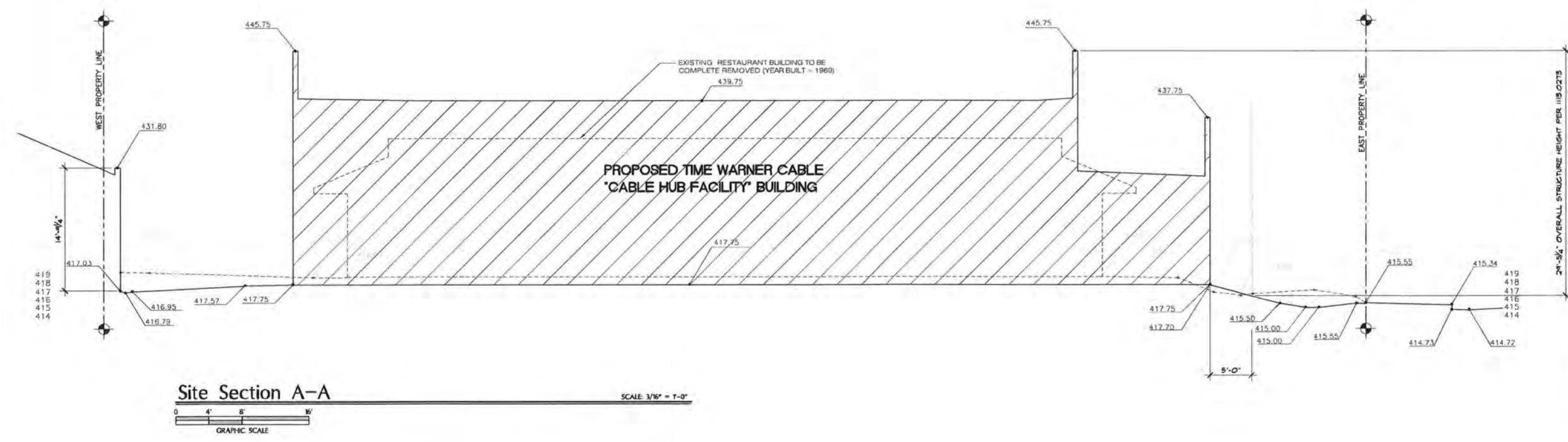
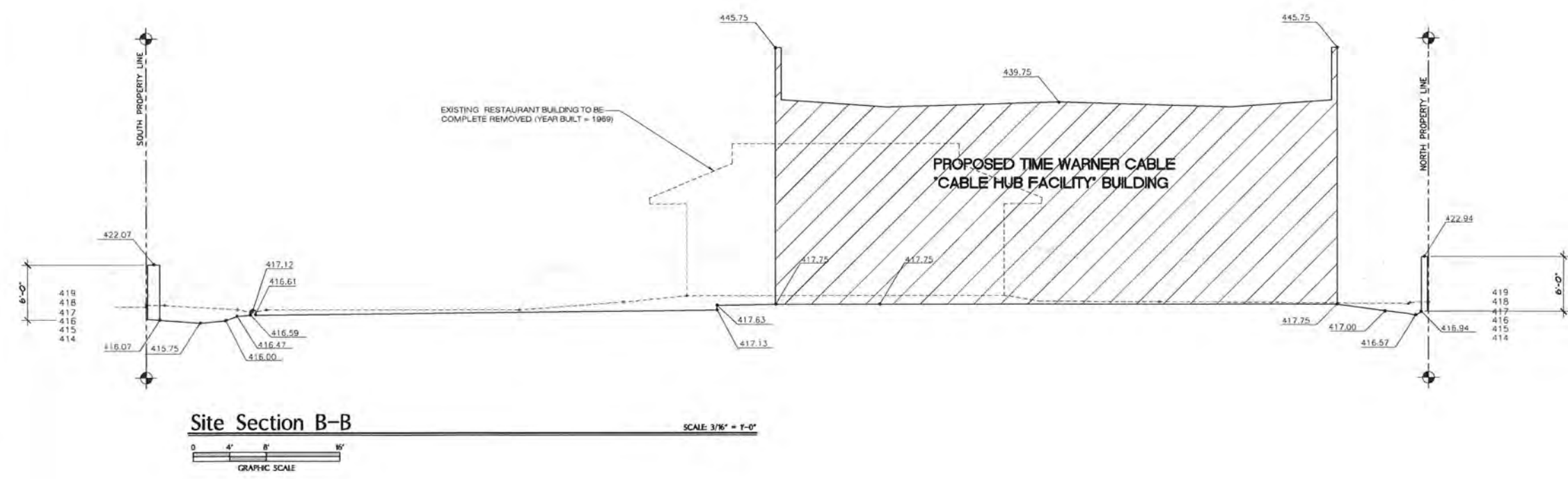
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Sheet Title
 Site Sections
A-1.2





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Sheet Title

Building Floor Plan

A-3.0

- ### BUILDING FLOOR PLAN KEY NOTES
- 22-TON AC UNIT, PER MECHANICAL PLANS
 - 10-TON AC UNIT, PER MECHANICAL PLANS
 - JANITORS FLOOR SINK - SEE PLUMBING PLANS
 - FIRE SUPPRESSION STORAGE CYLINDER, PER FIRE SUPPRESSION PLANS
 - FABRIC AWNING ON METAL FRAME OVER WINDOW
 - 30"x36" ROOF ACCESS HATCH AT METAL ROOF DECK ABOVE
 - 20'-1/4" WIDE ROOF HATCH ACCESS LADDER, FIXED ACCESS LADDER(S) SHALL COMPLY WITH COR TITLES, SEC. 3277 (DEPT. OF INDUSTRIAL RELATIONS)
 - PROVIDE NO-SMOKING SIGNAGE
 - TELECOMMUNICATIONS EQUIPMENT THROUGHOUT HUB ROOM BY OTHERS. SEE 15 AB-3 FOR ANCHORING
 - PROVIDE BATTERY SIGNAGE AT DOOR
 - SIGNAGE SHALL BE PROVIDED AT DOOR STATING 'ROOF ACCESS' CONTRACTOR TO FRAME WINDOW FOR CABLE PATHWAY - CTR. OF OPG. AT 10'-0" A.F.F. - PROTECT PENETRATIONS WITH INTUMESCENT PILLOWS PER U.L. W-1-8050 (MAX 20.5" VERTICAL OPENING)
 - 6"x8" T & S COLUMN PER STRUCTURAL PLANS. COLUMNS TO BE COATED WITH INTUMESCENT COATING
 - PROVIDE INST-HOT AT SINK PER PLUMBING PLANS
 - METAL GENERATOR YARD GATES - SEE 9 AB-3
 - PROVIDE 5/8" TYPE 'X' GYPSUM BOARD OVER 5/8" PLYWOOD OVER 5 ML MYLAR VAPOR BARRIER THIS SIDE OF WALL ASSEMBLY
 - STOREFRONT GLASS WITH VIEW PANELS BEHIND, PAINTED BLACK
 - 3" WIDE SKIRT WITH EXTERIOR PLASTER FINISH
 - EXT. CEMENT PLASTER FINISH OVER PRECISION BLOCK CMU WALL - SEE ELEVATIONS
 - PROVIDE STEEL WORKING PLATFORM & ACCESS LADDER AT GENERATOR
 - 5/8" TYPE 'X' GYPSUM BOARD OVER METAL FRAMED WALL
 - 8'-0" HIGH OPENING WITH METAL SCREENED LOUVER VENT PER MECH.
 - (1) PAIR OF 6'-0" WIDE X 18'-10" HIGH METAL GATES
 - MASONRY CONTROL JOINT LOCATION
 - PROVIDE DIESEL HAZARD SIGNAGE AT DOOR
 - 1000 KW DIESEL GENERATOR IN SOUND ATTENUATING ENCLOSURE ON RAISED CONCRETE PAD
 - CARD READER, REFER TO DOOR SCHEDULE
 - UNFINISHED CMU WALL
 - CONDUIT STUB UP THROUGH SLAB & SUPPORT UP WALL
 - TERMINATE SKIRT INTO PILASTER (PROVIDE PLASTER EXPANSION JOINT WHERE SKIRT MEETS SITE WALL OR PLASTER)
 - FIBER ENTRY THROUGH 4" RAISED CONC. CURB - ROUTE UP WALL PER BATTERY RACK LOCATION (SEE SHEET T-5 FOR BATTERY INFORMATION) SECURE TO SLAB PER 15 AB-3
 - OCCUPANCY LOAD DETERMINATION PER CBC-TBL. 1004.1.1
 - DEMARICATION POINT (BRASS PIN IN CONCRETE)
 - 6" HIGH HOUSEKEEPING PAD AT ELECTRICAL GEAR
 - INSTALL 2-1/2" THK. 'ACOUSTIBLOK' ALL WEATHER SOUND PANELS 4' OFF FINISH FLOOR, CONTINUING TO TOP OF GEN YARD WALL - SECURE TO CMU FACE WITH 5" MASONRY SCREWS AT ALL PROVIDED ATTACHMENT HOLES
 - PROVIDE 4"x8" FIRE RESISTIVE PLYWOOD TELEPHONE BACKBOARD (120V DUPLEX OUTLET AND GROUND PER ELECTRICAL DRAWINGS)
 - ROOF DRAIN DOWN WALL (CONCEALED IN FURRING)
 - ROOF DRAIN DOWN WALL
 - PROVIDE 5/8" TYPE 'X' GYPSUM BOARD OVER 5/8" PLYWOOD THIS SIDE OF WALL ASSEMBLY
 - PROVIDE OPENING IN WALL TO RECEIVE 24"x24" SCREENED/PAINTED METAL LOUVER VENT - SEE MECHANICAL PLANS
 - CONTRACTOR TO CUT IN WINDOW FOR CABLE PATHWAY - CTR. OF OPG. AT 10'-2" A.F.F. - PROTECT PENETRATIONS WITH INTUMESCENT PILLOWS PER U.L. W-1-8001

- ### NOTES
- THE FOLLOWING HAZARDOUS MATERIALS/QUANTITIES ARE A PART OF THIS APPLICATION FOR PERMIT:
 DC POWER ROOM - 1591 GALLONS OF ELECTROLYTE (SEE SHEET T-5)
 GENERATOR YARD - 3425 GALLONS OF DIESEL FUEL (SEE SHEET T-6)
 - ALL OCCUPIED PARTS OF THE BUILDING SHALL BE PROVIDED WITH AT LEAST 1 FOOTCANDLE OF LIGHT AT THE FLOOR LEVEL
 - PROVIDE MECHANICAL VENTILATION FOR EACH AREA ROOM IN ACCORDANCE WITH CBC AND MECHANICAL CODE (CMC) REQUIREMENTS FOR EACH TYPE OF USE
 - CBC SECTION 1205.3, ARTIFICIAL LIGHT. ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 100 FOOTCANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR.
 - SEE SHEET A-3.0 FOR ADDITIONAL EXITING SIGNAGE REQUIREMENTS
 - MECHANICAL VENTILATION IS REQUIRED IN ALL HABITABLE ROOMS TO BE IN ACCORDANCE WITH CBC AND CMC. SEE MECHANICAL PACKAGE

WALL LEGEND

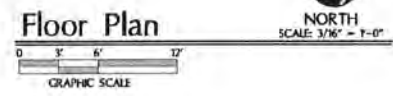
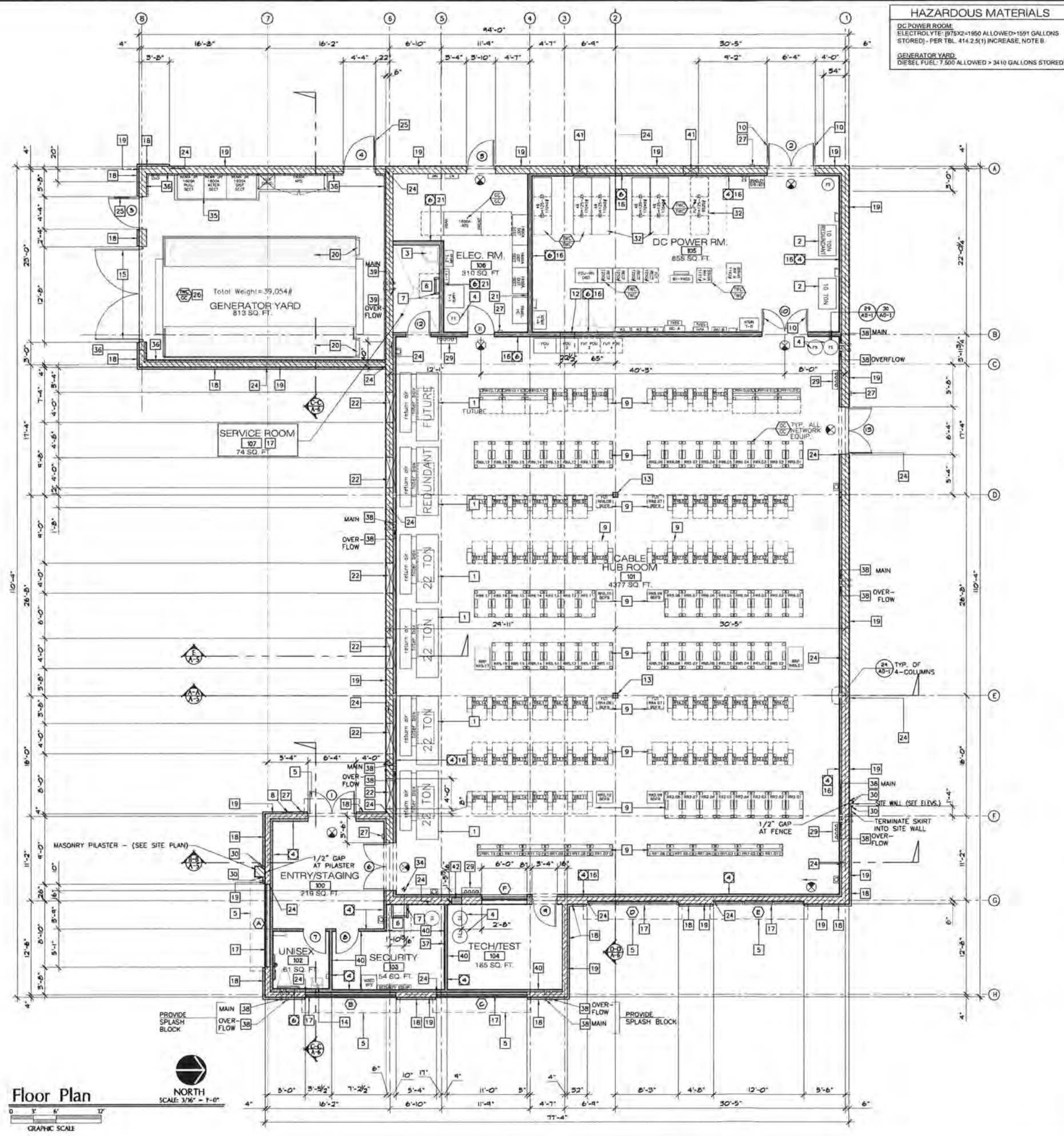
12" x 8" x 16" FULLY GROUTED PRECISION BLOCK CMU WALL		38 AB-1
8" x 16" FULLY GROUTED PRECISION BLOCK CMU WALL		39 AB-1
LIGHT GAUGE METAL STUD WALL WITH STUDS AT 16" ADDITIONAL ASSEMBLY FEATURES/FINISH/THICKNESS AS NOTED - EXTEND FRAMING & FINISH TO MTL. DECK ABV.		37 AB-1
LIGHT GAUGE METAL STUD WALL TIGHT TO CMU WALL - ADDITIONAL ASSEMBLY FEATURES/FINISH/THICKNESS AS NOTED - EXTEND STUD WALL FRAMING & GYP. BD. FINISH TO MTL. DECK ABV.		37 AB-1
LIGHT GAUGE METAL STUD WALL TIGHT TO CMU WALL - ADDITIONAL ASSEMBLY FEATURES/FINISH/THICKNESS AS NOTED - EXTEND STUD WALL FRAMING & GYP. BD. FINISH TO 9'-2" ABV. F.F.		37 AB-1

WALL KEYS

3-5/8"x1-1/2" 20 GAUGE METAL STUDS		4
8"x1-1/2" 18 GAUGE METAL STUDS		6

SYMBOLS

MINIMUM 2A10.9C FIRE EXTINGUISHER (USE 20 B.C. IN GENERATOR YARD) WITHIN 75' TRAVEL DISTANCE FOR EACH 6,000 SQ. FEET OR PORTION THEREOF.	
INTERNALLY ILLUMINATED WALL MOUNTED EXIT SIGN. SHADING INDICATES LIGHTED FACE. ARROW INDICATES CHEVRON DIRECTIONAL INDICATOR. SIGN SHALL BE LABELED IN ACCORDANCE WITH UL1824.	
4" x 4" PVC DIVERSE FIBER CONDUIT (FSR IN 4" HIGH CONCRETE BASE)	



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Sheet Title
Building Accessibility & Exiting

A-3.1

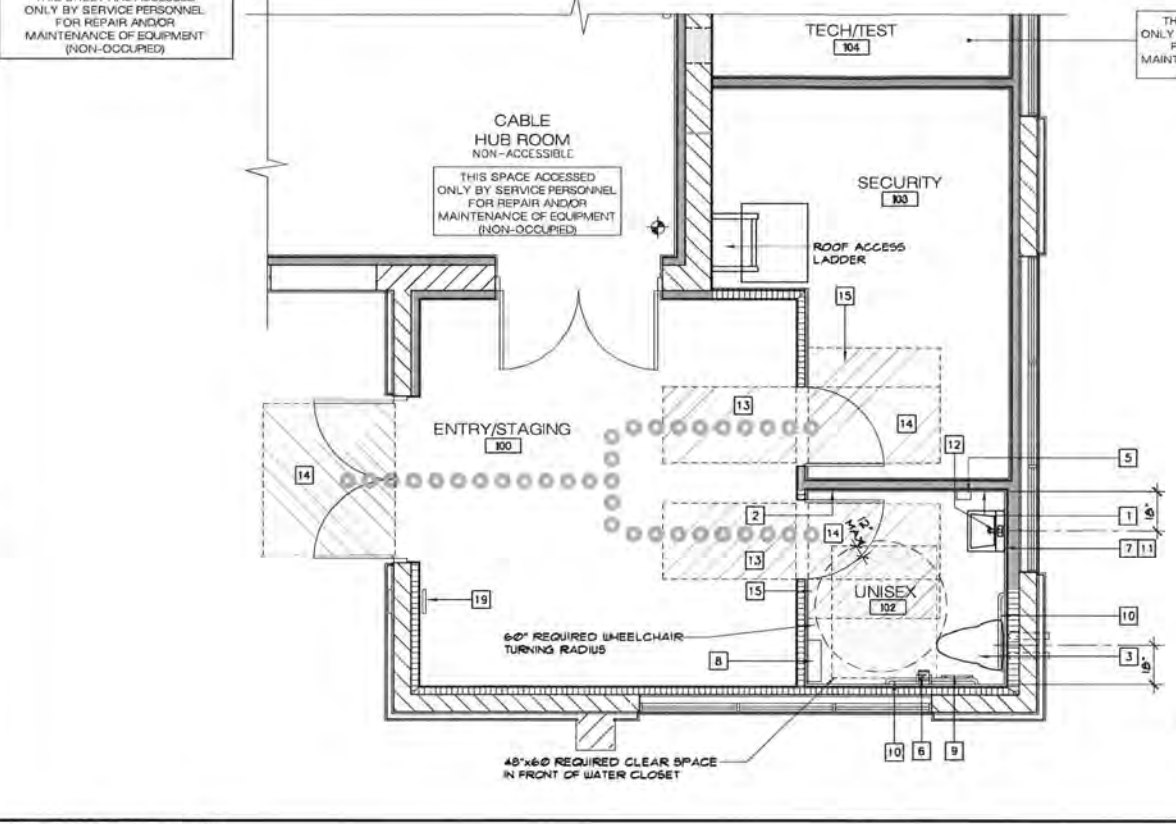
KEY NOTES

- 5/8" TYPE 'X' WATER RESISTANCE GYP. BD. TYP. AT ALL WALLS WITHIN UNISEX RESTROOM
 - PROVIDE NON-ABSORBANT, WATER RESISTANT FINISH ON WALLS WITHIN UNISEX RESTROOM TO 48" A.F.F.
 - FLOOR MOUNTED WATER CLOSET - MOUNTED AT 17" MIN AND 19" MAX MEASURE TO TOP OF 2" HIGH TOILET SEAT WITH FLUSH CONTROLS MOUNTED ON OPEN SIDE OF WATER CLOSET AT A MAXIMUM OF 44" FROM FINISH FLOOR
 - WALL HUNG LAVATORY - MINIMUM OF 17" IN HORIZONTAL DEPTH AND MOUNTED WITH THE RIM OR COUNTEREDGE NO HIGHER THAN 34" ABOVE FINISH FLOOR. HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE COVERED WITH RESILIENT MATERIAL AND THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY.
 - WALL MOUNTED SOAP DISPENSER WITH OPERABLE PARTS MOUNTED WITHIN 40" OF FINISH FLOOR
 - TOILET PAPER DISPENSER MOUNTED AT A MINIMUM HEIGHT OF 19" FROM FINISH FLOOR
 - MIRROR ABOVE LAVATORY WITH BOTTOM EDGE OF REFLECTING SURFACE MOUNTED WITHIN 40" OF FINISH FLOOR
 - COMBINATION PAPER TOWEL DISPENSER/TRASH RECEPTACLE WITH OPERABLE PARTS MOUNTED WITHIN 40" OF FINISH FLOOR
 - TOILET SEAT COVER DISPENSER WITH OPERABLE PARTS MOUNTED WITHIN 40" OF FINISH FLOOR
 - GRAB BAR
 - WRAP DRAIN & HOT WATER PIPING WITH WITH RESILIENT MATERIAL
 - FAUCET CONTROLS - OPERATION OF CONTROLS SHALL NOT REQUIRE TWISTING OF THE WRIST OR GRASPING FOR OPERATION
 - 48" DEEP CLEAR DOOR APPROACH
 - 60" DEEP DOOR CLEAR LANDING AT SWING SIDE OF DOOR
 - 18"W. x 60" DEEP DOOR CLEAR SPACE AT PULL SIDE OF DOOR
 - PROVIDE A SIGN WITH THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY", INDICATING THAT THE FACILITY IS ACCESSIBLE MTD AT 60" A.F.F.
 - ACCESSIBLE SIGNAGE AT DOORWALL
 - 4" HIGH MIN. TILE COVE BASE
 - ACCESSIBLE EXIST SIGNAGE AT WALL
- NOTE: ALL PLUMBING FIXTURES SHALL COMPLY WITH 5.303.2.3 OF THE CALIFORNIA GREEN BUILDING CODE. SEE SHEET T-2 FOR REQUIRED FLOW RATES

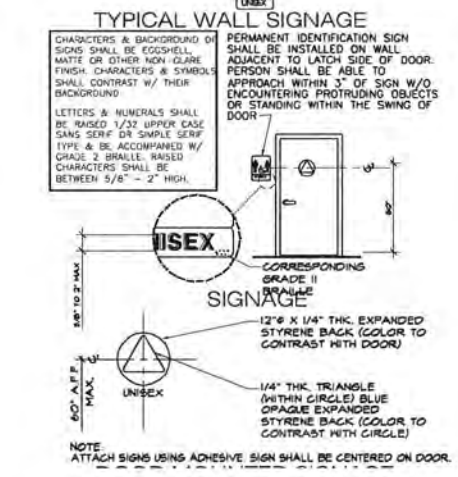
ALL OTHER SPACES NOT SHOWN ON THIS SHEET ARE ACCESSED ONLY BY SERVICE PERSONNEL FOR REPAIR AND/OR MAINTENANCE OF EQUIPMENT (NON-OCCUPIED)

THIS SPACE ACCESSED ONLY BY SERVICE PERSONNEL FOR REPAIR AND/OR MAINTENANCE OF EQUIPMENT (NON-OCCUPIED)

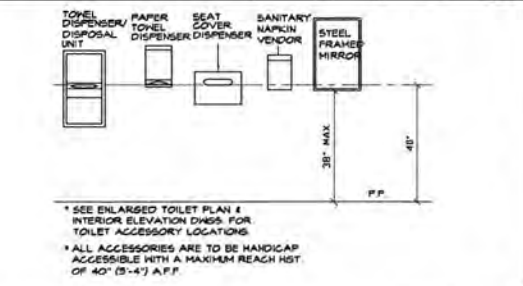
CABLE HUB ROOM NON-ACCESSIBLE
 THIS SPACE ACCESSED ONLY BY SERVICE PERSONNEL FOR REPAIR AND/OR MAINTENANCE OF EQUIPMENT (NON-OCCUPIED)



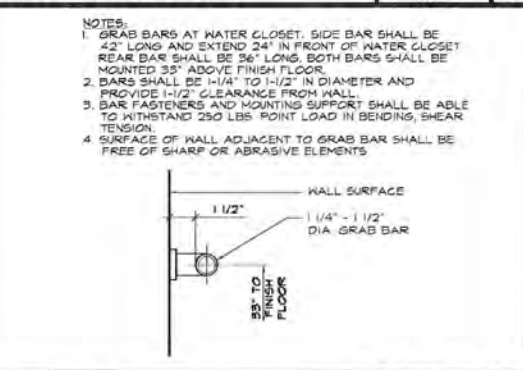
ACCESSIBLE FLOOR PLAN SCALE: 3/8" = 1'-0" 1



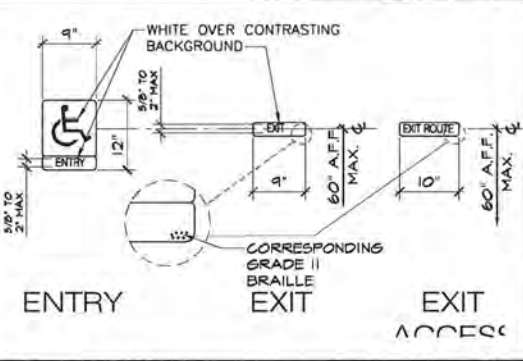
RESTROOM SIGNAGE SCALE: NONE 2



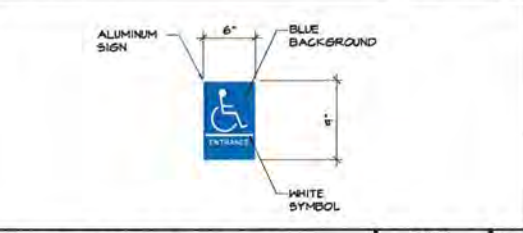
RESTROOM ACCESSORIES SCALE: NONE 3



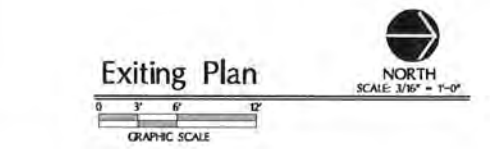
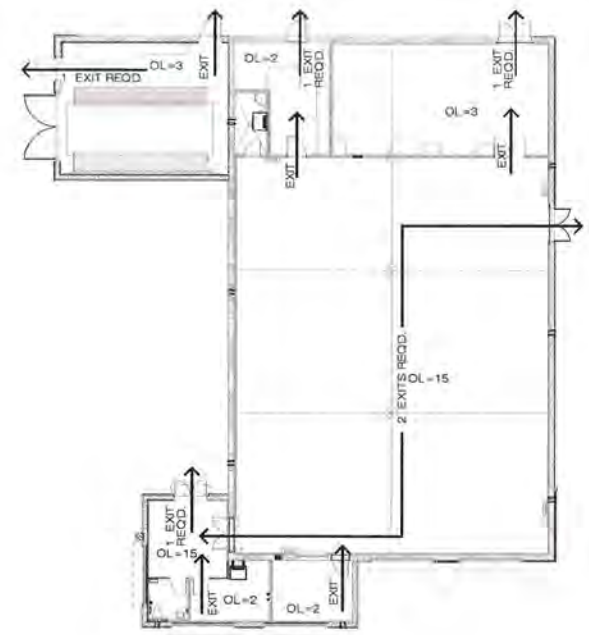
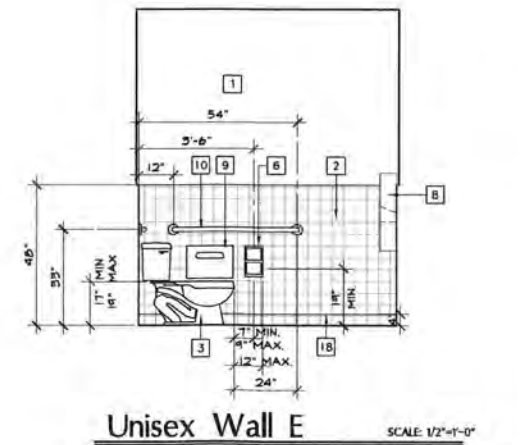
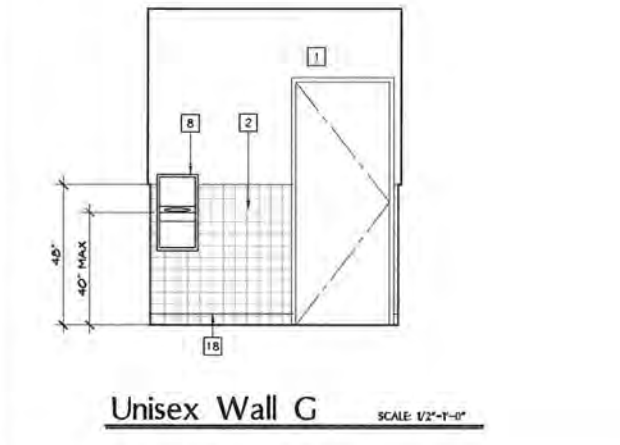
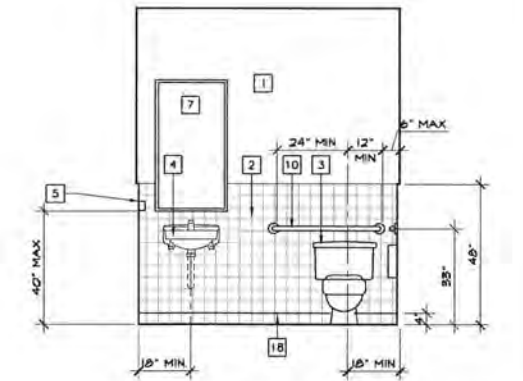
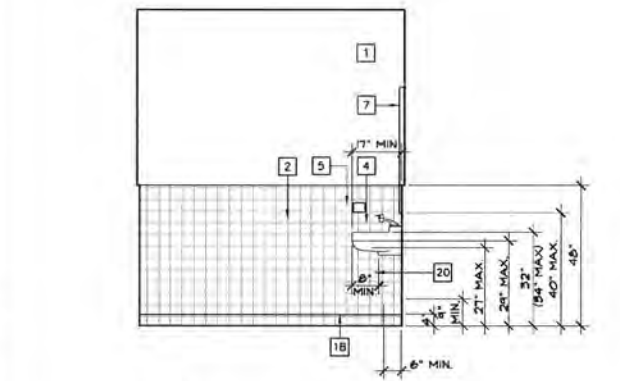
GRAB BAR REQUIREMENTS SCALE: 1-1/2" = 1'-0" 4



ENTRY/EXIT SIGNAGE SCALE: 3/4" = 1'-0" 5



ACCESSIBLE FACILITY SIGNAGE SCALE: 1-1/2" = 1'-0" 6



derra
 435 E. Rincon Street, Suite 204
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PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
 THE POWER OF YOU

CONVOY HUB FACILITY
 4020 CONVOY STREET
 SAN DIEGO, CA 92111

Revisions

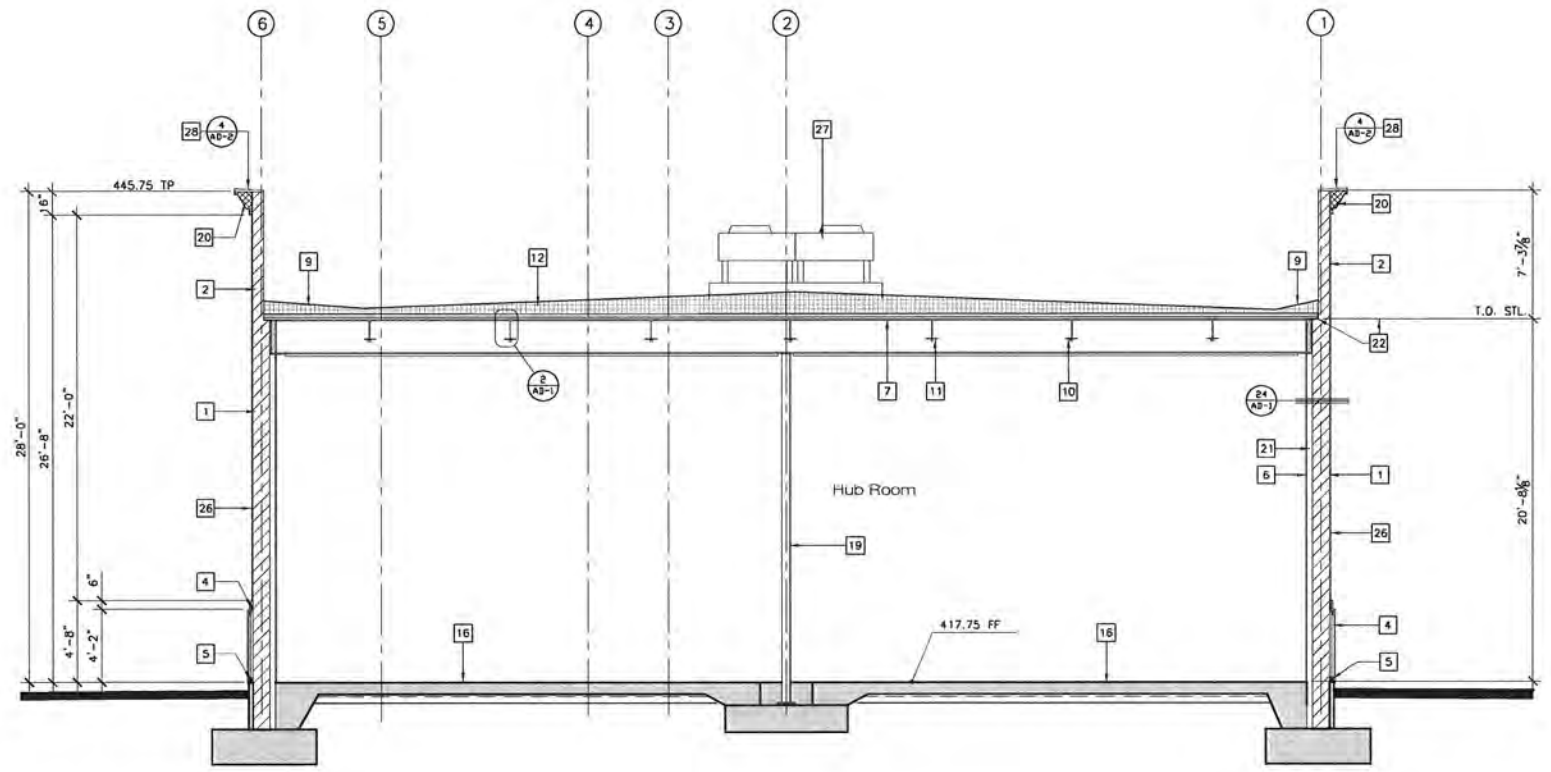
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△ DESIGN DEVELOPMENT PKG.	5/29/15
△ DESIGN DEVELOPMENT PKG.	6/8/15
△ 90% CD	7/7/15
△ 100% CD	7/27/15
△ 100% CD SUBMITTAL & BID SET	8/12/15
△ UPDATED BID SET	8/17/15
△ MECHANICAL EQUIPMENT REVISIONS	9/18/15
△ CYCLE 2 REVISIONS	10/7/15
△ CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

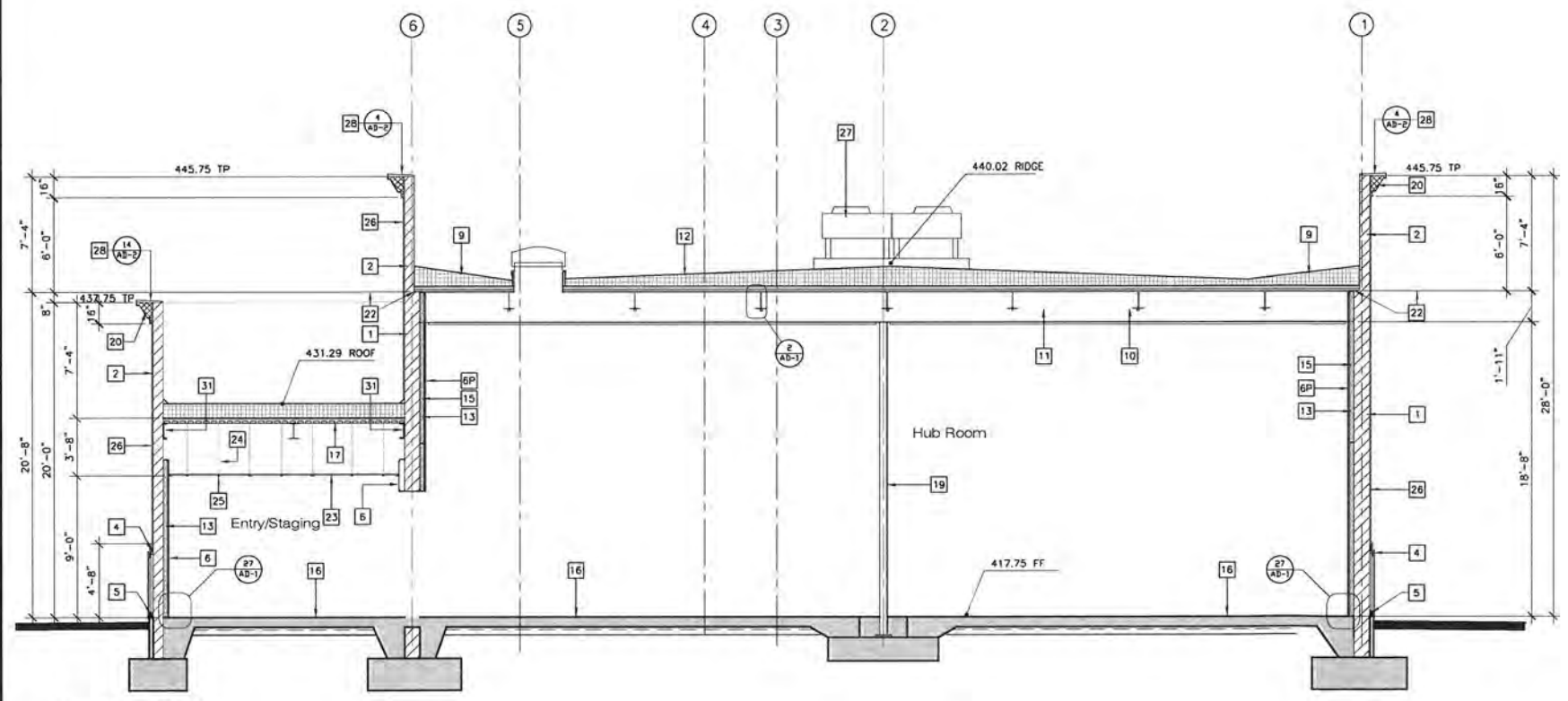
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 Building Sections

A-5

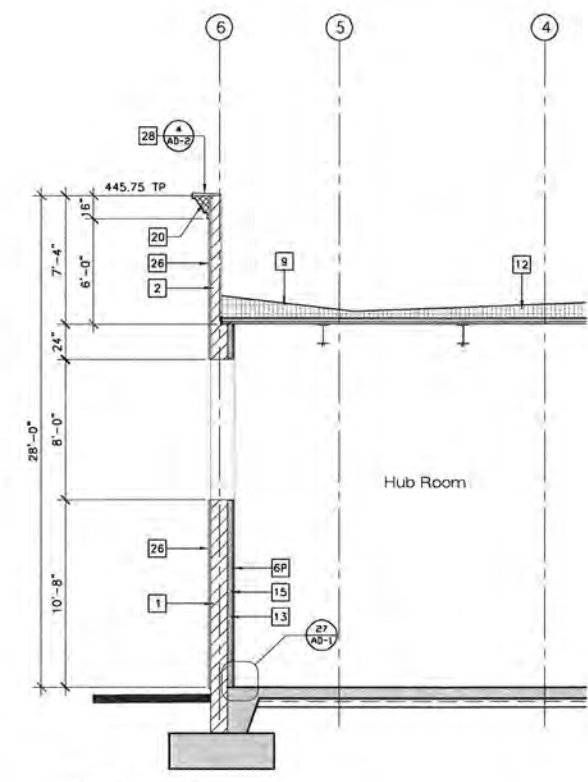
- NOTES
- 1 12 x 8 x 16 SOLID GROUT PRECISION BLOCK CMU WALL
 - 2 8 x 8 x 16 SOLID GROUT PRECISION BLOCK CMU WALL
 - 3 GENERATOR SLAB, PER STRUCTURAL
 - 4 2 x SKIRT FRAMING
 - 5 (2) 2 x 4 PTDF
 - 6 GYPSUM BOARD FINISH
 - 6P GYPSUM BOARD FINISH OVER PLYWOOD BACKING
 - 7 EXPOSED UNDERSIDE OF METAL DECK - (PRIME/INTUMESCENT PAINT)
 - 8 FABRICATED FABRIC AWNING ON STEEL FRAME - SEE ELEVATIONS FOR FINISH REQUIREMENTS
 - 9 CRICKET TYPICAL
 - 10 PURLINS @ 8'-0" O.C., U.N.O., PER STRUCTURAL WITH CONTINUOUS UNISTRUT AT BTM. MIDDLE OF MEMBER WELDED ALONG ITS LENGTH WHERE INDICATED ON SHEET A-4.1
 - 11 SUPPORT BEAM PER STRUCTURAL WITH CONTINUOUS UNISTRUT AT BOTTOM MIDDLE OF MEMBER WELDED ALONG ITS LENGTH WHERE INDICATED ON SHEET A-4.1
 - 12 ROOF DECK - TPA SINGLE PLY ROOF MEMBRANE O(1) LAYER BUR MEMBRANE O(2) FIBERBOARD SUBSTRATE BY TREMCO O(3) MIN. (2) LAYERS 2" THK. RIGID INSULATION BOARD (RMAX MULTIMAX FA-3, LARR # 25378) O(4) 4" CONC. TOPPING W/ WELDED WIRE FABRIC O(5) 20 GA METAL ROOF DECK
 - 13 R-13 BATT INSULATION WITHIN METAL STUD WALL CAVITY
 - 14 DOOR, SEE FLOOR PLAN
 - 15 LIGHT-GAUGE REPETITIVE METAL STUD FRAMED WALL
 - 16 CONCRETE SLAB PER STRUCTURAL
 - 17 EXPOSED UNDERSIDE OF METAL DECK - UNFINISHED
 - 18 RESERVED
 - 19 6"x6" TS COLUMN PER STRUCTURAL PLANS, EXPOSED COLUMNS TO BE PAINTED WITH 1-HOUR INTUMESCENT PAINT
 - 20 FOAM TRIM (SEE ELEVATIONS)
 - 21 STEEL COLUMN PER STRUCTURAL
 - 22 LINE OF TRANSITION FROM 11-5/8" WIDE CMU BLOCK TO 7-5/8" WIDE CMU BLOCK
 - 23 TYPICAL SUSPENDED CEILING PANEL
 - 24 TYPICAL SUSPENDED CEILING SUPPORT WIRE
 - 25 TYPICAL SUSPENDED CEILING SUPPORT GRID
 - 26 EXTERIOR CEMENT PLASTER FINISH
 - 27 MECH. EQUIP. ON ROOF
 - 28 PROVIDE COPING AT TOP OF PARAPET WALL
 - 29 RESERVED
 - 30 RESERVED
 - 31 C-CHANNEL LEDGER PER STRUCTURAL
 - 32 FIXED STOREFRONT WITH 3/8" GYP. BD. VIEW PANEL (SMOOTH TEXTURE PAINTED)



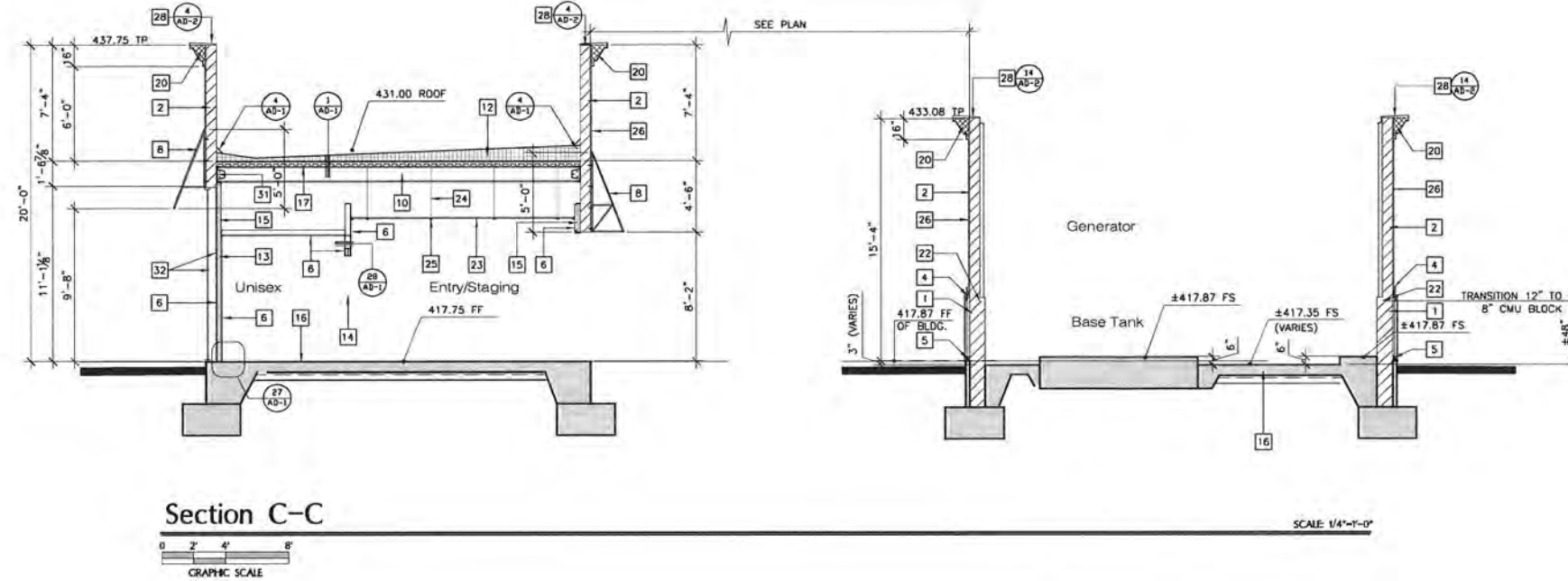
Section A-A
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 GRAPHIC SCALE



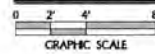
Section B-B
 SCALE: 1/4"=1'-0"
 GRAPHIC SCALE



Section E
 SCALE: 1/4"=1'-0"
 GRAPHIC SCALE



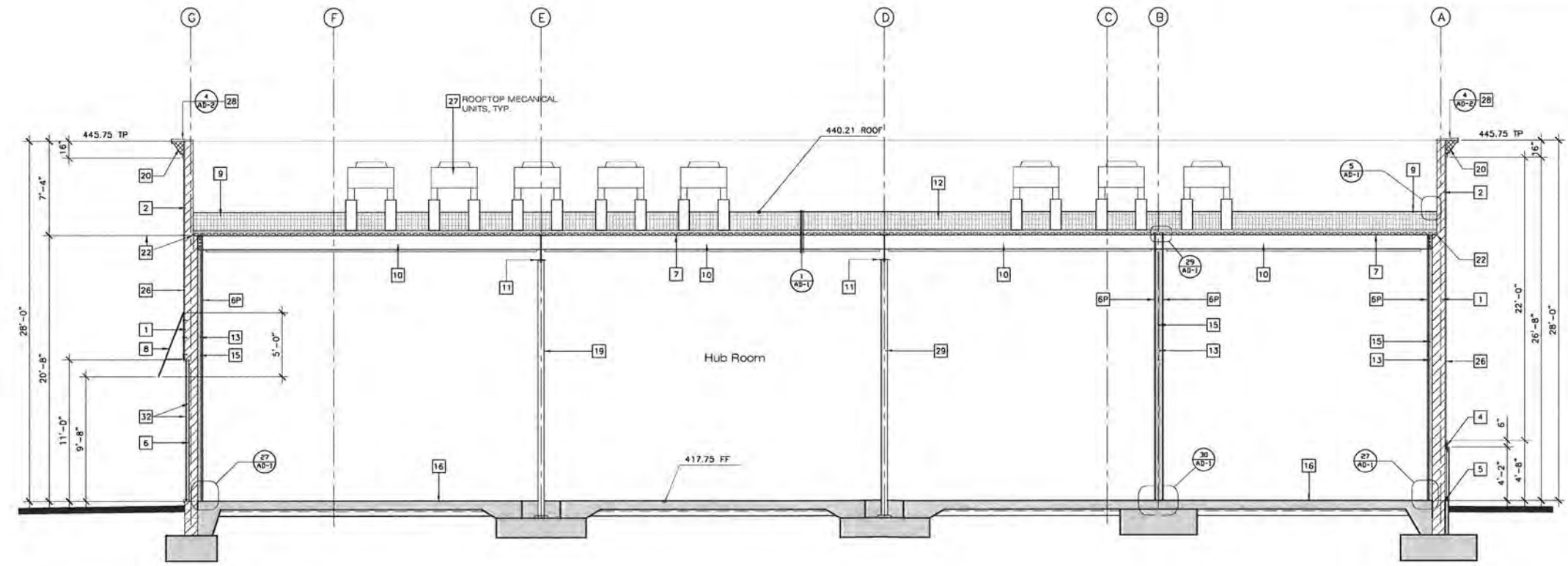
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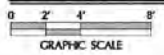
SCALE 1/4"-1'-0"

NOTES

- 1 12 x 8 x 16 SOLID GROUT PRECISION BLOCK CMU WALL
- 2 8 x 8 x 16 SOLID GROUT PRECISION BLOCK CMU WALL
- 3 GENERATOR SLAB, PER STRUCTURAL
- 4 2 x SKIRT FRAMING
- 5 (2) 2 x 4 PTDF
- 6 GYPSUM BOARD FINISH
- 6P GYPSUM BOARD FINISH OVER PLYWOOD BACKING
- 7 EXPOSED UNDERSIDE OF METAL DECK - (PRIME/INTUMESCENT PAINT)
- 8 FABRICATED FABRIC AWNING ON STEEL FRAME - SEE ELEVATIONS FOR FINISH REQUIREMENTS
- 9 CRICKET TYPICAL
- 10 PURLINS @ 8'-0" O.C. U.N.O., PER STRUCTURAL WITH CONTINUOUS UNISTRUT AT BTM. MIDDLE OF MEMBER WELDED ALONG ITS LENGTH WHERE INDICATED ON SHEET A-4.1
- 11 SUPPORT BEAM PER STRUCTURAL WITH CONTINUOUS UNISTRUT AT BOTTOM MIDDLE OF MEMBER WELDED ALONG ITS LENGTH WHERE INDICATED ON SHEET A-4.1
- 12 ROOF DECK - TPA SINGLE PLY ROOF MEMBRANE O(1) LAYER BUR MEMBRANE O(2) FIBERBOARD SUBSTRATE BY TREMOO O(MIN) (2) LAYERS 2" THK. RIGID INSULATION BOARD (RMAX MULTI-MAX FA-3, LARR # 25378) O(4) COOK. TOPPING W/ WELDED WIRE FABRIC O(20 GA METAL ROOF DECK
- 13 R-13 BATT INSULATION WITHIN METAL-STUD WALL CAVITY
- 14 DOOR, SEE FLOOR PLAN
- 15 LIGHT-GAUGE REPETITIVE METAL STUD FRAMED WALL
- 16 CONCRETE SLAB PER STRUCTURAL
- 17 EXPOSED UNDERSIDE OF METAL DECK - UNFINISHED
- 18 RESERVED
- 19 6"x6" TS COLUMN PER STRUCTURAL PLANS, EXPOSED COLUMNS TO BE PAINTED WITH 1-HOUR INTUMESCENT PAINT
- 20 FOAM TRIM (SEE ELEVATIONS)
- 21 STEEL COLUMN PER STRUCTURAL
- 22 LINE OF TRANSITION FROM 11'-5 1/2" WIDE CMU BLOCK TO 7'-5 1/2" WIDE CMU BLOCK
- 23 TYPICAL SUSPENDED CEILING PANEL
- 24 TYPICAL SUSPENDED CEILING SUPPORT WIRE
- 25 TYPICAL SUSPENDED CEILING SUPPORT GRID
- 26 EXTERIOR CEMENT PLASTER FINISH
- 27 MECH. EQUIP. ON ROOF
- 28 PROVIDE COPING AT TOP OF PARAPET WALL
- 29 RESERVED
- 30 RESERVED
- 31 C-CHANNEL LEDGER PER STRUCTURAL
- 32 FIXED STOREFRONT WITH 3/8" GYP. BD. VIEW PANEL. (SMOOTH TEXTURE/PAINTED)



Section D-D



SCALE 1/4"-1'-0"

PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
 THE POWER OF YOU

CONVOY HUB FACILITY
 4020 CONVOY STREET
 SAN DIEGO, CA 92111

Revisions	
△ LAND USE PACKAGE	5/12/15
△ DESIGN DEVELOPMENT PKG.	5/29/15
△ DESIGN DEVELOPMENT PKG.	6/8/15
△ 90% CD	7/7/15
△ 100% CD	7/27/15
△ 100% CD SUBMITTAL & BID SET	8/12/15
△ UPDATED BID SET	8/17/15
△ MECHANICAL EQUIPMENT REVISIONS	9/18/15
△ CYCLE 2 REVISIONS	10/7/15
△ CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
 Building Sections
A-6

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PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
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 4020 CONVOY STREET
 SAN DIEGO, CA 92111

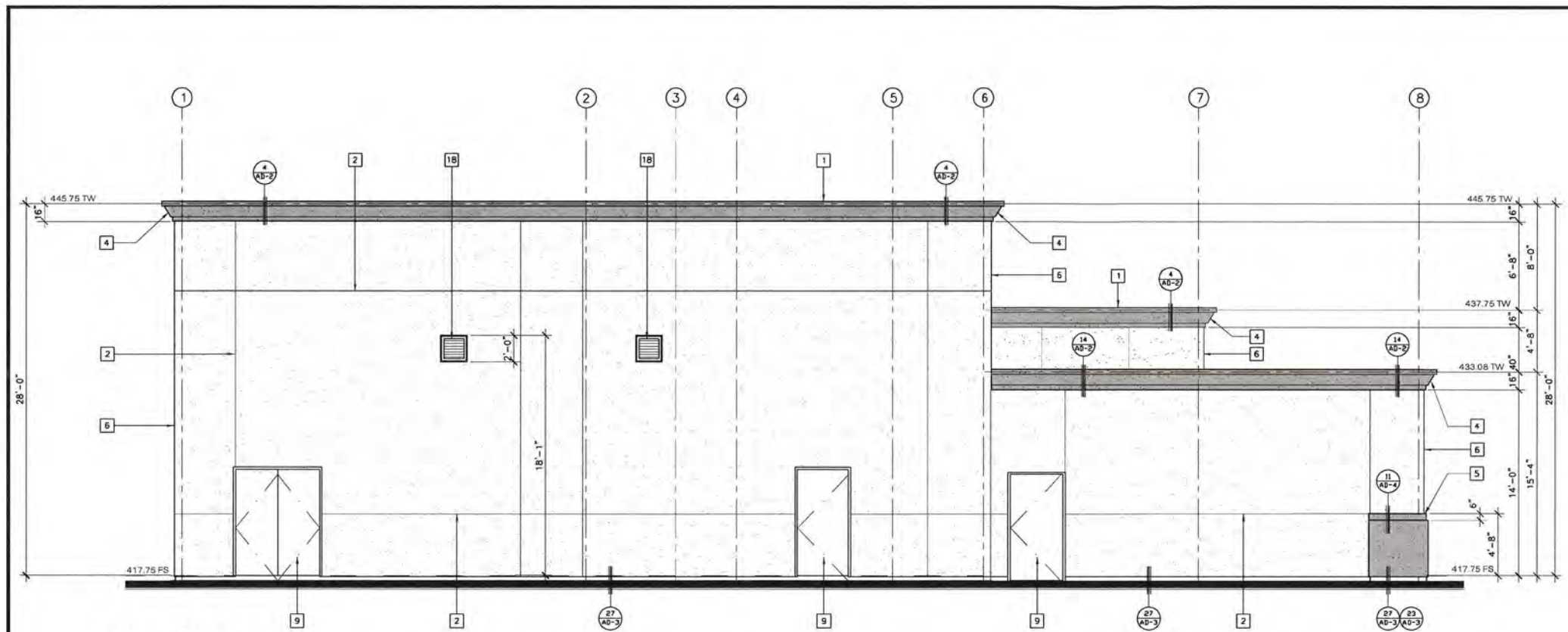
Revisions

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△ DESIGN DEVELOPMENT PKG.	5/29/15
△ DESIGN DEVELOPMENT PKG.	6/8/15
△ 90% CD	7/7/15
△ 100% CD	7/27/15
△ 100% CD SUBMITTAL & BID SET	8/12/15
△ UPDATED BID SET	8/17/15
△ MECHANICAL EQUIPMENT REVISIONS	9/18/15
△ CYCLE 2 REVISIONS	10/7/15
△ CLIENT REVISIONS	11/2/15

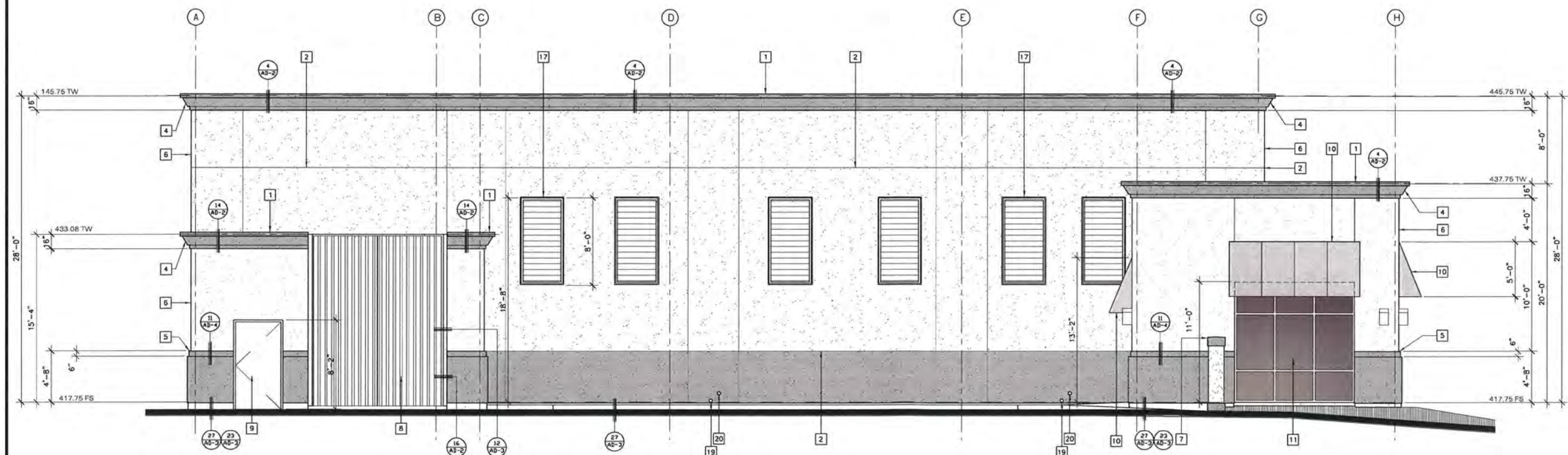
Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
 Elevation
A-8

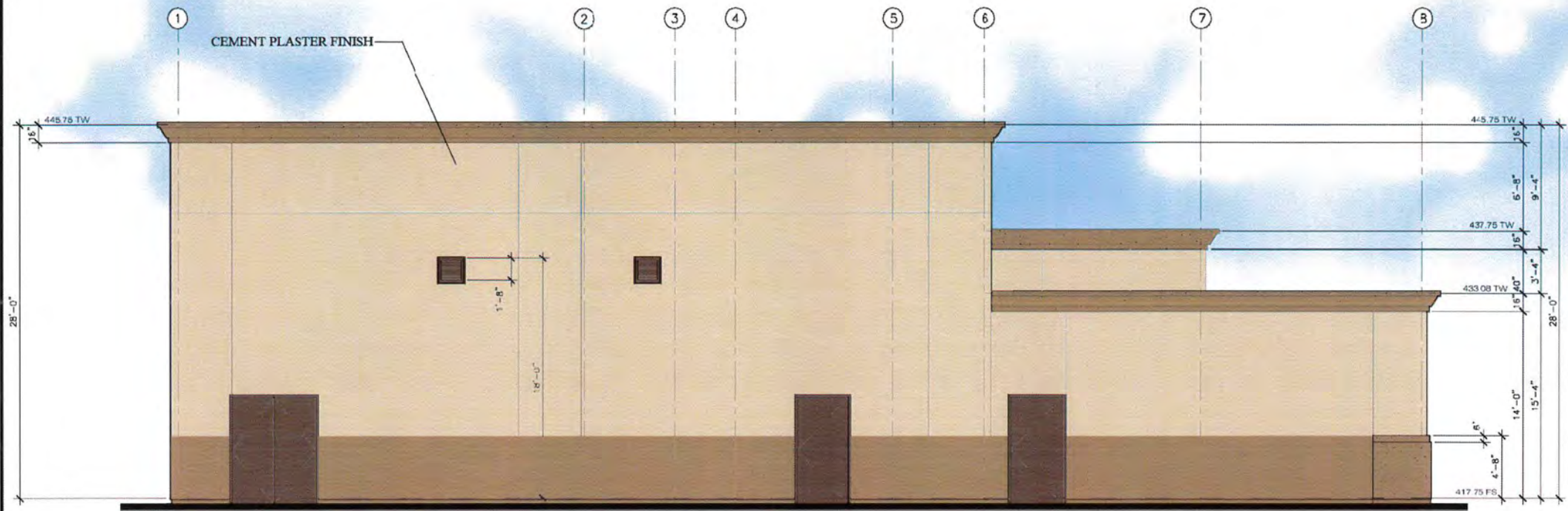
- EXTERIOR ELEVATION KEY NOTES**
- METAL COPING AT TOP OF PARAPET WALL - 'DUNN EDWARDS' CUSTOM COLOR DE6131
 - 3/8" METAL REGLET-PRIME/ PAINT- 'DUNN EDWARDS'
 - 0.1 METAL LOUVERS PER MECHANICAL PLANS-PRIME/ PAINT- 'DUNN EDWARDS' ACCENT COLOR DE6077
 - EXTRUDED FOAM TRIM W/ EXT. CEMENT PLASTER FINISH COAT- 'DUNN EDWARDS' CUSTOM COLOR DE6131
 - 3" DEPTH FURRED OUT SKIRT & 6" TRIM BAND W/ 7/8" EXT. CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE6131
 - 7/8" EXT. CEMENT PLASTER FINISH APPLIED Q/PRECISION BLOCK CMU WALL SURFACE - 'DUNN EDWARDS' CUSTOM COLOR DE6122
 - 1" DEEP x 8" H. CMU BAND W/ 7/8" EXT. CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE6122
 - PAIR OF 15' H. x 6' W. STEEL GENERATOR YARD GATES- PRIME/ PAINT DOOR & FRAME - 'DUNN EDWARDS' ACCENT COLOR DE6077
 - STEEL DOOR PRIME/ PAINT - 'DUNN EDWARDS' ACCENT COLOR DE6077
 - FABRIC AWNING ON STEEL FRAME - 'SUNBRELLA' WALNUT BROWN TWEED
 - CLEAR ANODIZED STOREFRONT. GLAZING TO BE 'GLASSWERKS' COLOR, SOLAR BLUE WITH (BLACK) PAINTED VIEW PANEL BEHIND PANE
 - WROUGHT IRON FENCING - PAINTED BLACK
 - WROUGHT IRON PEDESTRIAN GATE - PAINTED BLACK
 - WROUGHT IRON VEHICULAR SWINGING GATE - PAINTED BLACK
 - 8" PRECISION BLOCK CMU WALL W/ EXTERIOR CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE6122 *TRIM BANDS, USE 'DUNN EDWARDS' CUSTOM COLOR DE6131
 - RESERVED
 - TYPICAL PAINTED METAL LOUVERS - 'DUNN EDWARDS' DE6077-LRV10 (DEEP BROWN)
 - 24"x24" SCREENED/PAINTED METAL LOUVER VENT - SEE MECHANICAL PLANS - 'DUNN EDWARDS' DE6077-LRV10 (DEEP BROWN)
 - STANDARD ROOF DRAIN THROUGH WALL
 - OVERFLOW ROOF DRAIN THROUGH WALL
- ABBREVIATION KEY**
- | | |
|------|-----------------|
| AWN. | AWNING |
| B.O. | BOTTOM OF |
| F.S. | FINISH SURFACE |
| SFT. | STOREFRONT |
| TW. | TOP OF CMU WALL |
| T.O. | TOP OF |



West Elevation
 SCALE: 1/4"=1'-0"
 GRAPHIC SCALE

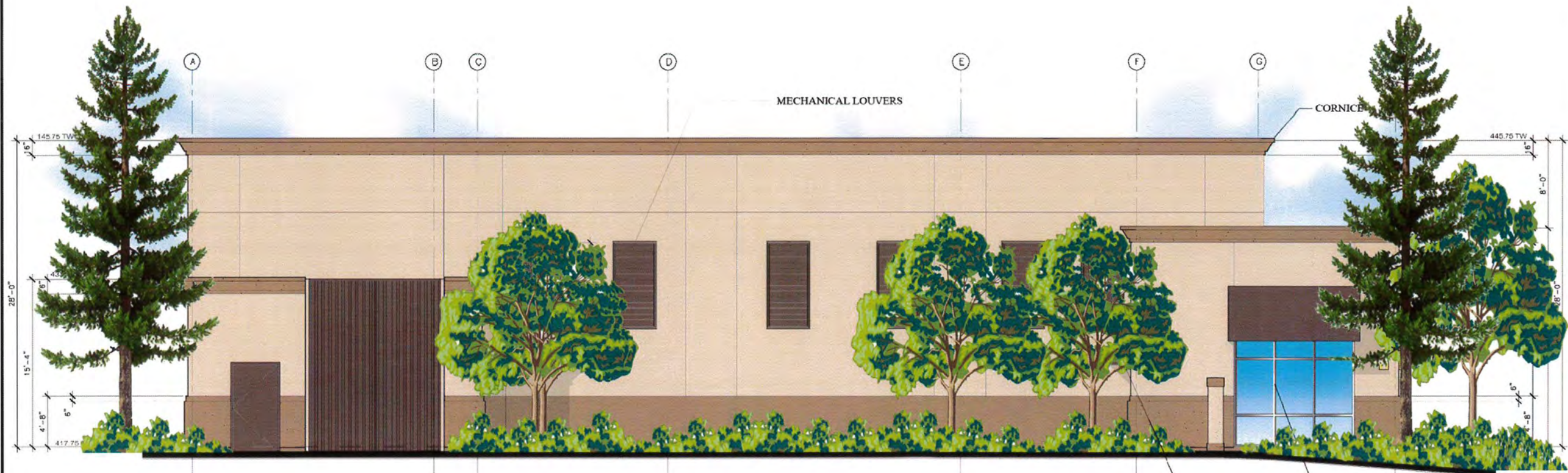


South Elevation
 SCALE: 1/4"=1'-0"
 GRAPHIC SCALE



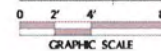
West Elevation

SCALE 1/4"=1'-0"



South Elevation

SCALE 1/4"=1'-0"



PROPOSED CABLE HUB FACILITY FOR:

TIME WARNER CABLE
 THE POWER OF YOU



CONVOY HUB FACILITY
 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

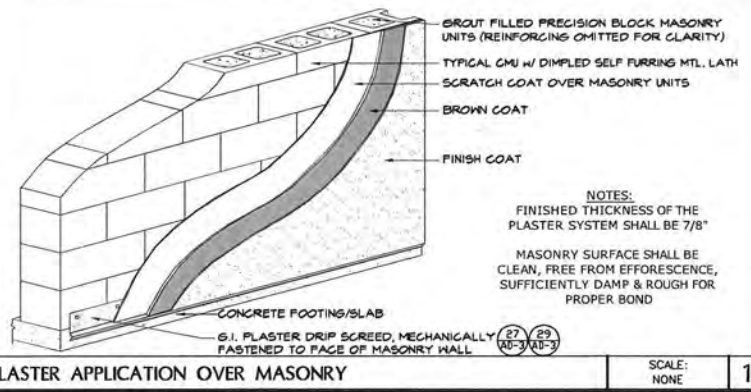
Revisions

△ LAND USE PACKAGE	5/12/15
△ DESIGN DEVELOPMENT PKG.	5/28/15
△ DESIGN DEVELOPMENT PKG.	6/8/15
△ 90% CD	7/7/15
△ 100% CD	7/27/15
△ 100% CD SUBMITTAL & BID SET	8/12/15
△ UPDATED BID SET	8/17/15
△ MECHANICAL EQUIPMENT REVISIONS	9/18/15
△ CYCLE 2 REVISIONS	10/7/15

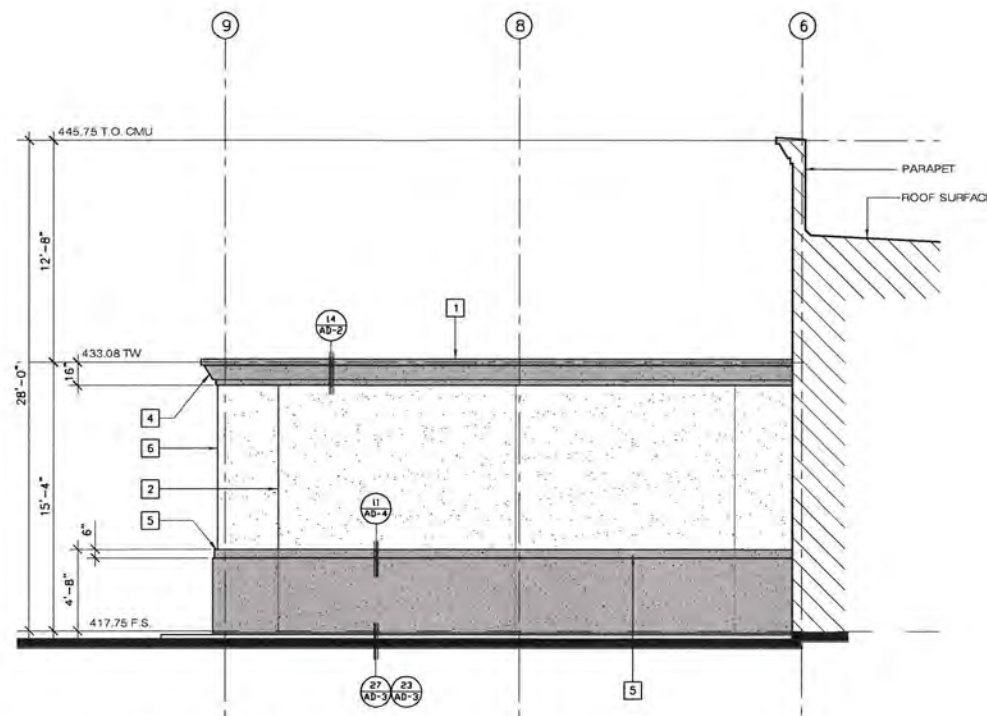
Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
 Elevation

A-8



PLASTER APPLICATION OVER MASONRY



EXTERIOR ELEVATION KEY NOTES

- METAL COPING AT TOP OF PARAPET WALL - 'DUNN EDWARDS' CUSTOM COLOR DEB131
- 3/8" METAL REGLET-PRIME/PAINT-'DUNN EDWARDS' CUSTOM COLOR DEB131
- G.I. METAL LOUVERS PER MECHANICAL PLANS-PRIME/PAINT-'DUNN EDWARDS' ACCENT COLOR DEB077
- EXTRUDED FOAM TRIM W/ EXT. CEMENT PLASTER FINISH COAT-'DUNN EDWARDS' CUSTOM COLOR DEB131
- 3" DEPTH FURRED OUT SKIRT & 6" TRIM BAND W/ 7/8" EXT CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DEB131
- 7/8" EXT. CEMENT PLASTER FINISH APPLIED TO PRECISION BLOCK CMU WALL SURFACE - 'DUNN EDWARDS' CUSTOM COLOR DEB122
- 1" DEEP x 8" H. CMU BAND W/ 7/8" EXT. CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DEB122
- PAIR OF 15" H. x 6" W. STEEL GENERATOR YARD GATES-PRIME/PAINT DOOR & FRAME-'DUNN EDWARDS' ACCENT COLOR DEB077
- STEEL DOOR PRIME/PAINT-'DUNN EDWARDS' ACCENT COLOR DEB077
- FABRIC AWNING ON STEEL FRAME-'SUNBRELLA' WALNUT BROWN TWEED
- CLEAR ANODIZED STOREFRONT. GLAZING TO BE 'GLASSWERKS' COLOR, SOLAR BLUE WITH (BLACK) PAINTED VIEW PANEL BEHIND PANE
- WROUGHT IRON FENCING - PAINTED BLACK
- WROUGHT IRON PEDESTRIAN GATE - PAINTED BLACK
- WROUGHT IRON VEHICULAR SWINGING GATE - PAINTED BLACK
- 8" PRECISION BLOCK CMU WALL W/ EXTERIOR CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DEB122 TRIM BANDS USE 'DUNN EDWARDS' CUSTOM COLOR DEB131
- 10" HIGH, RAISED METAL ADDRESS LETTERS OF ANODIZED ALUMINUM
- TYPICAL PAINTED METAL LOUVERS - 'DUNN EDWARDS' DEB077-LRV10 (DEEP BROWN)
- CONTEMPORARY WALL MTD. LIGHT FIXTURE PER ELECTRICAL
- STANDARD ROOF DRAIN THROUGH WALL
- OVERFLOW ROOF DRAIN THROUGH WALL

ABBREVIATION KEY

AWN. AWNING
 B.O. BOTTOM OF
 F.S. FINISH SURFACE
 SFT. STOREFRONT
 TW. TOP OF CMU WALL
 T.O. TOP OF

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PROPOSED CABLE HUB FACILITY FOR:
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 THE POWER OF YOU

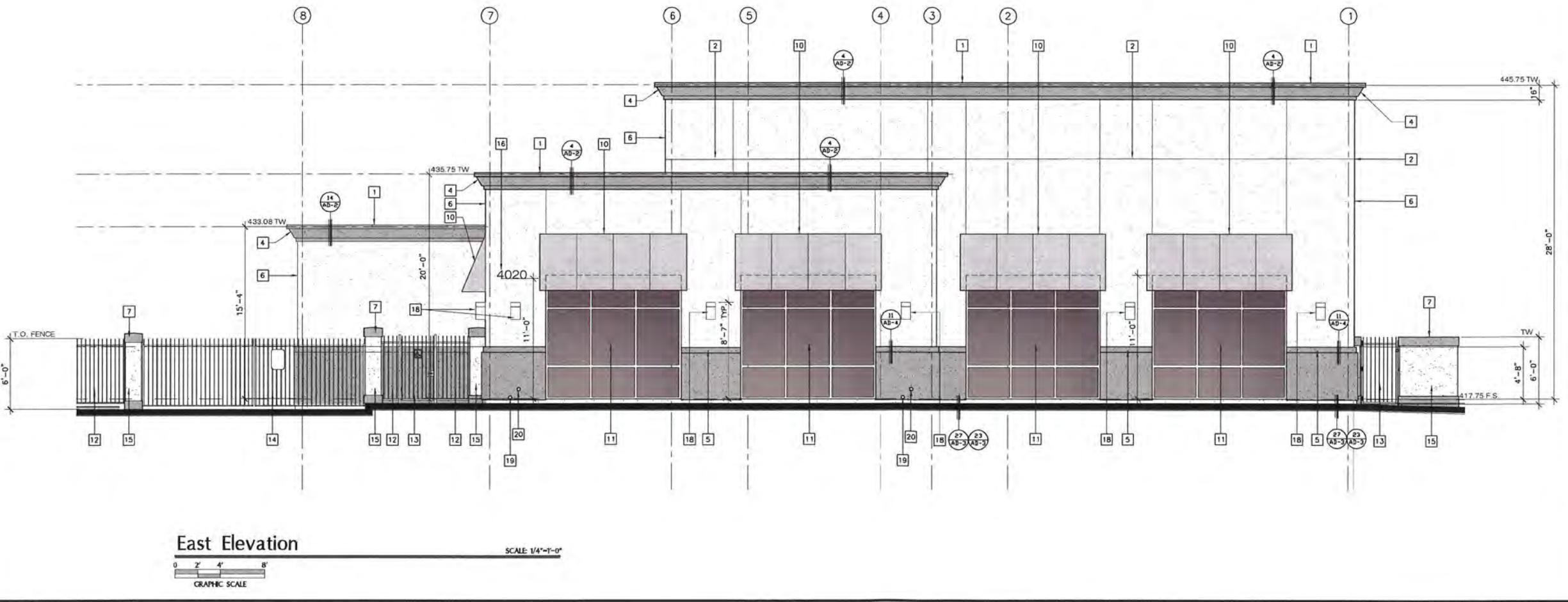
CONVOY HUB FACILITY
 4020 CONVOY STREET
 SAN DIEGO, CA 92111

Revisions

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DESIGN DEVELOPMENT PKG.	5/29/15
DESIGN DEVELOPMENT PKG.	6/8/15
50% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
UPDATED BID SET	8/17/15
MECHANICAL EQUIPMENT REVISIONS	9/18/15
CYCLE 2 REVISIONS	10/7/15
CLIENT REVISIONS	11/2/15

Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
 Elevation
A-9



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PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
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 4020 CONVOY STREET,
 SAN DIEGO, CA 92111

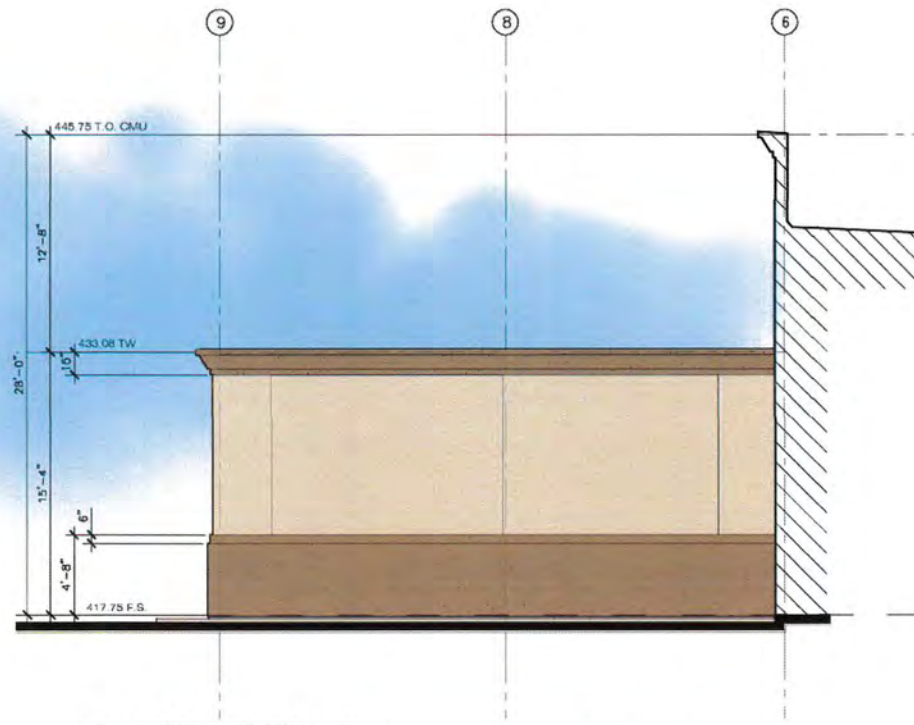
Revisions

LAND USE PACKAGE	5/12/15
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DESIGN DEVELOPMENT PKG.	6/8/15
90% CD	7/7/15
100% CD	7/27/15
100% CD SUBMITTAL & BID SET	8/12/15
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MECHANICAL EQUIPMENT REVISIONS	8/18/15
CYCLE 2 REVISIONS	10/7/15

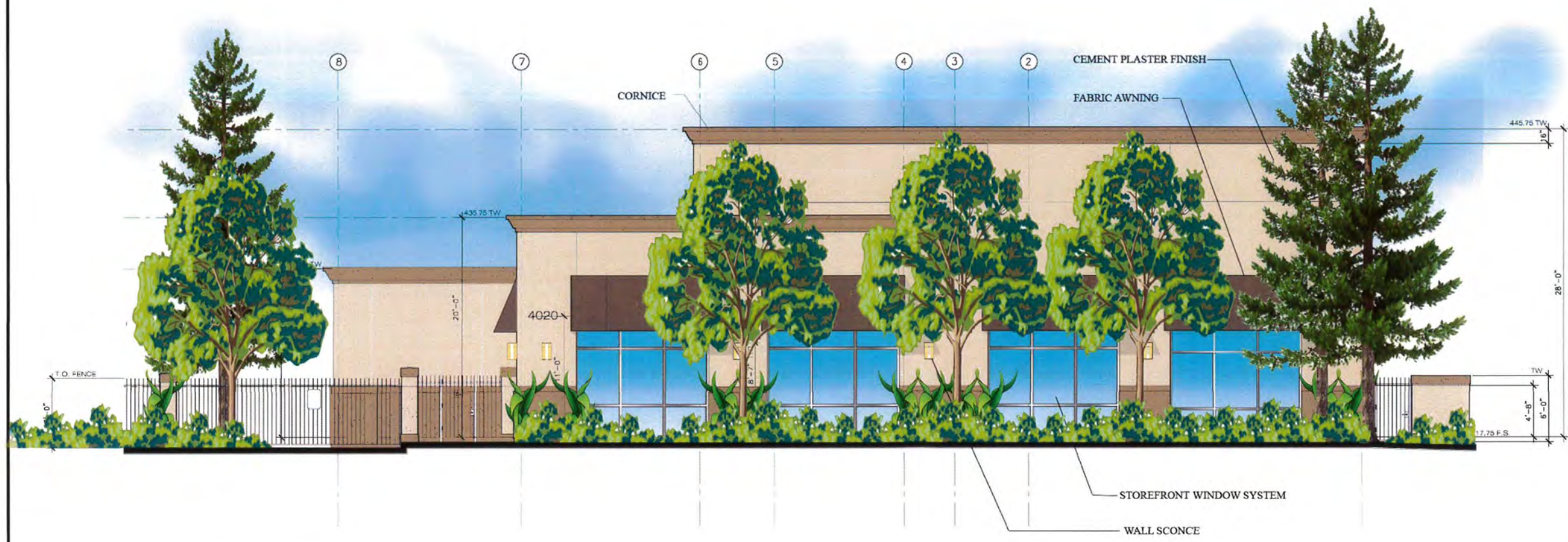
Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
Elevation

A-9

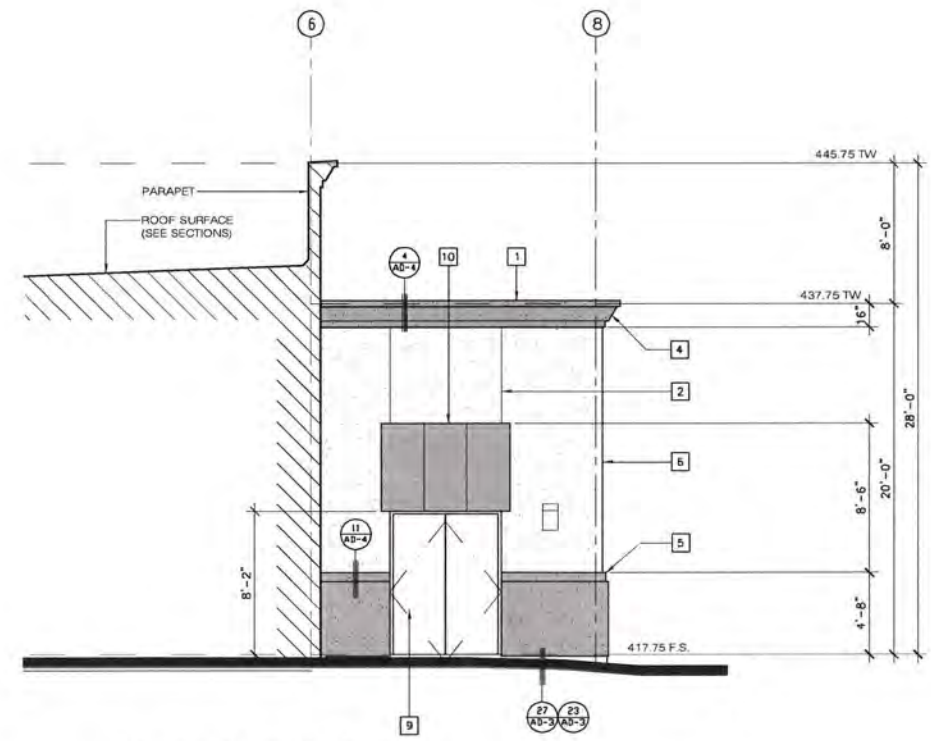


East (Court) Elevation
 SCALE: 1/4"=1'-0"
 GRAPHIC SCALE



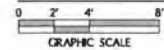
East Elevation
 SCALE: 1/4"=1'-0"
 GRAPHIC SCALE

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 495 E. Rincon Street, Suite 204
 Corona, CA 92879
 Ph: 951.268.1650 Fax: 951.268.1651



West (Court) Elevation

SCALE: 1/4"=1'-0"



EXTERIOR ELEVATION KEY NOTES

- 1 METAL COPING AT TOP OF PARAPET WALL - 'DUNN EDWARDS' CUSTOM COLOR DE6131
- 2 3/8" METAL REGLET-PRIME/ PAINT-'DUNN EDWARDS'
- 3 G.I. METAL LOUVERS PER MECHANICAL PLANS-PRIME/ PAINT-'DUNN EDWARDS' ACCENT COLOR DE6077
- 4 EXTRUDED FOAM TRIM W/ EXT. CEMENT PLASTER FINISH COAT-'DUNN EDWARDS' CUSTOM COLOR DE6131
- 5 3" DEPTH FURRED OUT SKIRT & 6" TRIM BAND W/ 7/8" EXT. CEMENT PLASTER FINISH - 'DUNN EDWARDS' CUSTOM COLOR DE6131
- 6 7/8" EXT. CEMENT PLASTER FINISH APPLIED O/PRECISION BLOCK CMU WALL SURFACE -'DUNN EDWARDS' CUSTOM COLOR DE6122
- 7 1" DEEP x 8" H. CMU BAND W/ 7/8" EXT. CEMENT PLASTER FINISH -'DUNN EDWARDS' CUSTOM COLOR DE6122
- 8 PAIR OF 15' H. x 6' W. STEEL GENERATOR YARD GATES-PRIME/ PAINT DOOR & FRAME-'DUNN EDWARDS' ACCENT COLOR DE6077
- 9 STEEL DOOR PRIME/ PAINT -'DUNN EDWARDS' ACCENT COLOR DE6077
- 10 FABRIC AWNING ON STEEL FRAME -'SUNBRELLA' WALNUT BROWN TWEED
- 11 CLEAR ANODIZED STOREFRONT. GLAZING TO BE 'GLASSWERKS' COLOR, SOLAR BLUE WITH (BLACK) PAINTED VIEW PANEL BEHIND PANE
- 12 WROUGHT IRON FENCING - PAINTED BLACK
- 13 WROUGHT IRON PEDESTRIAN GATE - PAINTED BLACK
- 14 WROUGHT IRON VEHICULAR SWINGING GATE - PAINTED BLACK
- 15 8' PRECISION BLOCK CMU WALL W/ EXTERIOR CEMENT PLASTER FINISH -'DUNN EDWARDS' CUSTOM COLOR DE6122 'TRIM BANDS, USE 'DUNN EDWARDS' CUSTOM COLOR DE6131
- 16 RESERVED
- 17 TYPICAL PAINTED METAL LOUVERS - 'DUNN EDWARDS' DE6077-LRV10 (DEEP BROWN)
- 18 -RESERVED-
- 19 STANDARD ROOF DRAIN THROUGH WALL.
- 20 OVERFLOW ROOF DRAIN THROUGH WALL.

ABBREVIATION KEY

AWN. AWNING
 B.O. BOTTOM OF
 F.S. FINISH SURFACE
 SFT. STOREFRONT
 TW. TOP OF CMU WALL
 T.O. TOP OF

PROPOSED CABLE HUB FACILITY FOR:
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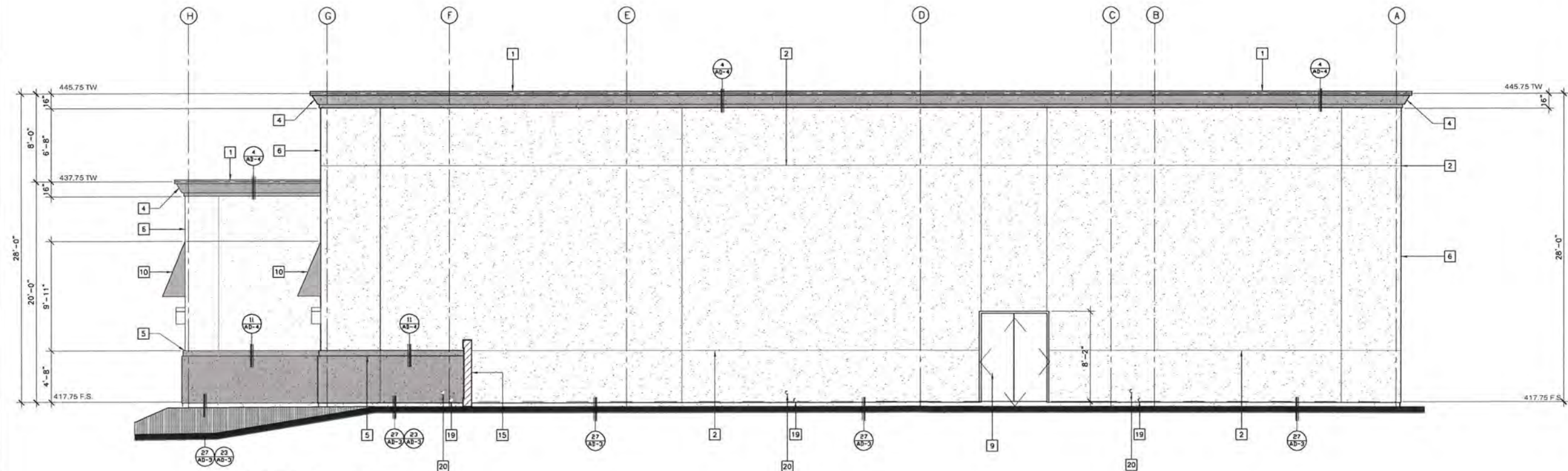
Revisions

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△ DESIGN DEVELOPMENT PKG.	6/8/15
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△ 100% CD	7/27/15
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Job No. 1580C	Date 05/01/2015
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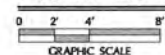
Sheet Title
Elevation

A-10



North Elevation

SCALE: 1/4"=1'-0"



derra

495 E. Rincon Street, Suite 204
Corona, CA 92879
Ph: 951.268.1650 Fax: 951.268.1651

PROPOSED CABLE HUB FACILITY FOR:
TIME WARNER CABLE
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4020 CONVOY STREET,
SAN DIEGO, CA 92111

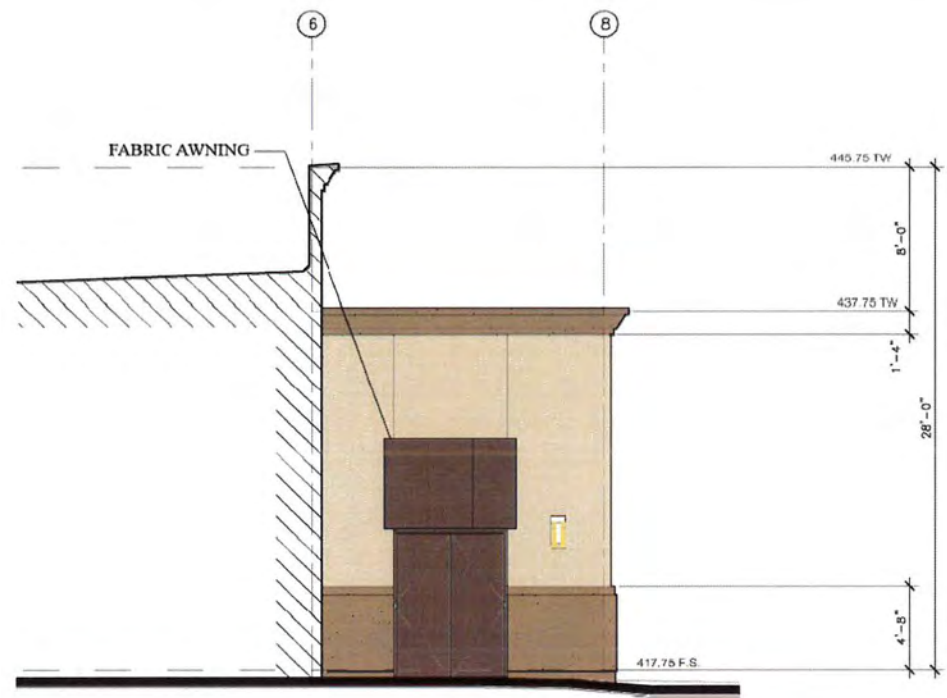
Revisions

△	LAND USE PACKAGE	5/12/15
△	DESIGN DEVELOPMENT PKG.	5/29/15
△	DESIGN DEVELOPMENT PKG.	6/8/15
△	90% CD	7/7/15
△	100% CD	7/27/15
△	100% CD SUBMITTAL & BID SET	8/12/15
△	UPDATED BID SET	8/17/15
△	MECHANICAL EQUIPMENT REVISIONS	9/18/15
△	CYCLE 2 REVISIONS	10/7/15

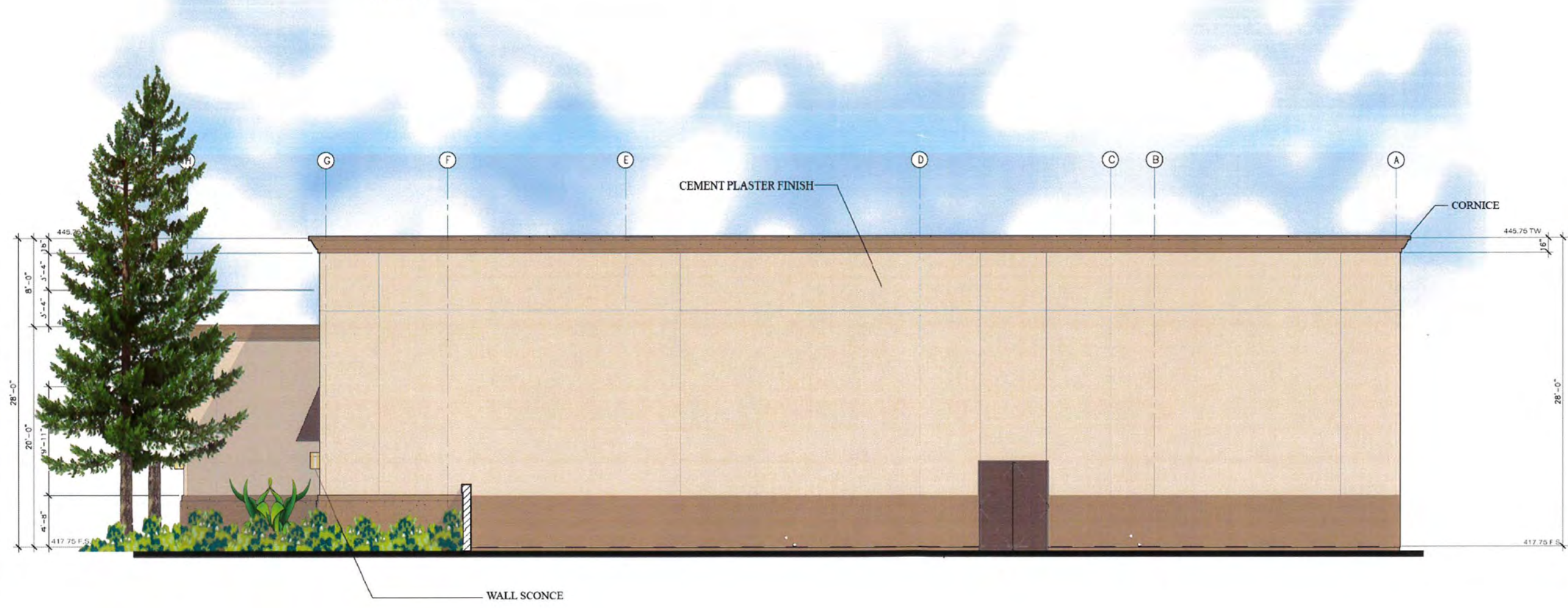
Job No. 1580C	Date 05/01/2015
Drawn By ADJ	Checked By WGA

Sheet Title
Elevation

A-10



West (Court) Elevation
SCALE 1/4"=1'-0"
GRAPHIC SCALE



North Elevation
SCALE 1/4"=1'-0"
GRAPHIC SCALE