



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 1, 2024, REPORT NO. HO-24-023
HEARING DATE: May 8, 2024
SUBJECT: DISH SUNSET CLIFFS, Process Three Decision
PROJECT NUMBER: [1070499](#)
OWNER/APPLICANT: POINT LOMA MASONIC TEMPLE, OWNER & DISH WIRELESS, PERMITTEE

SUMMARY

Issue: Should the Hearing Officer approve a new Wireless Communication Facility (WCF) located at 1711 Sunset Cliffs Boulevard within the Ocean Beach Community Plan Area?

Proposed Actions:

1. APPROVE Conditional Use Permit (CUP) No. 3191755.

Fiscal Considerations: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

Community Planning Group Recommendation: On November 8, 2023, the Ocean Beach Community Planning Group voted 7-0-0 to approve the project with no conditions (Attachment 9).

BACKGROUND

The site is located at 1711 Sunset Cliffs Boulevard in the RM-1-1 Zone. Overlay zones include Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (COZ) Non-Appealable-2, FAA Part 77 Noticing Area and Designated Ocean Beach Cottage Emerging Historic District area of the Ocean Beach Community Plan. Dish Wireless has proposed installing a new Wireless Communication Facility (WCF), and antennas to be located on the façade of an existing building (Masonic Temple). This site is also a colocation that houses two other carriers (Verizon and T-Mobile).

Figure 1- Existing and proposed site



DISCUSSION

Project Description:

Dish Wireless has proposed installing three (3) new antennas and six (6) Remote Radio Units (RRUs) behind six (6) new Fiberglass Reinforced Panel (FRP) screens, on the façade of an existing building on the Southwest, Northwest and Northeast elevations, (Attachment 10). The new antennas will be replacing previous Sprint antennas on the building façade. The antenna FRP screens will be painted and textured to match the façade of the building and integrate with background. The facility's ancillary equipment will be placed inside an existing 207 square-foot enclosure on the ground. The design of the WCF will conceal the new antennas behind FRP boxes to reduce visibility of the WCF (Figure 1). This WCF's design complies with the [Wireless Communication Facilities Guidelines](#) as Façade-Mounted Antennas.

Land uses surrounding the site are residential uses to the north, south, east and west (Attachments 1,2,3).

WCFs are allowed on a parcel that is in the residential zone without residential development with the approval of a CUP, pursuant to SDMC Section [141.0420 \(c\)\(1\)\(A\)\(i\)](#), which is a Process Three decision, Hearing Officer approval.

Council Policy [600-43](#) guidelines establish hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 3 location according to Council Policy. The applicant is required to submit a site justification explaining why a Preference 3 site was selected over any lower Preference level sites. The applicant has indicated that this area is required for Dish's coverage goals and service to the surrounding community. This site is also an existing colocation site where two other carriers exist (Verizon and T-Mobile). The colocation allows Dish to use the location of a previous carrier, Sprint, which eliminates the need for a new standalone tower, which would be far more intrusive than locating this WCF on an existing colocation site (Attachment 12).

Community Plan Analysis:

The Ocean Beach Community Plan defers all WCFs to the WCF Guidelines, regulations, and the General Plan. The City of San Diego General Plan requires all wireless facilities to minimize visual impacts under Urban Design Element ([UD-A.15.a](#)). It also includes the following provisions: A) Conceal wireless facilities in existing structures, when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; B) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; C) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions to minimize potential impacts. The intent of the regulations is, among other things, to camouflage facilities from public view. The new antennas are placed behind FRP screens that are colored and textured to match and blend with the building background. The ancillary equipment associated with the facility is located inside an existing enclosure which is fully screened. The new facility will provide increased cellular service to the surrounding residential community as indicated in the Coverage Map (Attachment 12).

The project is within the Coastal Overlay Zone. The purpose of the Coastal Overlay Zone is to protect and enhance the quality of public access and coastal resources. Pursuant to SDMC [Section 126.0704](#) Exemptions from Coastal Development Permit, the project does not require processing of a Coastal Development Permit as the project is replacing an existing WCF and no expansion or improvement is proposed. The proposed project will not have an impact in Coastal Zone.

The project is also within the Coastal Height Limit Overlay Zone. The project does not exceed the 30-foot maximum height limit as there is no change to the height of the existing building. The project is also within the Designated Ocean Beach Cottage Emerging Historic District. Historical Resources staff reviews all projects impacting a parcel that contains a structure 45 or more years old to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. Historical Resources staff assessed that the work proposed is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and would not adversely impact the building's eligibility as a historic resource.

Community Planning Group Recommendation:

On November 8, 2023, the Ocean Beach Community Planning Group voted 7-0-0 to approve the project with no conditions (Attachment 9).

Environmental Impact:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was

made on March 27, 2024, and the opportunity to appeal that determination ended April 11, 2024 (Attachment 6).

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. Dish Wireless has submitted an RF Report prepared by EBI Consulting, dated September 25, 2023, demonstrating compliance with the required FCC regulations.

Conclusion:

The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code Section [126.0303, the WCF Ordinance, SDMC Section 141.0420](#), the Land Development Manual Wireless Communication Facilities Guidelines, and Council Policy 600-43. Therefore, staff recommends that the Hearing Officer approve CUP No. 3191755 (Attachment 4 and 5).

ALTERNATIVES

1. Approve CUP No. 3191755, with modifications.
2. Deny CUP No. 3191755, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

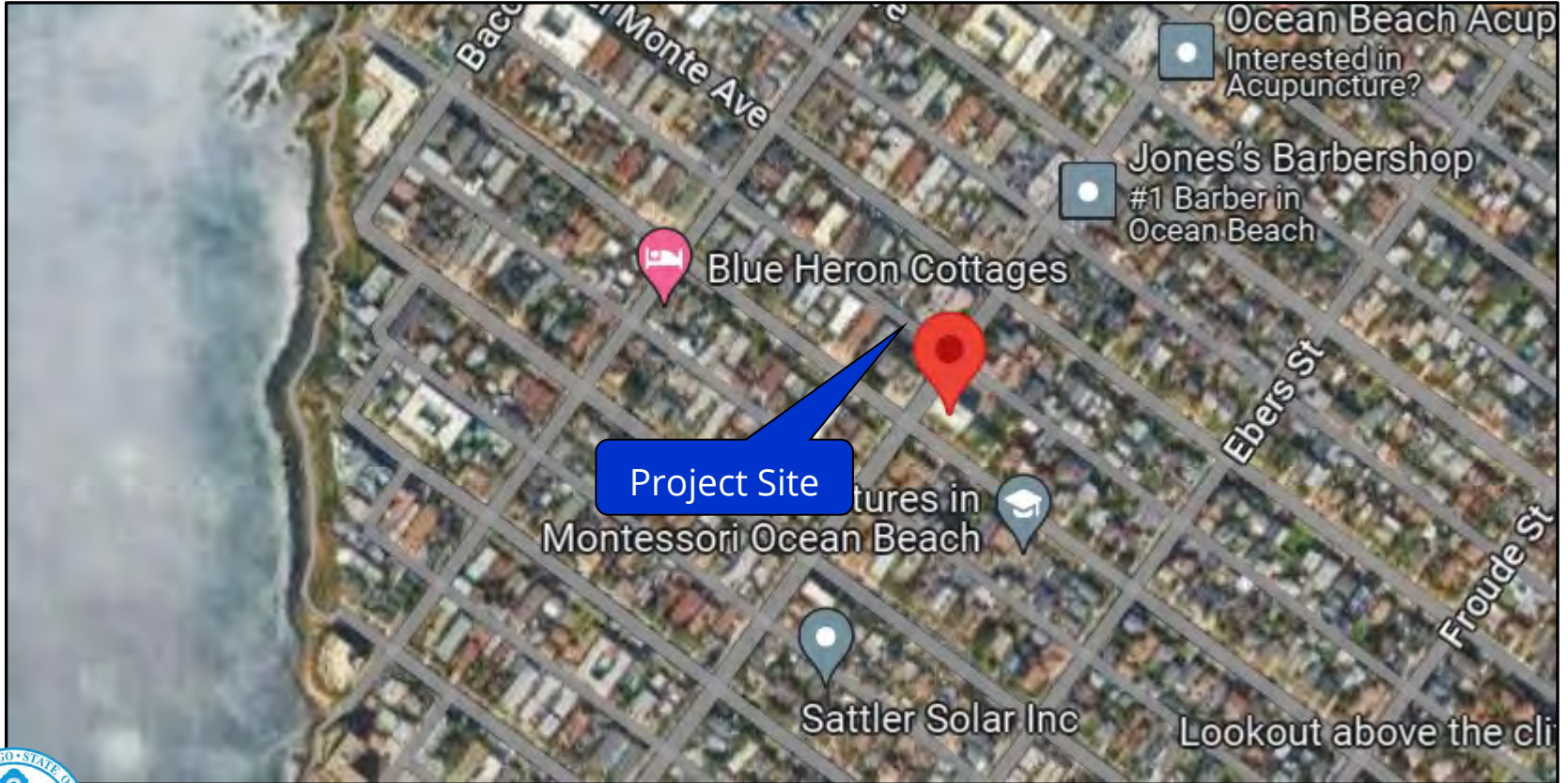


Nilia Safi
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Findings
6. Environmental Exemption
7. Photo Simulations
8. Photo Survey
9. Community Plan Recommendation
10. Project Plans
11. Ownership Disclosure Form
12. Site Justification/Coverage

Aerial Photograph



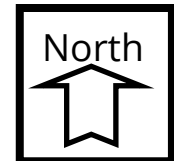
Dish Masonic Temple CUP Project No. 1070499
1711 Sunset Cliffs Blvd



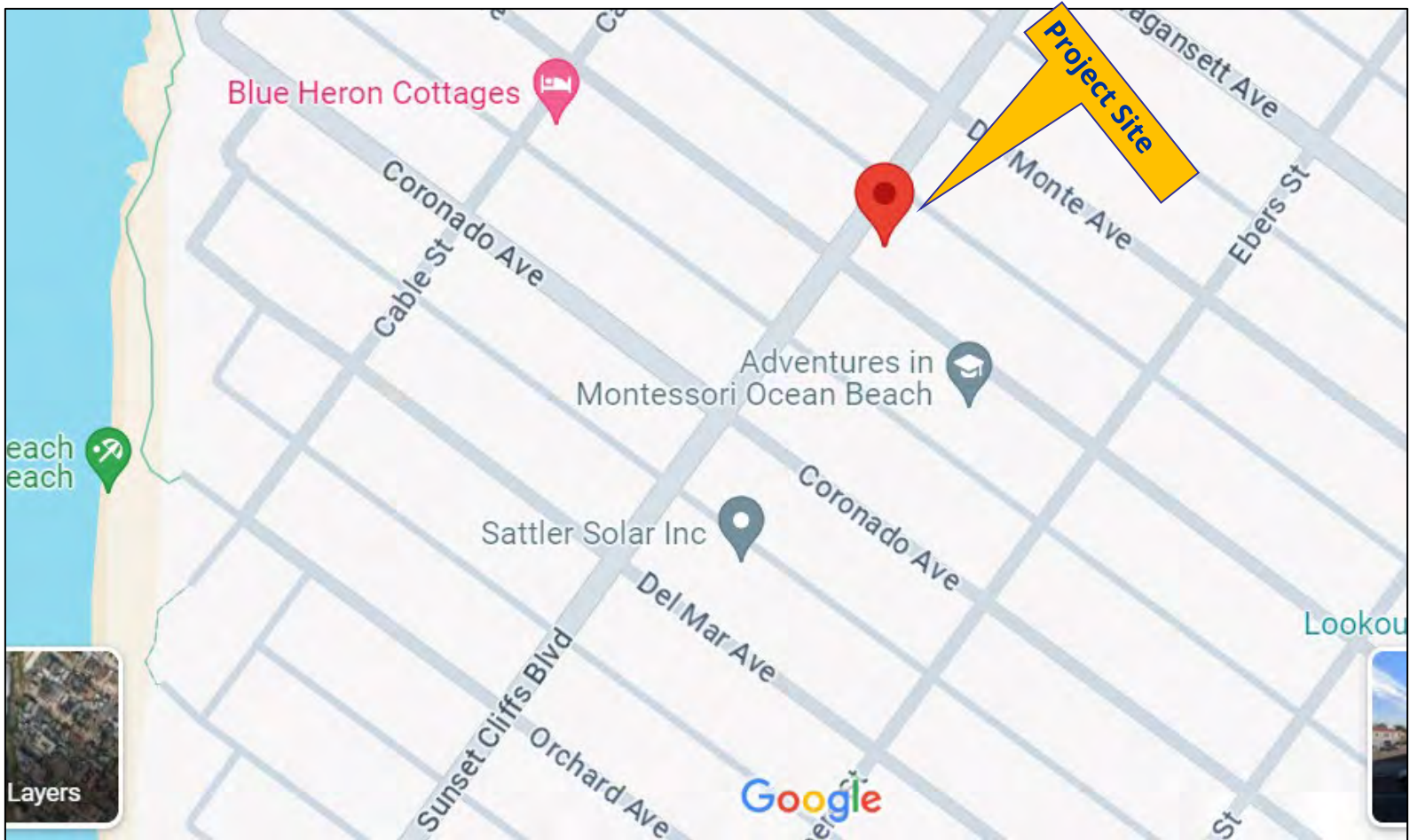
Ocean Beach Community Land Use Map



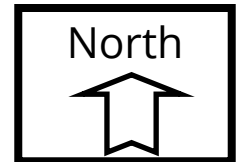
Dish Masonic Temple CUP Project No. 1070499
1711 Sunset Cliffs Blvd



Project Location Map



Dish Masonic Temple CUP Project No. 1070499
1711 Sunset Cliffs Blvd



HEARING OFFICER
RESOLUTION NO. xxxx
CONDITIONAL USE PERMIT NO. 3191755
DISH SUNSET CLIFFS PROJECT NO. 1070499

WHEREAS, Point Loma Masonic Temple Association, Owner and Dish Wireless, Permittee, filed an application with the City of San Diego for a permit for a new Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit (CUP) No. 3191755;

WHEREAS, the project site is located at 1711 Sunset Cliffs Boulevard in the RM-1-1 Zone, Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (COZ) Non-Appealable-2, FAA Part 77 Noticing Area and Designated Historic Ocean Beach Cottage Emerging District area of the Ocean Beach Community Plan; the project site is legally described as: Lots 1, 2, 3, 4, 5, and 6, Block Ocean Beach, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 279, filed in the Office of the County Recorder of the County of San Diego, State of California;

Whereas, on March 27, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

WHEREAS, on May 8, 2024, the Hearing Officer of the City of San Diego considered CUP No. 3191755 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to CUP No. 3191755;

A. CONDITIONAL USE PERMIT (SDMC Section 126.0305)

1. **Findings for all Conditional Use Permits:**
 - a. **The proposed development will not adversely affect the applicable land use plan.**

The project is a proposal to install three (3) new antennas and six (6) Remote Radio Units (RRUs) behind six (6) Fiberglass Reinforced Panel (FRP) screens, on the façade of an existing building (Masonic Temple). The ancillary equipment cabinets associated with the facility are located inside an existing 207 square-foot enclosure on the ground. The site is located at 1711 Sunset Cliffs Boulevard in the RM-1-1 Zone, Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (COZ) Non-Appealable-2, FAA Part 77 Noticing Area and Designated Historic Ocean Beach Cottage Emerging District area of the Ocean Beach Community Plan.

WCFs are allowed, with approval of a CUP, in residential zones within non-residential uses pursuant to SDMC Section 141.0420(c)(1)(A)(i) under a Process Three decision.

The project is within the Coastal Overlay Zone. The purpose of the Coastal Overlay Zone is to protect and enhance the quality of public access and coastal resources. Pursuant to SDMC Table 132-04A *Coastal Overlay Zone Applicability*, no Coastal Development Permit is required as the project is exempted by SDMC Section 126.0704 because the project is replacing an existing Sprint WCF and no expansion or improvement is proposed which will have an impact in Coastal Zone.

The project is also within the Coastal Height Limit Overlay Zone. Pursuant to SDMC Section 126.0704 Exemptions from Coastal Development Permit, the project does not require processing of a Coastal Development Permit, as there is no change proposed to the height of the existing building.

The Ocean Beach Community Plan defers all WCFs to the WCF Guidelines, regulations, and the General Plan. The City of San Diego General Plan requires all wireless facilities to minimize visual impacts under Urban Design Element (UD-A.15.a). It also includes the following provisions: A) Conceal wireless facilities in existing structures, when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; B) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; C) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

Dish proposes to place all antennas and associated RRUs and wires behind FRP screens that are painted and textured to match the building. The ancillary equipment associated with the facility is located inside a concrete enclosure screened from view. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to public health, safety, and welfare.

The project was determined to be exempt from CEQA pursuant to Section 15303 (New Facilities). The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction). Section 15303 allows for the installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Since the project would only install small new equipment in small structures to provide a backup generator for an existing WCF the exemption was deemed appropriate.

The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure continued public health, safety, and welfare.

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. Dish Wireless has submitted an RF Report- prepared by EBI Consulting, dated September 25, 2023, demonstrating compliance with the required FCC regulations.

Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction and will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

WCFs are allowed in the residential zone with approval of a CUP, pursuant to SDMC Section 141.0420 (c)(1)(A)(i), which is a Process Three decision. The processing of this permit satisfies this requirement. There is no deviation proposed as part of this permit.

Dish proposes to place all antennas and RRUs behind FRP screens that are painted and textured to match the building reduce any visual impacts. The ancillary equipment is located inside an enclosure screened from view. Pursuant to SDMC Sections 141.0420 (d) (General regulations for WCFs) and 141.0420 (e) (design requirements), the applicant has designed the screening in a way to comply with the design guidelines for screening and reducing visual impact without proposing any deviation.

Therefore, the proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

Efforts are currently underway to build phone and internet service infrastructure for Dish Wireless in the San Diego area. Dish has indicated that this site has the desired height and design for the proposed antennas. Dish is taking advantage of the colocation in this area as they are using the lease area of a previous carrier, Sprint, for the antennas and equipment, which eliminates the need for a new facility in the area. This site is also a colocation and two other WCFs are present onsite.

Council Policy 600-43 guidelines establish hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 3 location which is a non-residential use within a residential zone. The addition of this facility will provide increased cellular service to the surrounding residential community as indicated in the Coverage Map (Attachment 12).

Lastly, in addition to the Council Policy, the project is consistent with the City adopted WCF Design Guidelines, and SDMC Section 141.0420 (d) and (e). The project is appropriately designed and integrated with the existing use of the site. The applicant has designed the screening in a way to comply with the design guidelines for screening and reducing visual impact without proposing any deviations. Therefore, staff has determined that the proposed WCF use is appropriate at the proposed location based on the justification report, coverage map, and the overall design of the WCF.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, CUP NO. 3191755 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 3191755, a copy of which is attached hereto and made a part hereof.

Nilia Safi
Development Project Manager
Development Services

Adopted on: May 8, 2024

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 3191755
DISH SUNSET CLIFFS PROJECT NO. 1070499
HEARING OFFICER

This Conditional Use Permit (CUP) No. 3191755 is granted by the Hearing Officer of the City of San Diego to Point Loma Masonic Temple Association, Owner, and Dish Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] sections [126.0303](#) and [141.0420](#). The site is located at 1711 Sunset Cliffs Boulevard within the RM-1-1 Zone, Coastal Height Limit Overlay Zone (CHLOZ), Coastal Overlay Zone (COZ) Non-Appealable-2, FAA Part 77 Noticing Area and Designated Historic Ocean Beach Cottage Emerging District area of Ocean Beach Community Plan. The project site is legally described as: Lots 1, 2, 3, 4, 5, and 6, Block Ocean Beach, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 279, filed in the Office of the County Recorder of the County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and/or Permittee for a Wireless Communication Facility (WCF) as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 8, 2024, on file in the Development Services Department.

The project shall include:

- a. Installation of three (3) new antennas and six (6) Remote Radio Units (RRUs) behind six (6) new Fiberglass Reinforced Panel (FRP) screens, on the façade of an existing building (Masonic Temple).
- b. Equipment cabinets located inside an existing 207 square-foot enclosure on the ground.
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 22, 2027.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. This CUP and corresponding use of this site shall expire on **May 8, 2034**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

12. No later than ninety (90) days prior to the expiration of this approval, the Permittees may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.

13. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

15. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

16. The WCF shall conform to the approved construction plans.

17. Photo simulations shall be printed in color on the construction plans.

18. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC if the City determines during construction that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

20. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.

21. The FRP boxes shall be painted and textured to match the existing building.

22. The FRP shall be in good condition throughout the life of the project. The FRP shall not warp or be discolored and shall be replaced or repainted to match the existing building.

23. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

24. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

25. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

26. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 8, 2024, and Approved Resolution Number XXXX.

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Point Loma Masonic Temple Association
Owner

By _____
NAME
TITLE

Dish Wireless
Permittee

By _____
NAME
TITLE

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



THE CITY OF SAN DIEGO

Date of Notice: March 27, 2024

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP or I.O. No. 11004545

PROJECT NAME / NUMBER: Sunset Cliffs WCF/1070499
COMMUNITY PLAN AREA: Ocean Beach
COUNCIL DISTRICT: 2
LOCATION: 1711 Sunset Cliffs Boulevard, San Diego, CA 92107

PROJECT DESCRIPTION: Conditional Use Permit (CUP) to install three (3) new antennas, and six (6) radio remote units (RRU's) behind a fiber reinforced plastic (FRP) screen on the roof of an existing building. The project also includes placement of an equipment cabinet unit containing associated electric wires and conduits within an existing 209 square-foot equipment shelter located adjacent to the building. The property is located at 1711 Sunset Cliffs Boulevard in the RM-1-1 residential zone of the Ocean Beach Community Planning area, and Council District 2.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Facilities).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction). Section 15303 allows for the installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Since the project would only install small new equipment in small structures to provide a backup generator for an existing WCF the exemption was deemed appropriate. The project is located in the public right of way (PROW) and no environmental impacts would occur and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER: Nilia Safi
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5338/ nsafi@sanidiego.gov

On March 27, 2024, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within 10 business days from the date of the posting of this Notice (April 11, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sanidiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107



VIEW 1

EXISTING VIEW



LOCATION

(P) DISH Wireless L.L.C. RADIO AND OVP CONCEALED WITHIN THE (P) FRP BOX AT BUILDING FACADE, PAINTED TO MATCH EXISTING BUILDING.

(P) DISH Wireless L.L.C. PANEL ANTENNA AND RADIO CONCEALED WITHIN THE (P) FRP BOX AT BUILDING FACADE, PAINTED TO MATCH EXISTING BUILDING.



PROPOSED VIEW



SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107



VIEW 2

EXISTING VIEW



LOCATION



PROPOSED VIEW



SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107



VIEW 3

EXISTING VIEW



LOCATION



(P) DISH Wireless L.L.C. RADIOS AND OVP CONCEALED WITHIN THE (P) FRP BOX AT BUILDING FACADE, PAINTED TO MATCH EXISTING BUILDING.

(P) DISH Wireless L.L.C. PANEL ANTENNA CONCEALED WITHIN THE (P) FRP BOX AT BUILDING FACADE, PAINTED TO MATCH EXISTING BUILDING.

PROPOSED VIEW



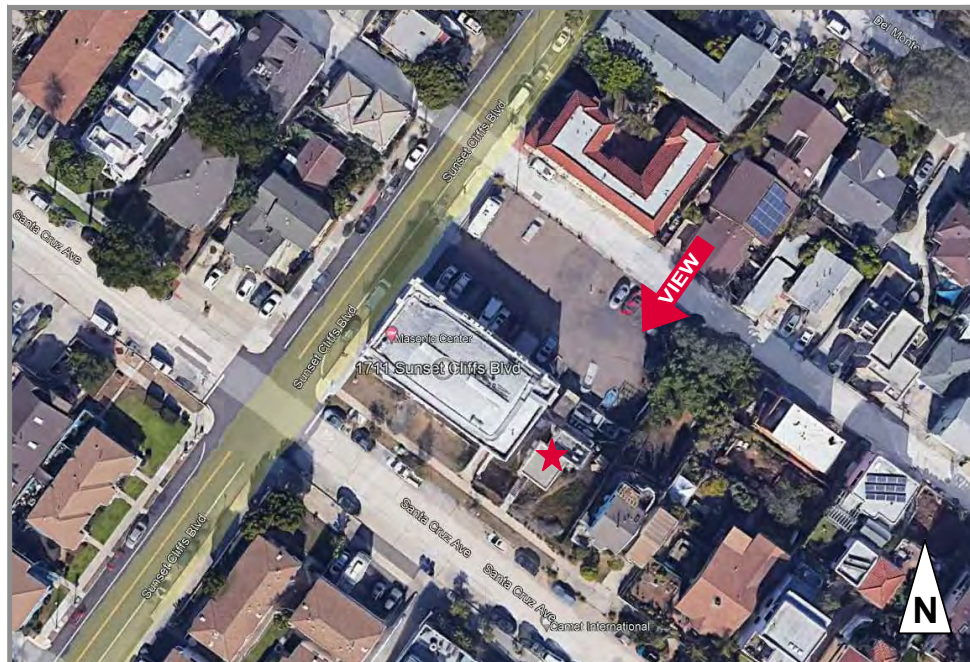
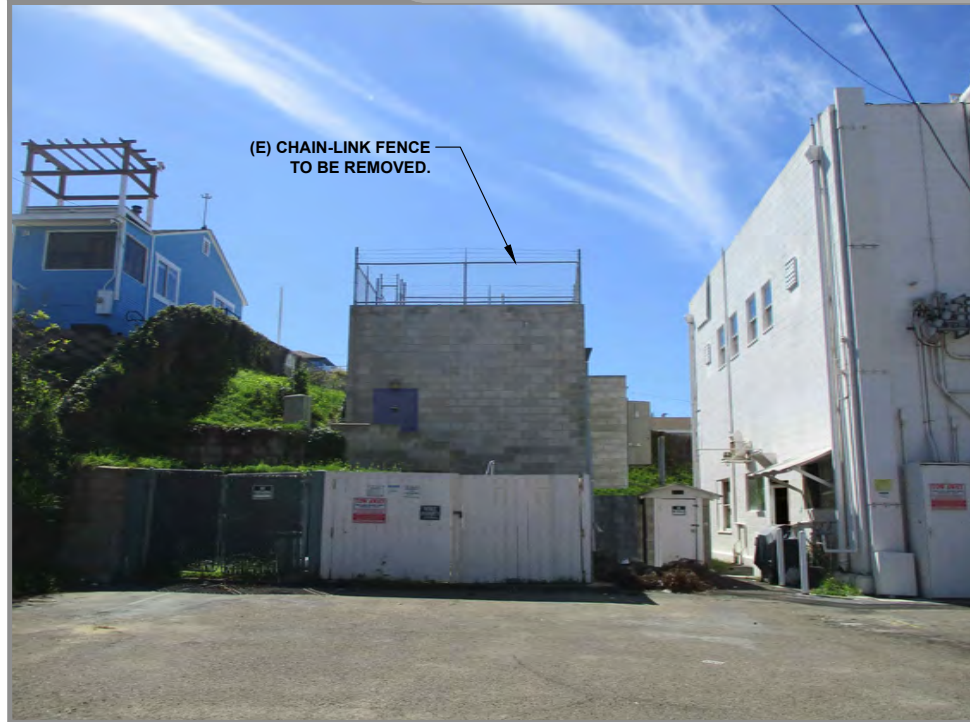
SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107



VIEW 4

EXISTING VIEW



PROPOSED VIEW

STAND 8

PHOTO SURVEY

Dish Wireless SDSAN00449A

1711 Sunset Cliffs
San Diego, CA 92107

Key Map

1 View North towards site

2 View East towards site

3 View South towards site

4 View West towards site

5 View of North from site

6 View of East from site

7 View of South from site

8 View of West from site

North towards site



East towards site



South towards site



West towards site



North from site



East from site




South from site



West from site



Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: DISH Wireless (Masonic Lodge)		Project Number: 1070499	
Community: Ocean Beach			
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: <p style="text-align: center;">October 04, 2023</p>
# of Members Yes 8	# of Members No 0	# of Members Abstain 0	
Conditions or Recommendations: 			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Andrea Schlageter			
TITLE: Chair, Ocean Beach Planning Board			DATE: October 05, 2023
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

SYMBOLS/ABBREVIATIONS LEGEND

SEE SHEET G03

PROJECT TEAM

APPLICANT: DISH Wireless L.L.C.
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

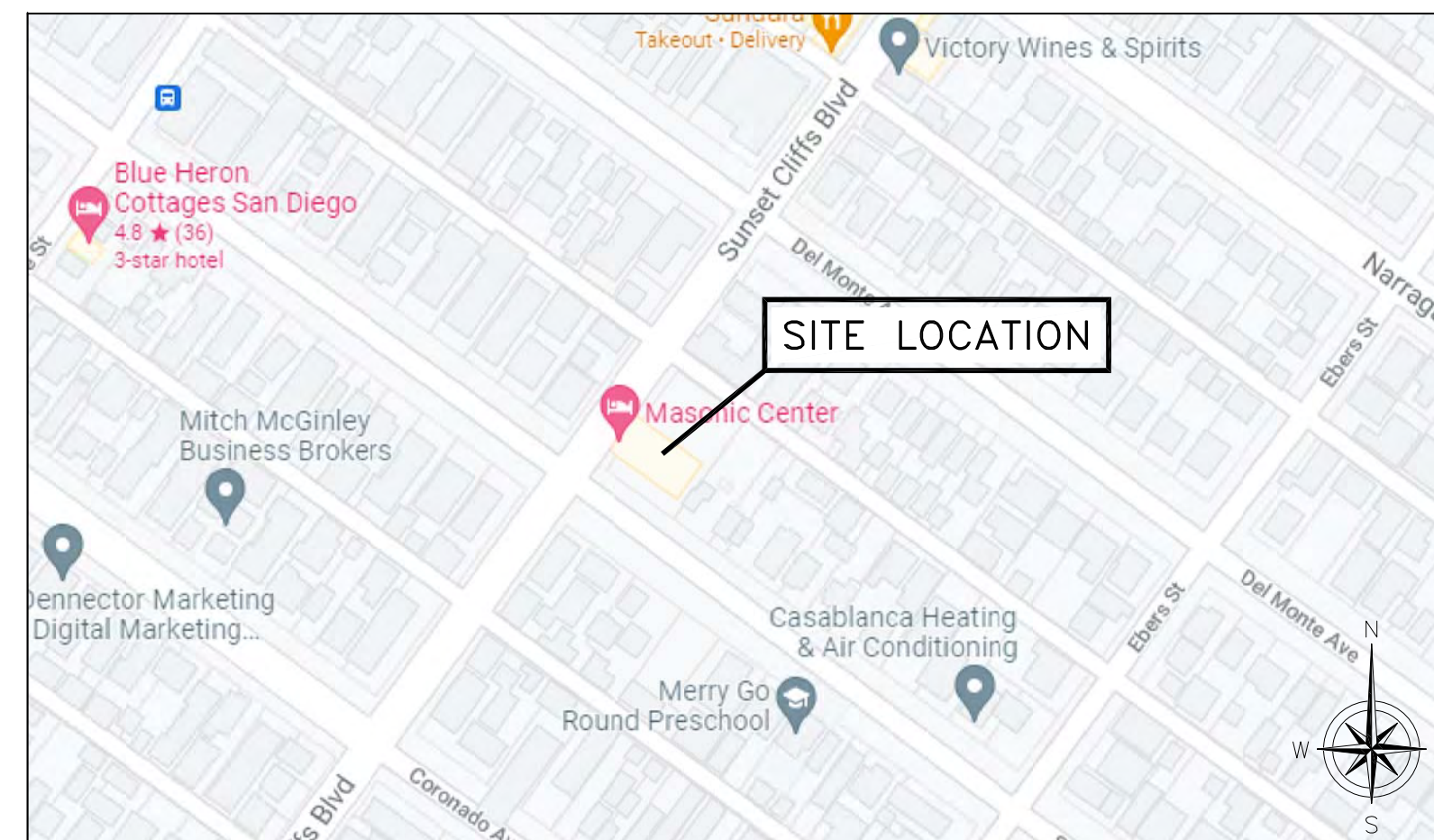
ARCHITECT/ENGINEER: CELLSITE CONCEPTS
16885 VIA DEL CAMPO CT. STE 318
SAN DIEGO, CA 92127
TEL (858) 432-4112

SITE ACQUISITION: STAND 8
(619) 314-5970

CONSTRUCTION MANAGER: ANTHONY WOODARD
(858) 243-0202
anthony.woodard@dish.com

RF ENGINEER: LALAINA BERBA
(303) 706-5787
lalaina.berba@dish.com

**BUILDING PERMIT PLAN FOR:
SDSAN00499A**



VICINITY MAP

NOT TO SCALE



SITE IMAGE

NOT TO SCALE

DIRECTIONS TO SITE

DEPARTING FROM SAN DIEGO INTERNATIONAL AIRPORT LOCATED AT 3225 N HARBOR DR, SAN DIEGO, CA 92101 (4.29 MILES)

1. HEAD WEST ON N HARBOR DR TOWARD TERMINAL ACCESS RD.
2. TURN RIGHT ONTO NIMITZ BLVD.
3. TURN LEFT ONTO CHATSWORTH BLVD.
4. TURN RIGHT ONTO NARRAGANSETT AVE.
5. TURN LEFT ONTO SUNSET CLIFFS BLVD.
6. 1711 SUNSET CLIFFS BLVD IS ON THE LEFT.

OWNER/APPLICANT

APPLICANT: DISH Wireless L.L.C.
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

OWNER: POINT LOMA MASONIC
TEMPLE ASSOC.
1711 SUNSET CLIFFS BLVD.
SAN DIEGO, CA 92107

TOWER TYPE: ROOFTOP

SITE ADDRESS

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

SHEET INDEX

SHEET	DC	DESCRIPTION
1	G01	TITLE SHEET
2	G02	STORM WATER QUALITY NOTES - CONSTRUCTION BMP'S
3	G03	GENERAL NOTES AND SPECIFICATIONS
4	G04	LETTER OF AUTHORIZATION
5	LS1	TOPOGRAPHIC SURVEY
6	LS2	TOPOGRAPHIC SURVEY
7	A01	OVERALL SITE PLAN
8	A02	ENLARGED SITE PLAN AND EQUIPMENT PLAN
9	A03	ANTENNA PLAN AND SCHEDULE
10	A04	SOUTHWEST AND NORTHWEST ELEVATIONS
11	A05	NORTHEAST AND SOUTHEAST ELEVATIONS
12	A06	EQUIPMENT DETAILS
13	A07	EQUIPMENT DETAILS
14	A08	EQUIPMENT DETAILS
15	A09	STRUCTURAL DETAILS
16	A10	STRUCTURAL DETAILS
17	A11	STRUCTURAL DETAILS
18	E01	ELECTRICAL ONE-LINE & PANEL SCHEDULE
19	E02	GROUNDING PLANS AND NOTES
20	E03	LIGHTING PLAN AND POWER PLAN
21	E04	ELECTRICAL AND GROUNDING DETAILS
22	E05	ELECTRICAL AND GROUNDING DETAILS
23	E06	BATTERY SPECS AND PPC SPECS
24	E07	RF CABLE COLOR CODE

DISCIPLINE CODE (DC)

GENERAL	G
ARCHITECTURAL	A
SURVEY	LS
ELECTRICAL	E
MECHANICAL	M

SCOPE OF WORK

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

- SCOPE OF WORK:
- INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR)
 - INSTALL (3) PROPOSED ANTENNA MOUNTS
 - INSTALL (6) PROPOSED FRP BOX
 - INSTALL PROPOSED JUMPERS
 - INSTALL (6) PROPOSED RRUS (2 PER SECTOR)
 - INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR)
 - INSTALL (3) PROPOSED DISCRETE CABLE
 - INSTALL (1) PROPOSED FIF RACK
 - INSTALL (1) PROPOSED POWER CONDUIT
 - INSTALL (1) PROPOSED TELCO CONDUIT
 - INSTALL (1) PROPOSED NEMA 3 TELCO-FIBER BOX
 - INSTALL (1) PROPOSED GPS UNIT
 - INSTALL (1) PROPOSED PPC WITH GENERATOR RECEPTACLE
 - INSTALL (4) PROPOSED RECTIFIERS AND (2) BATTERIES
 - INSTALL (1) PROPOSED REMOTE CAMLOK GENERATOR RECEPTACLE OUTSIDE OF EQUIPMENT SHELTER.
 - INSTALL (1) PROPOSED CABLE HOOD ENTRY.
 - INSTALL (1) PROPOSED CABLE TRAY ON SLEEPERS
 - INSTALL (1) PROPOSED VERTICAL CABLE TRAY.
 - DISH Wireless TO UTILIZE (E) SPRINT EQUIPMENT SHELTER

SITE INFORMATION

LATITUDE 32° 44' 28.70" N (32.741306)
LONGITUDE -117° 15' 59.82" W (117.24995)
ZONING DISTRICT RM-1-1
ZONING JURSDICTION SAN DIEGO
PARCEL NUMBER 448-381-01
TYPE OF CONSTRUCTION V-B
OCCUPANCY U
POWER COMPANY SDG&E
TELEPHONE COMPANY AT&T

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA FIRE CODE

LEGAL DESCRIPTION

LOT: 3 CITY: SAN DIEGO SUBD: PARK SANTA FE TRACT #2 TR#: 9121 TR 9121 LOT 3 MAP REF: 009121

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.



**UNDERGROUND SERVICE ALERT
UTILITY NOTIFICATION CENTER OF CALIFORNIA
(800) 422-4133
WWW.CALIFORNIA811.ORG**



CALL 2-14 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

PRIVATE CONTRACT

REVISION HISTORY					
RFDS REV #: 1					
SUBMITTALS			SUBMITTALS		
REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	08/18/2023	90% PCD'S			

TITLE SHEET FOR:

SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

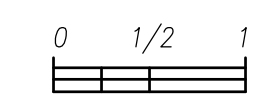
TITLE SHEET

PRJ NO. _____

PMT NO. _____

G01

CONSTRUCTION CHANGE TABLE			
EFFECTED OR ADDED SHEET NUMBERS			
CHANGE	DATE		CC NO.



IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



STORM WATER QUALITY NOTES-CONSTRUCTION BMPs

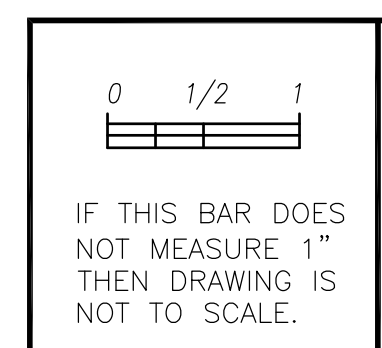
PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
 2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
 3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
 6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
 8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
 9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR. .
 10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
 11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
 16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
 17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
- (a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

TITLE SHEET FOR:
SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

STORM WATER QUALITY NOTES-CONSTRUCTION BMPs
PRJ NO. _____
PMT NO. _____

G02



The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

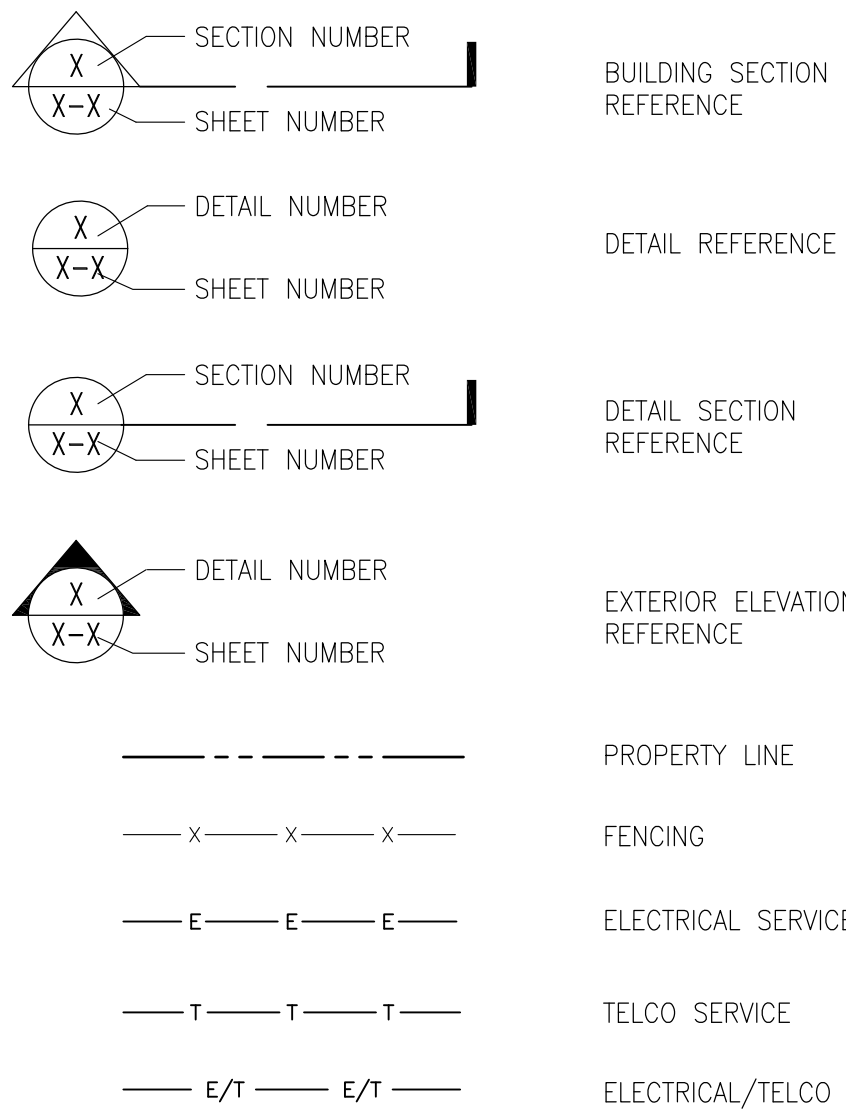
(REV. 02/24/2022)



ABBREVIATIONS

AB ANCHOR BOLT	JT JOINT	LAM LAMINATED
AC ASPHALT CONCRETE	LS LBS	LB LIGHTNING ARRESTOR
A/C AIR CONDITIONING	LT LIGHT	LNA LOW NOISE AMPLIFIER
ADJ ADJUSTABLE	LA LA	
A.F.F. ABOVE FINISH FLOOR	MFR MANUFACTURER	
ARCH ARCHITECTURAL	MAT MATERIAL	
APPROX APPROXIMATE	MAX MAXIMUM	
A.G.L. ABOVE GRADE LEVEL	MECH MECHANICAL	
A.M.S.L. ABOVE MEAN SEA LEVEL	MIN MINIMUM	
	MISC MISCELLANEOUS	
BD BOARD	ML METAL LATH	
BLDG BUILDING	MNO MASONRY OPENING	
BLKG BLOCKING	MS MACHINE SCREW	
BOT BOTTOM	MTD MOUNTED	
BSEMT BASEMENT	MTL METAL	
BTS BASE TRANSEIVER STATION		
	(N) NEW	
C COURSE(S)	NIC NOT IN CONTRACT	
CEM CEMENT	NO NUMBER	
CL CHAIN LINK	NTS NOT TO SCALE	
CLG CEILING		
CLR CLEAR	OA OVERALL	
COL COLUMN	O.C. ON CENTER	
CONC CONCRETE	OPNG OPENING	
CONST CONSTRUCTION	OPP OPPOSITE	
CONT CONTINUOUS		
CORR CORR	PARTN PARTITION	
CO CONDUIT ONLY	PLAS PLASTER	
	PLYWD PLYWOOD	
DIA DIAMETER	POC POINT OF CONNECTION	
DBL DOUBLE	PROP PROPERTY	
DEPT DEPARTMENT	PT PRESSURE TREATED	
DEMO DEMOLITION		
DIM DIMENSION	R RISER	
DN DOWN	REQD REQUIRED	
DR DOOR	RD ROOF DRAIN	
DTL DETAIL	RM ROOM	
DWG DRAWING	RMS ROOMS	
	RO ROUGH OPENING	
(E) EXISTING	SC SOLID CORE	
ELEC ELECTRIC	SCHED SCHEDULE	
ELEV ELEVATION	SECT SECTION	
EQUIP EQUIPMENT	SHT SHEET	
EXP EXPANSION	SIM SIMILAR	
EXT EXTERIOR	SPECS SPECIFICATIONS	
	SS STAINLESS STEEL	
FA FIRE ALARM	STL STEEL	
FB FLAT BAR	STOR STORAGE	
FF FINISH FLOOR	STRUC STRUCTURAL	
FH FLAT HEAD	SUSP SUSPENDED	
FIN FINISH(ED)	SW SWITCH	
FLR FLOOR	SWBO SWITCHBOARD	
FOS FACE OF STUDS		
FS FINISH SURFACE	THK THICK	
FT FOOT, FEET	TI TENANT IMPROVEMENT	
FTG FOOTING	TMA TOWER MOUNTED AMPLIFIER	
FW FINISH WALL	TOS TOP OF SURFACE	
F.G. FINISH GRADE	TS TUBE STEEL	
FUT FUTURE	TYP TYPICAL	
	UNO UNLESS NOTED OTHERWISE	
GA GAUGE		
GALV GALVANIZED	VCT VINYL COMPOSITION TILE	
GL GLASS	VERT VERTICAL	
GR GRADE	V.F. VERIFY IN FIELD	
GYP GYPSUM	V.G. VERTICAL GRAIN	
GFCI GROUND FAULT CIRCUIT INTERRUPT	W/ WITH	
GND GROUND	WR WOOD	
	WR WATER RESISTANT	
HC HOLLOW CORE	WT WEIGHT	
HDW HARDWARE		
HTR HEATER	XFMR TRANSFORMER	
HM HOLLOW METAL		
HORIZ HORIZONTAL		
HR HOUR		
HSS HOLLOW STRUCTURAL SECTION	@ AT	
	┌ CHANNEL	
HT HEIGHT	└ CENTERLINE	
HV HIGH VOLTAGE	∠ ANGLE	
	┘ PROPERTY LINE	
ID INSIDE DIMENSION		
INS INSULATION		
INT INTERIOR		

SYMBOLS:



GENERAL

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ALL OTHER GOVERNING CODES. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT/ENGINEER.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK. WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, UTILITIES SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT/HIRED DRAWINGS TO THE ARCHITECT/ENGINEER AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON, NOR PROVIDE DIRECTION, AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT. FURTHERMORE, THE STRUCTURE IS DESIGNED AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT(S).
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF LOAD IMPOSED ON THE STRUCTURAL FRAMING AND STRUCTURE DURING CONSTRUCTION. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT. THE CONTRACTOR SHALL ALSO RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FRAMING, BACKING, HANGERS, BLOCKING OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE FIRE MARSHALL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
- WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUGE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO BID TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWING (SHEET LS1), SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY, THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID. THIS INCLUDES THAT THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY DEVIATION FROM THE PLANS BY THE PROFESSIONAL'S OF RECORD REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATION IN WRITING AT THE TIME OF SUBMISSION, AND THE PROFESSIONAL OF RECORD HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- ANY REFERENCE TO THE WORDS "APPROVED" OR "APPROVAL" IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- STAIR TREADS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2-INCHES WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP. ALL TREAD SURFACES SHALL BE SLIP RESISTANCE. NOSING SHALL NOT PROJECT MORE THAN 1/2-INCHES PAST THE FACE OF THE RISER BELOW.

SUBMITTALS

SUBMITTALS: SUBMITTALS FOR SHOP DRAWINGS, MILL TESTS, PRODUCT DATA, ETC. FOR ITEMS DESIGNED BY THE ARCHITECT/ENGINEER OF RECORD SHALL BE MADE TO THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE SUBMITTAL BEFORE FORWARDING TO THE ARCHITECT. SUBMITTALS SHALL BE MADE IN TIME TO PROVIDE A TWO-WEEK REVIEW PERIOD FOR THE ARCHITECT/ENGINEER. SUBMITTALS REQUIRED FOR EACH SECTION OF THESE NOTES ARE SPECIFIED IN THAT SECTION.

SHOP DRAWING REVIEW

REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THEREFROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY. FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, ETC. WHEN SHOP DRAWINGS DIFFER FROM OR ADD TO THE REQUIREMENTS OF THE STRUCTURAL DRAWINGS THEY SHALL BE DESIGNED AND STAMPED BY A SPECIALTY STRUCTURAL ENGINEER (SSE)

FIRE DEPARTMENT NOTES

- SCHEDULE REQUIRED FINAL FIRE DEPARTMENT INSPECTION 2 DAYS IN ADVANCE.
- A UNIFORM FIRE CODE PERMIT TO OPERATE BATTERY SYSTEMS WITH STATIONARY LEAD-ACID BATTERIES MAY BE REQUIRED AND ISSUED BY FIRE INSPECTOR.
- AN APPROVED METHOD TO NEUTRALIZE SPILLED ELECTROLYTE SHALL BE PROVIDED IN THE BATTERY ROOM (IF APPLICABLE).
- LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE UNIFORM FIRE CODE STANDARD 10-1 AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE FIRE INSPECTOR.
- CONTRACTOR SHALL POST PERMANENT SIGNAGE IN A CONSPICUOUS LOCATION AT THE SITE IDENTIFYING WHOM SHOULD BE CALLED IN AN EMERGENCY WITH PHONE NUMBERS AND SITE-IDENTIFYING INFORMATION (SUCH AS ADDRESS, SITE #, ETC.) FOR FIRE DEPARTMENT EMERGENCY USE.
- A HAZARDOUS MATERIALS IDENTIFICATION SIGNAGE IS REQUIRED FOR ALL ENTRANCES INTO BATTERY STORAGE AREAS. LETTERS MUST BE 1" IN HEIGHT AND IN A COLOR WHICH CONTRASTS WITH THE BACKGROUND OF THE SIGN AND LIST THE FOLLOWING: "BATTERY CABINET, LEAD ACID BATTERIES INSIDE".
- PROVIDE 2A-40BC FIRE EXTINGUISHER, OR OTHER EQUIVALENT, IN RECESSED OR SEMI-RECESSED CABINET MOUNTED AT 48" AFF MAXIMUM TO TOP OF CABINET. IF CONSTRUCTION MATERIALS ARE NOT AMENABLE TO RECESSING THE CABINET SURFACE MOUNTED CABINETS MAY BE APPROVED. CABINETS SHALL HAVE AN OPENABLE DOOR THAT DOES NOT REQUIRE BREAKAGE OF GLASS. EXTINGUISHERS SHALL BE HUNG ON THEIR HOOKS IN THE CABINETS.

PAINTING

- THE CONTRACTOR SHALL PREPARE SURFACES, FURNISH ALL PAINT, MATERIAL, LABOR AND EQUIPMENT FOR THE PAINTING OF ALL SURFACES AS REQUIRED.
- ALL PAINTS TO BE APPLIED IN WORKMANLIKE MANNER. AT COMPLETION, REMOVE ALL MATERIALS AND DEBRIS CAUSED BY THIS CONTRACTOR. ALL FLOORS, GLASS, HARDWARE, FRAMES, FIXTURES, ETC SHALL BE THOROUGHLY CLEANED OF PAINT.
- ALL STEEL COLUMNS AND MISC. METALS SHALL BE PRIMED AND PAINTED.
- FIRE PREVENTION: TAKE EVERY PRECAUTION AT THE END OF THE DAY TO REMOVE OILY RAGS AND COMBUSTIBLE MATERIALS FROM THE SITE OR STORE IN METAL CONTAINER WITH TIGHT COVERS.
- FINAL TEXTURE & COLOR PER OWNER'S INSTRUCTIONS.
- SHOP PAINTING: CONFORM TO AISC SPECIFICATION SEC M2 AND AISC CODE SEC. 6.5. DO NOT PRIME SURFACES TO BE FIREPROOFED, IN CONTACT WITH CONCRETE, OR FIELD WELDED. STEEL WORK TO BE CONCEALED BY INTERIOR BUILDING FINISHES OR IN CONTACT WITH CONCRETE DOES NOT REQUIRE PAINTING. ALL OTHER STEEL WORK SHALL BE GIVEN ONE COAT OF SHOP PAINT.
- ALL VISIBLE ANTENNAS, ANTENNA SUPPORT STRUCTURES, CABLE TRAYS, EQUIPMENT MUST BE PAINTED TO BLEND WITH SURROUNDING ELEMENTS - U.N.O

FIBER REINFORCED PLASTIC (FRP)

CONTRACTOR TO PROVIDE FLAME STOP I-DS (OR OTHER APPROVED METHOD OF FIRE PREVENTION) TO TOWER, BRANCHES, AND/ OR OTHER COMBUSTIBLE MATERIALS AS OUTLINED IN SECTIONS 602 & 603 OF 2022 CBC.

FIRE RESISTANCE REQUIREMENTS

- FIBER REINFORCED PLASTIC (FRP) PULTRUDED FLAT SHEETS SHALL BE PROVIDED BY STEALTH CONCEALMENT SOLUTIONS, INC. (LARR# 25400). FIBERGATE COMPOSITE STRUCTURES (LARR# 25536), OR APPROVED EQUAL, SHALL CONFORM TO THE ASTM DESIGNATION D-638, D-695, D-790, D-792, AND SHALL COMPLY WITH THE FOLLOWING MECHANICAL PROPERTIES (LENGTHWISE):

FLEXURAL STRENGTH =	35,000 PSI
FLEXURAL MODULUS =	1,800 X 10 ⁶ PSI
TENSILE STRENGTH =	24,000 PSI
COMPRESSIVE STRENGTH =	24,000 PSI
DENSITY =	0.062 - 0.070 LBS/IN ³
- ALL MATERIAL SHALL BE CLASS I FIRE RATED WITH FLAME SPREAD OF 25 MAXIMUM, TESTED IN ACCORDANCE WITH ASTM E84. THE USE OF ANTIMONY OXIDE IS NOT PERMITTED.
- FRP BOLTS, THREADED RODS, AND RELATED NUTS AND WASHERS SHALL BE PROVIDED BY STEALTH OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- SURFACES OF PANELS SHALL BE COATED WITH SUITABLE PAINT FOR U.V. PROTECTION. ALL FOAM EDGES OF PANELS MUST BE COVERED OR COATED FOR U.V. PROTECTION AND WATER. COAT ANY CUT OR DRILLED EDGES OF FRP STRUCTURAL MEMBERS WITH HETROLAC OR EQUAL RESIN OR ACRYLIC SEALER.
- PANEL FASTENERS TO BE SPACED PER BELOW AND LOCATED 6" HORIZONTALLY FROM EACH EDGE AT TOP AND BOTTOM OF PANEL. MAINTAIN 1-1/2" MINIMUM CLEARANCE FROM ALL EDGES.
- WHEN FASTENER BOLT-HEAD OR NUT BEARS DIRECTLY ON SURFACE OF PANEL, TIGHTEN BOLTS 1/4 TURN PAST NUG, USE A THIN BEAD OF EPOXY TO LOCK THREADS OF FRP BOLTS/NUTS. USE WASHER OF FLANGED HEAD BOLTS WITH LARGE BEARING SURFACE.
- PANELS WILL EXPAND AND CONTRACT DUE TO TEMPERATURE. WHEN INSTALLING PANELS IN COLD TEMPERATURES, EVENLY SPACE PANELS TO ALLOW FOR EXPANSION DURING WARM TEMPERATURES.
- ADJACENT FLAT PANELS ARE JOINED BY A VERTICAL FOAM SPLINE THAT IS INSERTED IN THE GROOVES CUT INTO THE SIDE OF EACH PANEL. DO NOT LIFT PANELS BY GROOVES. PANELS MUST BE LIFTED WITH FORCE DIRECTED ONTO THE PANEL SURFACE.
- AS NOTED IN THE LARR REPORT, PANELS SHALL BE BONDED TO THE SUPPORTING FRAME USING A QUICKSET URETHANE CONTINUOUS BEAD ADHESIVE AROUND THE ENTIRE PERIMETER OF THE PANEL, AND ATTACHED TO THE PERIMETER FRAME VIA #8 STEEL SCREWS AT 12" OR LESS SPACING AROUND THE PERIMETER OF THE PANEL (24 MIN SCREWS PER 4' X 8' PANEL). DO NOT LOCATED STEEL SCREWS IN FRONT OF AN ANTENNA. ALTERNATIVELY, THE PANELS SHALL BE BONDED TO THE SUPPORTING FRAME USING A QUICKSET URETHANE CONTINUOUS BEAD ADHESIVE AROUND THE ENTIRE PERIMETER OF THE PANEL, AND ATTACHED PER THE LARR REPORT WITH 1/2" DIAMETER THREADED FRP RODS CUT TO LENGTH AND INSERTED THROUGH 9/16" DIAMETER HOLES DRILLED AT 24" OR LESS SPACING AROUND THE PERIMETER OF THE PANEL (12 MINIMUM PER 4' X 8' PANEL). THE FRP RODS SHALL HAVE AN FRP NUT PLACED ON EACH END. ALL PANEL EDGES SHALL BE BLOCKED.
- ALL EXPOSED EXTERIOR PANEL SURFACES SHALL BE COVERED WITH A MINIMUM 1" THICK LAYER OF EIFS (DRYVIT OR EQUAL) THAT SHALL BE TEXTURED, FINISHED, AND PAINTED TO MATCH THE EXISTING STRUCTURE. ALL OTHER EXPOSED SURFACES INCLUDING ANCILLARY FRAMING AND HARDWARE SHALL BE PAINTED TO MATCH.
- PLACE WEATHER TIGHT FRP CAP AT ENDS OF ALL OPEN, EXPOSED FRP POSTS.

FRAMING

- ALL LUMBER SHALL BE GRADE MARKED DOUGLAS FIR-LARCH AND SHALL HAVE THE FOLLOWING MINIMUM GRADES:

JOISTS AND RAFTERS	#1
BEAMS AND STRINGERS	#1
PLATES	#2
STUDS (2X4, 3X4, 2X6)	#1
POSTS, COLUMNS AND TIMBER	#1
- ALL FRAMING EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION SPECIFICATIONS. WHERE POSSIBLE, ALL CUTS AND HOLES SHOULD BE COMPLETED BEFORE TREATMENT. CUTS AND HOLES DUE TO ON-SITE FABRICATION SHALL BE BRUSHED WITH 2 COATS OF COPPER NAPHTHENE SOLUTION CONTAINING A MINIMUM OF 2% METALLIC COPPER IN SOLUTION (PER AWPA STD. M4).
- CUTTING OR NOTCHING OF WOOD STUDS OR PLATES SHALL NOT EXCEED 25% OF THE STUD/PLATE WIDTH AT EXTERIOR OR BEARING WALLS AND SHALL NOT EXCEED 40% OF THE STUD/PLATE WIDTH IN NONBEARING PARTITIONS. BORED HOLE DIAMETERS ARE LIMITED TO 40% OF THE STUD WIDTH IN ANY STUD AND MAY BE 60% IN NONBEARING PARTITIONS OR WHEN THE BORED STUD IS DOUBLED.
- DO NOT NOTCH JOISTS, RAFTERS, OR BEAMS EXCEPT WHERE SHOWN ON THE DETAILS. BORED HOLES THROUGH JOISTS SHALL NOT EXCEED 1/3 OF MEMBER DEPTH AND BE LOCATED AT LEAST 2" FROM THE TOP AND BOTTOM OF THE MEMBER.
- ALL BLOCKING AND BRIDGING SHALL BE PROVIDED AS REQUIRED PER GOVERNING CODE OR STANDARD OF PRACTICE.
- ALL JOIST, RAFTER & MISC. FRAMING SHALL HAVE FULL-DEPTH (OR METAL) BRIDGING AT ALL SUPPORTS, MIDSPAN AND AT A MAXIMUM SPACING OF 8'-0" O/C IN BETWEEN UNLESS NOTED OTHERWISE.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS THAT ARE PARALLEL TO JOISTS. USE 2-16D NAILS AT 16" O.C. TO NAIL DOUBLE JOISTS TOGETHER.
- THE CONTRACTOR SHALL CAREFULLY SELECT LUMBER TO BE USED IN LOADBearing APPLICATIONS. THE LENGTH OF SPLIT ON THE WIDE FACE OF 2" NOMINAL LOADBearing FRAMING SHALL BE LIMITED TO LESS THAN 1/2 OF THE WIDE FACE DIMENSION. THE LENGTH OF SPLIT ON THE WIDE FACE OF 3" (NOMINAL) AND THICKER LUMBER SHALL BE LIMITED TO 1/2 OF THE NARROW FACE DIMENSION.
- BOLT HOLES SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE WASHERS BETWEEN BOLT HEADS OR NUTS AND WOOD. BOLTED CONNECTIONS SHALL BE SNUGGED TIGHT BUT NOT TO THE EXTENT OF CRUSHING WOOD UNDER WASHERS.
- ALL BOLTS SHALL BE RE-TIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC. AND BEFORE CLOSING IN COMPLETION OF THE JOB.
- PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS AND OTHER ACCESSORIES SHALL BE AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY" OR APPROVED EQUAL. INSTALL ALL ACCESSORIES PER THE MANUFACTURER'S REQUIREMENTS. ALL STEEL SHALL HAVE A MINIMUM THICKNESS OF 0.04 INCHES (PER ASTM A446, GRADE A) AND BE GALVANIZED (COATING G60).
- STRUCTURAL STEEL PLATE CONNECTORS SHALL CONFORM TO ASTM A036 SPECIFICATIONS AND BE 1/4" THICK UNLESS OTHERWISE INDICATED.
- ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS, AND OTHER MISCELLANEOUS HARDWARE THAT ARE EXPOSED OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIP GALVANIZED.
- BOLTS IN WOOD SHALL BE A MINIMUM OF 7 BOLT DIAMETERS FROM THE ENDS AND 4 BOLT DIAMETERS FROM THE EDGES.
- ALL SILL BOLTS SHALL BE PLACED STARTING 9" FROM THE ENDS OF A BOARD OR FROM A NOTCH AND SPACED AT INTERVALS AS NOTED ON THE PLANS.
- ALL SILL PLATE ANCHOR BOLTS AND HOLD-DOWN CONNECTOR BOLTS AT ALL PLYWOOD SHEAR PANELS SHALL HAVE THE FOLLOWING PLATE WASHERS.

BOLT SIZE	PLATE WASHER SIZE (ASTM A036)
5/8"	0.229" X 3" X 3"
3/4"	5/16" X 3" X 3"
7/8"	5/16" X 3" X 3"
1"	3/8" X 3-1/2" X 3-1/2"
- TOP PLATES FOR ALL STUD WALLS SHALL BE 2-2X. MINIMUM TOP PLATE LAP SHALL BE 48" WITH 16d NAILS AT 4" O.C. EACH SIDE OF SPLICE U.N.O. SPLICES IN UPPER AND LOWER PLATES SHALL BE STAGGERED 10" MINIMUM.
- ALL WOOD STUD WALLS SHALL HAVE 2X4 STUDS AT 16" O.C. WHEN HEIGHT BETWEEN LATERAL SUPPORTS IS LESS THAN 10'-0". WHEN HEIGHT BETWEEN LATERAL SUPPORTS MORE THAN 10'-0"; USE 2X6 STUDS AT 16" O.C. WITH FULL DEPTH BLOCKING AT NOT MORE THAN 8' VERTICAL INTERVAL.
- ALL NAILS SHALL BE COMMON WIRE NAILS U.N.O. SEE FRAMING PLANS OR DETAILS FOR NAIL SIZES AND SPACING. NAILS THAT ARE NOT DETAILED OR NOTED SHALL BE IN ACCORDANCE WITH IBC TABLE 2504.9.1. FASTENING SCHEDULE. HOLES FOR NAILS SHALL BE PREDRILLED AT A SMALLER DIAMETER THAN THE NAIL WHERE NECESSARY TO PREVENT SPLITTING.
- LAG BOLTS SHALL HAVE LEAD HOLES BORED AS FOLLOWS:

SHANK PORTION	SAME DIAMETER AND LENGTH AS SHANK
THREADED PORTION	0.6-0.75 OF DIAMETER OF THREAD

PLYWOOD SHEATHING NOTES

- ALL PLYWOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH (APA) AMERICAN PLYWOOD ASSOCIATION SPECIFICATIONS AND COMPLY WITH PS1-95 OR PS2-92.
- ALL ROOF PANEL SHEATHING SHALL BE 5/8" (NOM.) TYPE CDX. EXP. 1 APA RATED SHEATHING. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. CONNECT ROOF SHEATHING WITH 8d COMMON NAILS AT 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS U.N.O.
- ALL WALL PANEL SHEATHING SHALL BE 1/2" (NOM.) TYPE CDX. EXP. 1 APA RATED SHEATHING ATTACHED WITH 10d COMMON NAILS SPACED 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS U.N.O.
- INSTALL ALL PLYWOOD SHEATHING WITH THE LONG DIMENSION OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE SHEATHING MANUFACTURER.
- ALL NAILING SHALL BE CAREFULLY DRIVEN AND NOT OVERDRIVEN. THE USE OF STAPLES AND PNEUMATIC NAIL GUNS ARE PROHIBITED FROM USE.
- ALL EXTERIOR EXPOSED PLYWOOD SHALL BE MARINE GRADE.

TITLE SHEET FOR:

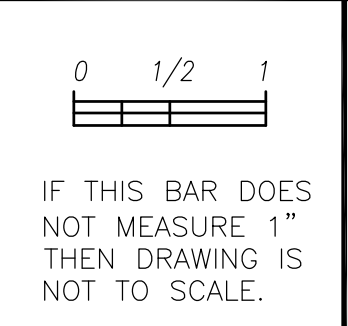
SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

GENERAL NOTES AND SPECIFICATIONS

PRJ NO. _____
PMT NO. _____

G03



The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

REV. 02/24/2022

dish
wireless.
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

e! site
concept
16885 VIA DEL CAMPO CT., SUITE 318
SAN DIEGO, CA 92127
tel: (858) 432-4112 / (858) 432-4257

STAND 8



LETTER OF AUTHORIZATION

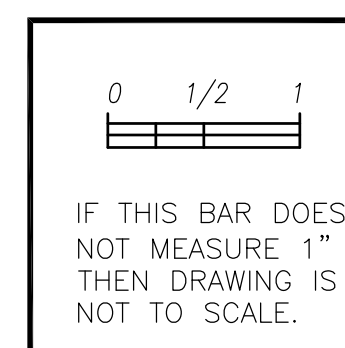
County/Municipality: City of San Diego
 Property: 1711 Sunset Cliffs Blvd, San Diego, CA 92107
 Site ID: SDSAN00499A Site Name: DISH

The undersigned **Point Loma Masonic Temple Associations** of the above described Property ("Owner"), appoint(s) **Stand 8** and its employees, agents and contractors, on behalf of ("DISH") as Owner's agent, for the purpose of filing and completing any application necessary for constructing or installing antennas, support structures and related equipment on the Property as DISH may require for its wireless communications system.

Assessor's Parcel Number: 448-381-01-00

Authorized Agent: Stand 8	Property Owner: Point Loma Masonic Temple Association
By: <u>Kim Ice</u>	By: <u></u>
Name: <u>Kim Ice</u>	Name: <u>Christopher Shamoon</u>
Title: <u>Site Acquisitions Specialist</u>	Title: <u>Treasurer</u>
Date: <u>3.18.22</u>	Date: <u>June 22, 2022</u>

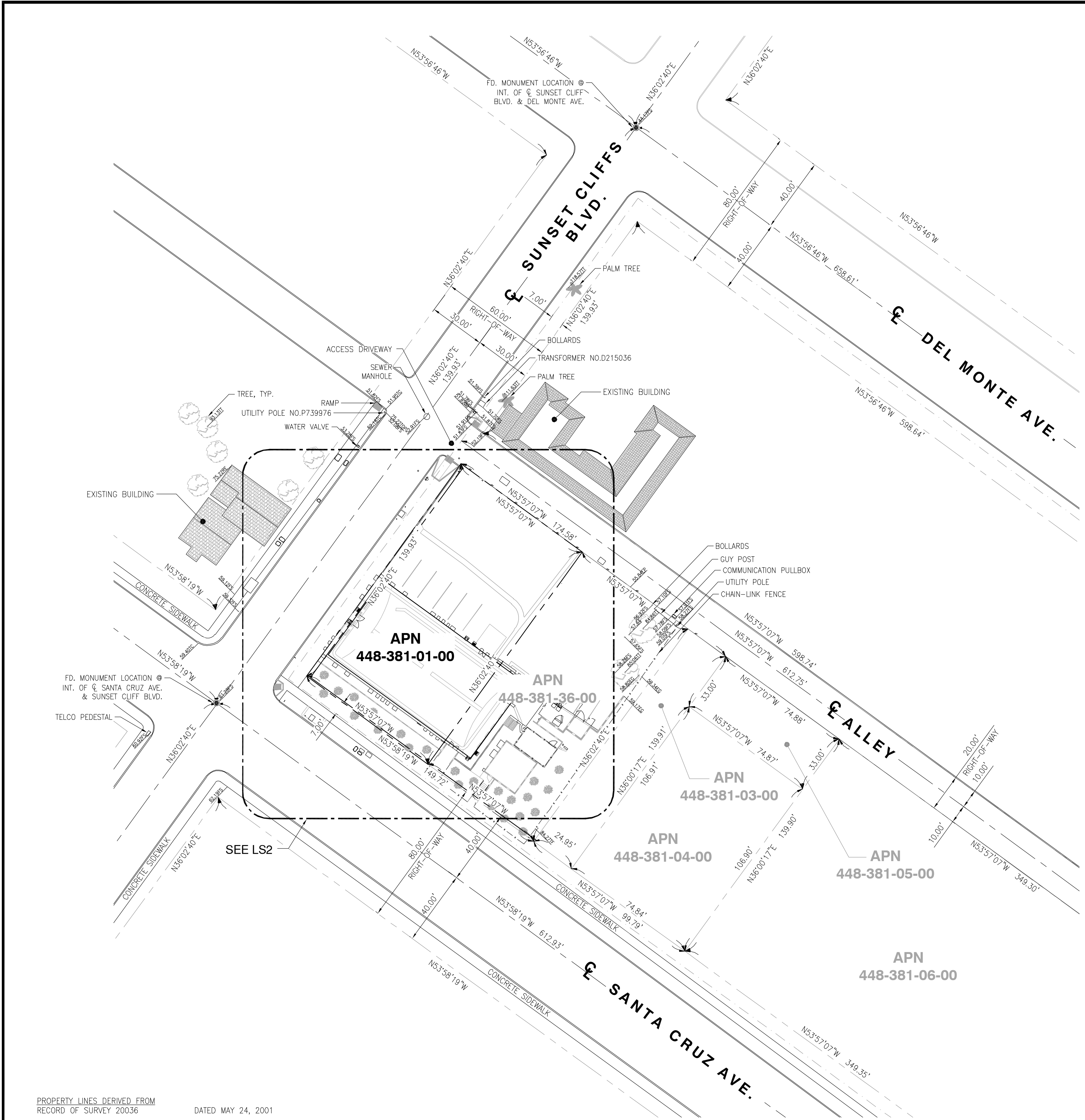
TITLE SHEET FOR:	
SDSAN00499A	
<small>1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107</small>	
LETTER OF AUTHORIZATION	PRJ NO. _____
	PMT NO. _____
	G04



The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

(REV. 02/24/2022)





APN
448-381-01-00
SITE ADDRESS
1711 SUNSET CLIFFS BLVD, SAN DIEGO, CA 92107

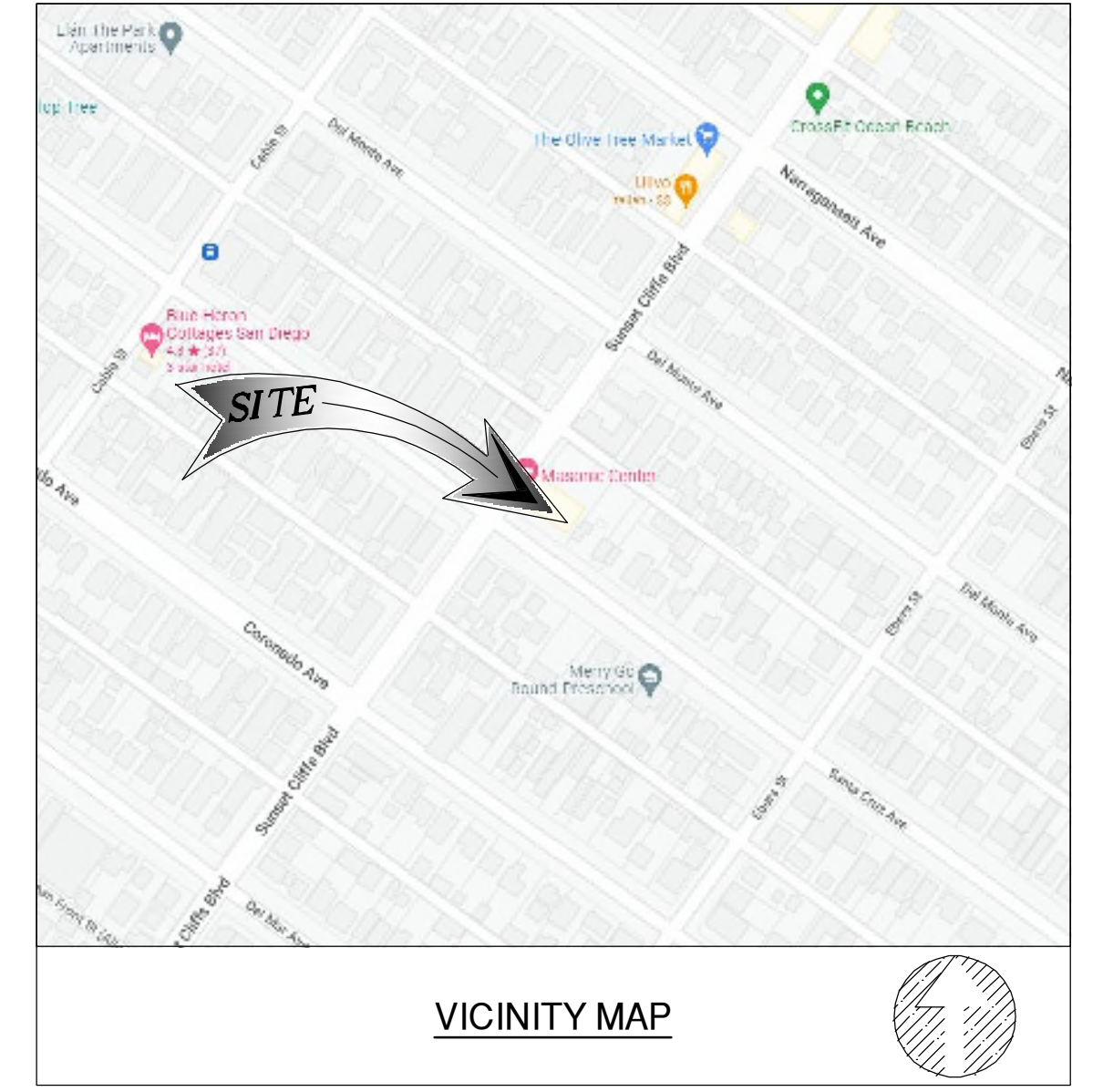
TITLE REPORT
NO TITLE REPORT HAS BEEN ISSUED DURING THE TIME OF SURVEY.

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE SIX, DETERMINED BY GPS OBSERVATIONS.

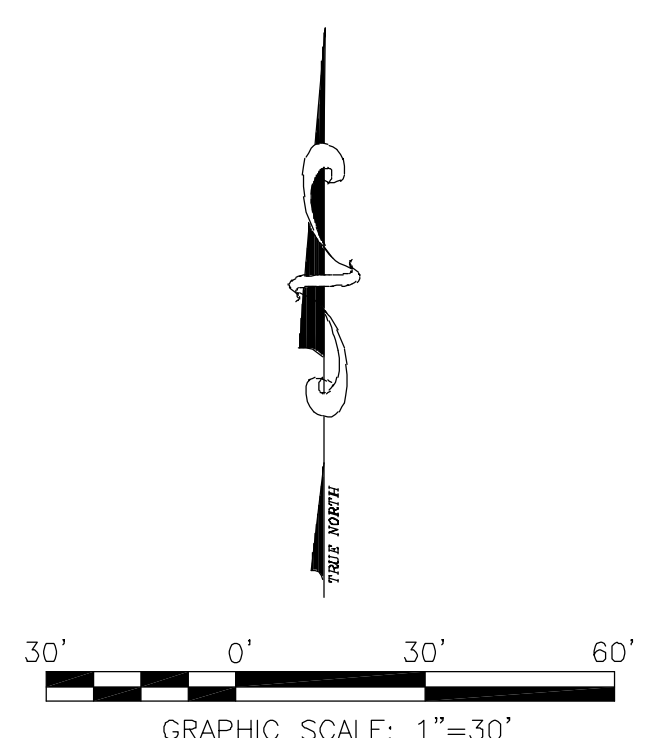
BENCHMARK
ELEVATIONS ARE BASED ON CRTN (CSRC) NETWORK BROADCAST COORDINATES.

FLOODZONE
SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06073C1857H EFFECTIVE DATE 12/20/2019.

- NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSITE CONCEPTS TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON. THE LOCATION OF PROPERTY LINES SHOWN HEREON ARE APPROXIMATE AND FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT TO BE RELIED UPON AS THE ACTUAL BOUNDARY LINES.
 - ANY CHANGES MADE TO THE INFORMATION ON THIS PLAN, WITHOUT THE WRITTEN CONSENT OF CELLSITE CONCEPTS, RELIEVES CELLSITE CONCEPTS OF ANY AND ALL LIABILITY.
 - THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
 - WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED & SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE SURVEYOR PRIOR TO COMMENCEMENT OF ANY WORK.
 - FIELD SURVEY COMPLETED ON APRIL 04, 2022



- LEGENDS**
- CENTER LINE
 - PROPERTY LINE
 - MONUMENT LINE
 - x-x- CHAIN-LINK FENCE
 - /// EDGE OF PAVEMENT
 - EXISTING GRADE
 - FS FINISH SURFACE
 - TC TOP OF CURB
 - TOP OF UTILITY POLE
 - TT TOP OF TREE
 - RE ROOF EDGE
 - GUY WIRE
 - UTILITY POLE
 - PALM TREE
 - TREE
- MONUMENT**
- FD. MONUMENT



REVISION HISTORY					
RFD'S REV #: 0					
SUBMITTALS			SUBMITTALS		
REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	04/19/2022	PRELIMINARY SURVEY			
2	08/18/2023	REVISED COORDINATES			

TITLE SHEET FOR:

SDSAN00499A
1711 SUNSET CLIFFS BLVD, SAN DIEGO, CA 92107

TOPOGRAPHIC SURVEY

PRJ NO. _____
PMT NO. _____

The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

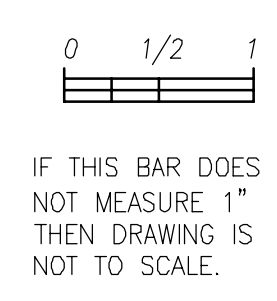
LS1

PROPERTY LINES DERIVED FROM RECORD OF SURVEY 20036 DATED MAY 24, 2001

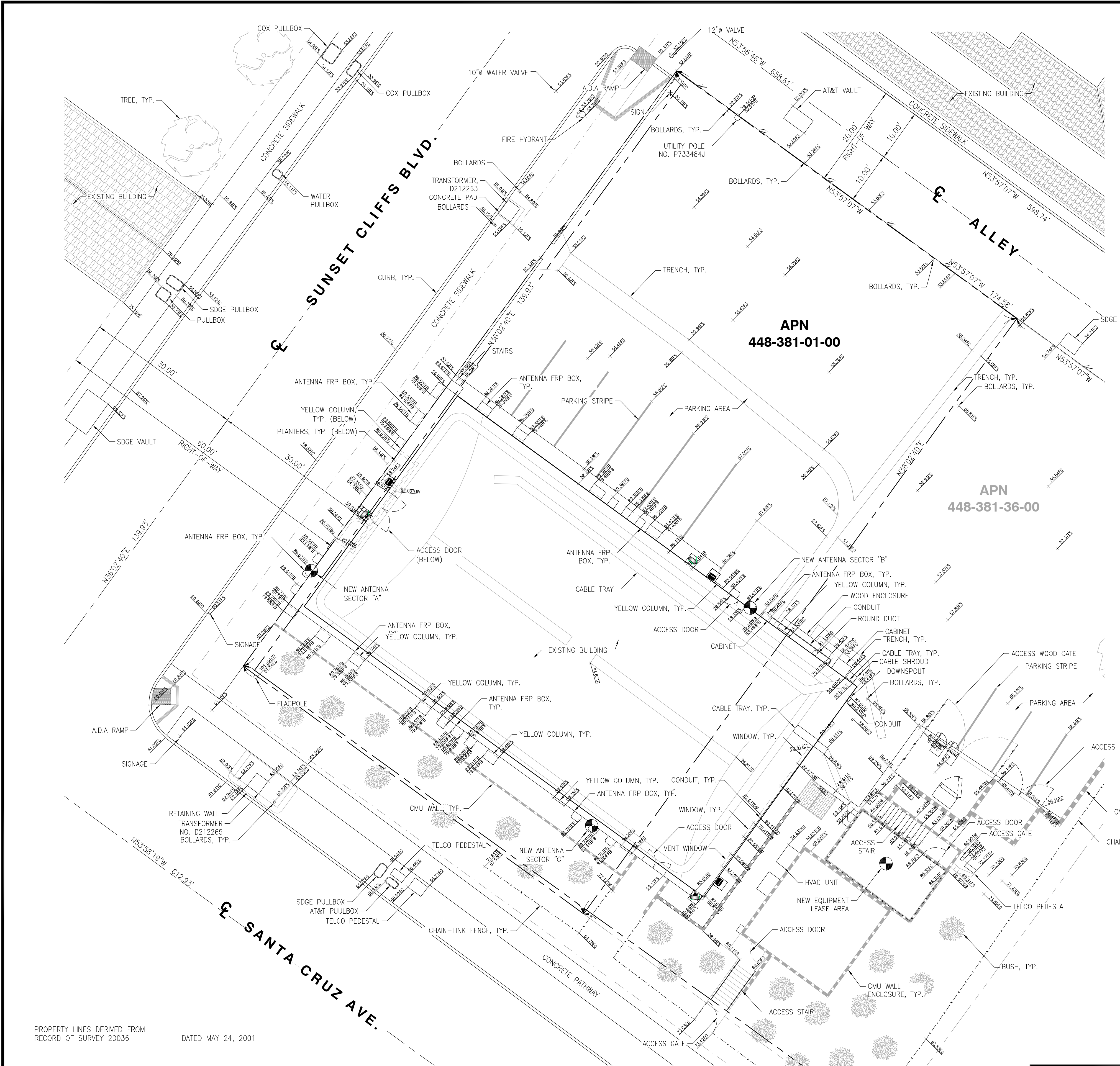
dish wireless.
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

cel site concepts
16885 VIA DEL CAMPO CT., SUITE 318
SAN DIEGO, CA 92127
tel: (858) 432-4112 / (858) 432-4257

STAND 8



(REV 02/24/2022)



LEGENDS

- CENTER LINE
- - - PROPERTY LINE
- MONUMENT LINE
- - - CHAIN-LINK FENCE
- ▬ CMU WALL
- ▬ WOOD FENCE
- EDGE OF PAVEMENT
- - - EXISTING GRADE
- FINISH SURFACE
- TT TOP OF CURB
- RR TOP OF TREE
- RE ROOF RIDGE
- TR TOP OF ROOF
- TOP TOP OF UTILITY POLE
- TF TOP OF FLAGPOLE
- TFB TOP OF FRP BOX
- BFB BOTTOM OF FRP BOX
- TCB TOP OF CMU BUILDING
- TCS TOP OF CABLE SHROUD
- THU TOP OF HVAC UNIT
- TB TOP OF BUILDING
- TW TOP OF WALL
- TD TOP OF DOWNSPOUT
- TOW TOP OF WINDOW
- BW BOTTOM OF WINDOW
- TCD TOP OF CONDUIT
- TBC TOP OF YELLOW BUILDING COLUMN
- TCT TOP OF CABLE TRAY
- TRD TOP OF ROUND DUCT
- TOC TOP OF CABINET
- THC TOP OF HIGHEST CONDUIT
- BE BOTTOM OF BUILDING EAVES
- TS TOP OF CABLE SHROUD
- TTP TOP OF TELCO PED
- TWE TOP OF WOOD ENCLOSURE
- EXISTING STREET LIGHT
- EXISTING SIGNAGE
- GUY WIRE
- UTILITY POLE
- FIRE HYDRANT
- PALM TREE
- TREE
- BUSH

COORDINATES

- NEW ANTENNA SECTOR "A"
 - LATITUDE: 32°44'29.25"N (32.741458)
 - LONGITUDE: 117°15'01.11"W (-117.250308)
- NEW ANTENNA SECTOR "B"
 - LATITUDE: 32°44'29.18"N (32.741439)
 - LONGITUDE: 117°15'00.14"W (-117.250039)
- NEW ANTENNA SECTOR "C"
 - LATITUDE: 32°44'28.76"N (32.741322)
 - LONGITUDE: 117°15'00.46"W (-117.250128)
- NEW EQUIPMENT LEASE AREA
 - LATITUDE: 32°44'28.70"N (32.741306)
 - LONGITUDE: 117°14'59.82"W (-117.24995)

APN 448-381-01-00

APN 448-381-36-00



REVISION HISTORY					
RFDS REV #: 0					
SUBMITTALS			SUBMITTALS		
REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	04/19/2022	PRELIMINARY SURVEY			
2	08/18/2023	REVISED COORDINATES			

TITLE SHEET FOR:

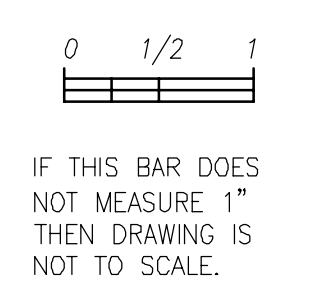
SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

TOPOGRAPHIC SURVEY

PRJ NO. _____

PMT NO. _____



The City of **SAN DIEGO**

DEVELOPMENT SERVICES DEPARTMENT

LS2

PROPERTY LINES DERIVED FROM RECORD OF SURVEY 20036

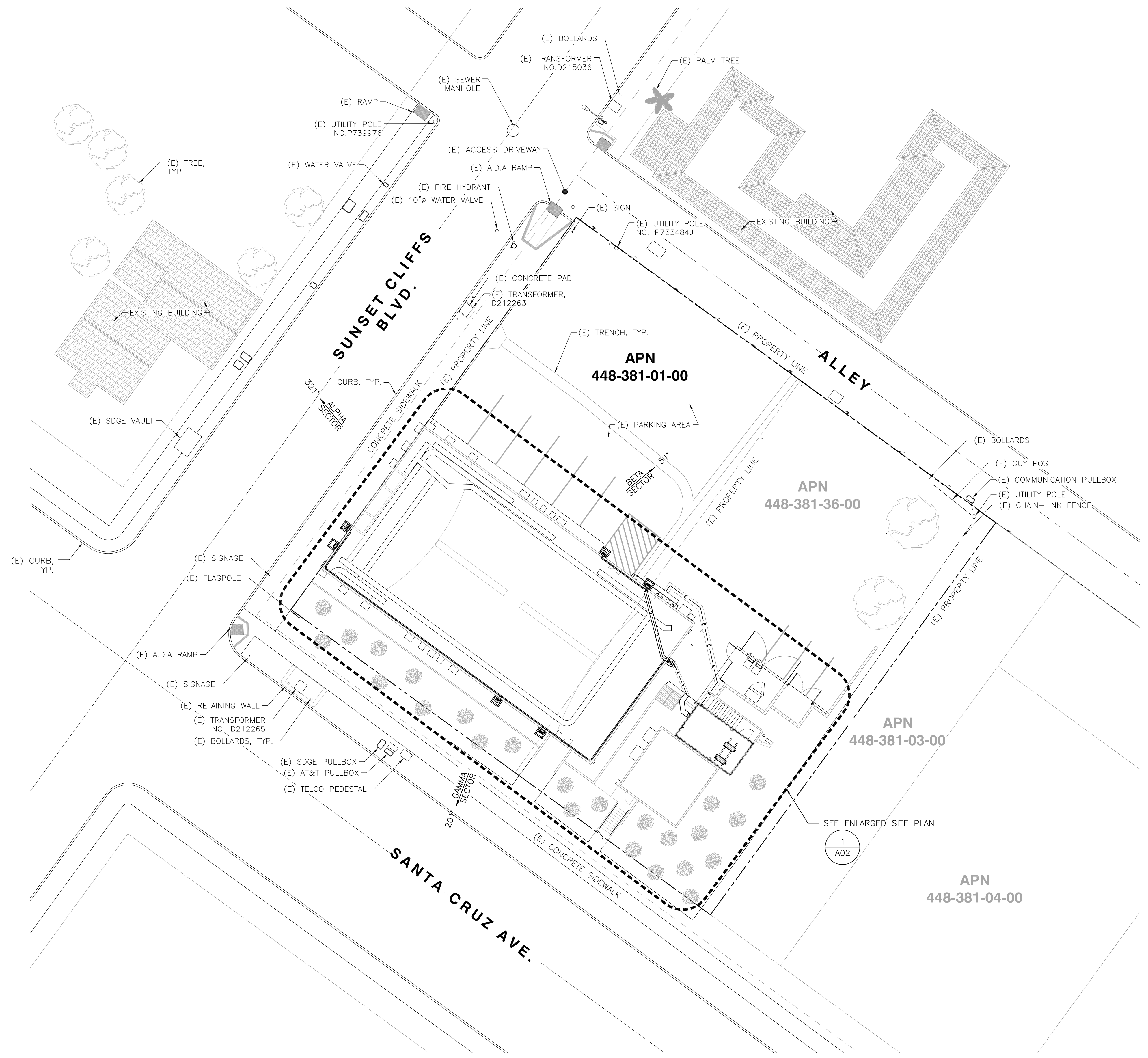
DATED MAY 24, 2001



(REV 02/24/2022)

GENERAL NOTES

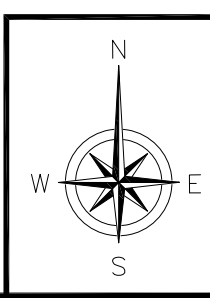
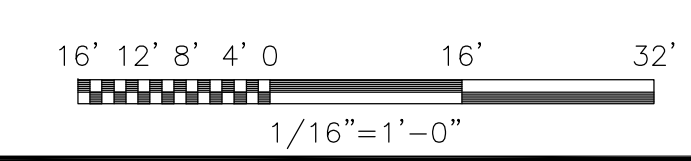
1. NO EXISTING PARKING STALLS ARE BEING ADDED OR REMOVED AS PART OF THE PROPOSED INSTALLATION.
2. NO EXISTING LANDSCAPING AND IRRIGATION SYSTEM ARE BEING REMOVED AND/OR MODIFIED AS PART OF THE PROPOSED INSTALLATION.
3. THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF INSTALLATION OF NEW ANTENNAS ON ROOFTOP AND THE PLACEMENT OF EQUIPMENT CABINETS ON THE ROOF.
4. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
5. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT. (NO HANDICAP ACCESS IS REQUIRED).
6. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY DISH Wireless TECHNICIANS.
7. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS INSTALLATION.
8. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
9. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
10. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATION.
11. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
12. AN ACCESS KEY SHALL BE PROVIDED TO THE CITY FIRE DEPARTMENT AND PLACED IN THE KNOX BOX LOCATED ON BUILDING SITE.



TITLE SHEET FOR:
SDSAN00499A
 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

OVERALL SITE PLAN

PRJ NO. _____
 PMT NO. _____
A01



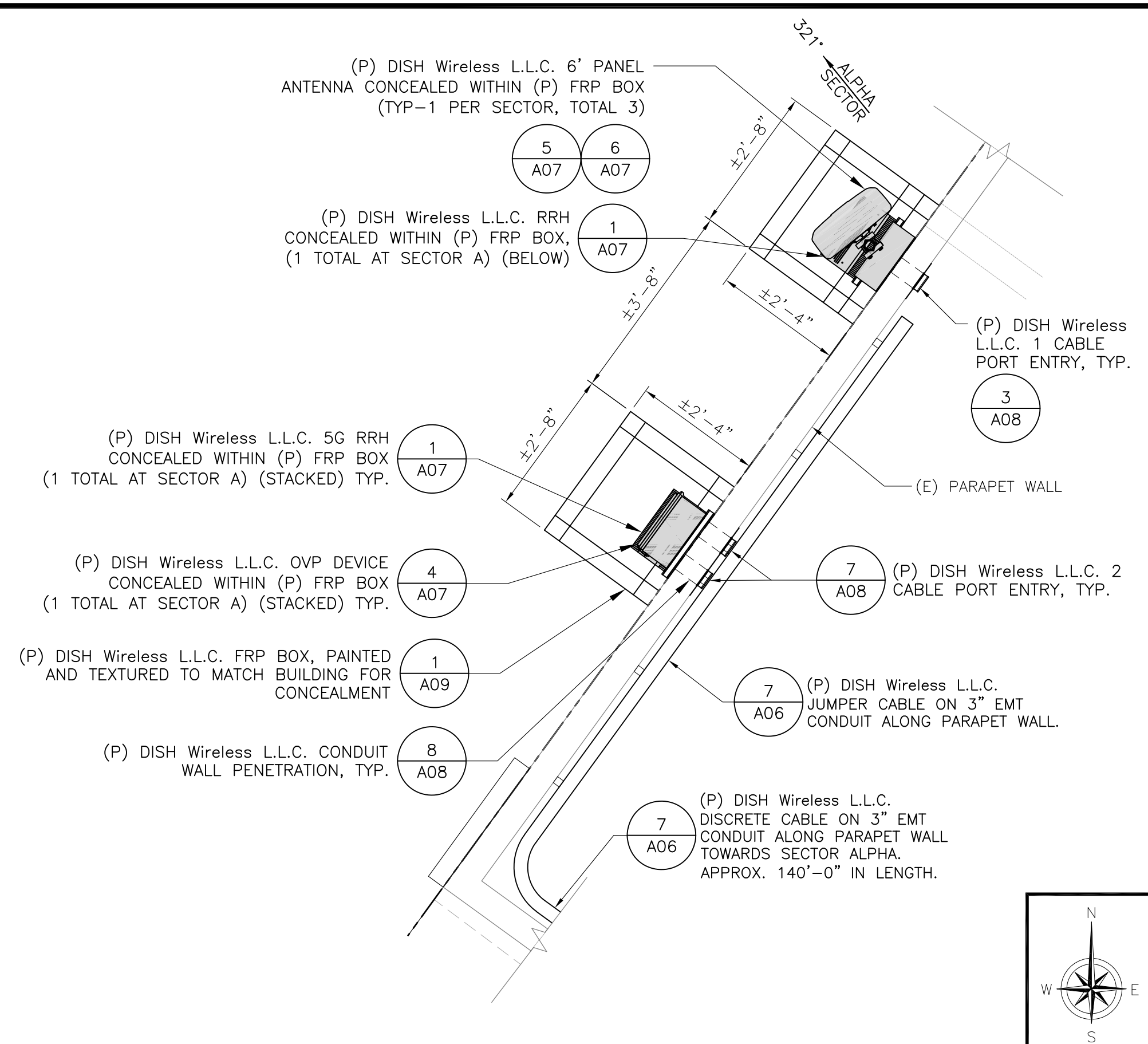
0 1/2 1
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The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

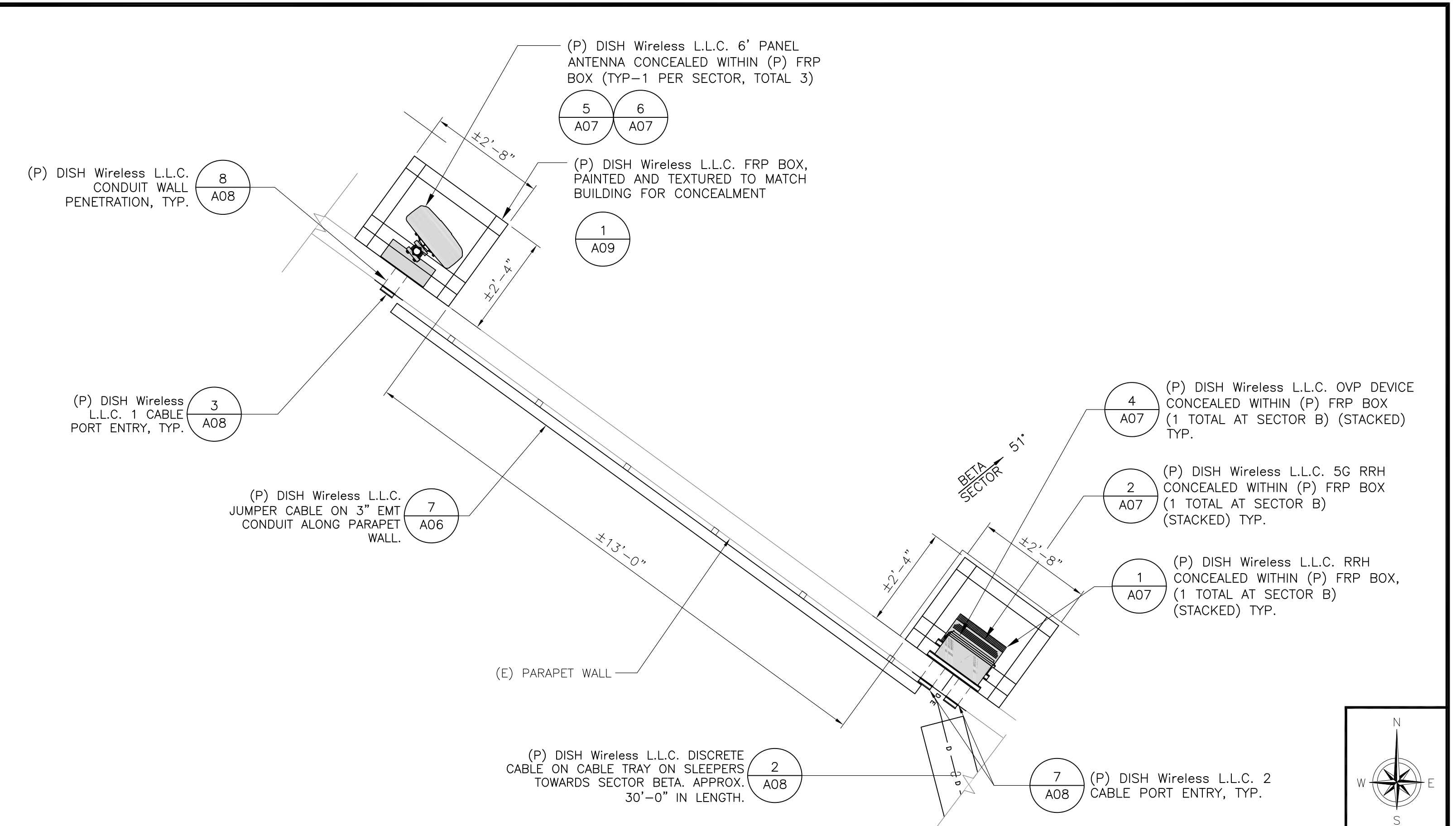
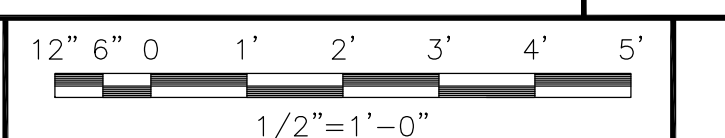
(REV. 02/24/2022)



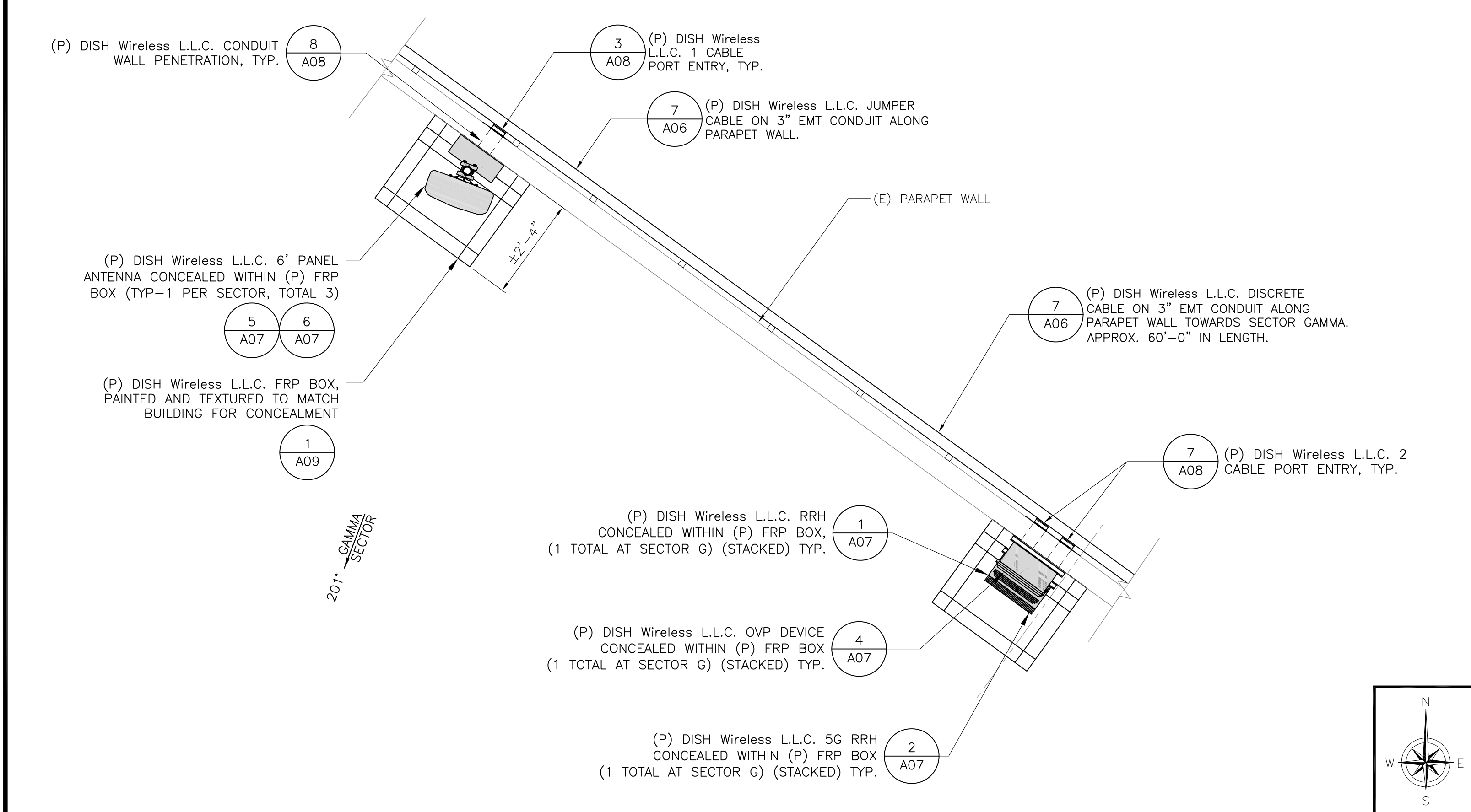
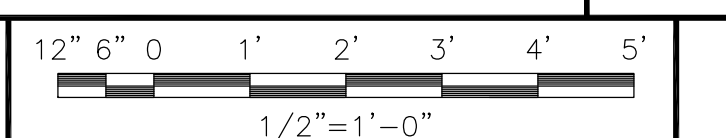
- ANTENNA NOTES**
1. THE PROPOSED LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
 2. COORDINATE AND VERIFY EXISTING ROOFING WARRANTY PRIOR TO INSTALLATION/MODIFICATIONS.
 3. CONTRACTOR TO VERIFY EXISTING ROOF CONDITIONS, PARAPET WALL AND ALL DIMENSION GIVEN IN THIS DRAWING PRIOR TO BIDDING.
 4. PROPOSED DISH Wireless FRP CONCEALMENT ENCLOSURE TO BE PAINTED AND TEXTURED TO MATCH EXISTING STRUCTURE. VERIFY PAINT MANUFACTURER AND FINISH WITH OWNER.
 5. CONTRACTOR TO VERIFY APPROVED STRUCTURAL ANALYSIS PRIOR TO INSTALLATION.
 6. CONTRACTOR IS TO REFER TO DISH Wireless' MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO VERIFY ACTUAL CABLE LENGTH DURING PRE-CONSTRUCTION WALK.
 8. GENERAL CONTRACTOR TO PROVIDE MOUNTS OR ADDITIONAL HARDWARE IF REQUIRED TO SUPPORT PROPOSED ANTENNAS. ALL ANTENNAS & MOUNTING HARDWARE SHALL CONFORM TO DESIGN REQUIREMENTS PER 2021 IBC/2022 CBC AND EIA/TIA-222-H STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.



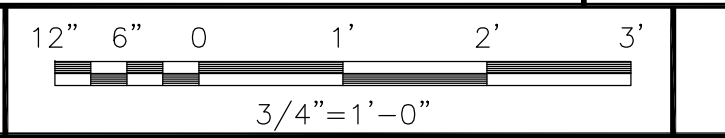
ANTENNA PLAN - ALPHA SECTOR



ANTENNA PLAN - BETA SECTOR



ANTENNA PLAN - GAMMA SECTOR



SECTOR	POSITION	ANTENNA					TRANSMISSION CABLE	
		EXISTING OR PROPOSED	MANUFACTURER - MODEL NUMBER	TECHNOLOGY	SIZE (HxW)	AZIMUTH	RAD CENTER	FEED LINE TYPE AND LENGTH
ALPHA	A1	PROPOSED	KMW - KE654L4H6-D	5G	72" x 18.1"	321°	27'-0"	(3) HIGH-CAPACITY DISCRETE CABLES (ALPHA=200', BETA=80', GAMMA=150')
BETA	B1	PROPOSED	KMW - KE654L4H6-D	5G	72" x 18.1"	51°	27'-0"	
GAMMA	C1	PROPOSED	KMW - KE654L4H6-D	5G	72" x 18.1"	201°	27'-0"	
SECTOR	POSITION	RRH		NOTES				
		MANUFACTURER - MODEL NUMBER	TECHNOLOGY	1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS. 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES. 3. INSTALL MECHANICAL DOWNTILT BRACKETS ON ALL ANTENNAS				
ALPHA	A1	SAMSUNG LOW BAND - RF4450T-71A	N26 N29 N71					
ALPHA	A1	SAMSUNG MID BAND - RF4451D-70A	N70 N66					
BETA	B1	SAMSUNG LOW BAND - RF4450T-71A	N26 N29 N71					
BETA	B1	SAMSUNG MID BAND - RF4451D-70A	N70 N66					
GAMMA	C1	SAMSUNG LOW BAND - RF4450T-71A	N26 N29 N71					
GAMMA	C1	SAMSUNG MID BAND - RF4451D-70A	N70 N66					

ANTENNA SCHEDULE

NO SCALE

TITLE SHEET FOR:
SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

ANTENNA PLAN AND SCHEDULE

PRJ NO. _____
PMT NO. _____



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IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

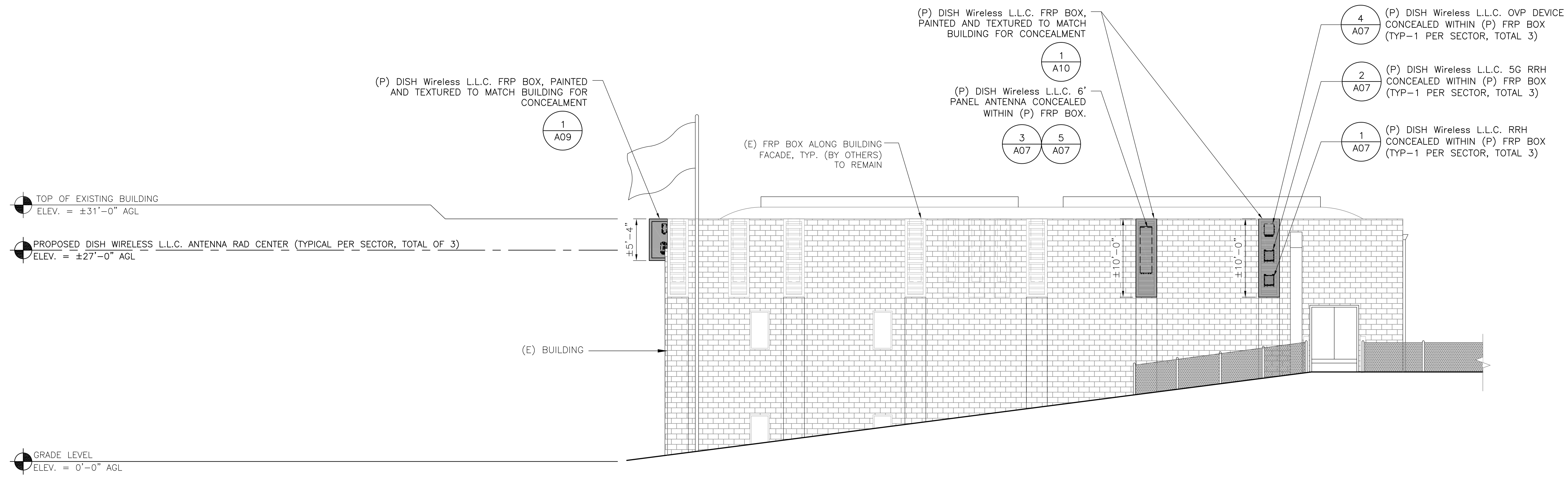


A03

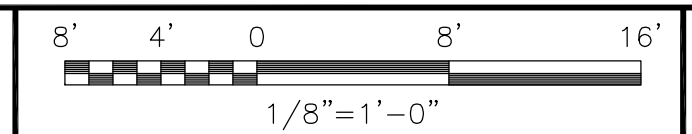
REV 02/24/2022

ANTENNA NOTES

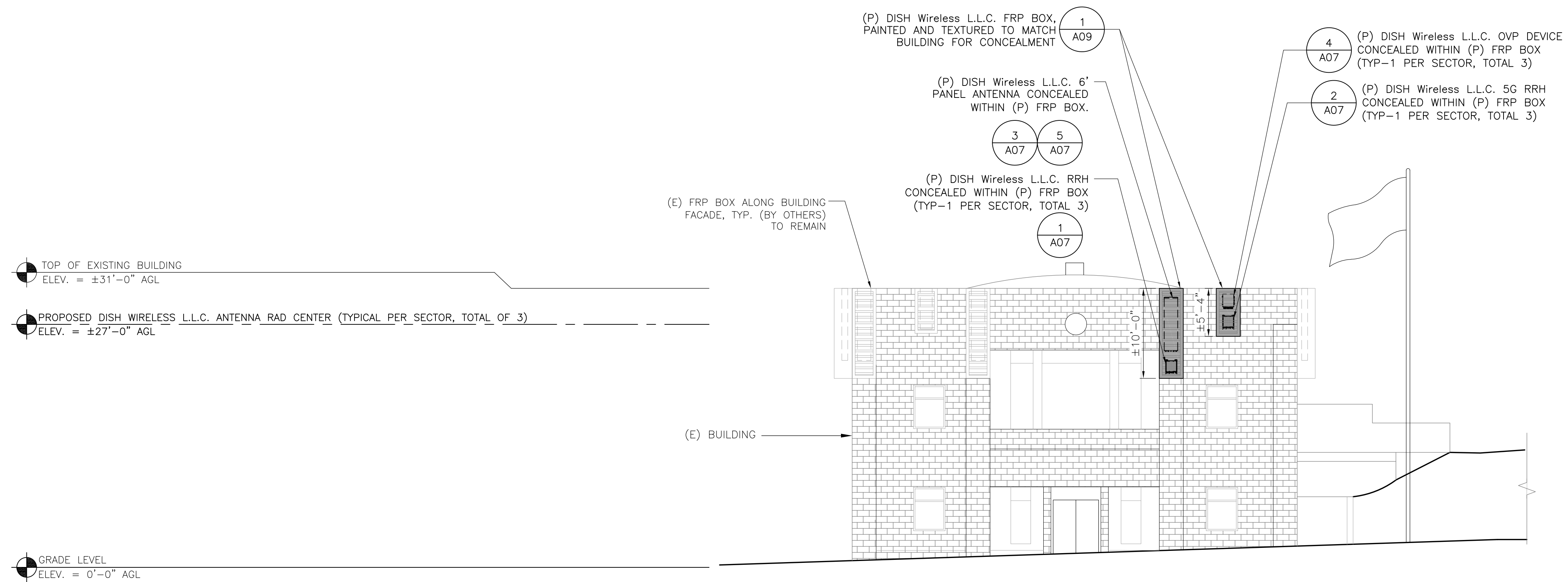
1. THE PROPOSED LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
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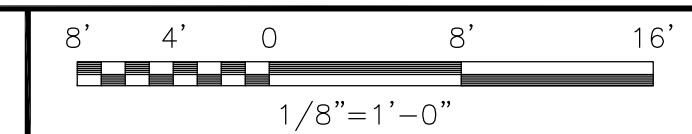
BUILDING SOUTHWEST ELEVATION



1



BUILDING NORTHWEST ELEVATION



2

TITLE SHEET FOR:

SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

SOUTHWEST AND NORTHWEST ELEVATIONS

PRJ NO. _____

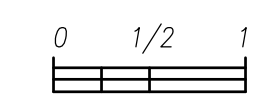
PMT NO. _____



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



16885 VIA DEL CAMPO CT., SUITE 318
SAN DIEGO, CA 92127
tel: (858) 432-4112 / (858) 432-4257



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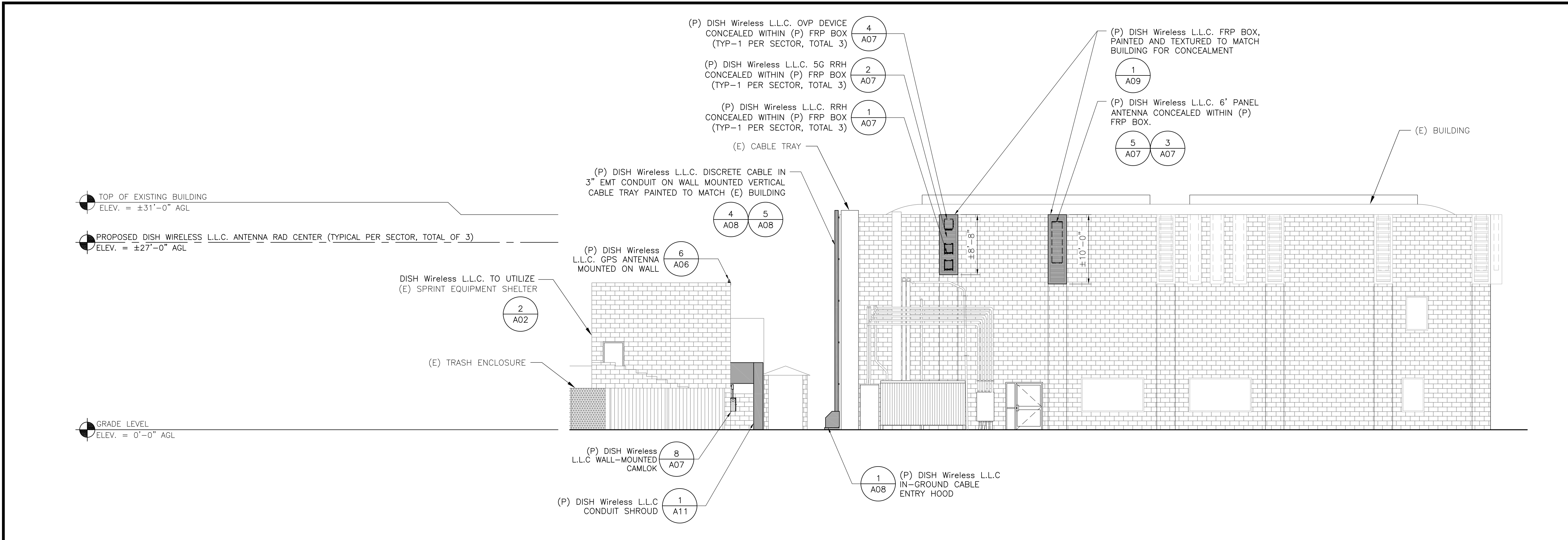


DEVELOPMENT SERVICES DEPARTMENT

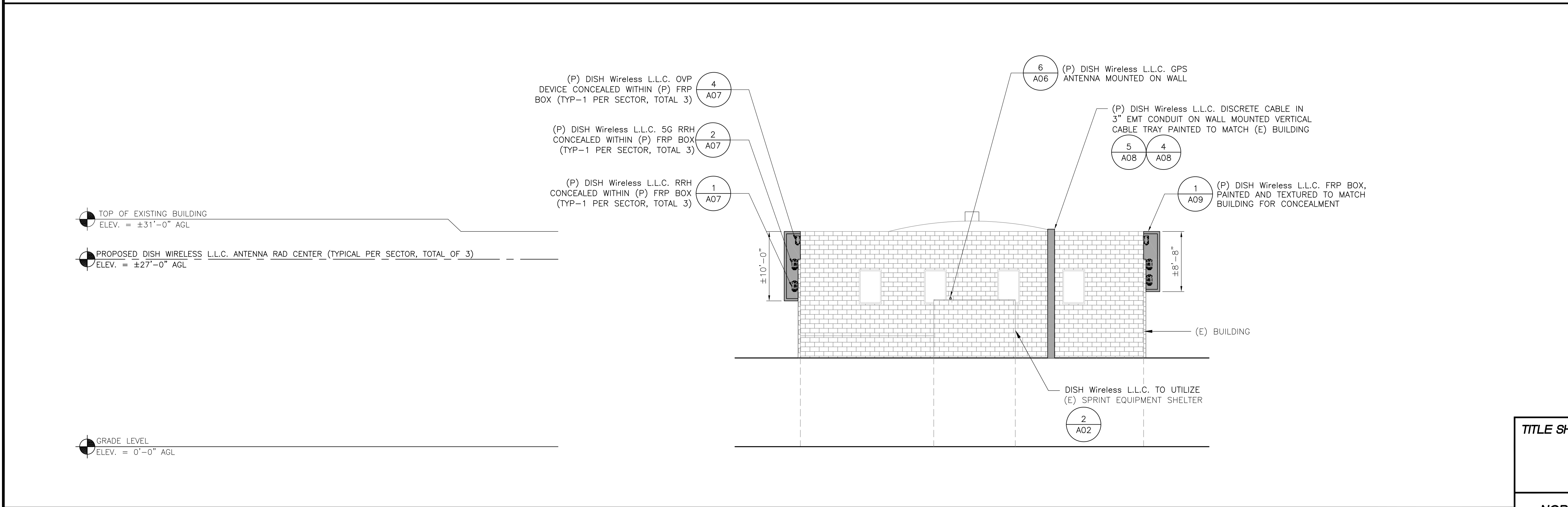
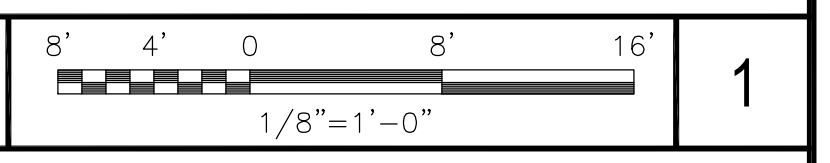
A04

(REV. 02/24/2022)

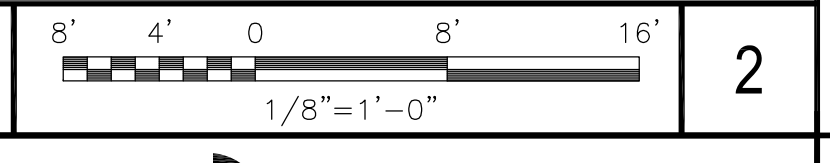
- ANTENNA NOTES**
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BUILDING NORTHEAST ELEVATION



BUILDING SOUTHEAST ELEVATION



TITLE SHEET FOR:
SDSAN00499A
 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

NORTHEAST AND SOUTHEAST ELEVATIONS



0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1\"/>



DEVELOPMENT SERVICES DEPARTMENT

A05

(REV. 02/24/2022)

FIF RACK LOADED	
DIMENSIONS (HxWxD):	83.99"x26"x28.5"
WEIGHT:	±800 lbs

PLAN
SIDE
FRONT

ELEVATION A
ELEVATION B
(P) FIF RACK
(E) CONCRETE FLOOR
(P) 1/2" HILTI KWIK BOLT TZ2 CS W/ 3-1/4" MIN EMBEDMENT, (TYP.-4 TOTAL)

CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE	
ENCLOSURE DIMS (HxWxD)	20"x20"x9"
ENCLOSURE WEIGHT	20 lbs
MOUNTING	WALL
COMPLIANCE	TYPE 4

SIDE
BACK
FRONT

FIF RACK DETAIL NO SCALE 1

FIF RACK CONNECTION DETAIL NO SCALE 2

FIBER TELCO ENCLOSURE DETAIL NO SCALE 3

RAYCAP PPC RDIAC-2465-P-240-MTS	
ENCLOSURE DIMENSIONS (HxWxD):	39"x22.855"x12.593
WEIGHT:	80 lbs
OPERATING AC VOLTAGE	240/120 1 PHASE 3W+G

TOP

COX / MULTILINK FIBER NID ENCLOSURE	
DIMENSIONS (HxWxD Approx.):	36.2"x29.0"x12.9"
WEIGHT	85 lbs

WALL MOUNT HANGER BRACKETS
PLAN VIEW DOOR OPEN
LEFT VIEW
RIGHT VIEW
FRONT VIEW
BOTTOM VIEW

ROSENBERGER GPSGLONASS-36-N-S	
DIMENSION (DIA x H)	69mm x 98.5mm
WEIGHT (WITH ACCESSORIES)	515.74g
CONNECTOR	N-FEMALE
FREQUENCY RANGE	1559 MHz ~ 1610.5MHz

TOP
BACK
SIDE

CABINET DETAIL NO SCALE 4

FIBER NID ENCLOSURE DETAIL NO SCALE 5

GPS ANTENNA DETAIL NO SCALE 6

CABLE WALL MOUNT SUPPORT	
UNISTRUT TYPE	GRAINGER P1000T
UNISTRUT DIMENSIONS (HxWxD)	1 5/8" x 1 5/8" x 12"
WEIGHT/ VOLUME	1.85 LB PER FOOT
ULTIMATE LOAD CAPACITY	718.5 LB

NOTES:
1. ALL HARDWARE AND PARTS SHALL BE HOT DIPPED GALVANIZED WITH LOCK WASHERS AND HEAVY HEX NUTS.
2. VERTICAL CABLE MOUNT: 4'-0" MAX. UNISTRUT SEPARATION
3. HORIZONTAL CABLE MOUNT: 3'-0" MAX UNISTRUT SEPARATION

PLAN
SIDE
1/2" STAINLESS STEEL HILTI KWIK BOLT-TZ2 WITH 2-1/2" (MIN.) EMBEDMENT DEPTH PER ICC-ES ESR #4266

1.75"φ
27" MIN BEND RADIUS
CU12PSM6P4XXX (4 AWG CONDUCTORS)

1.41"φ
22" MIN BEND RADIUS
CU12PSM9P8XXX (8 AWG CONDUCTORS)

1.60"φ
24" MIN BEND RADIUS
CU12PSM9P6XXX (6 AWG CONDUCTORS)

MINIMUM OF 75% OR 270° IN ANY DIRECTION
GPS
GPS UNIT
OBSTRUCTIONS MUST BE BELOW 10'

CABLE WALL MOUNT SUPPORT DETAIL NO SCALE 7

CABLES UNLIMITED HYBRID CABLE MINIMUM BEND RADIUSES NO SCALE 8

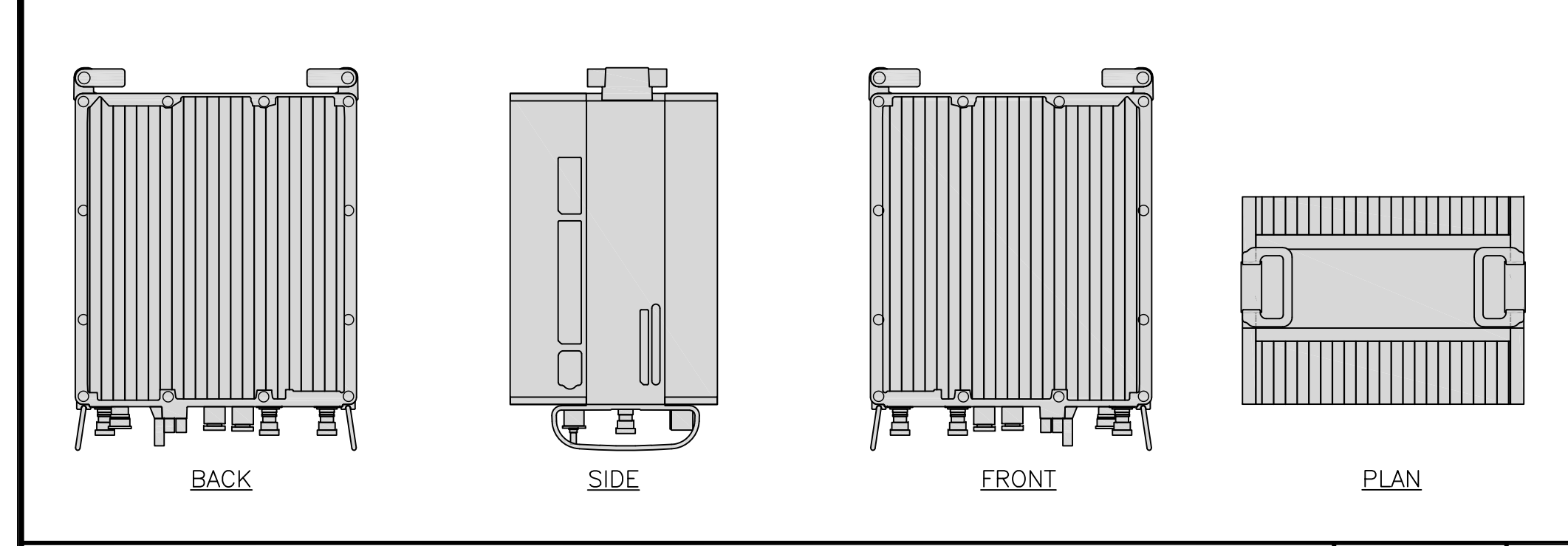
GPS MINIMUM SKY VIEW REQUIREMENTS NO SCALE 9

	TITLE SHEET FOR: SDSAN00499A 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107	
	EQUIPMENT DETAILS	PRJ NO. _____ PMT NO. _____
The City of SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT		A06

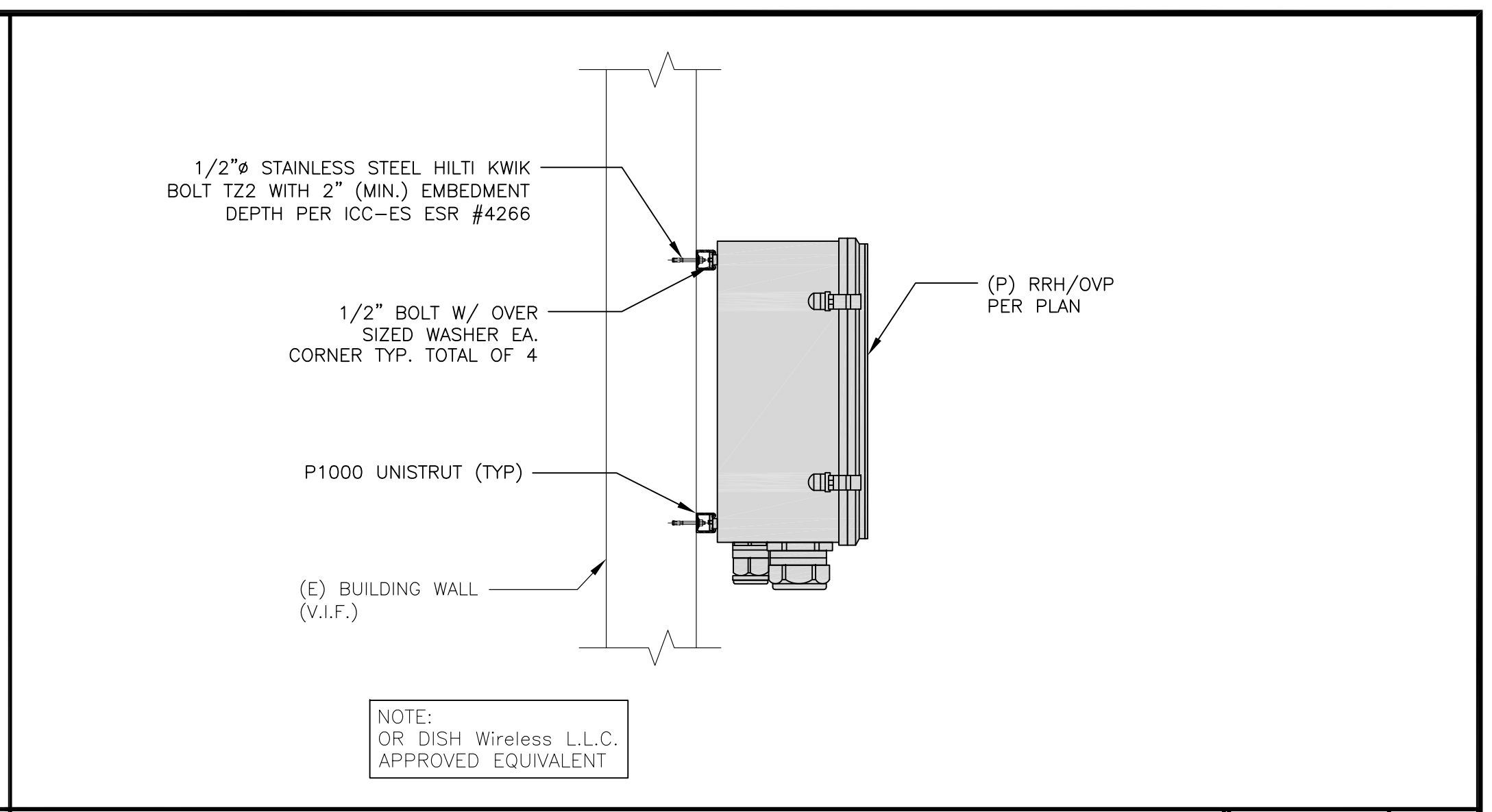
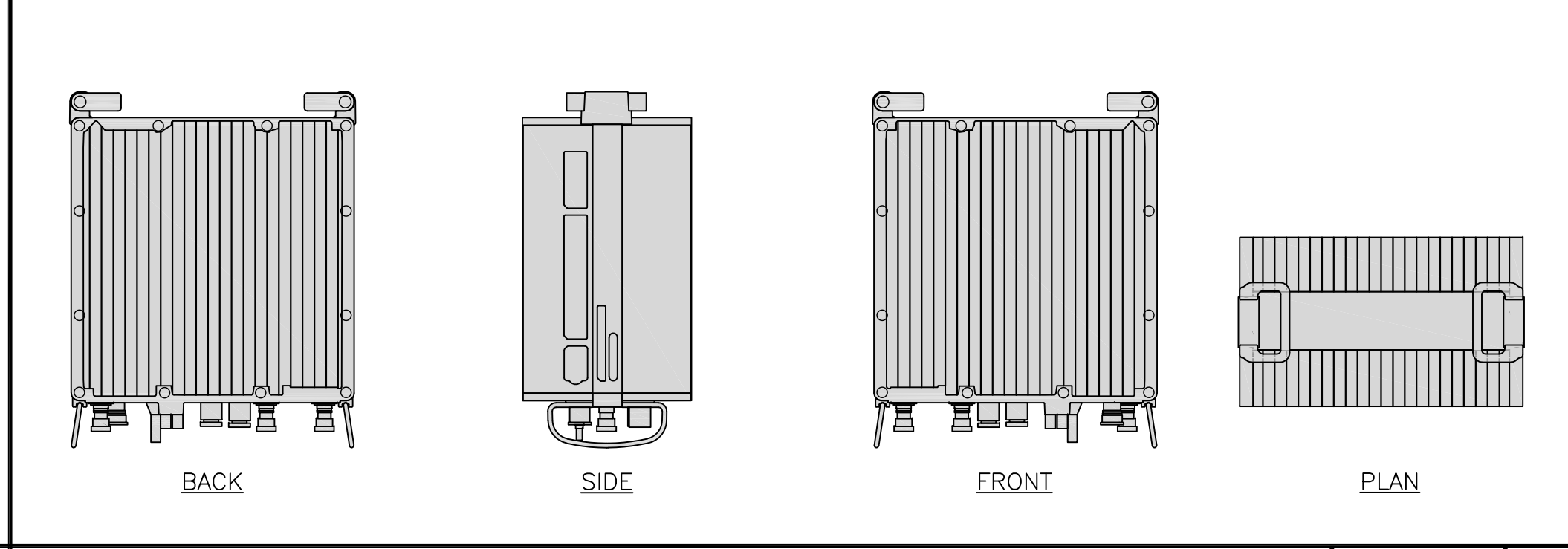
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(REV. 02/24/2022)

SAMSUNG – LOW BAND RF4450T-71A	
DIMENSIONS (HxWxD)	15"x16.5"x11"
WEIGHT	94.6 lbs
CONNECTOR TYPE	4.3-10 RF CONNECTOR -48VDC
INPUT VOLTAGE	(-36 to 58 VDC)



SAMSUNG – MID BAND RF4451D-70A	
DIMENSIONS (HxWxD)	15"x15"x8.9"
WEIGHT	61.3 lbs
CONNECTOR TYPE	4.3-10 RF CONNECTOR -48VDC
INPUT VOLTAGE	(-36 to 58 VDC)

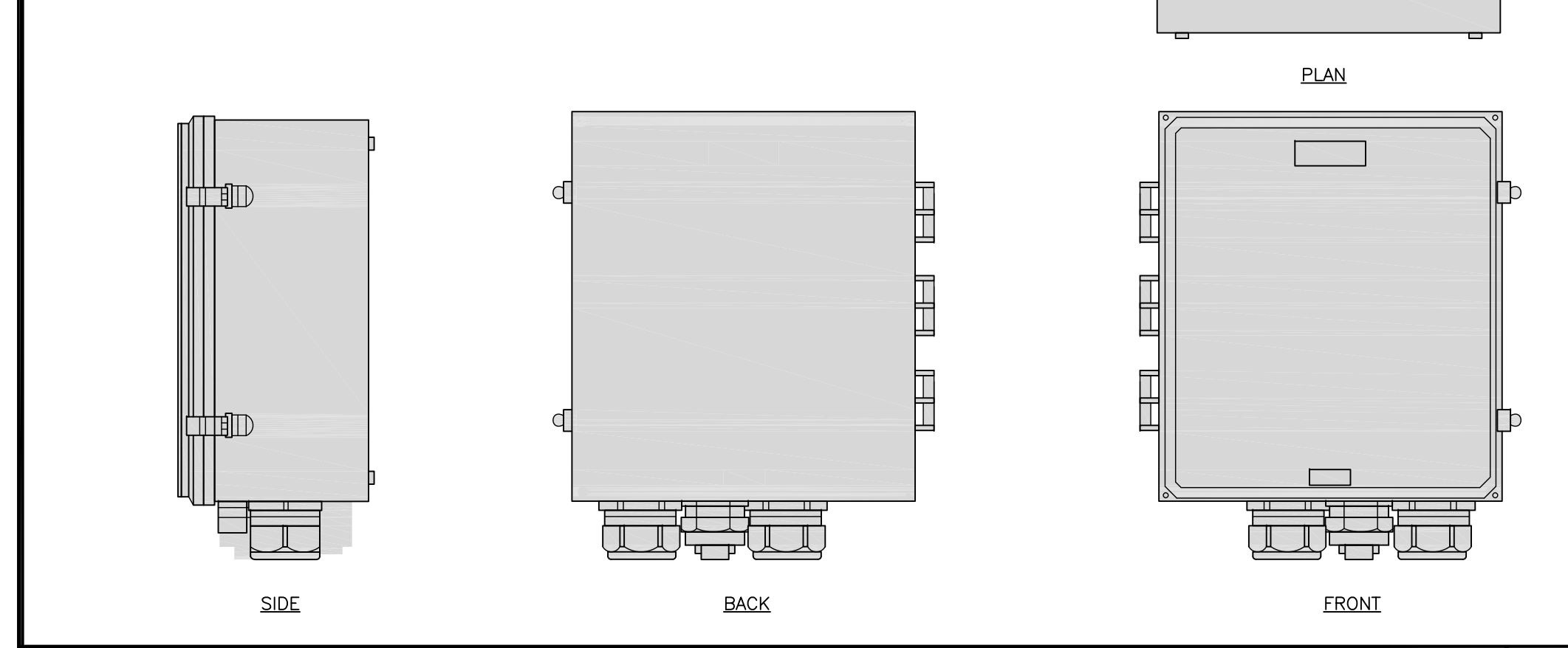


RRH_DETAIL NO SCALE 1

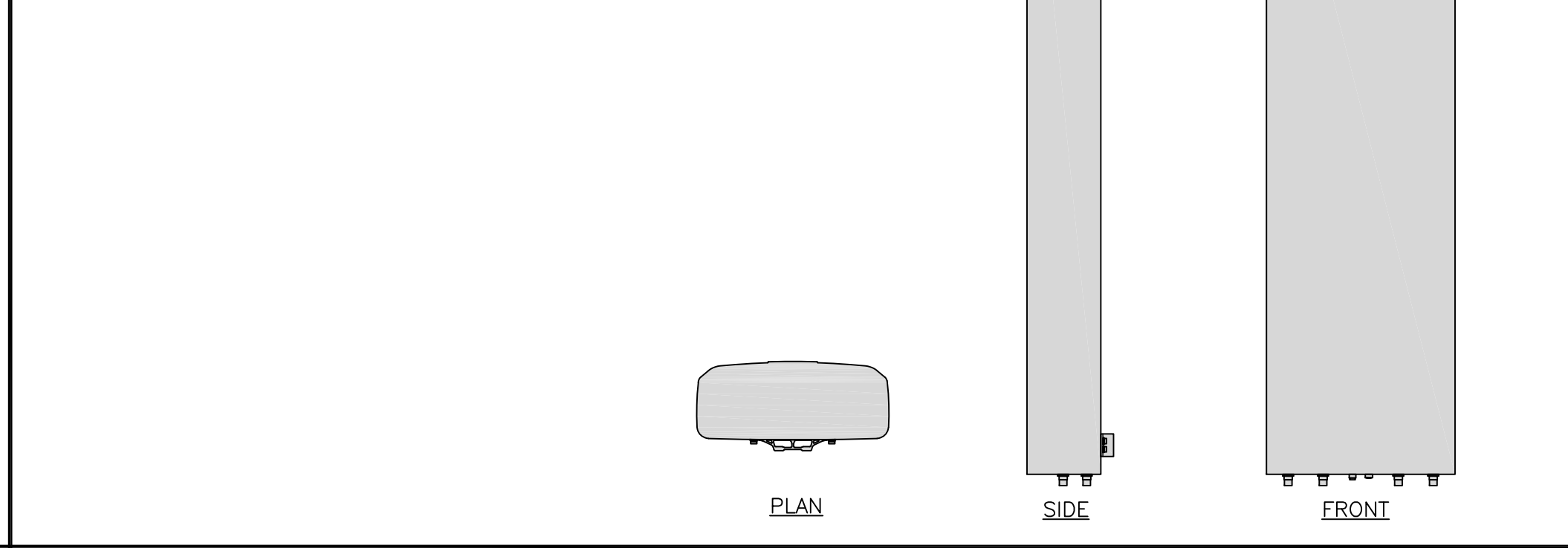
RRH_DETAIL NO SCALE 2

RRH/OVP UNISTRUT WALL MOUNT DETAIL NO SCALE 3

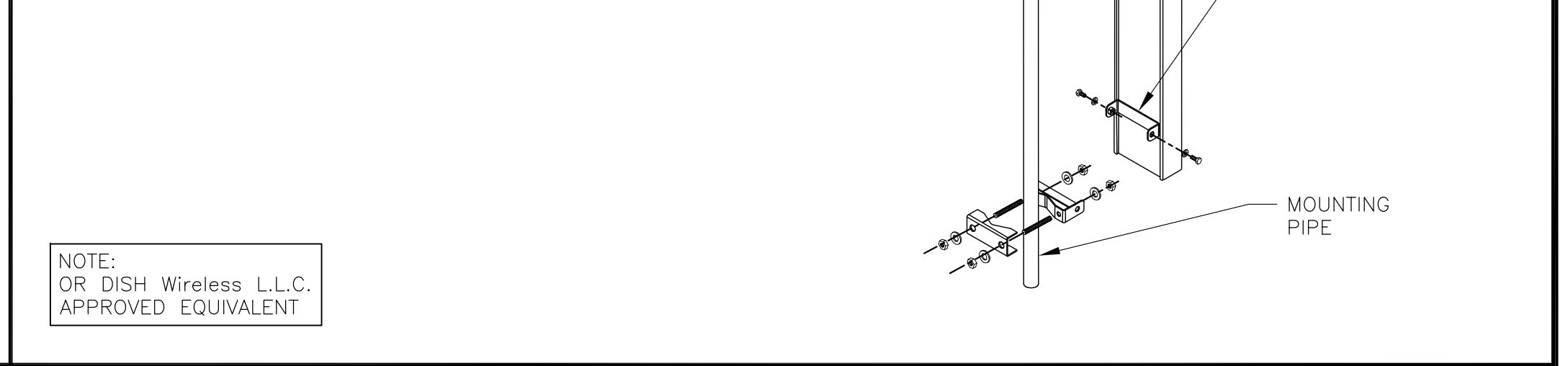
RAYCAP RDIDC-4045-PF-48 SURGE PROTECTION DEVICE (OVP)	
DIMENSIONS (HxWxD)	14" x 16" x 8"
WEIGHT	21.85 LBS



KMW KE654LH6-D	
DIMENSIONS (HxWxD)	72"x18.1"x7.1"
RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE
WEIGHT	52.9 lbs
WEIGHT WITH BRACKETS	71.9 lbs



M04 MOUNTING BRACKET HPA-33R-BUU-H4-K	
WIDTH	5"
DEPTH	2"
HEIGHT	8"
TOTAL WEIGHT	1.5 lbs
HOUSING MATERIAL	ASA/ABS/ALUMINUM
RADOME COLOR	LIGHT GRAY
CONNECTOR	1x8-PIN DAISY CHAIN

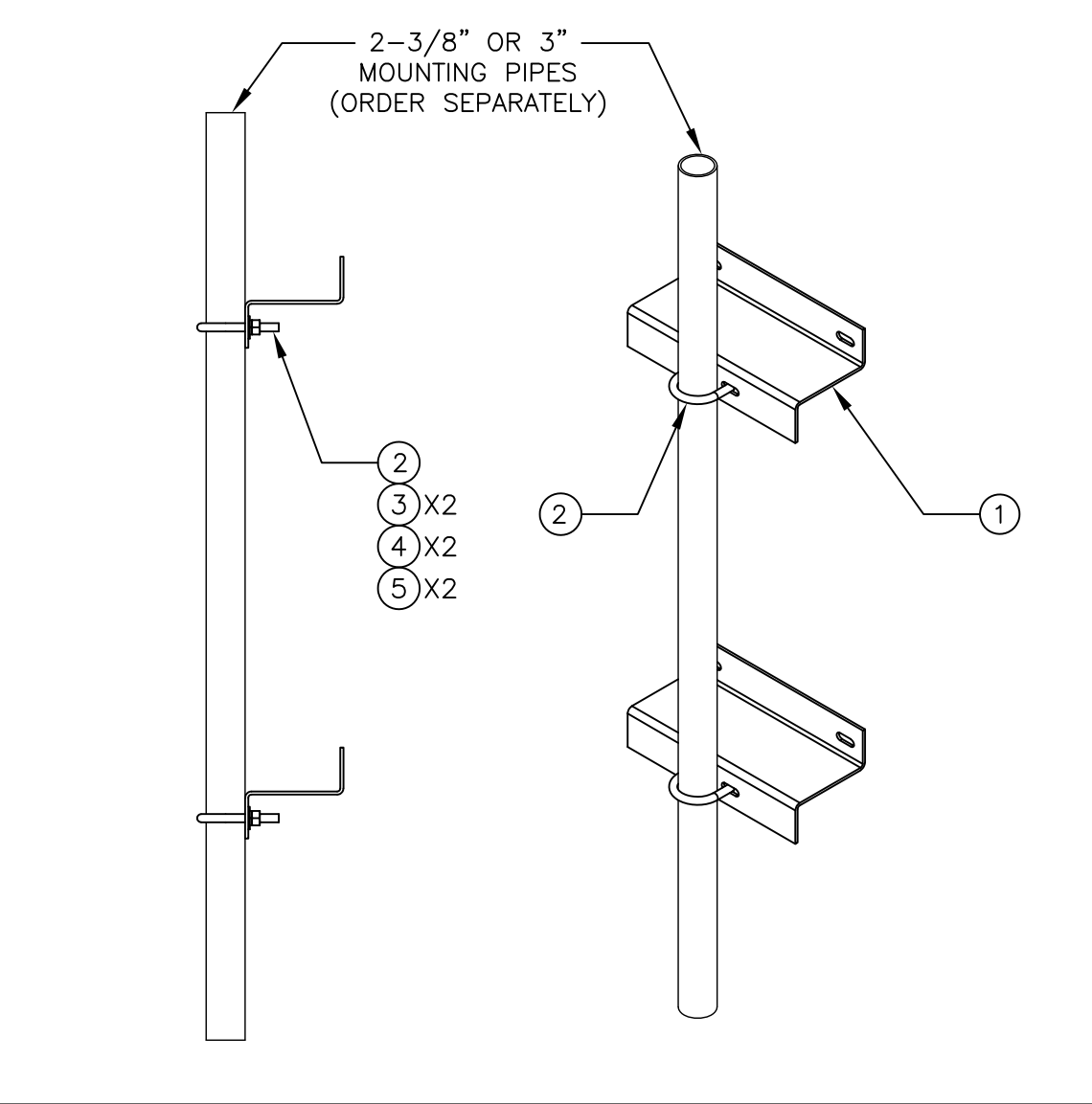


SURGE PROTECTION DEVICE DETAIL (OVP) NO SCALE 4

ANTENNA DETAIL NO SCALE 5

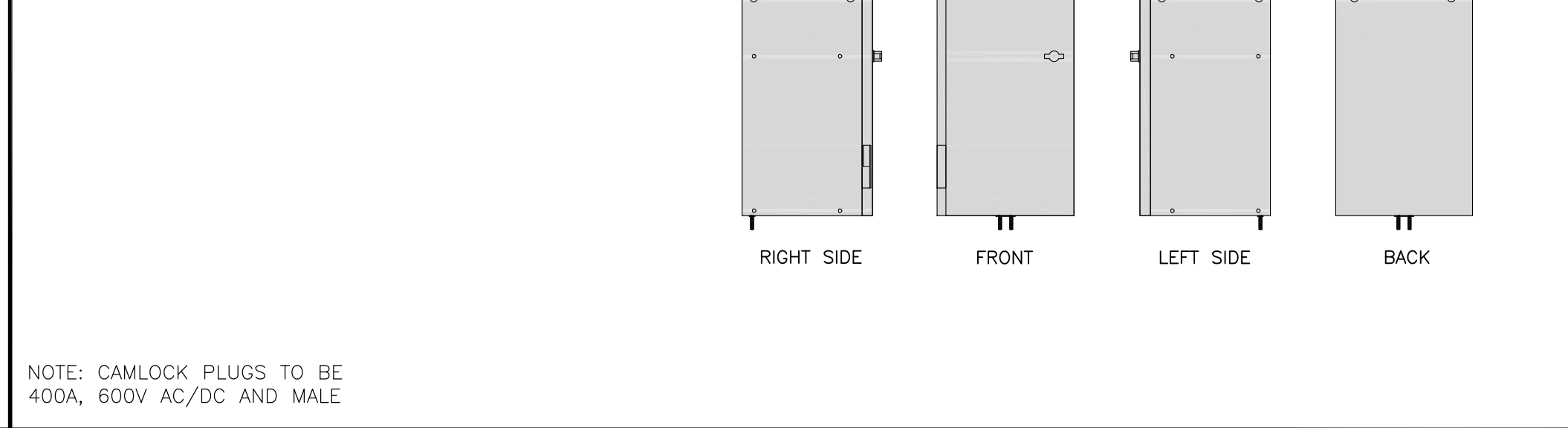
ANTENNA MOUNTING DETAIL NO SCALE 6

SITE PRO1 SP250-6 CANTILEVER WALL MOUNTS		
PART NO.	DESCRIPTION	
1	X-S250-L	WALL MOUNT BRACKET
2	X-UB1212	1/2"x2-1/2"x4-1/2"x2" U-BOLT (HDG)
3	G12FW	1/2" HDG USS FLATWASHER
4	G12LW	1/2" HDG LOCKWASHER
5	G12NUT	1/2" HDG HEAVY 2H HEX NUT



ICGC-1P INTERSECT REMOTE GENERATOR PLUG	
DIMENSIONS (HxWxD)	23"Hx10"Wx9.5"D
WEIGHT	14 LBS
ELECT RATING	120V/240V 1PH 200A, 10KA SHORT CIRCUIT
NEMA RATING	3R

- CAM-LOK COLOR CODE
- GREEN = GROUND
 - WHITE = NEUTRAL
 - BLACK = LINE 1
 - RED = LINE 2



ANTENNA WALL MOUNT DETAIL NO SCALE 7

REMOTE GENERATOR PLUG (CAMLOCK) NO SCALE 8

NOT USED NO SCALE 9

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

16885 VIA DEL CAMPO CT., SUITE 318
SAN DIEGO, CA 92127
tel: (858) 432-4112 / (858) 432-4257

0 1/2 1

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The City of
SAN DIEGO

DEVELOPMENT SERVICES DEPARTMENT

TITLE SHEET FOR:
SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

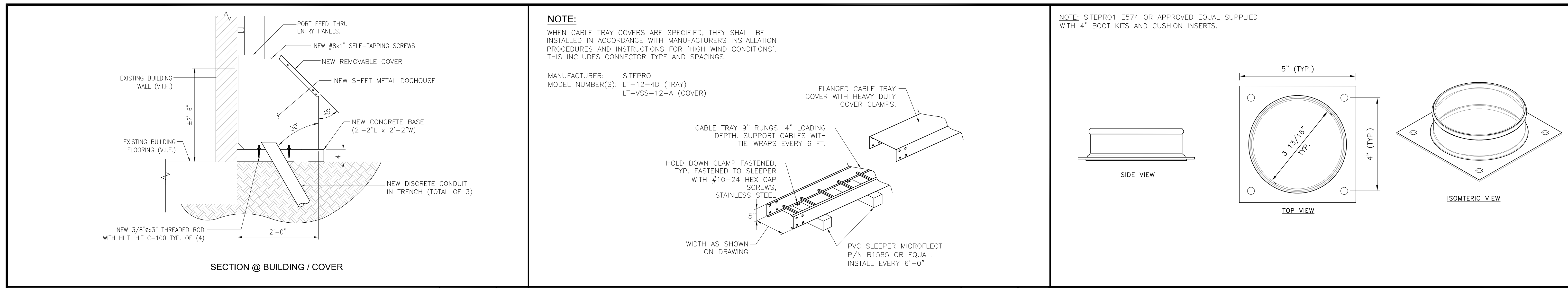
EQUIPMENT DETAILS

PRJ NO. _____

PMT NO. _____

A07

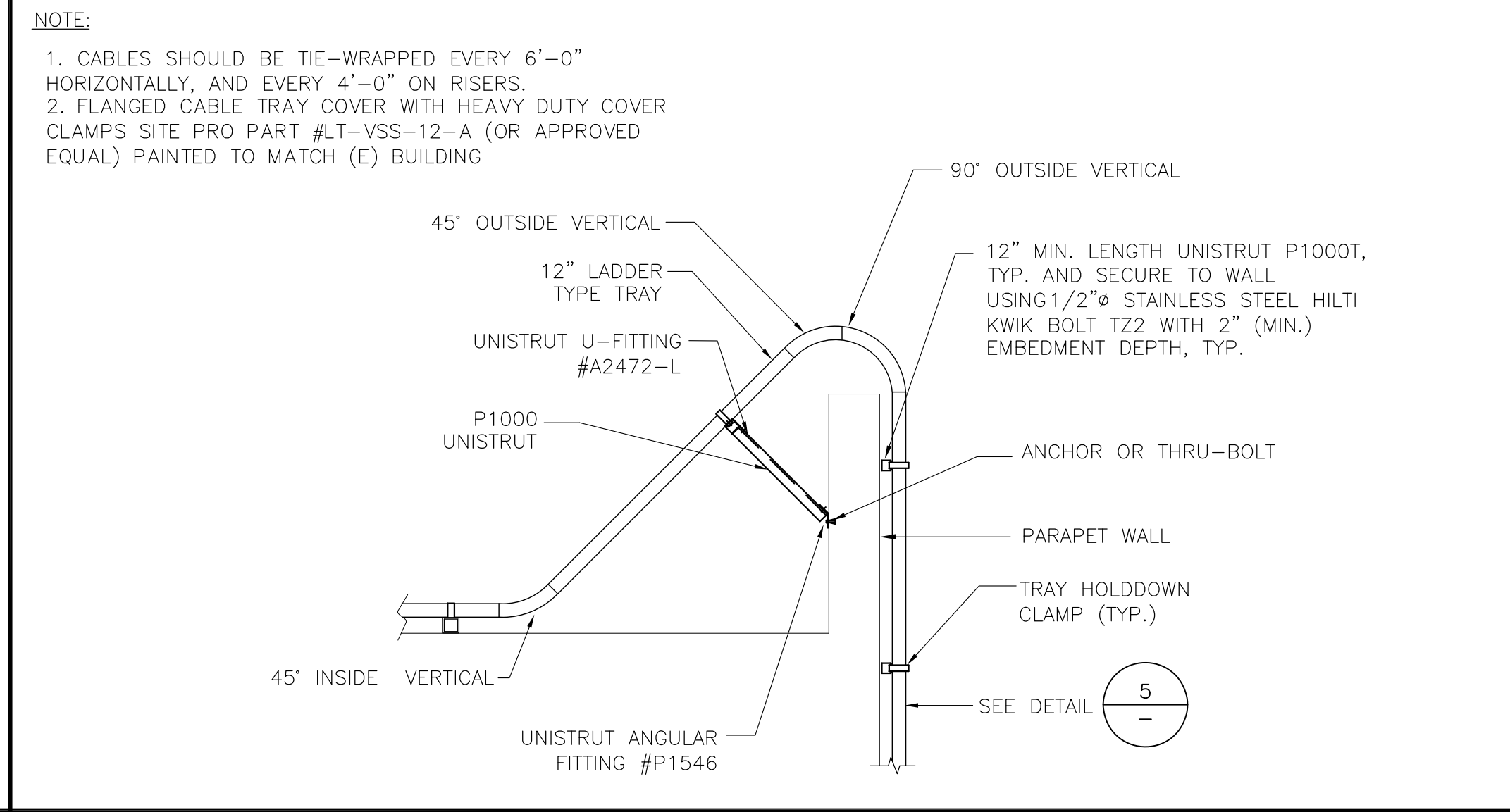
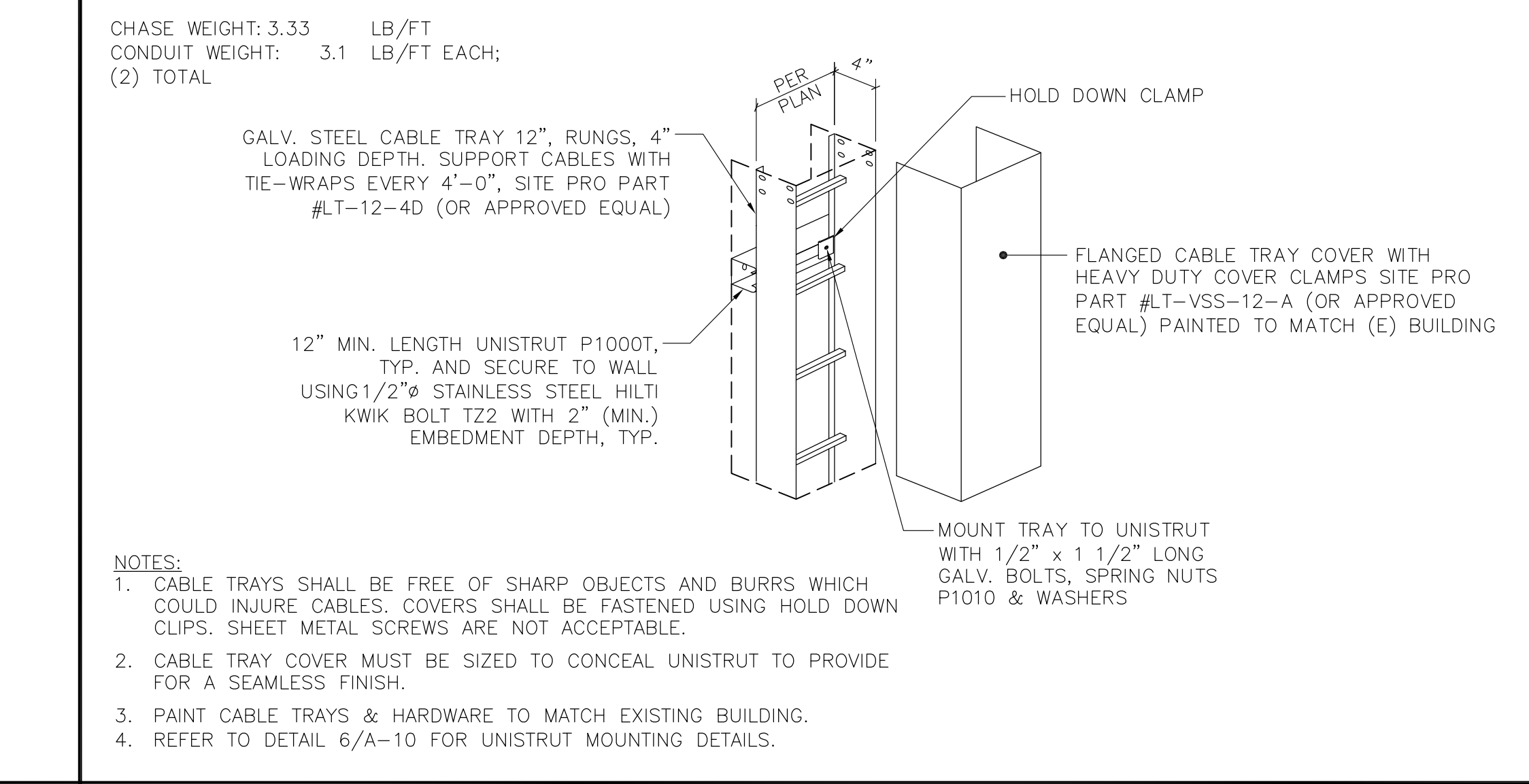
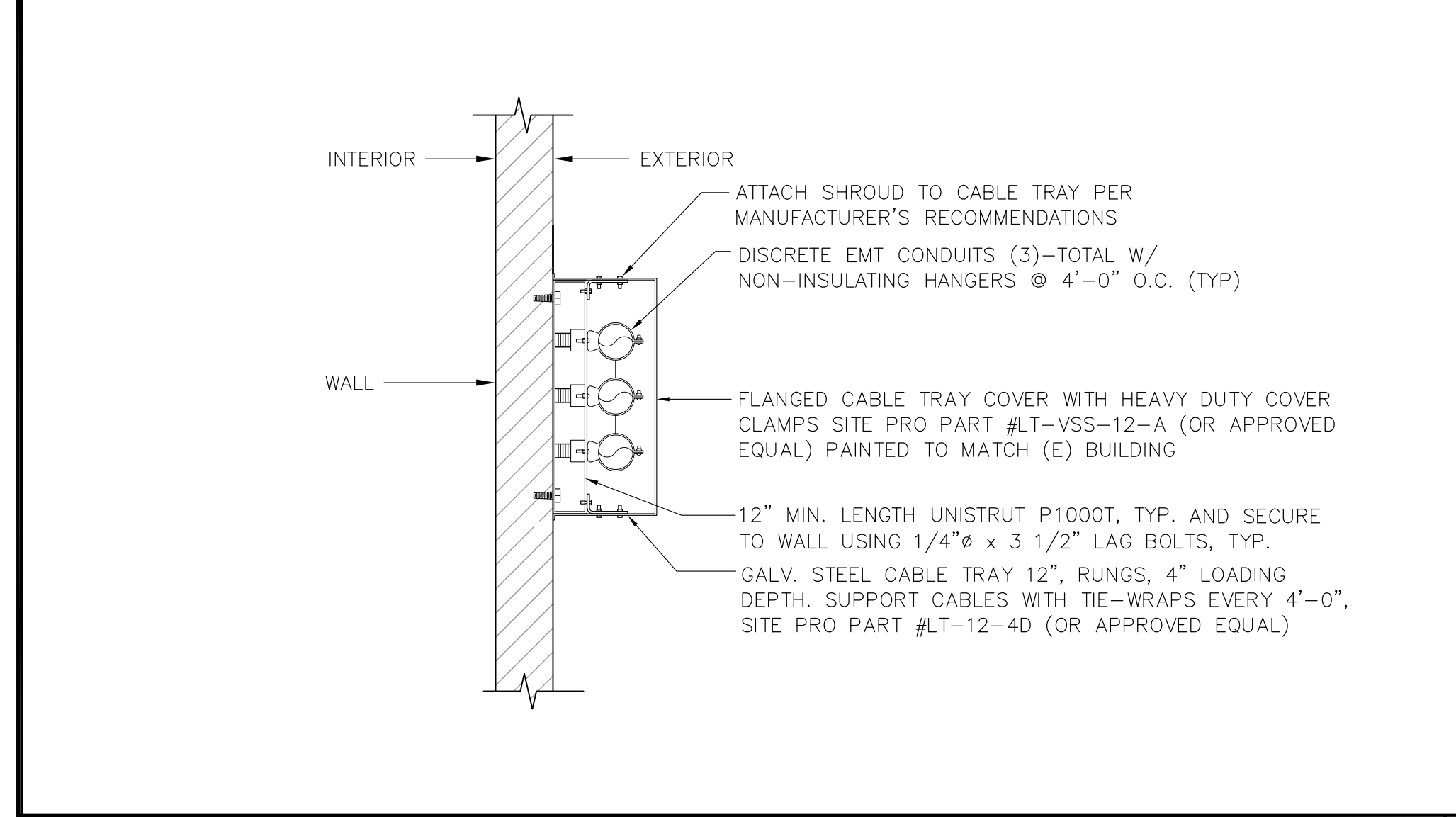
(REV. 02/24/2022)



IN-GROUND CABLE ENTRY HOOD NO SCALE 1

CABLE TRAY DETAIL NO SCALE 2

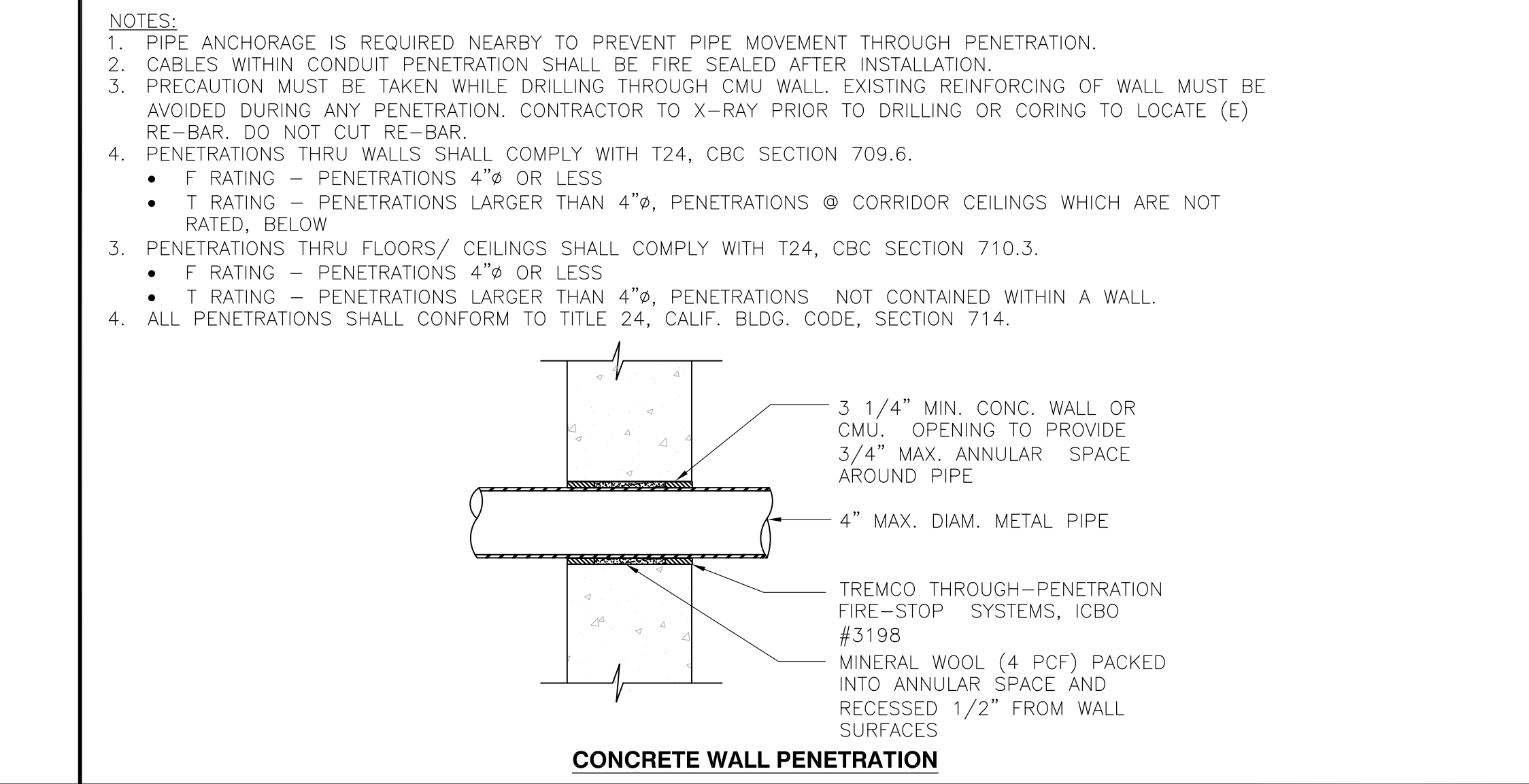
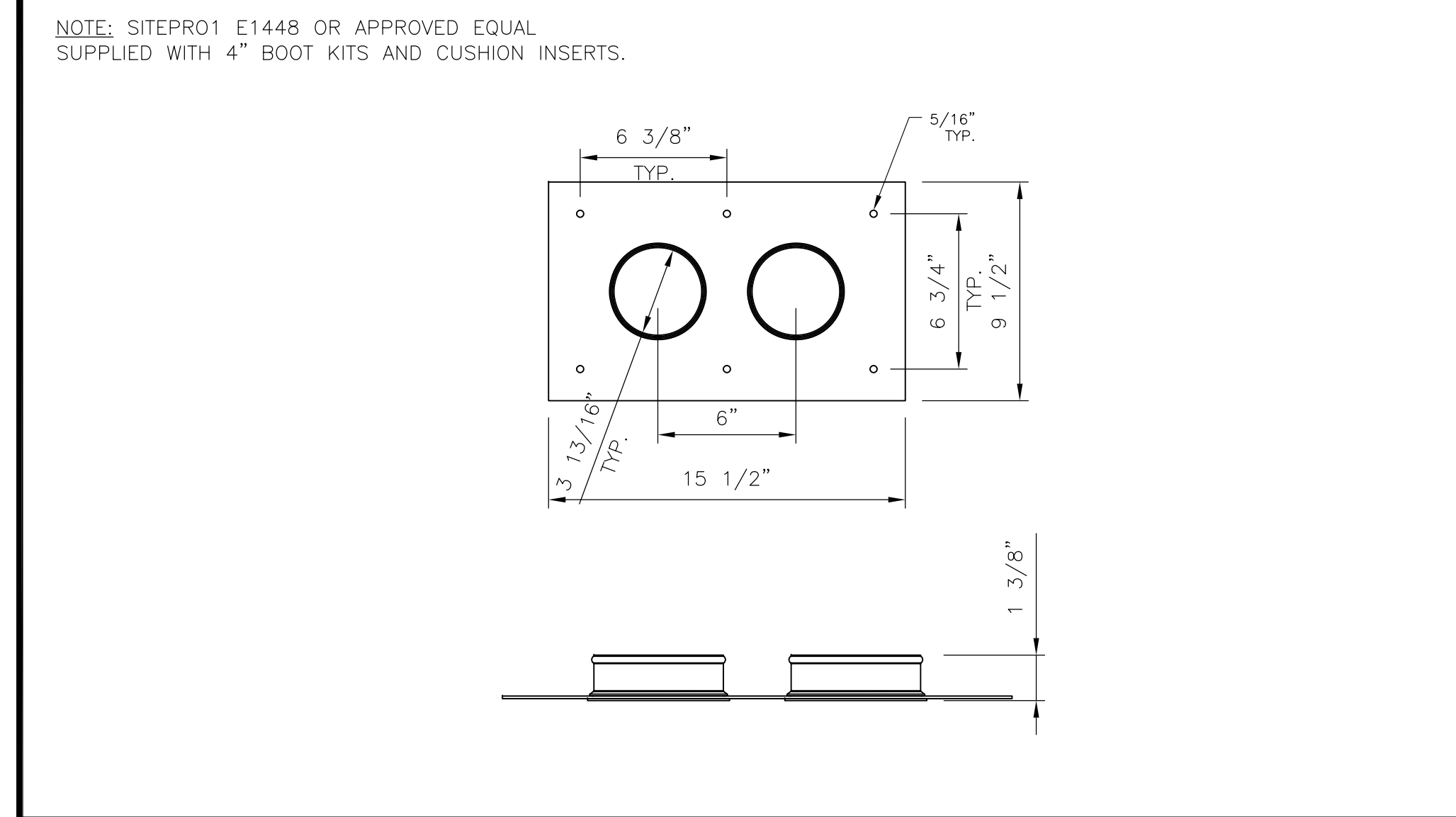
4" PORT (1X1)-ENTRY PANEL DETAIL NO SCALE 3



CONDUIT CHASE @ WALL NO SCALE 4

VERTICAL CABLE TRAY NO SCALE 5

CABLE TRAY PARAPET TRANSITION NO SCALE 6



NOT USED NO SCALE 9

TITLE SHEET FOR:
SDSAN00499A
 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

EQUIPMENT DETAILS PRJ NO. _____
 PMT NO. _____

4" PORT - ENTRY DETAIL NO SCALE 7

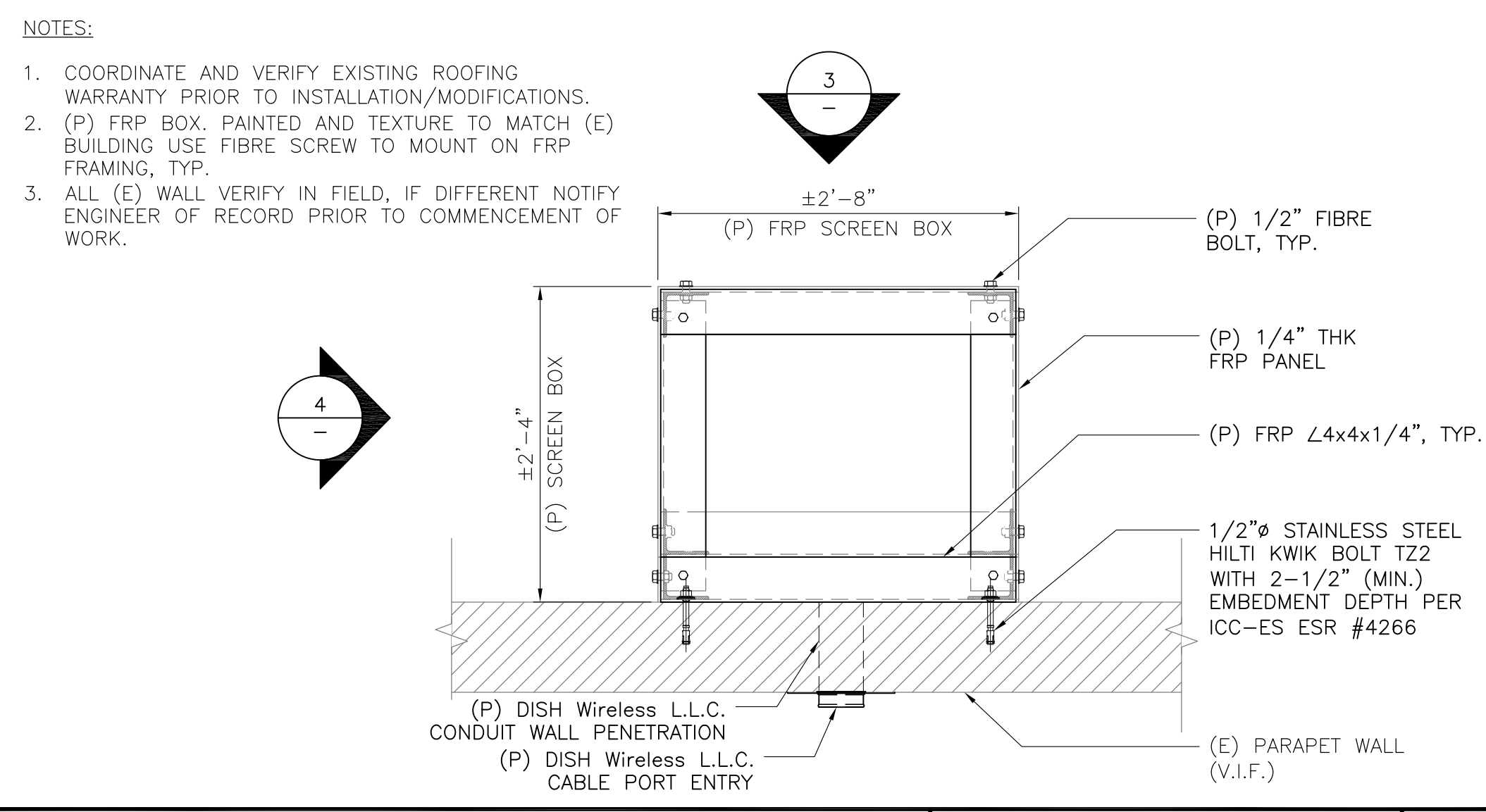
CONDUIT PENETRATION NO SCALE 8

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DEVELOPMENT SERVICES DEPARTMENT

A08

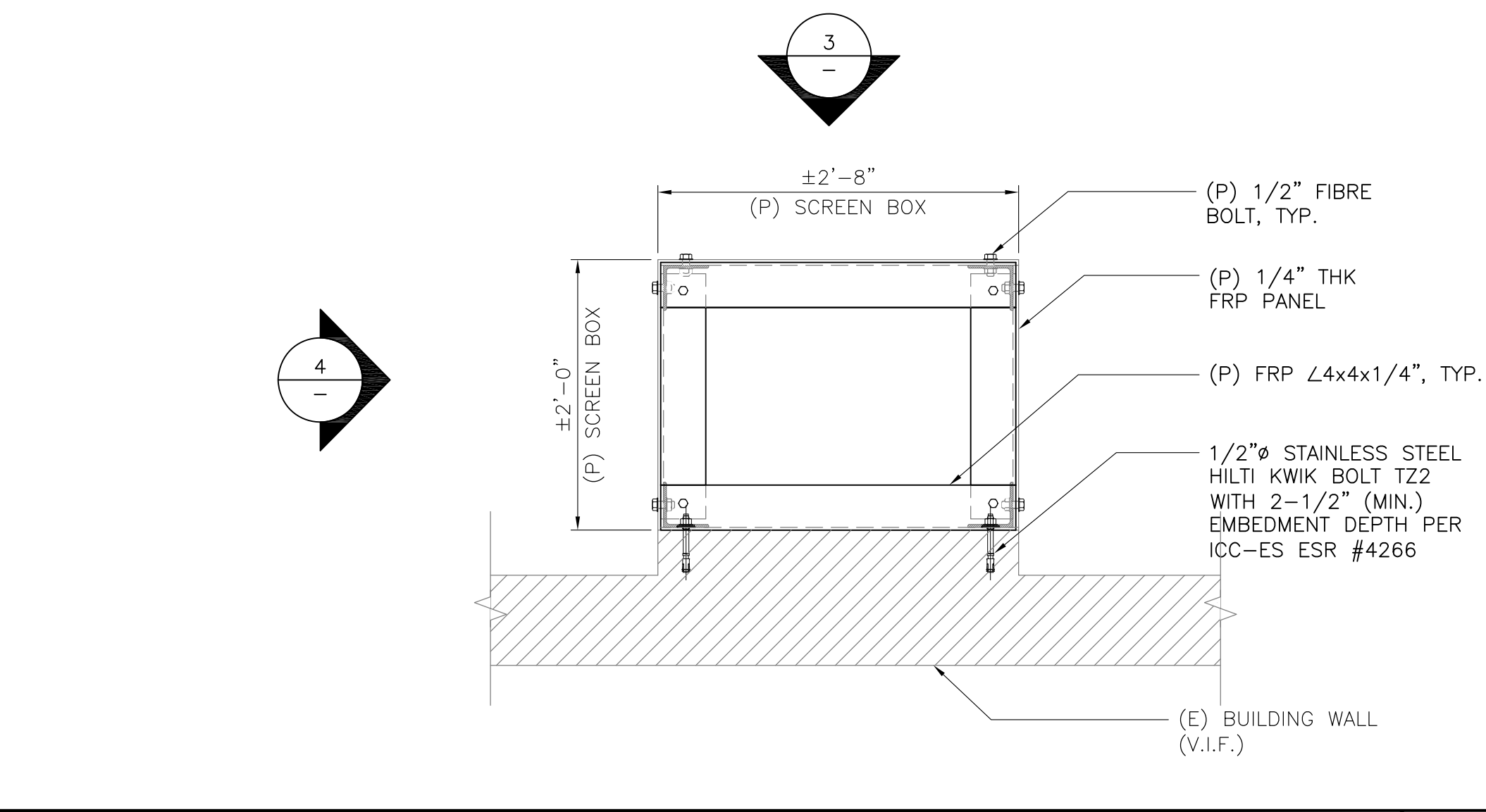
REV. 02/24/2022



TYPICAL FRP SCREEN BOX

12" 9" 6" 3" 0 1" 2" 1"=1'-0"

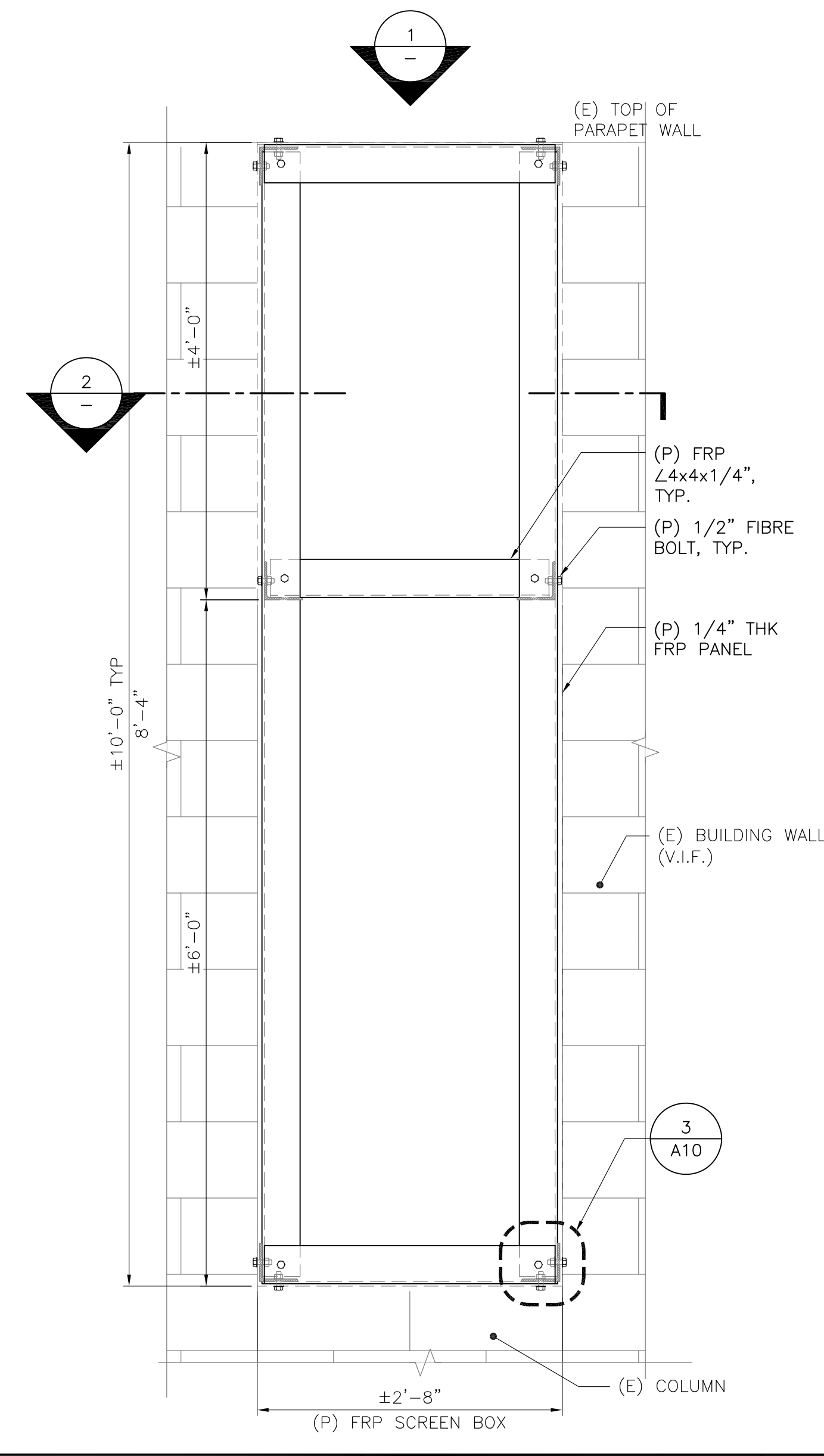
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TYP. SECTION

12" 9" 6" 3" 0 1" 2" 3"=1'-0"

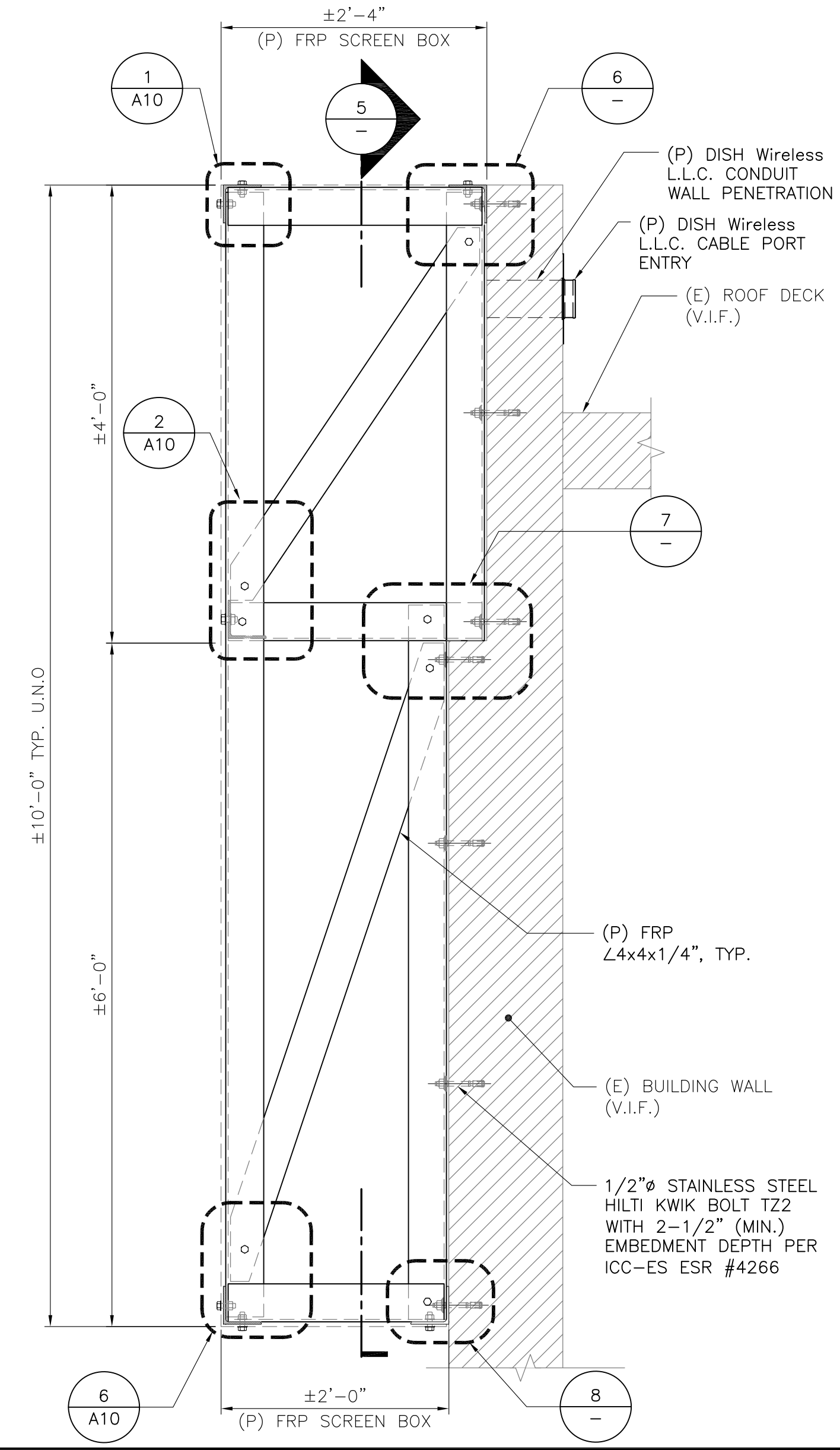
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TYP. ELEVATION

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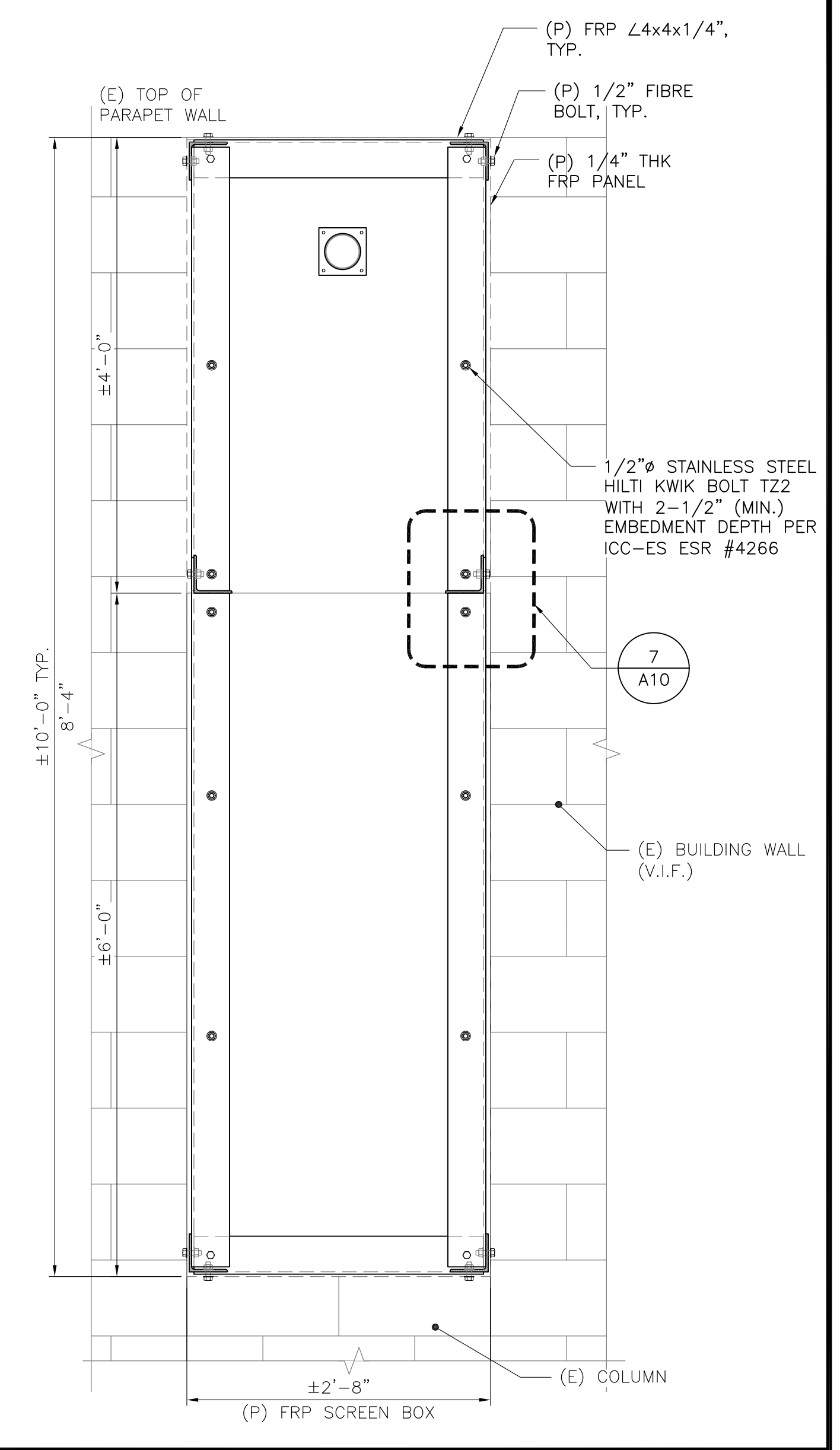
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TYP. ELEVATION

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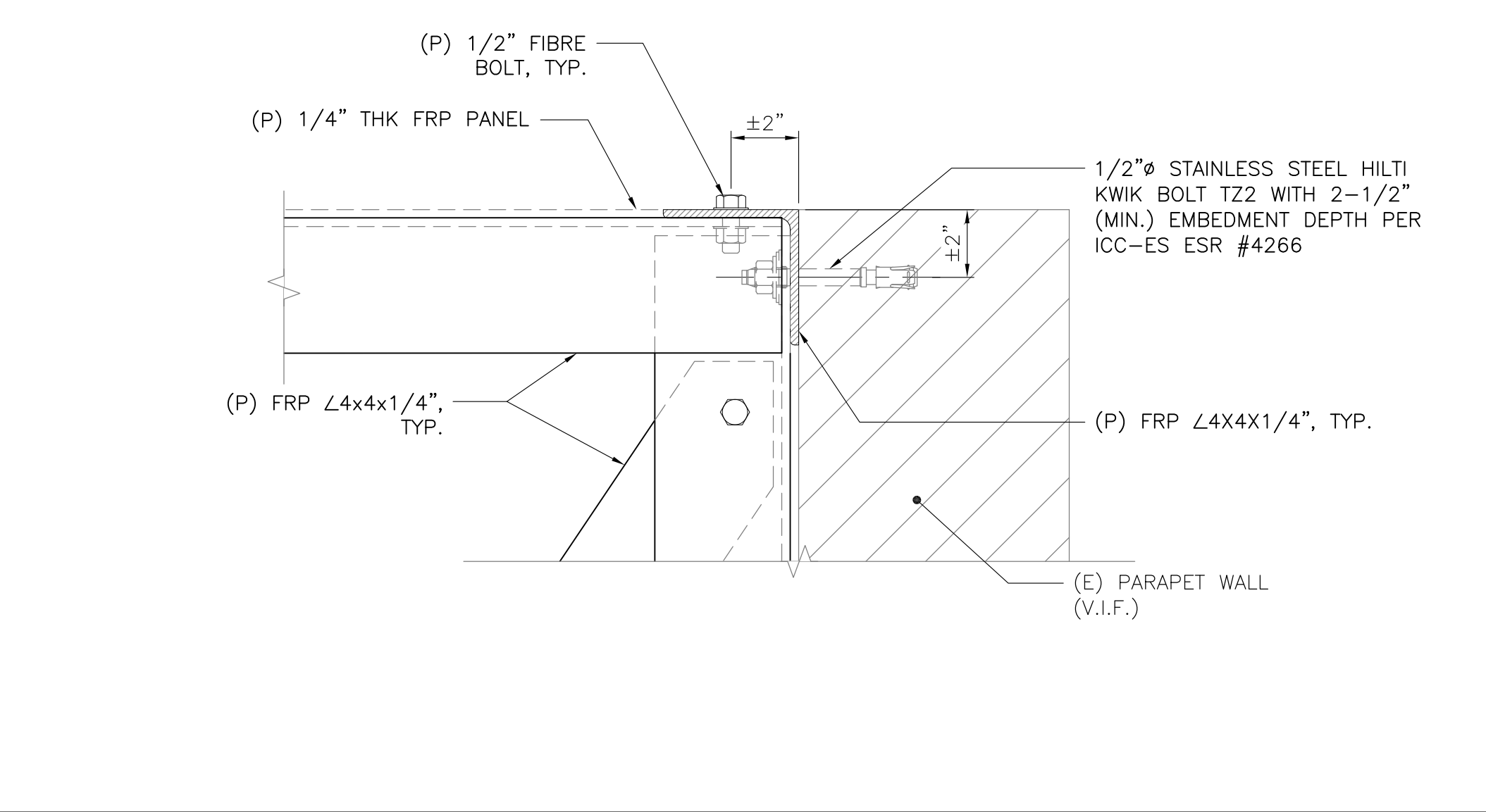
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TYP. SECTION

12" 9" 6" 3" 0 1" 2" 1"=1'-0"

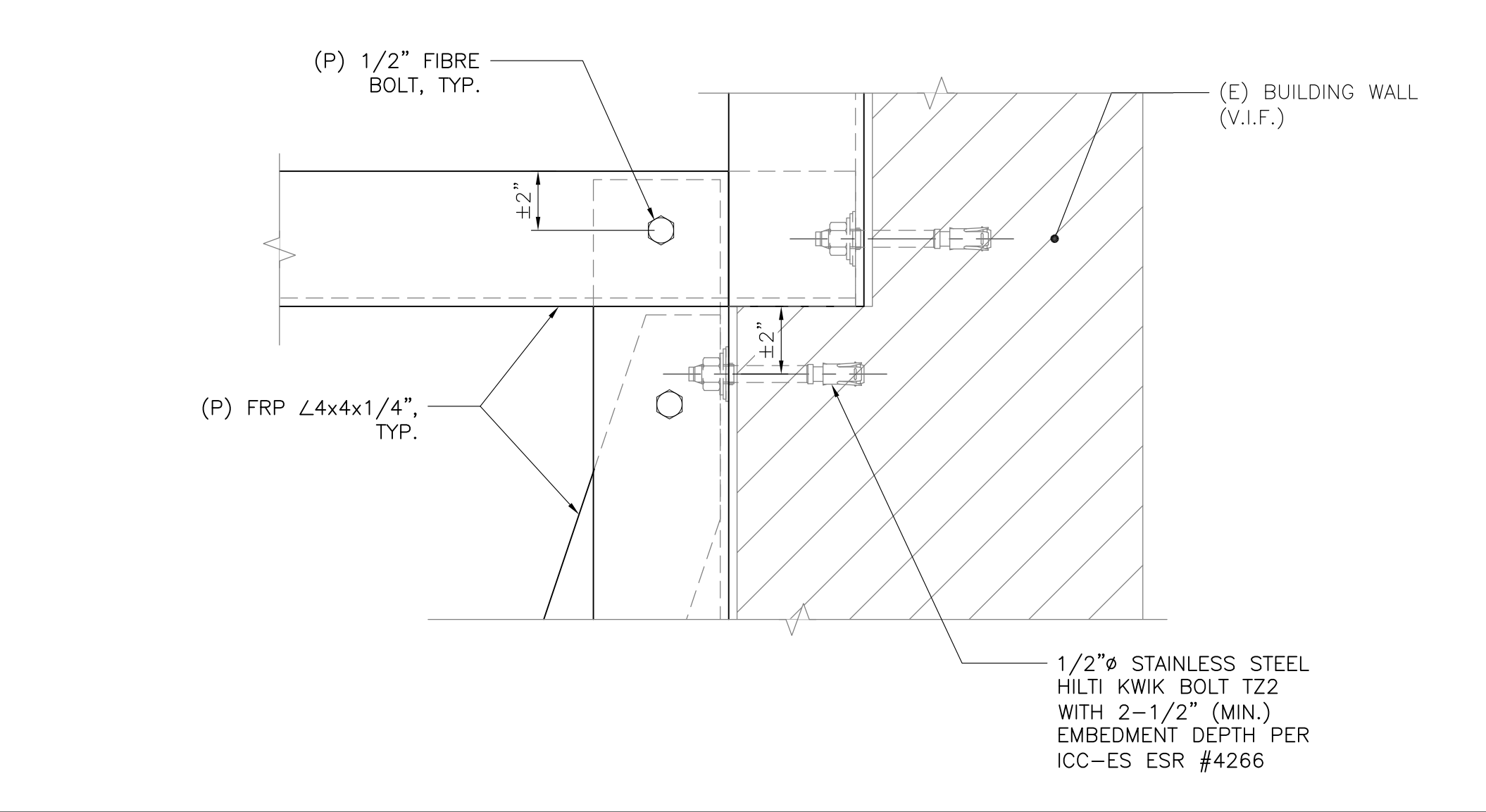
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FRP TO (E) WALL CONNECTION DETAIL

12" 9" 6" 3" 0 1" 2" 3"=1'-0"

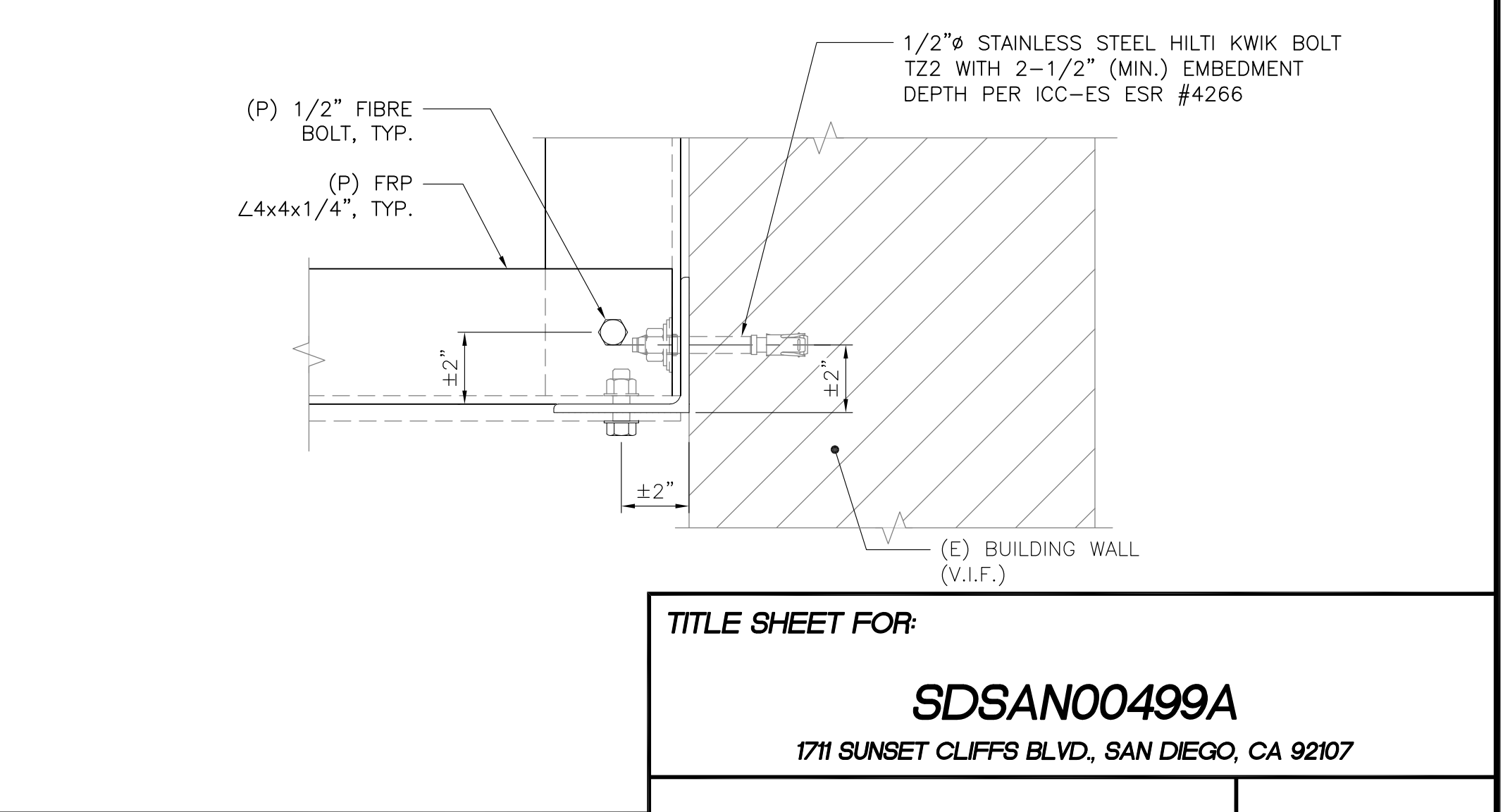
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FRP TO (E) WALL CONNECTION DETAIL

12" 9" 6" 3" 0 1" 2" 3"=1'-0"

7



FRP TO (E) WALL CONNECTION DETAIL

12" 9" 6" 3" 0 1" 2" 3"=1'-0"

8

TITLE SHEET FOR:

SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

STRUCTURAL DETAILS

PRJ NO. _____

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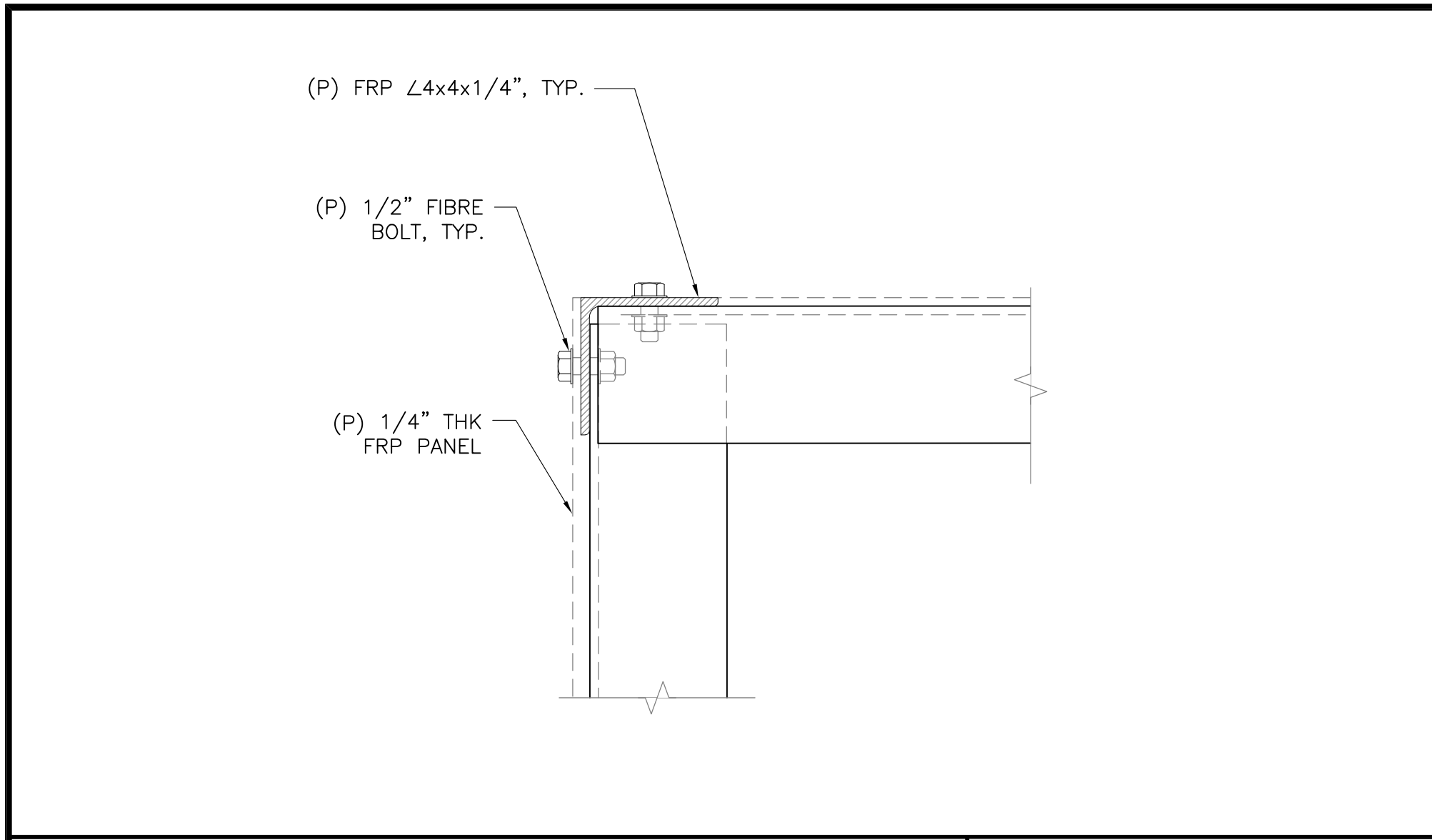


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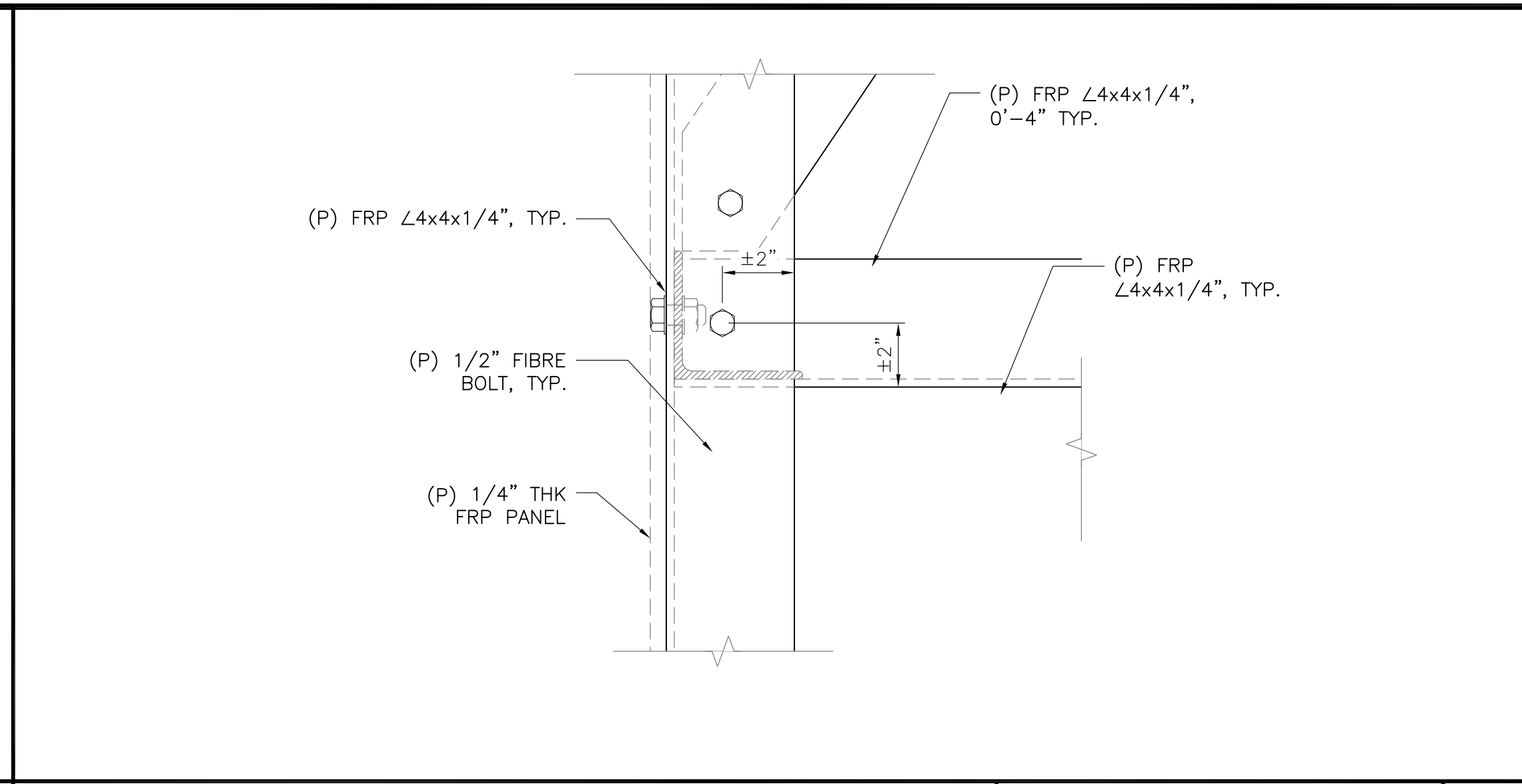
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



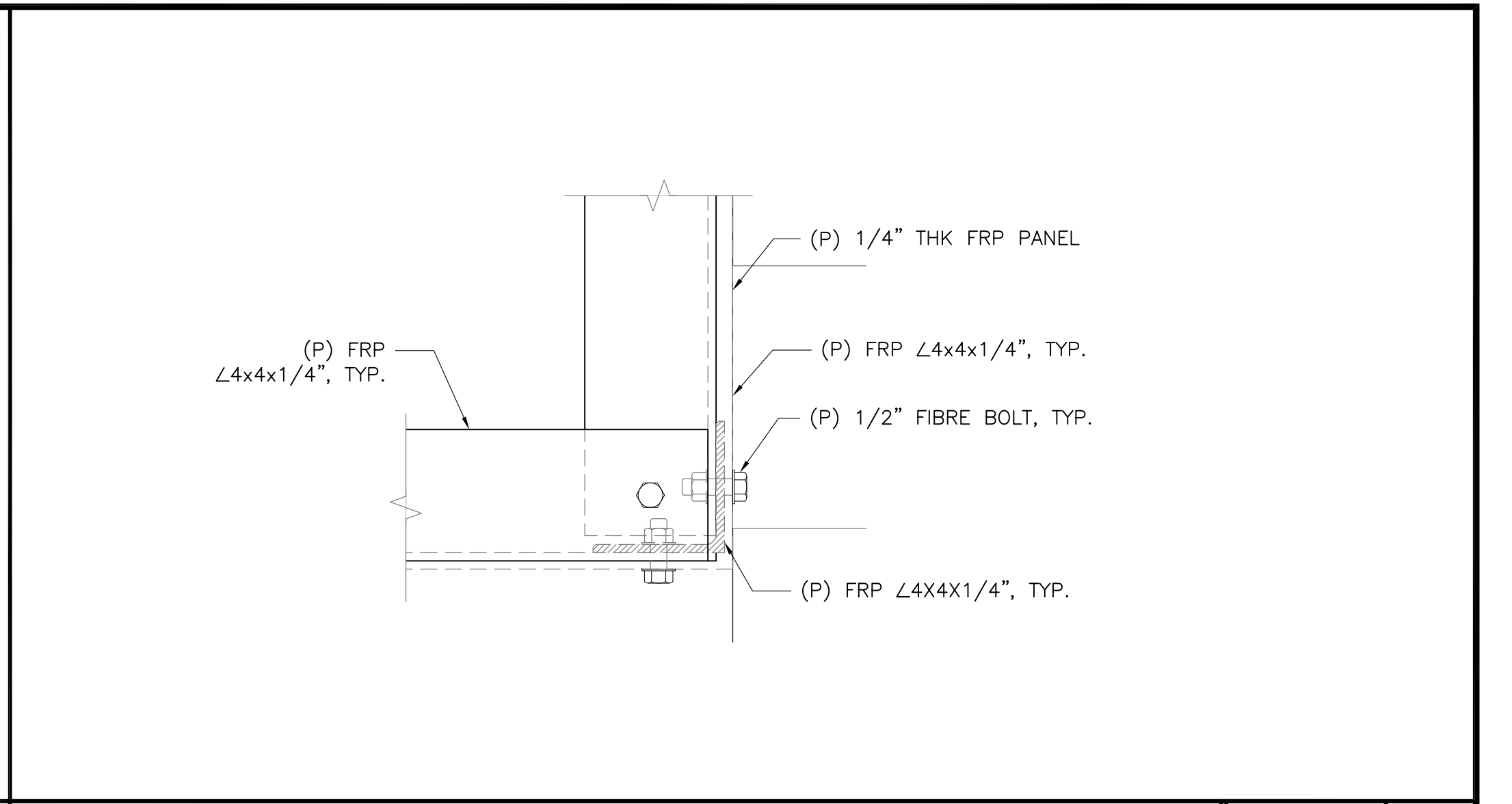
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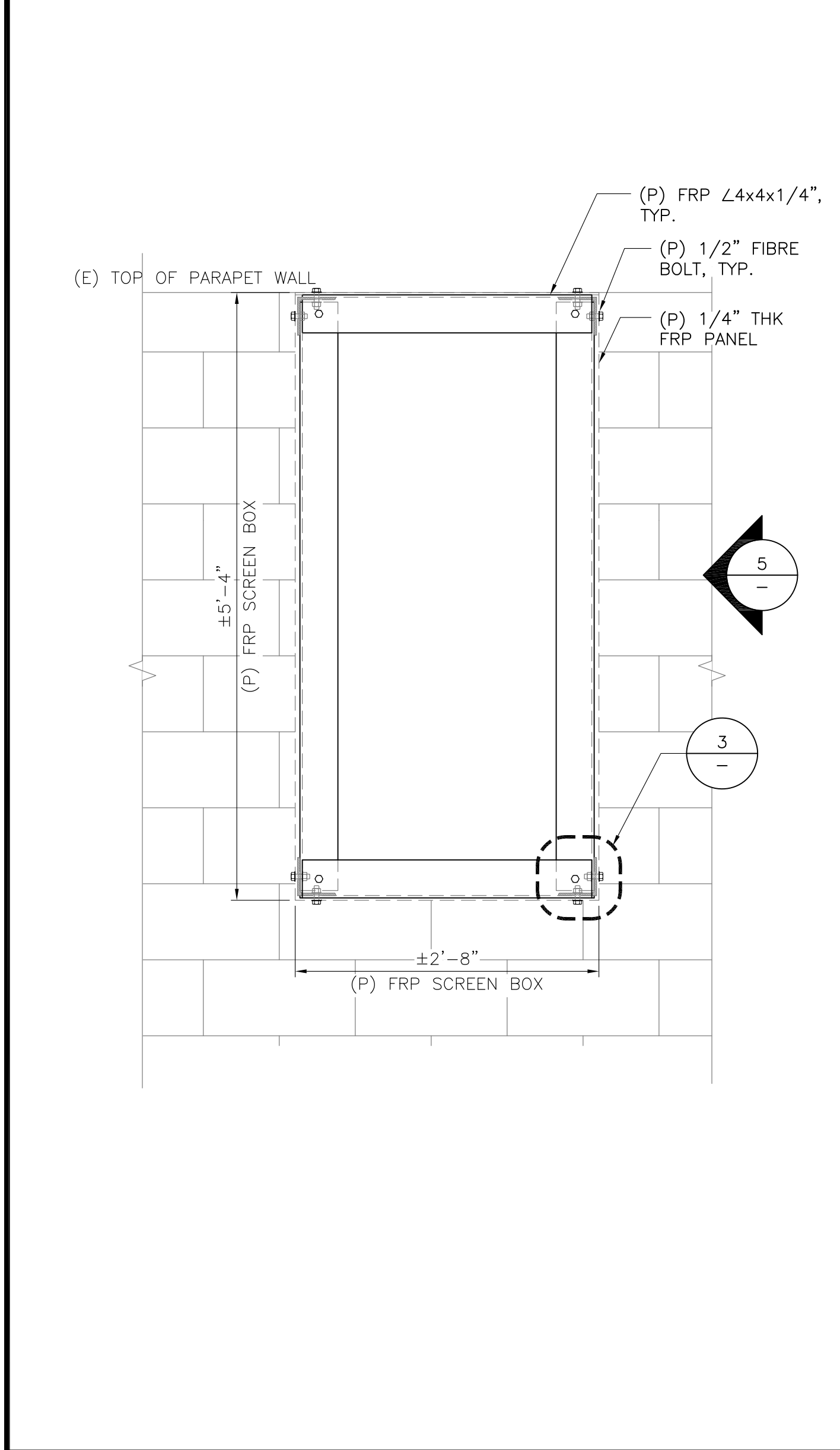
CONNECTION DETAIL 1 CONNECTION DETAIL



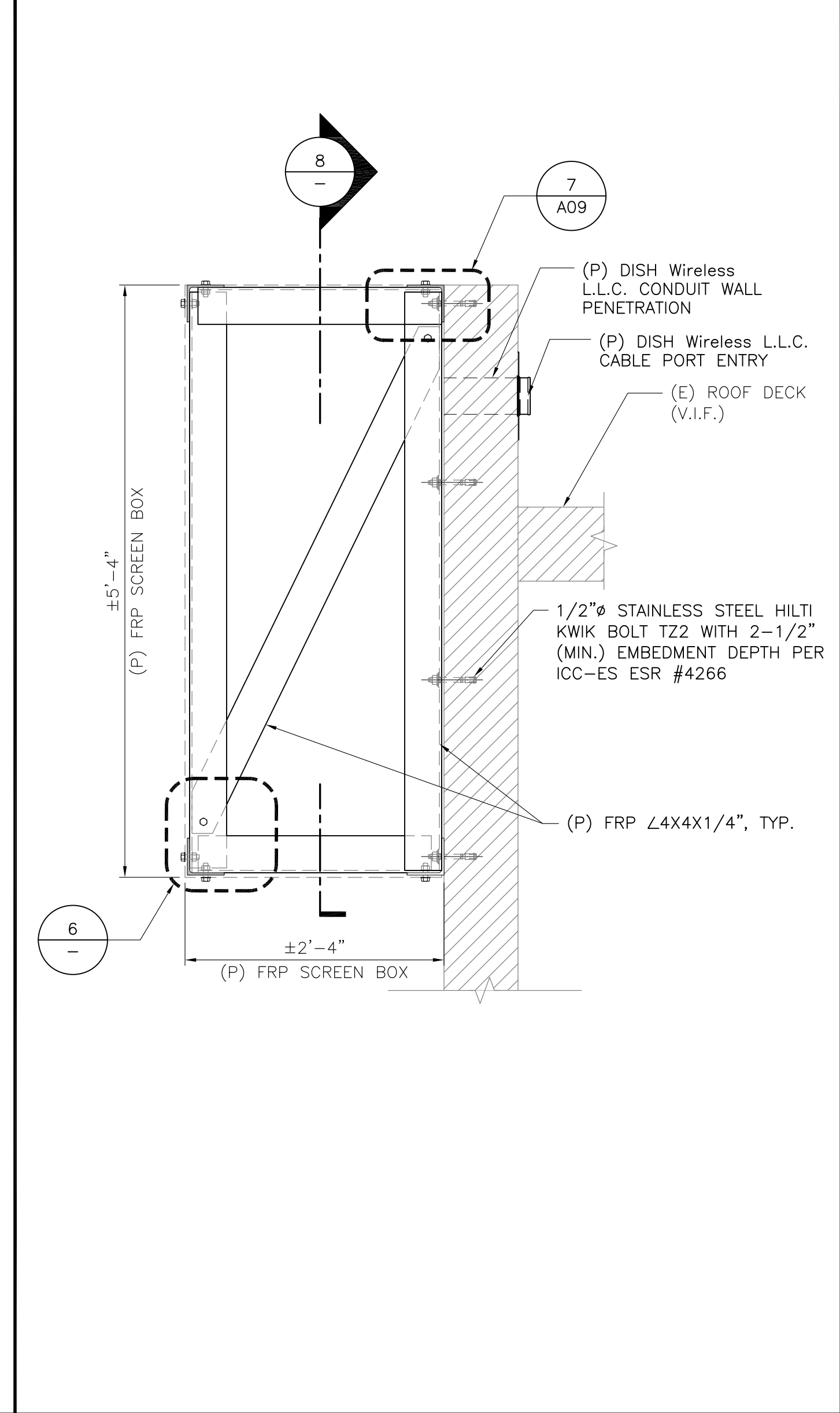
CONNECTION DETAIL 2 CONNECTION DETAIL



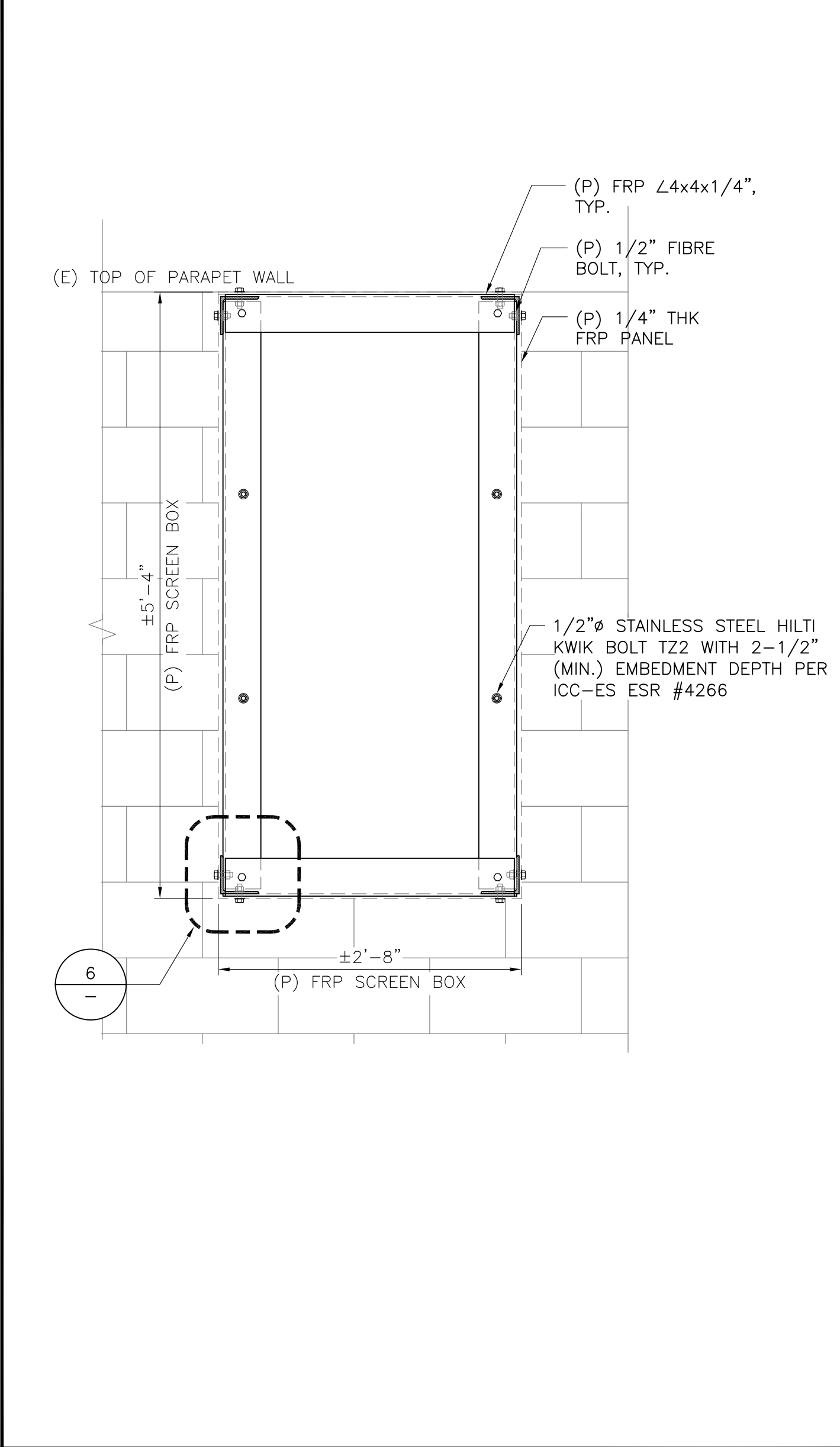
CONNECTION DETAIL 3 CONNECTION DETAIL



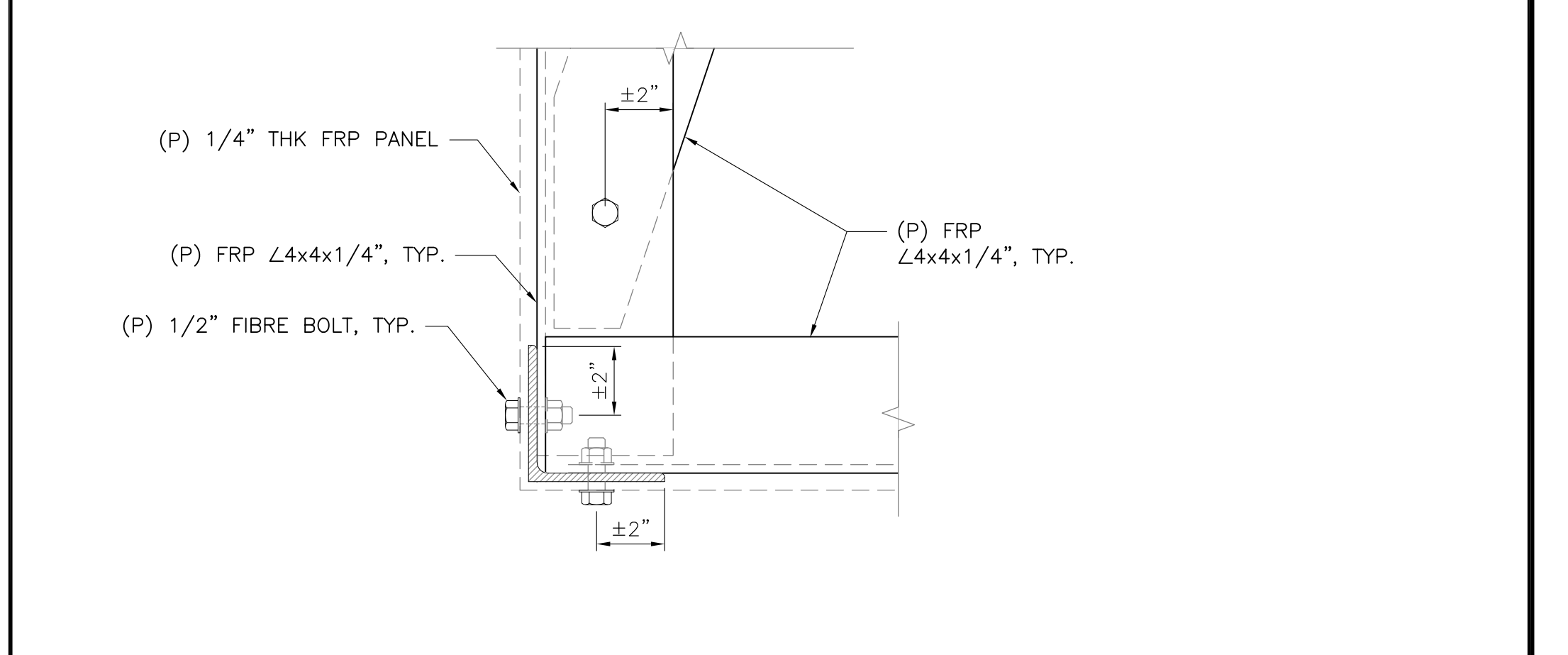
FRP SCREEN BOX (ALPHA SECTOR) NO SCALE 4



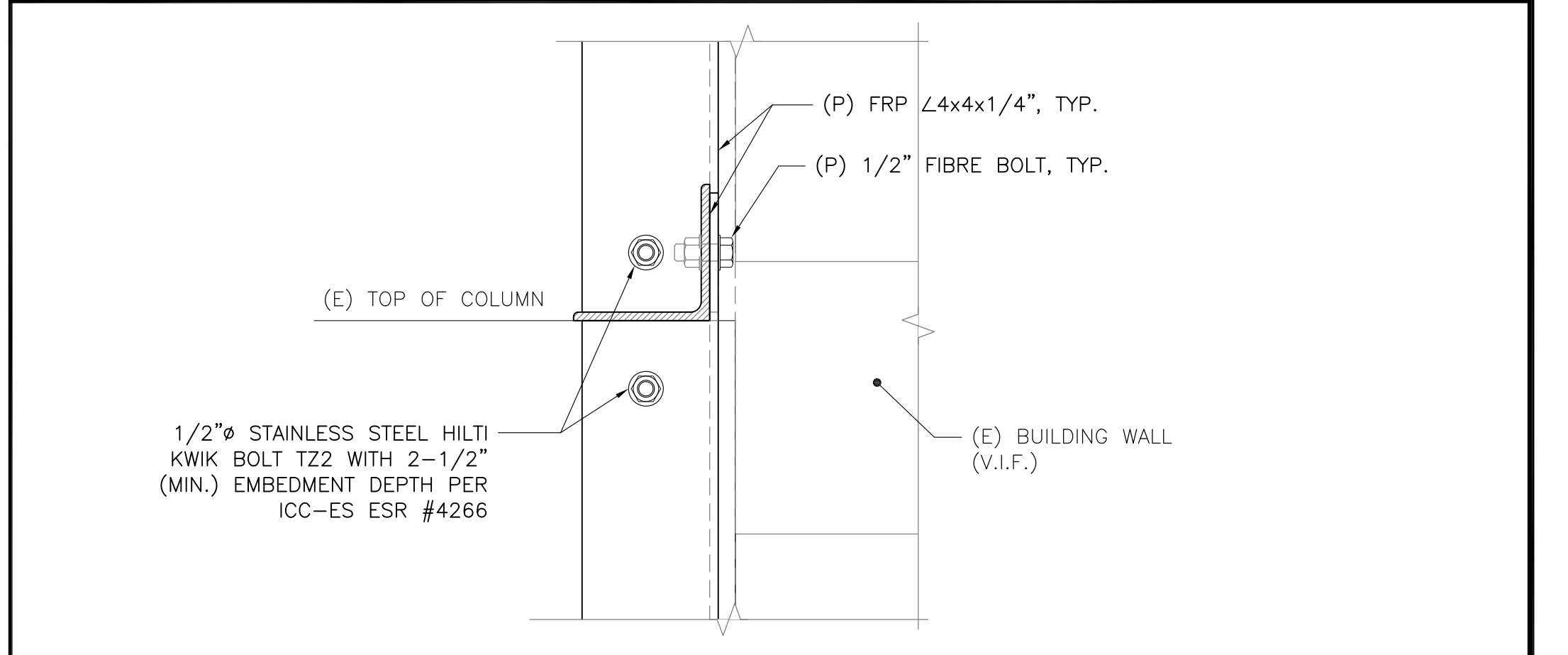
ELEVATION NO SCALE 5



SECTION VIEW NO SCALE 8



CONNECTION DETAIL 6 CONNECTION DETAIL



CONNECTION DETAIL 7 CONNECTION DETAIL

TITLE SHEET FOR:
SDSAN00499A
 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

dish wireless.
 5701 SOUTH SANTA FE DRIVE
 LITTLETON, CO 80120

esite concepts
 16885 VIA DEL CAMPO CT., SUITE 318
 SAN DIEGO, CA 92127
 tel: (858) 432-4112 / (858) 432-4257

STAND 8

0 1/2 1
 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

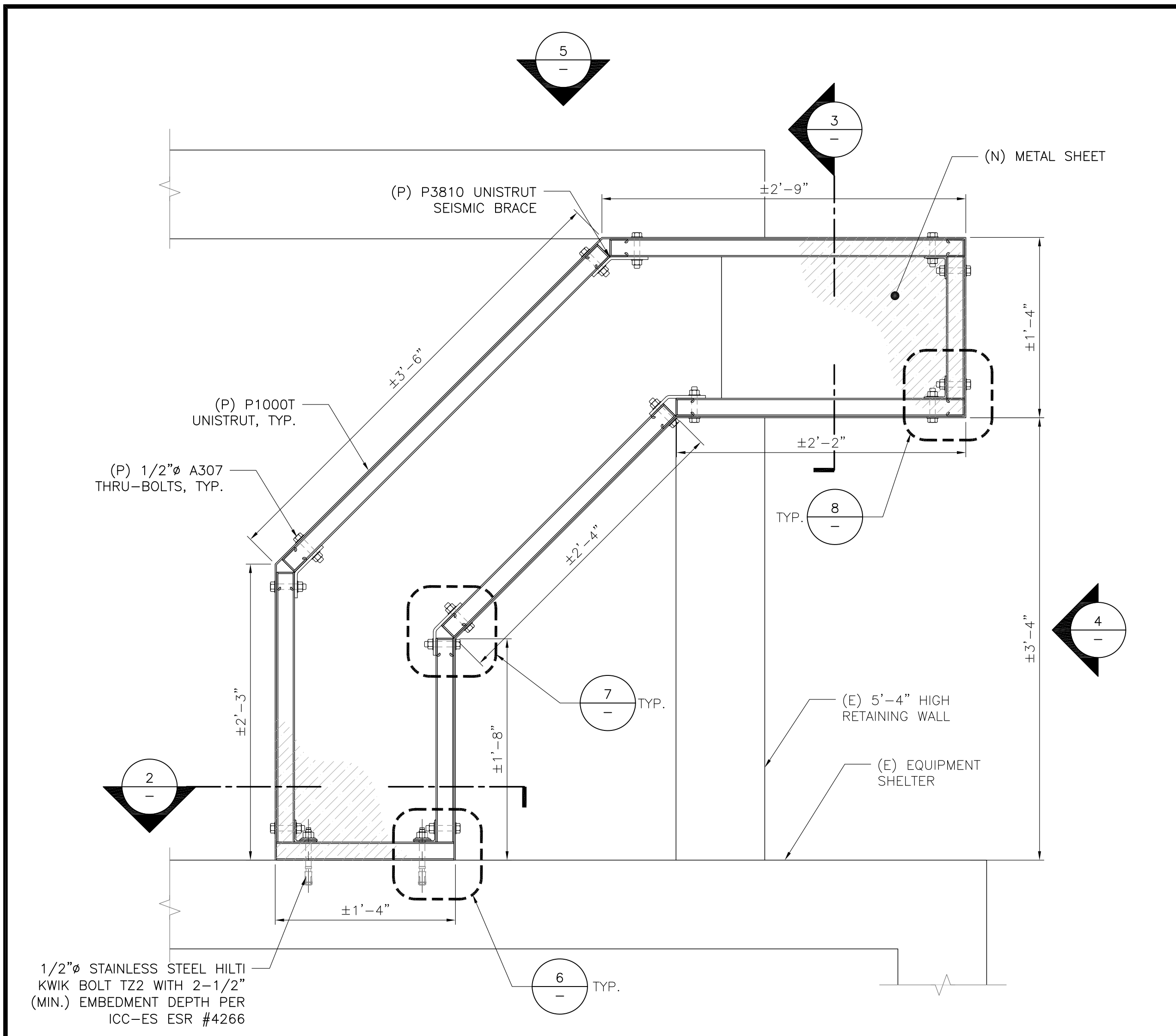
The City of **SAN DIEGO**
 DEVELOPMENT SERVICES DEPARTMENT

STRUCTURAL DETAILS

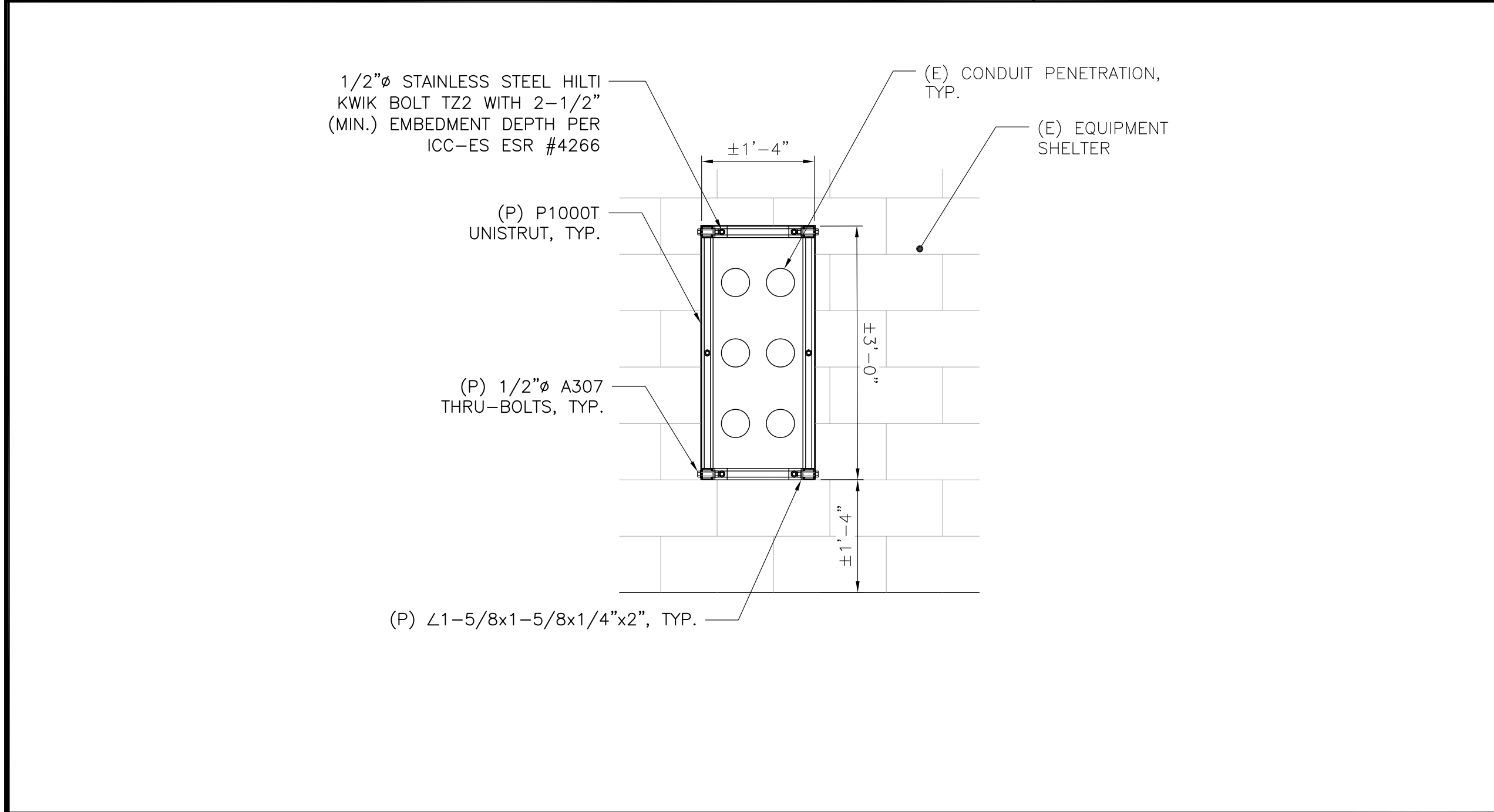
PRJ NO. _____
 PMT NO. _____

A10

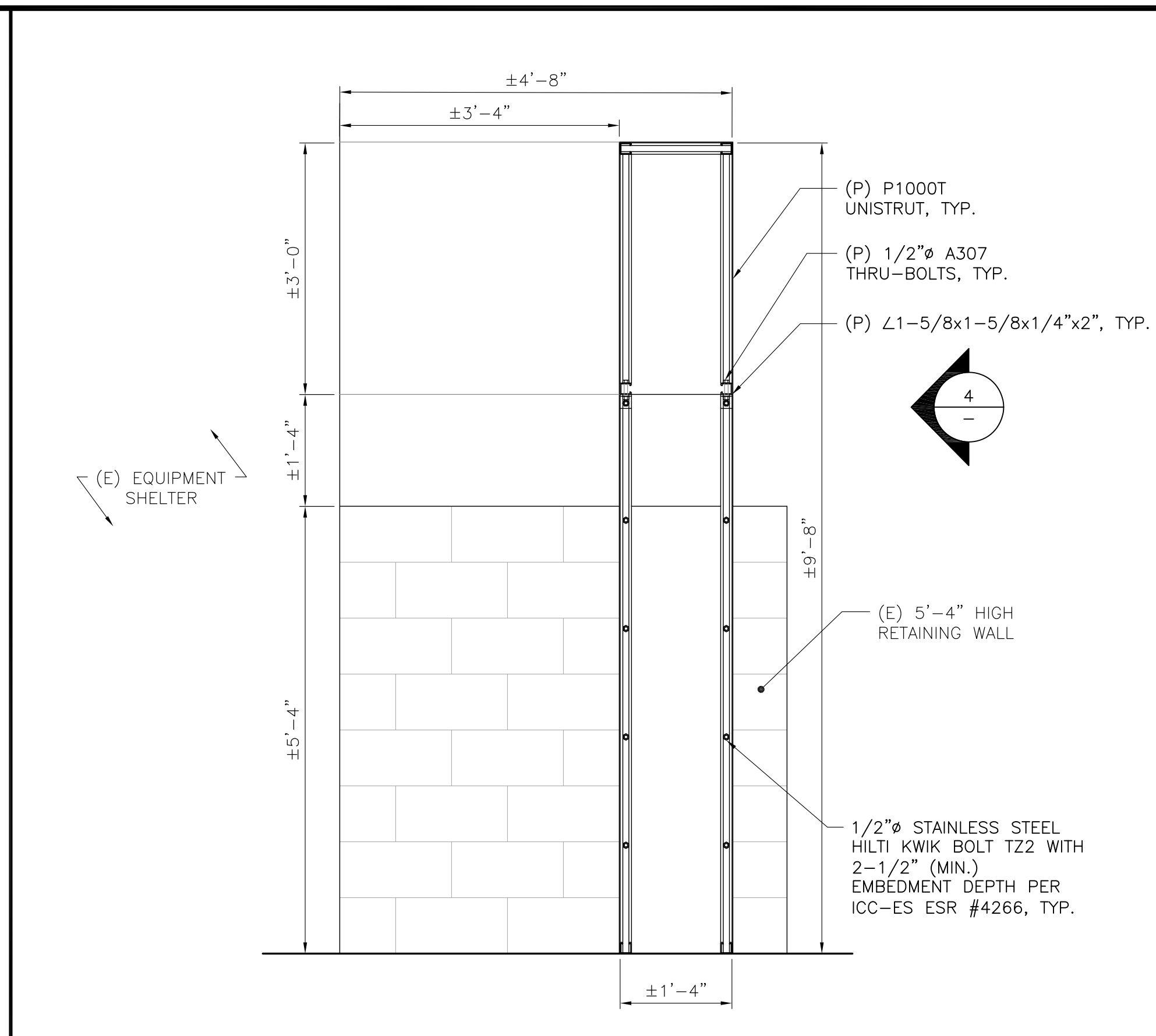
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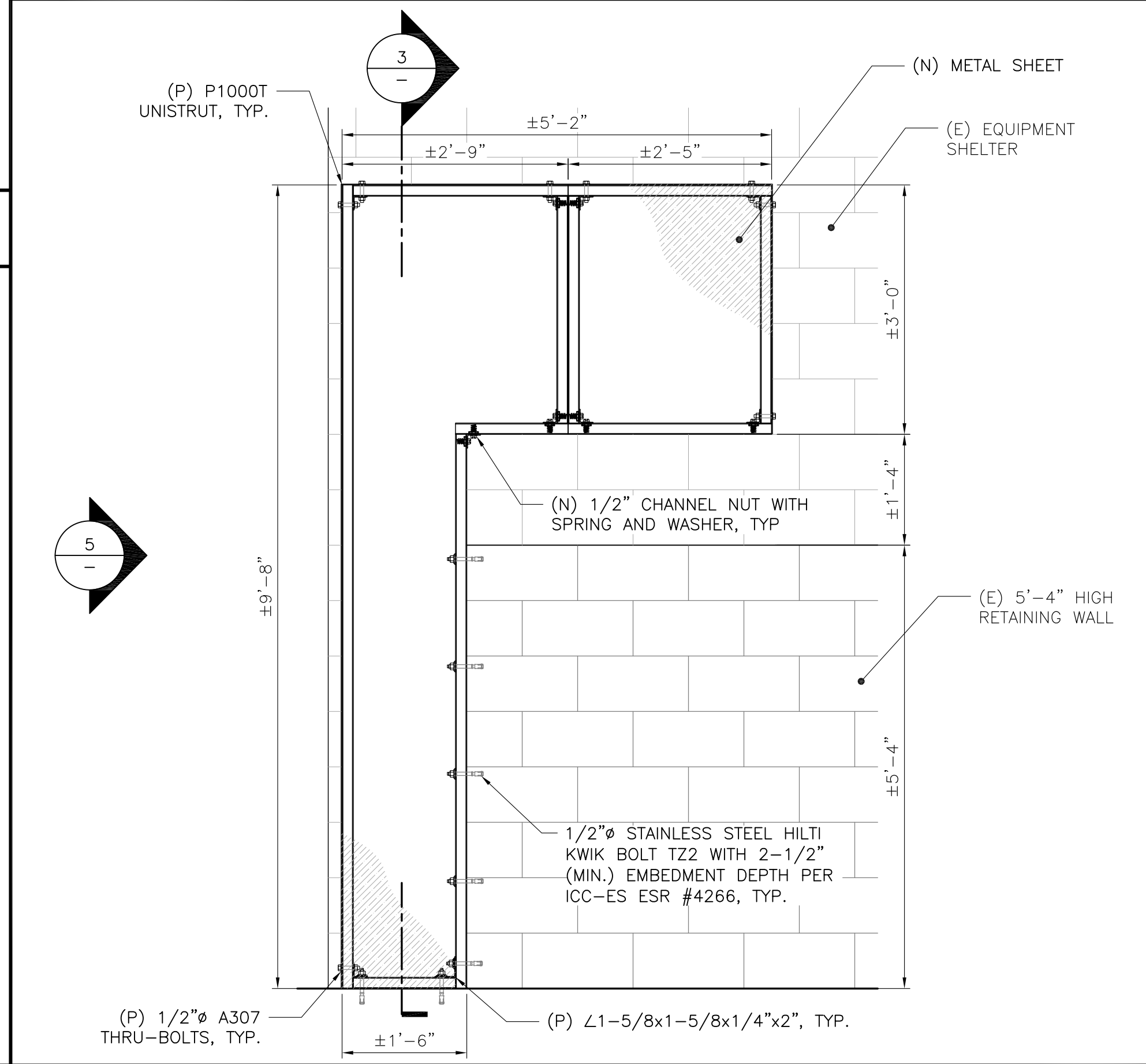
CONDUIT SHROUD AT EQUIPMENT SHELTER (TOP VIEW) 1



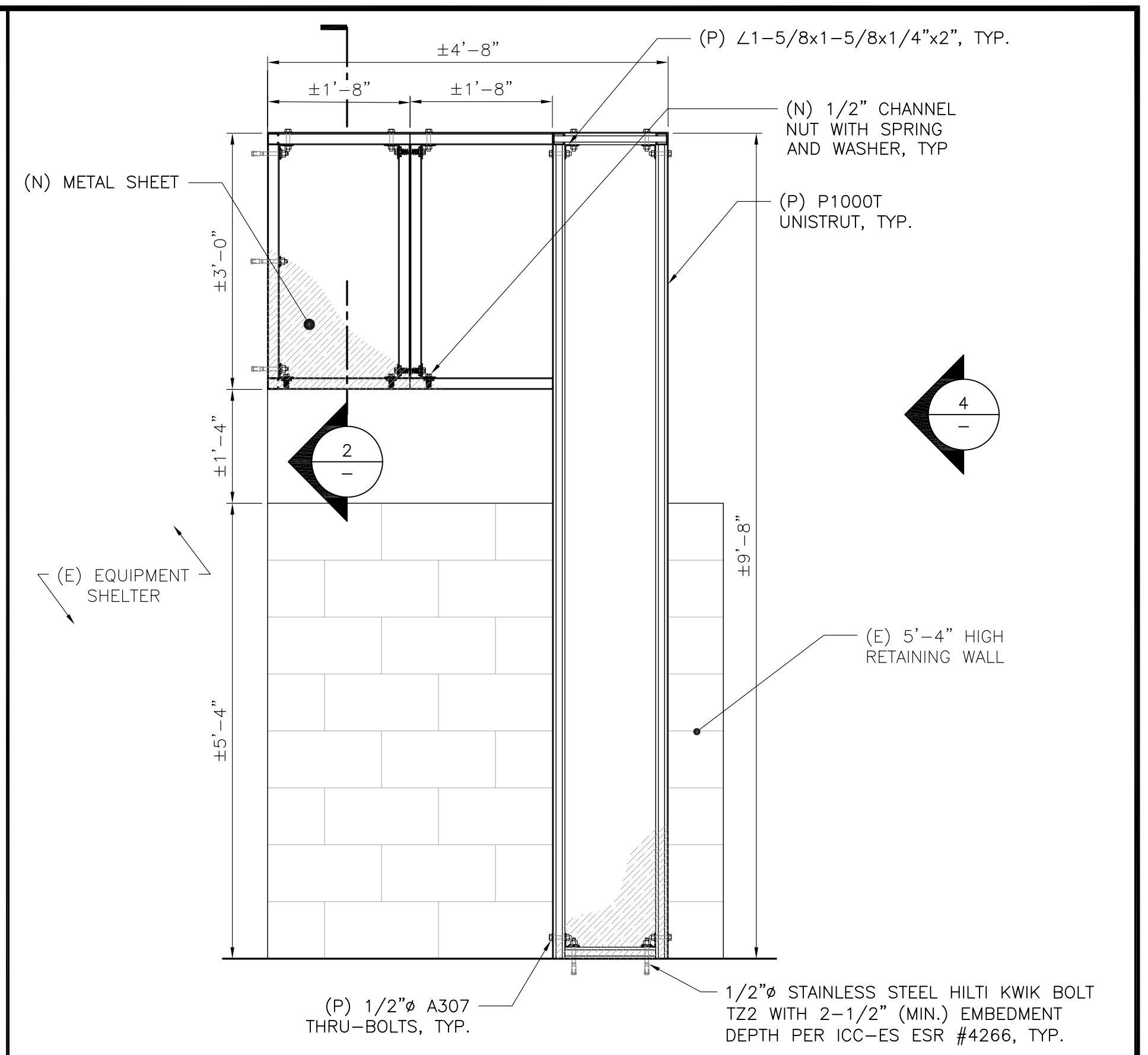
SECTION VIEW 2



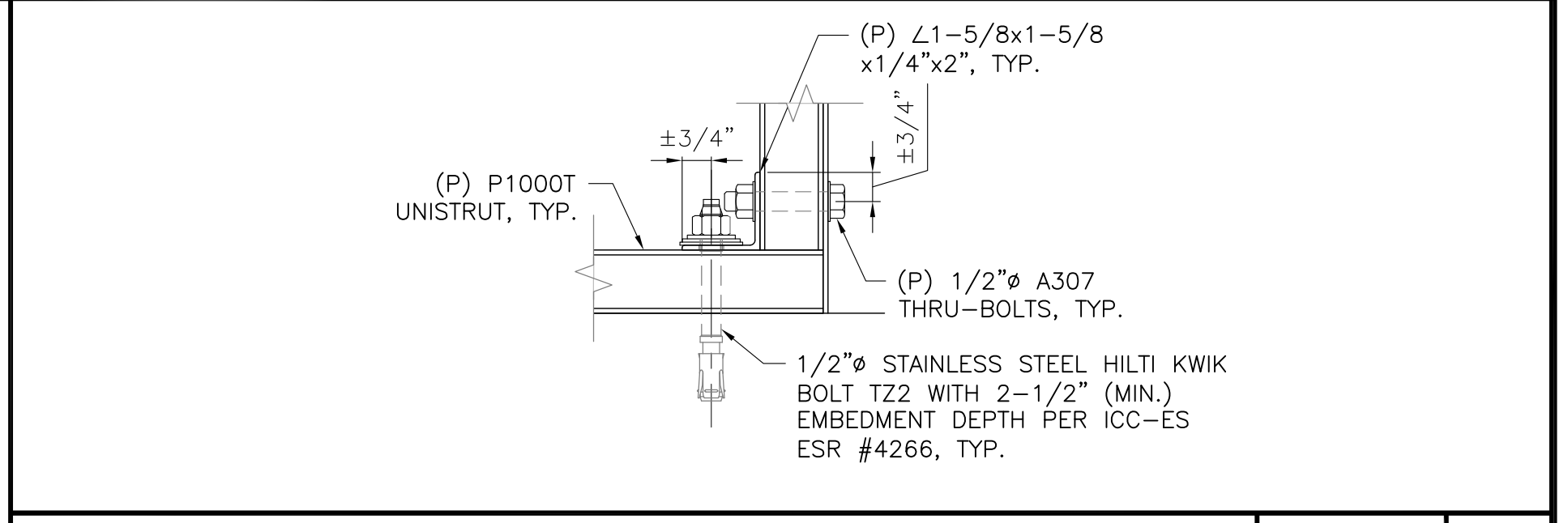
SECTION VIEW 3



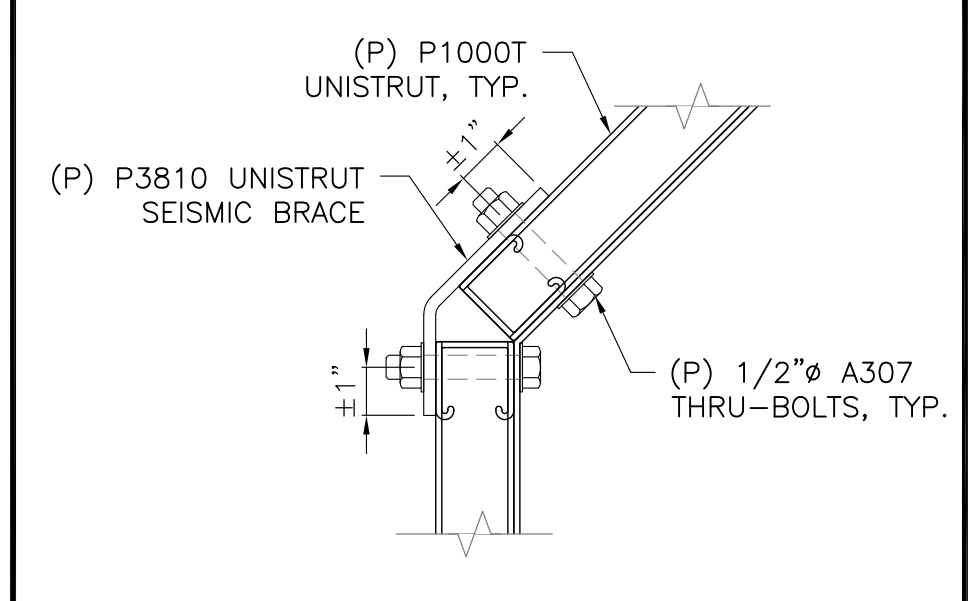
ELEVATION VIEW 5



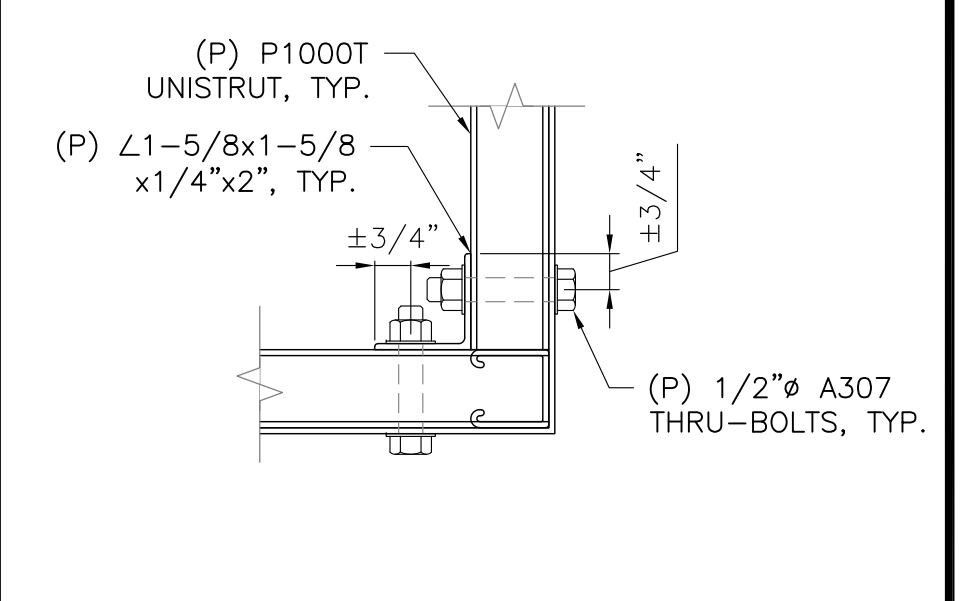
ELEVATION VIEW 4



CONNECTION DETAIL 6



CONNECTION DETAIL 7



CONNECTION DETAIL 8

TITLE SHEET FOR:
SDSAN00499A
 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

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(REV. 02/24/2022)



STAND 8

0 1/2 1
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DEVELOPMENT SERVICES DEPARTMENT

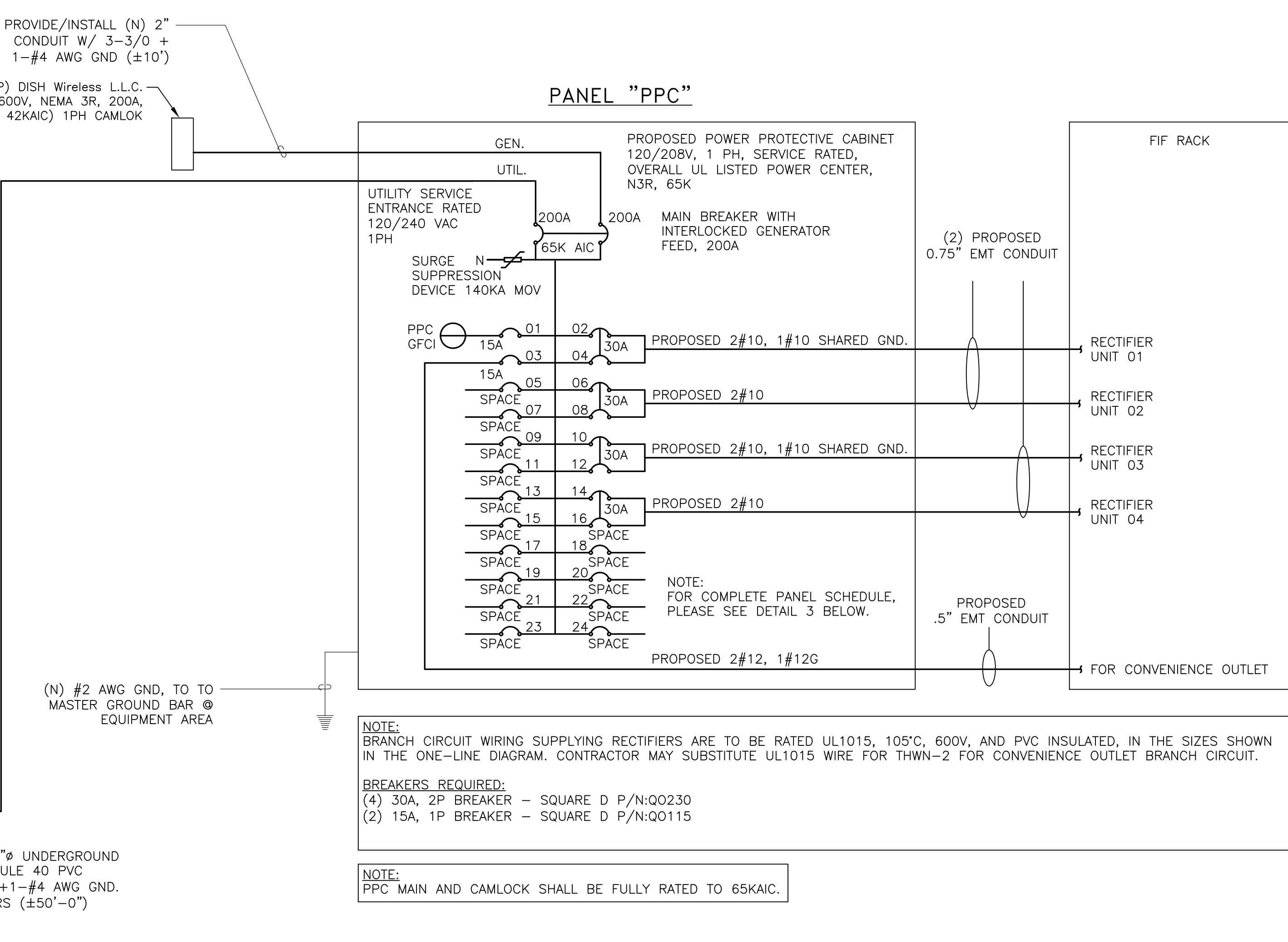
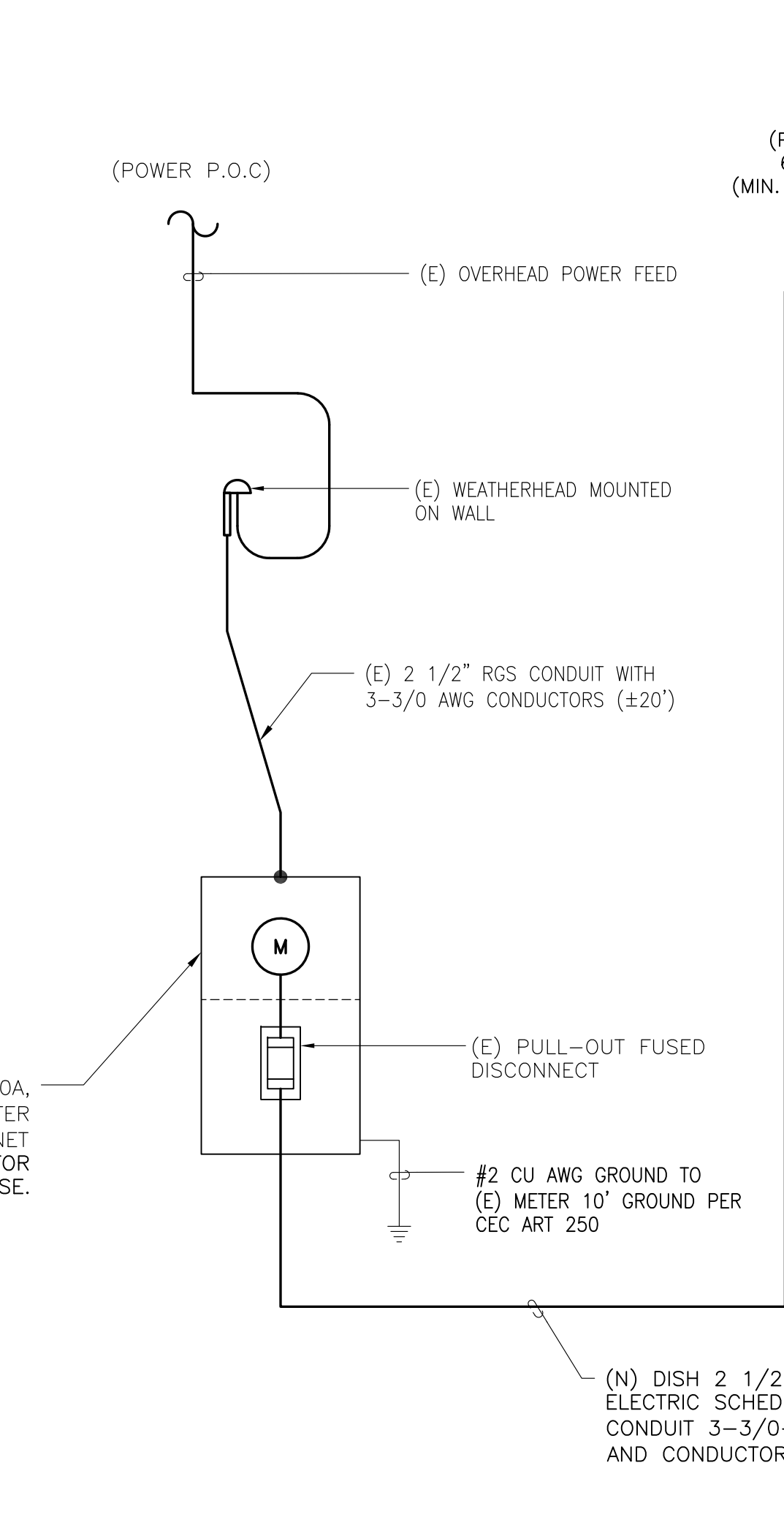
A11

SINGLE LINE DIAGRAM NOTES:

- ALL RACEWAYS ROUTING ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT IMPEDED.
- CONDUIT SIZES INDICATED ON THE DRAWINGS ARE NOT NECESSARILY BASED ON THE MINIMUM SIZE ALLOWED BY THE CALIFORNIA ELECTRICAL CODE AND MAY BE PURPOSELY OVERSIZED FOR FUTURE CONDUCTORS OR TO AVOID CONDUIT HEATING. CONDUIT SIZES NOT CALLED OUT ON THE DRAWINGS SHALL BE SIZED BY THE SUBCONTRACTOR, BASED ON THE ACTUAL NUMBER OF CONDUCTORS TO BE INSTALLED, USING THE CALIFORNIA ELECTRICAL CODE AS A GUIDE. IN NO CASE SHALL CONDUIT SIZES BE SMALLER THAN 3/4" DIAMETER.
- THE SUBCONTRACTOR SHALL PROVIDE AND INSTALL ALL JUNCTION AND PULLBOXES REQUIRED FOR THE INSTALLATION OF ELECTRICAL DEVICES AND EQUIPMENT, WHETHER OR NOT SPECIFICALLY INDICATED ON THE PLANS. SIZING OF THESE BOXES SHALL BE PER THE CURRENT C.E.C.
- ALL ELECTRICAL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND ALL APPLICABLE LOCAL CODES AND REGULATIONS. UTILITY ELECTRICAL SERVICE WILL BE 120/240 OR 120/208 VOLTS, SINGLE PHASE, 3 WIRE, 200A CAPACITY UNLESS NOTED OTHERWISE.
- PROJECT CONDITIONS MAY REQUIRE REARRANGEMENT OF ELECTRICAL WORK, THE SUBCONTRACTOR SHALL INDICATE SUCH CHANGES ON THE AS-BUILT DRAWINGS, WHERE CHANGES REQUIRE ALTERNATE METHODS TO THOSE SPECIFIED IN THE CONTRACT DOCUMENTS, THE SUBCONTRACTOR SHALL SUBMIT DRAWINGS SHOWING THE PROPOSED METHOD FOR APPROVAL. THE SUBCONTRACTOR SHALL NOT PROCEED UNTIL APPROVAL IS OBTAINED. REARRANGEMENT OF WORK FOR THE PURPOSE OF COORDINATION BETWEEN TRADES SHALL NOT BE CONSIDERED A REASON FOR EXTRA COST.
- CONTRACTOR SHALL PAINT ALL EXPOSED EXTERIOR RACEWAYS AND JUNCTION BOXES TO MATCH EXISTING FINISH.
- DRILL THROUGH EXISTING WALL TO INSTALL NEW RACEWAY. PATCH TO MATCH EXISTING CONDITION. MAINTAIN FIRE RATING OF WALL. PROVIDE WATER-TIGHT SEAL AT EXTERIOR WALLS.
- FIBER TRUNKS AND/OR BACKHAUL LENGTHS AND ROUTES ARE NOT VERIFIED DURING THE SITE WALK. CONTRACTOR TO VERIFY ACTUAL ROUTE AND TRUNK LENGTH DURING PRE-CONSTRUCTION WALK.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY ENGINEERING PLANS AND SPECIFICATIONS ONLY WHERE APPLICABLE PER PROJECT SCOPE OF WORK.
- CONTRACTOR SHALL FURNISH AND INSTALL CONDUIT, PULL WIRES, CABLE PULL BOXES, CONCRETE ENCASEMENT OF CONDUIT, TRANSFORMER PAD, BARRIERS, POLE RISER TRENCHING, BACK FILL, AND UTILITY FEES, AND INCLUDE REQUIREMENTS IN SCOPE.
- CONTRACTOR SHALL CLEARLY IDENTIFY NEW ELECTRICAL METERED SERVICE/DISCONNECT AND "DISH-PPC" CABINET WITH ENGRAVED PHENOLIC NAME PLATES, WHITE 1/4" HIGH LETTERS ON BLACK BACKGROUND, MOUNT TO COVERS WITH SELF TAPING STAINLESS STEEL SCREWS.
- PROVIDE CLEARLY TYPEWRITTEN PANEL "DISH-A", CLEAR PLASTIC LAMINATED, PANEL SCHEDULE ON INSIDE OF DOOR.
- TEST ALL ELECTRICAL & GROUNDING SYSTEMS (CONTINUITY, MEGGER, ETC.) UPON COMPLETION OF INSTALLATION PRIOR TO FINALIZING WORK.
- RESISTANCE FROM THE MAIN ELECTRICAL METERED SERVICE, MAIN PANEL GROUND BUS, THROUGH THE GROUND ELECTRODE DISH GROUND RING TO EARTH SHALL NOT EXCEED 5 OHMS.
- CONTRACTOR TO VERIFY ALL CONDUIT ROUTING, (N) DISH METER, (N) ATS, AND (N) GROUND ROD EXACT LOCATION WITH LANDLORD AND UTILITY COORDINATOR IN FIELD.
- CONDUIT REQUIREMENTS (TYP., U.N.O.): UNDERGROUND: PVC (SCHED. 40 OR 80); INDOOR: EMT (RGS IN TRAFFIC AREAS), OUTDOOR (ABOVE GRADE): RGS (ADJUST CONDUIT FILL FOR SCHEDULE 80 PVC CONDUITS)
- PROVIDE A MIN. 36" WORK CLEARANCE IN FRONT OF PANELS/ ELECTRICAL EQUIPMENT.
- CONTRACTOR TO PROVIDE MULTIPLE SERVICE LOCATION PLACARDS AS REQUIRED BY C.E.C. AND UTILITY REQUIREMENTS, AS REQUIRED IF APPLICABLE.

LEGEND SYMBOLS:

- GROUNDING WIRE, DASHED LINE INDICATES UNDERGROUND
- AC POWER LINE, DASHED LINE INDICATES UNDERGROUND
- DC POWER LINE, DASHED LINE INDICATES UNDERGROUND
- TELEPHONE LINE, DASHED LINE INDICATES UNDERGROUND
- COAXIAL CABLE, DASHED LINE INDICATES UNDERGROUND
- FIBER CABLE, DASHED LINE INDICATES UNDERGROUND
- DETAIL REFERENCE DETAIL NO. 2 ON SHEET E3
- UTILITY METER
- CIRCUIT BREAKER
- FUSE
- DUPLEX RECEPTACLE WITH GFCI IN WEATHERPROOF ENCLOSURE
- CLAMP OR DOUBLE HOLE LUG TYPE GROUND CONNECTION
- EXOTHERMIC CONNECTION TO GROUND RING
- DISCONNECT SWITCH
- GROUND ROD
- GROUND ROD WITH ACCESS



PPC ONE-LINE DIAGRAM

NO SCALE 1

ELECTRICAL NOTES

- CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
- PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.
- THIS INSTALLATION SHALL COMPLY WITH THE CURRENTLY ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE (CEC), WITH THE UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.
- POWER, CONTROL AND EQUIPMENT GROUND WIRING IN CONDUIT SHALL BE SINGLE CONDUCTOR (#12 AWG AND LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED.

- CUT, COIL AND TAPE A 3 FOOT PIGTAIL FROM END OF LFMC FOR TERMINATING AT EQUIPMENT, IF REQUIRED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED OUTDOORS OR BELOW GRADE SHALL BE SINGLE CONDUCTOR #2 AWG SOLID, TINNED, COPPER WIRE
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP STYLE, COMPRESSION, WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMINATED PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (PANELBOARD AND CIRCUIT IDENTIFICATION).
- ALL CONDUIT RUN ABOVE GROUND OR EXPOSED SHALL BE RIGID STEEL.
- CABINETS, BOXES AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND CEC.
- PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
- ALL ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER) SHALL BE BONDED TOGETHER AT OR BELOW GRADE BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE CEC.
- PERFORM IEEE FALL-OFF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR NEW GROUND ELECTRODE SYSTEMS. THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
- METAL RACEWAY SHALL NOT BE USED AS THE CEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION SIZED IN ACCORDANCE WITH THE CEC SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO EQUIPMENT.
- EXPOSED GROUND CONNECTIONS SHALL BE MADE WITH COMPRESSION CONNECTORS WHICH ARE THEN BOLTED TO EQUIPMENT USING STAINLESS STEEL HARDWARE. INSTALLATION TORQUE SHALL BE PER MANUFACTURER'S REQUIREMENTS.
- PROVIDE SUPPORTING DEVICES FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, BOXES, PANEL, ETC., SUPPORT LUMINAIRES FROM UNDERSIDE OF STRUCTURAL CEILING. EQUIPMENT SHALL BE BRACED TO WITHSTAND HORIZONTAL FORCES IN ACCORDANCE WITH STATE AND LOCAL CODE REQUIREMENTS. PROVIDE PRIOR ALIGNMENT AND LEVELING OF ALL DEVICES AND FIXTURES.

DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

DISH Wireless L.L.C., PPC [PANEL "PPC"]										
LOAD SERVED	VOLT AMPS (WATTS)		TRIP	CKT #	PHASE	CKT #	TRIP	VOLT AMPS (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
PPC GFCI OUTLET	180		15A	1	A	2	30A	1440		RECTIFIER UNIT 01
FIF RACK GFCI	180		15A	3	B	4	30A	1440		RECTIFIER UNIT 02
SMOKE DETECTOR	0		15A	5	A	6	30A	1440	1440	RECTIFIER UNIT 02
EXTERIOR GFCI RECEPT.		180	20A	7	B	8			1440	RECTIFIER UNIT 03
CONDENSING UNIT #1	1880	1880	60A	9	A	10	30A	1440	1440	RECTIFIER UNIT 03
				11	B	12				RECTIFIER UNIT 04
FAN COIL #1	324	324	20A	13	A	14	30A	1440	1440	CONDENSING UNIT #2
				15	B	16				FAN COIL #2
TELCO RECEPT.	180		20A	17	A	18	60A	1880		
W. WALL RECEPT	180		20A	19	B	20			1880	
E. WALL RECEPT	180		20A	21	A	22	20A	324		
LED LIGHTS		100	20A	23	B	24			324	
VOLTAGE AMPS	2744	2844						7964	7964	
200/200A MAIN, 65KAIC INTERLOCKED BREAK BEFORE MAKE MTS.	L1	L2								VOLTAGE TO EQUIP. 120 /240V, 1 PH
	10708	10808								
	44.62	45.03								
LOAD PANEL: 200A 120/240V, 1 PHASE WITH 24 SPACES				45.03						
				56.29						

WIRING SIZE TABLE U.N.O.

10 AMP	#12 AWG
20 AMP	#12 AWG
30 AMP	#10 AWG
40 AMP	#8 AWG
60 AMP	#6 AWG

* RECTIFIER/BATTERY UNITS ARE LOCATED IN THE MAIN DISH CABINET

ELECTRICAL NOTES

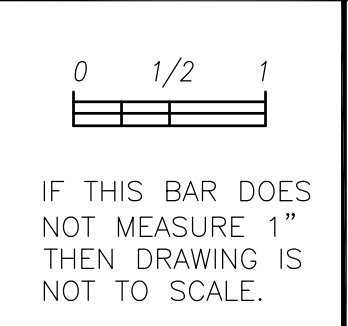
PANEL SCHEDULE

NO SCALE 2

TITLE SHEET FOR:
SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

ELECTRICAL ONE-LINE, PANEL SCHEDULE AND ELECTRICAL ROOM
PRJ NO. _____
PMT NO. _____

STAND 8



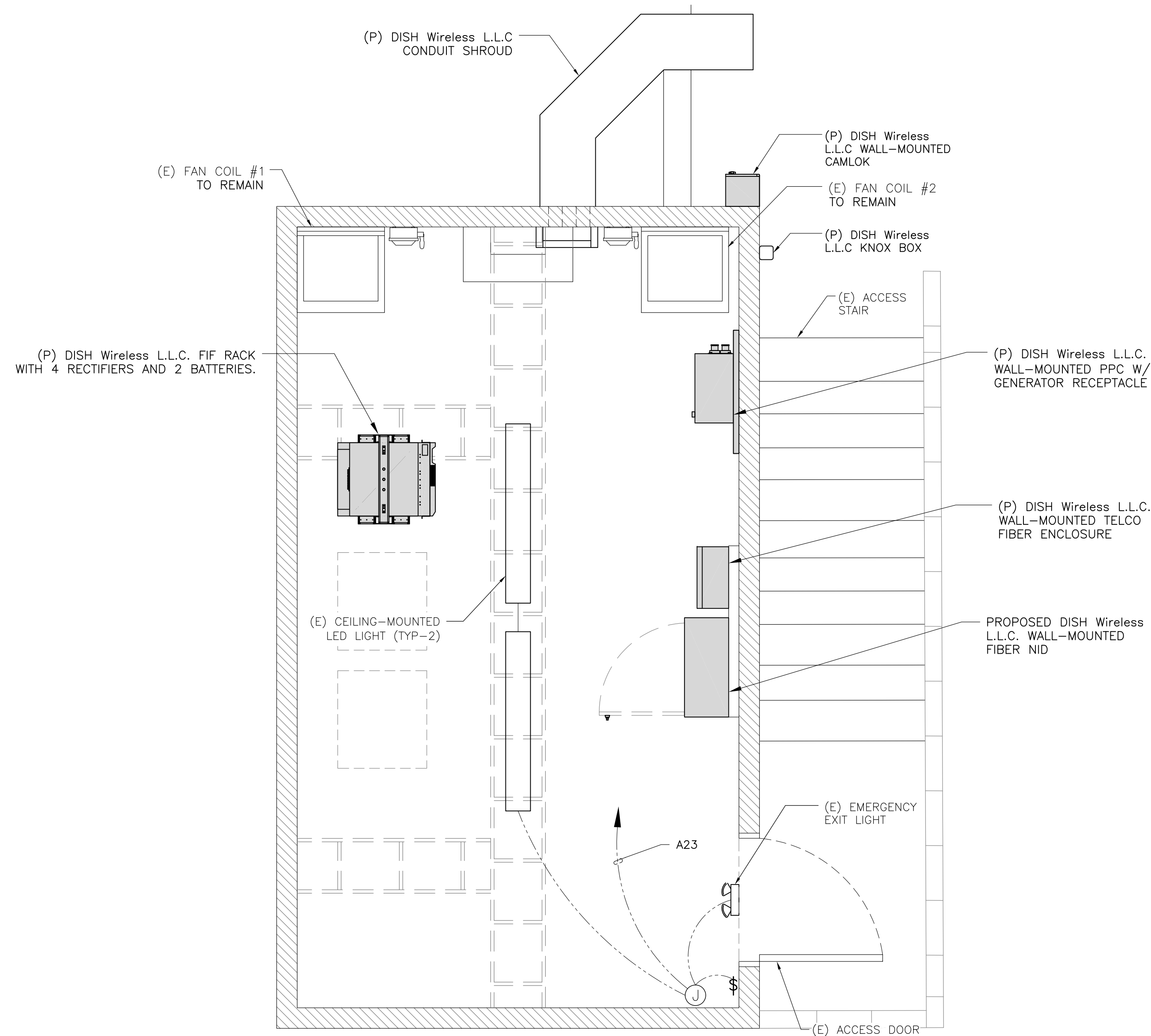
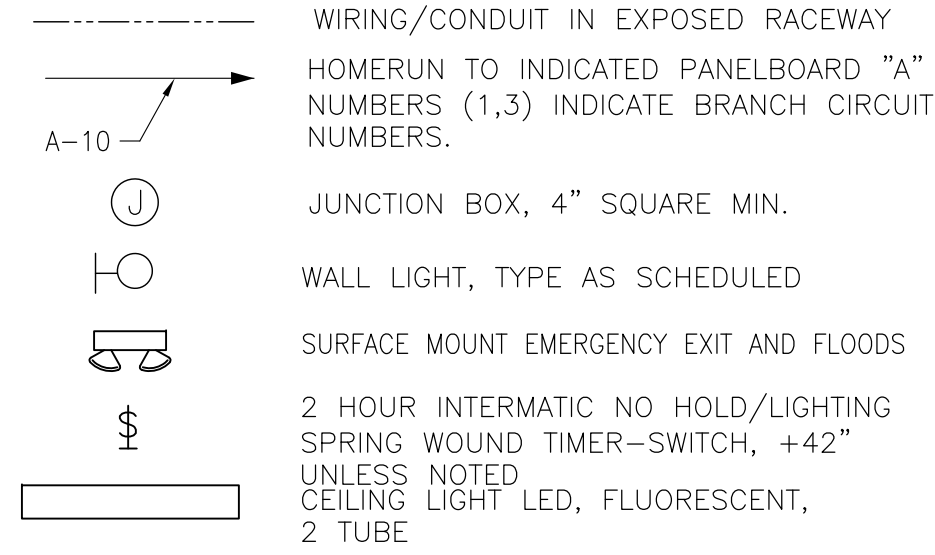
The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

E01

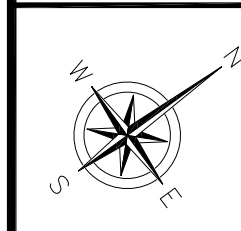
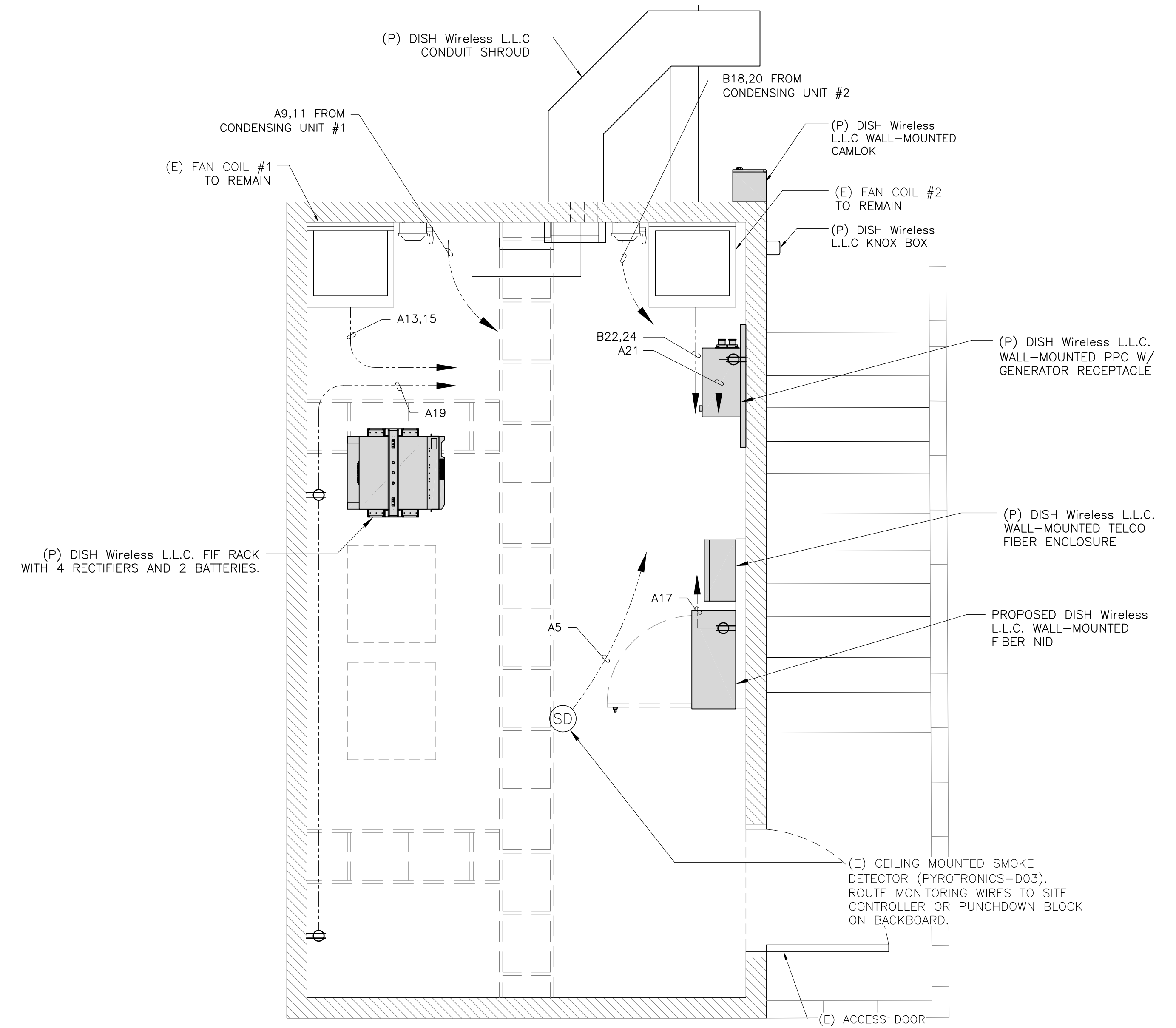
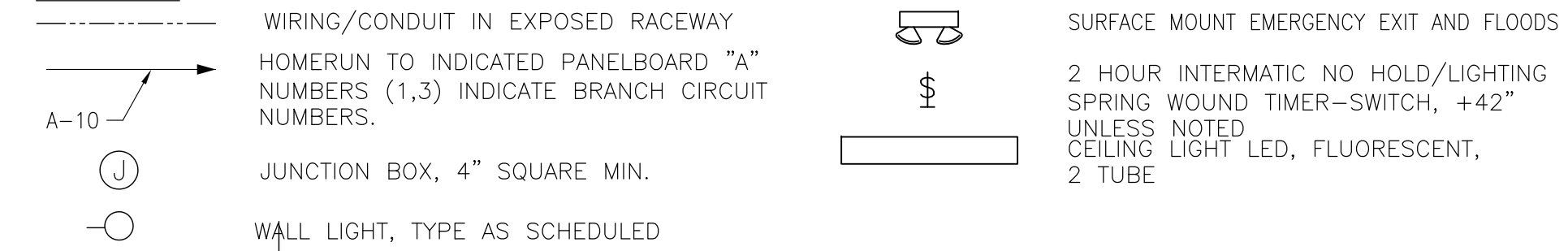
EMERGENCY FIXTURE CONNECTIONS

- ALL LIGHT FIXTURES WITH INTEGRAL BATTERY PACKS REQUIRE PERMANENT UNSWITCHED POWER TO ENSURE THE BATTERY IS NEVER ALLOWED TO DRAIN TO ZERO.
- DO NOT CONNECT THESE FIXTURES TO TEMPORARY BUILDING CONSTRUCTION POWER.
- CONNECT ONLY TO PERMANENT BUILDING POWER WHEN AVAILABLE, AND ACCORDING TO THE RESPECTIVE MANUFACTURERS RECOMMENDATIONS.

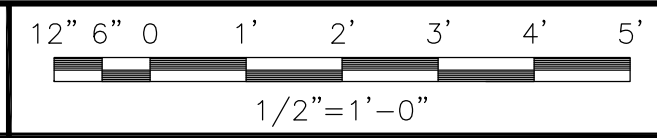
LEGEND:



LEGEND:

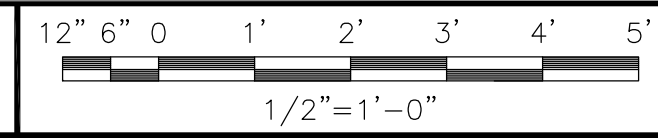


EQUIPMENT PLAN-LIGHTING PLAN



1

EQUIPMENT PLAN-POWER PLAN



2

TITLE SHEET FOR:
SDSAN00499A
 1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

LIGHTING PLAN AND POWER PLAN
 PRJ NO. _____
 PMT NO. _____

REV. 02/24/2022

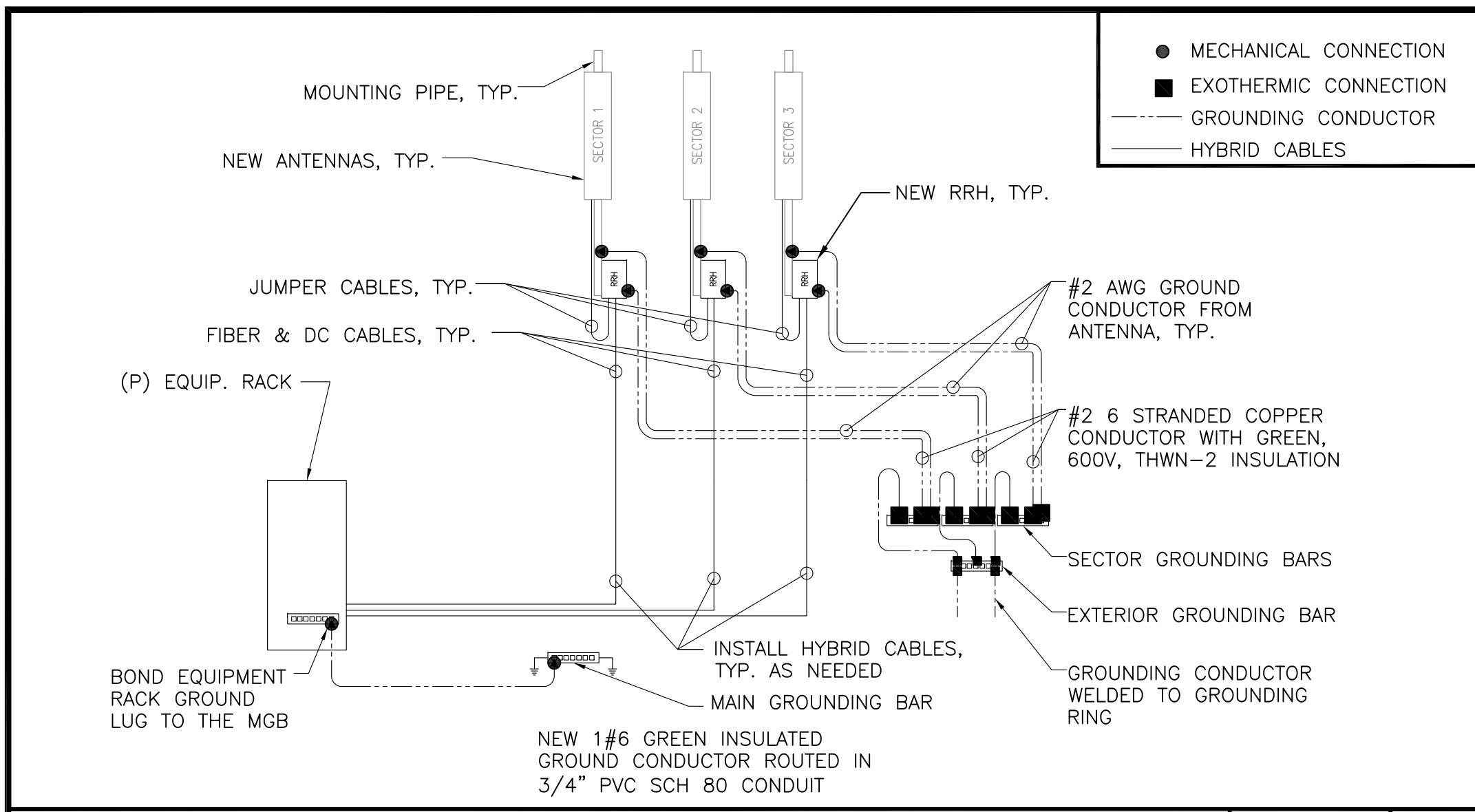


STAND 8

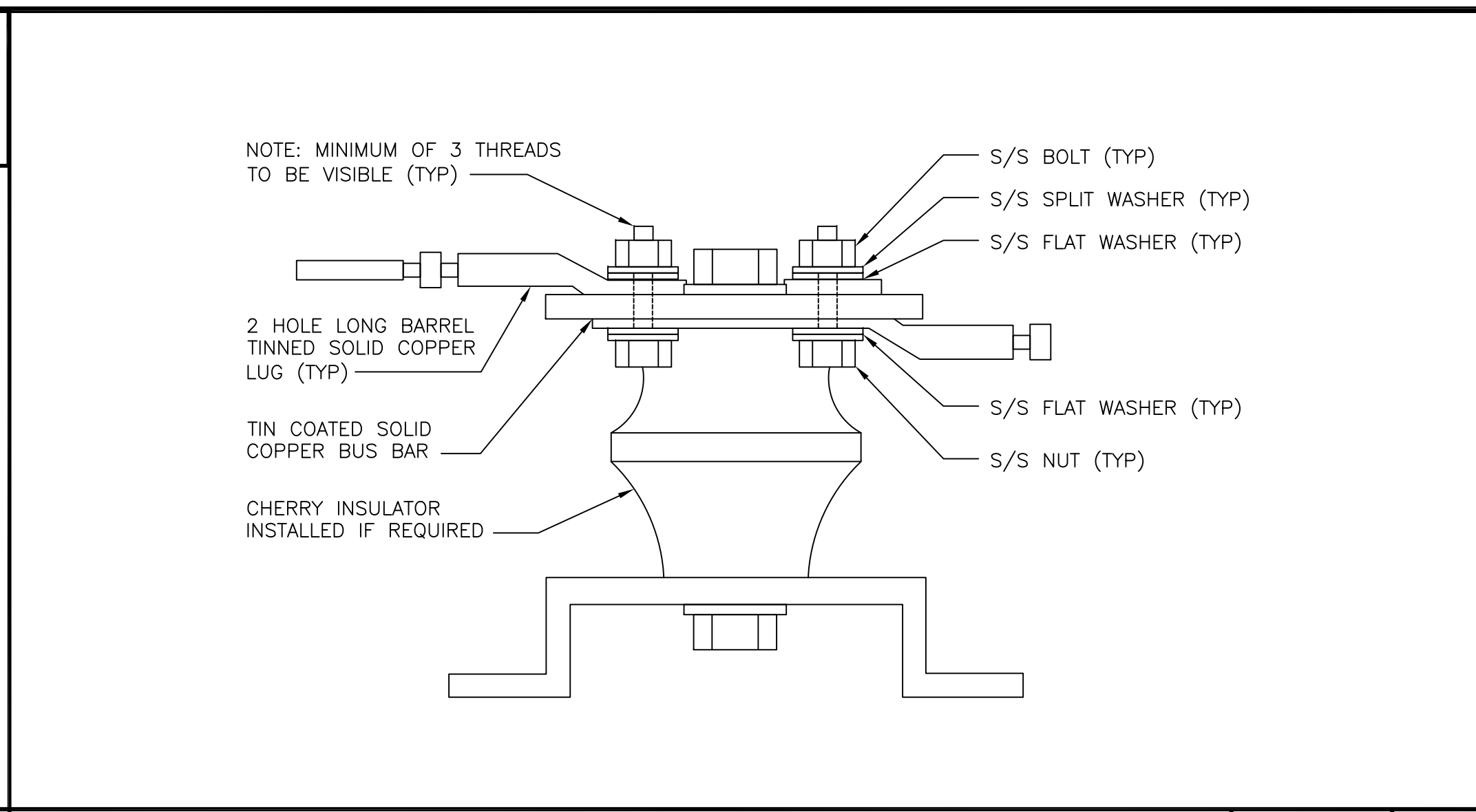
0 1/2 1
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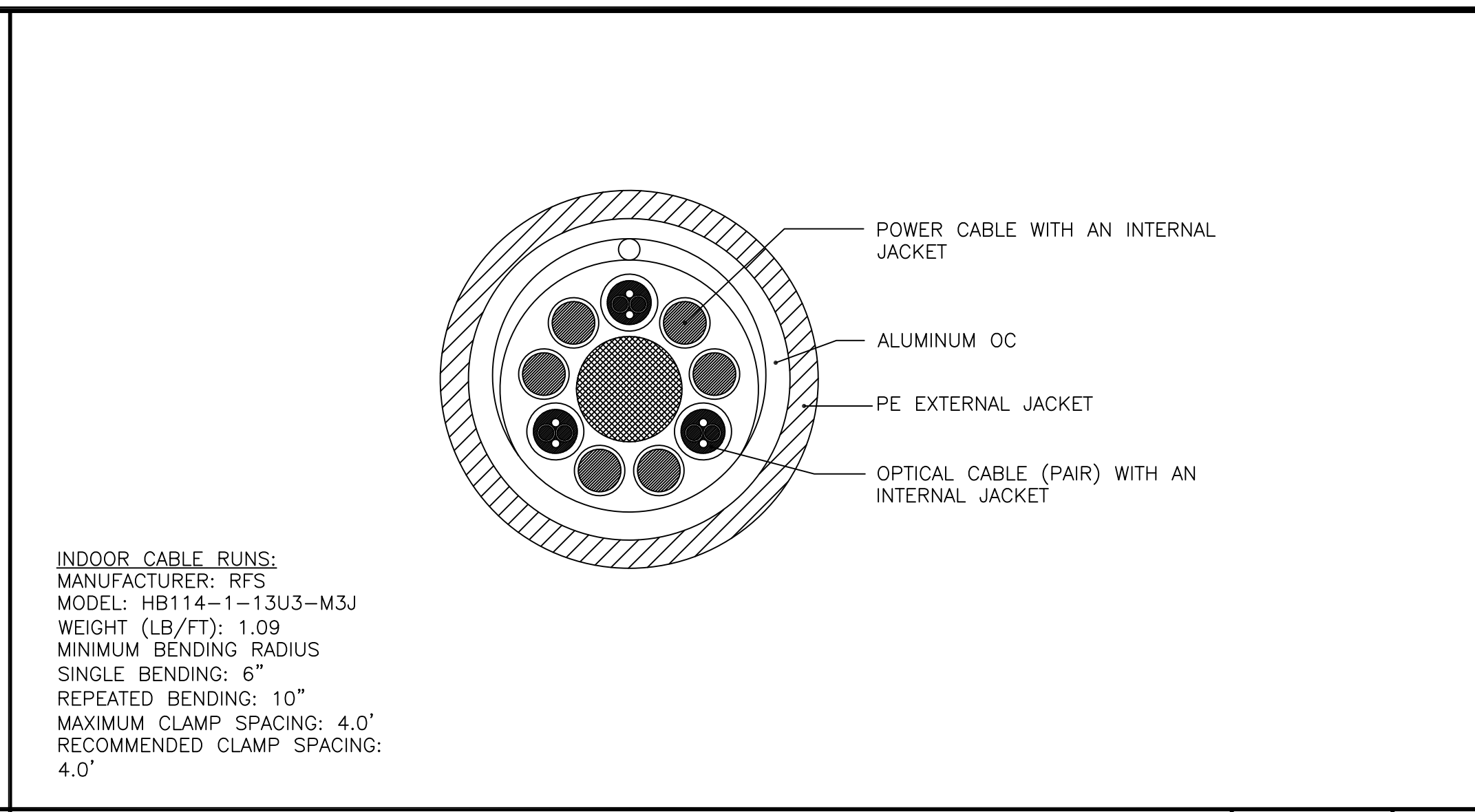
E03



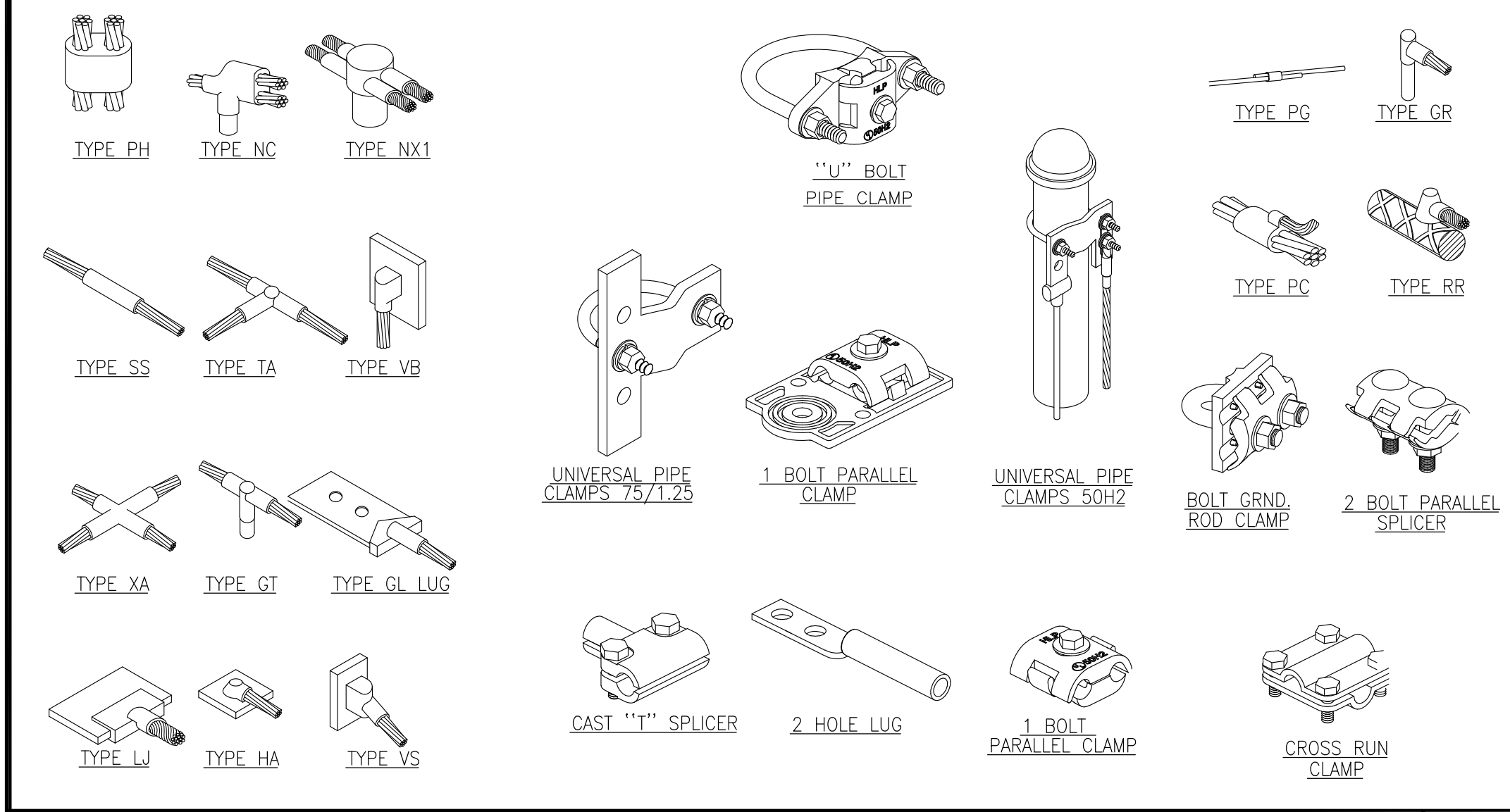
GROUNDING RISER DIAGRAM NO SCALE 1



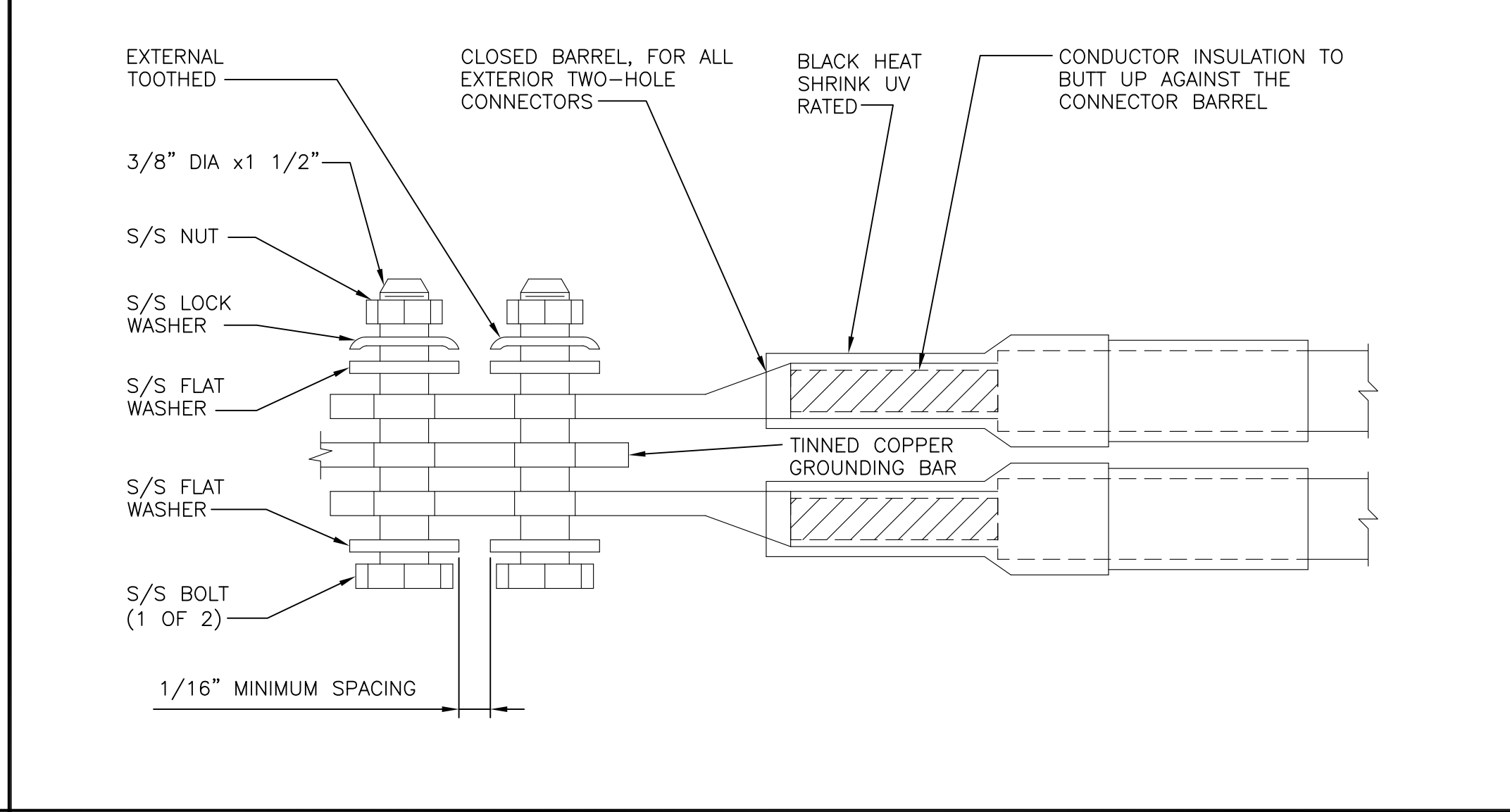
LUG DETAIL NO SCALE 2



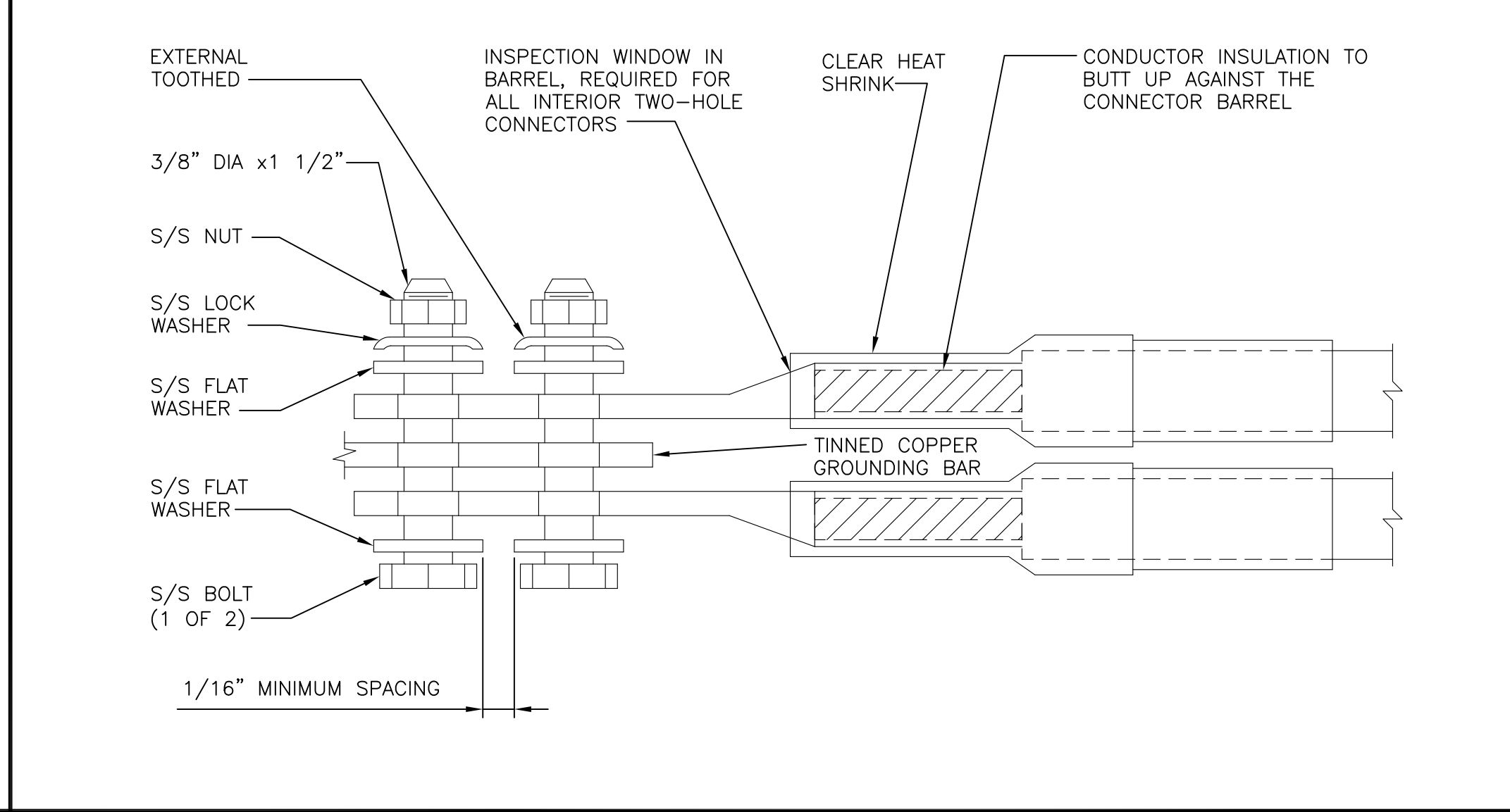
HYBRIDFLEX CABLE GROUNDING DETAIL NO SCALE 3



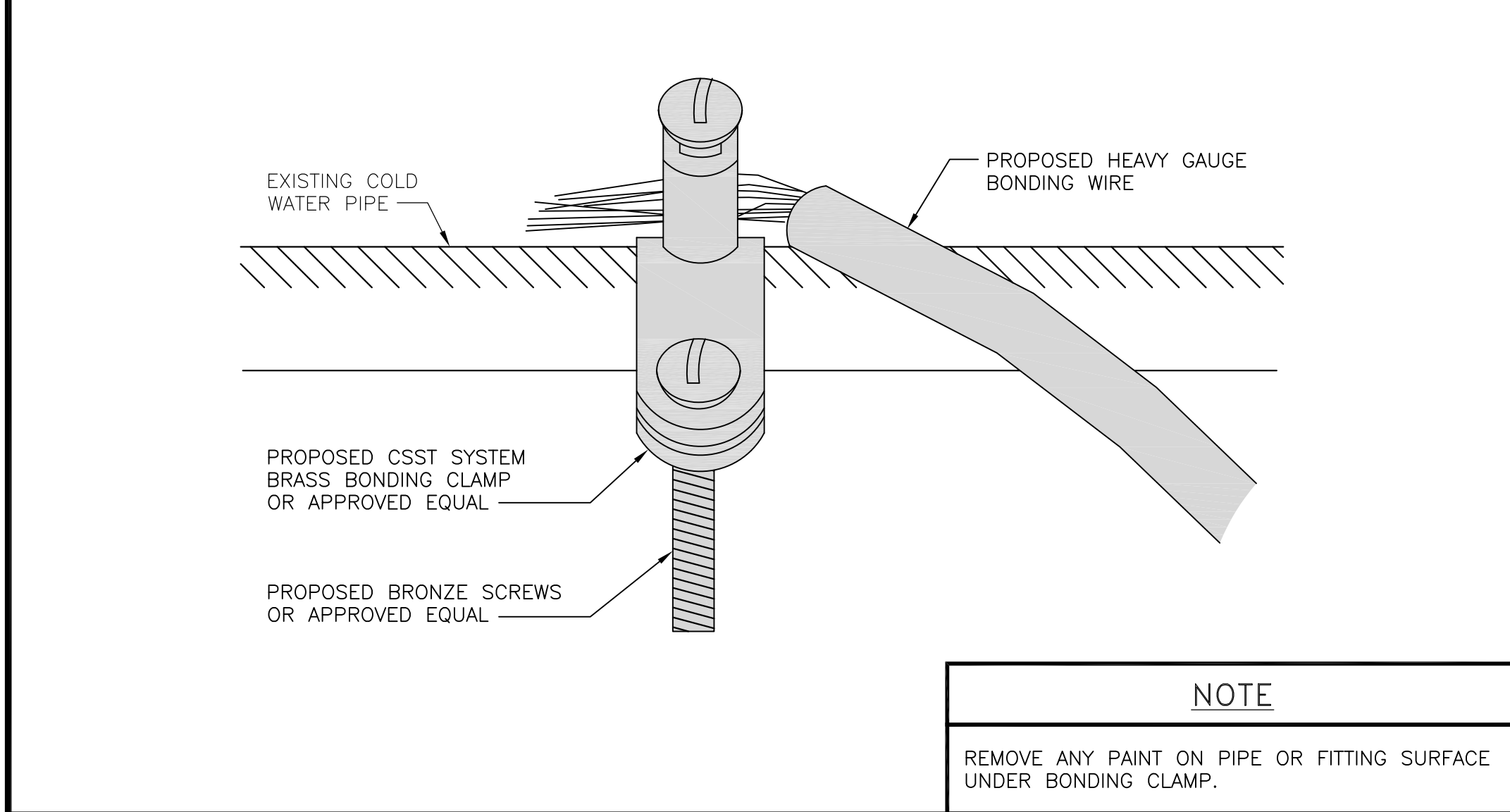
TYPICAL GROUND TYPE NO SCALE 4



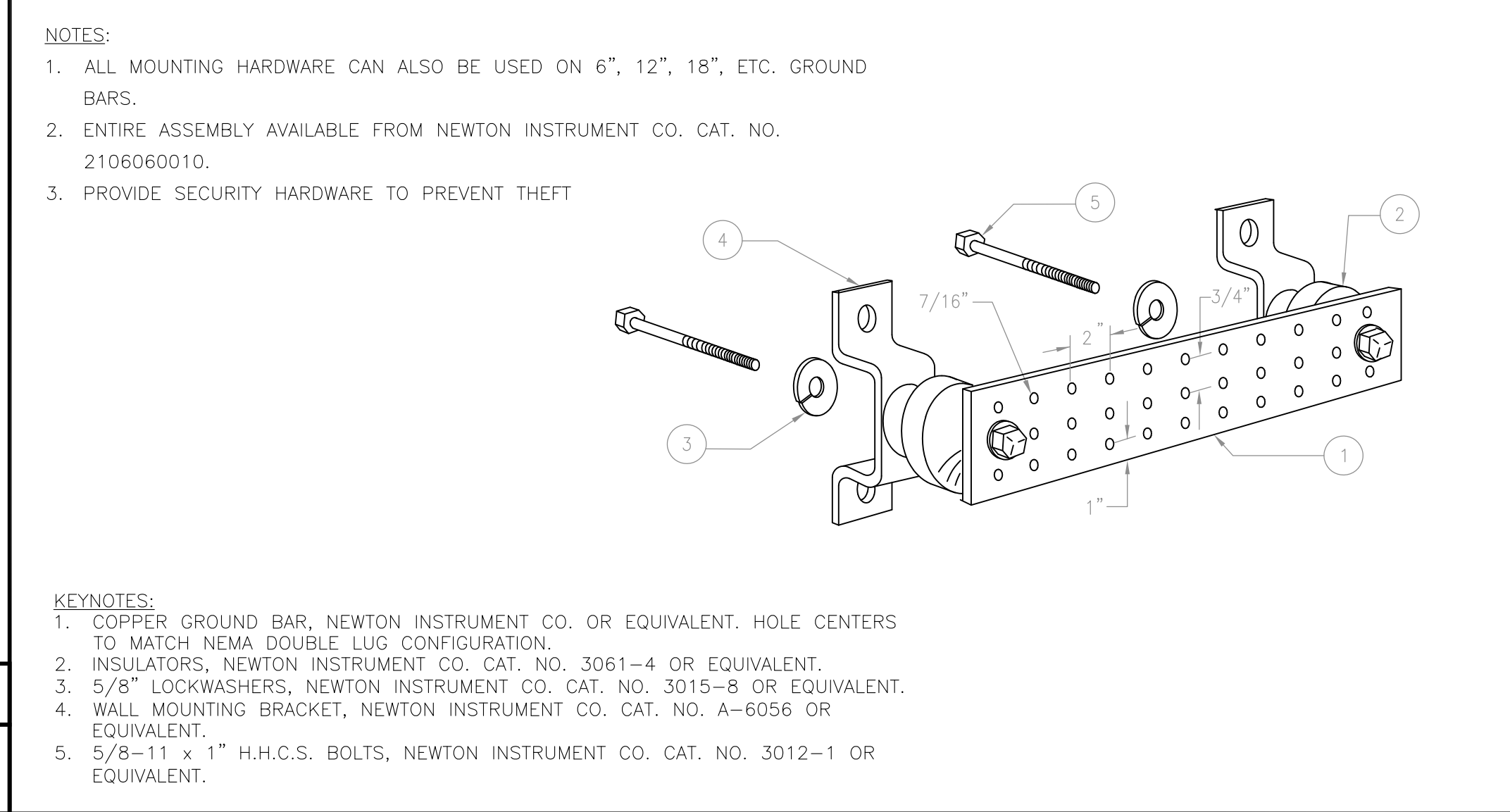
TYPICAL EXTERIOR TWO HOLE LUG NO SCALE 5



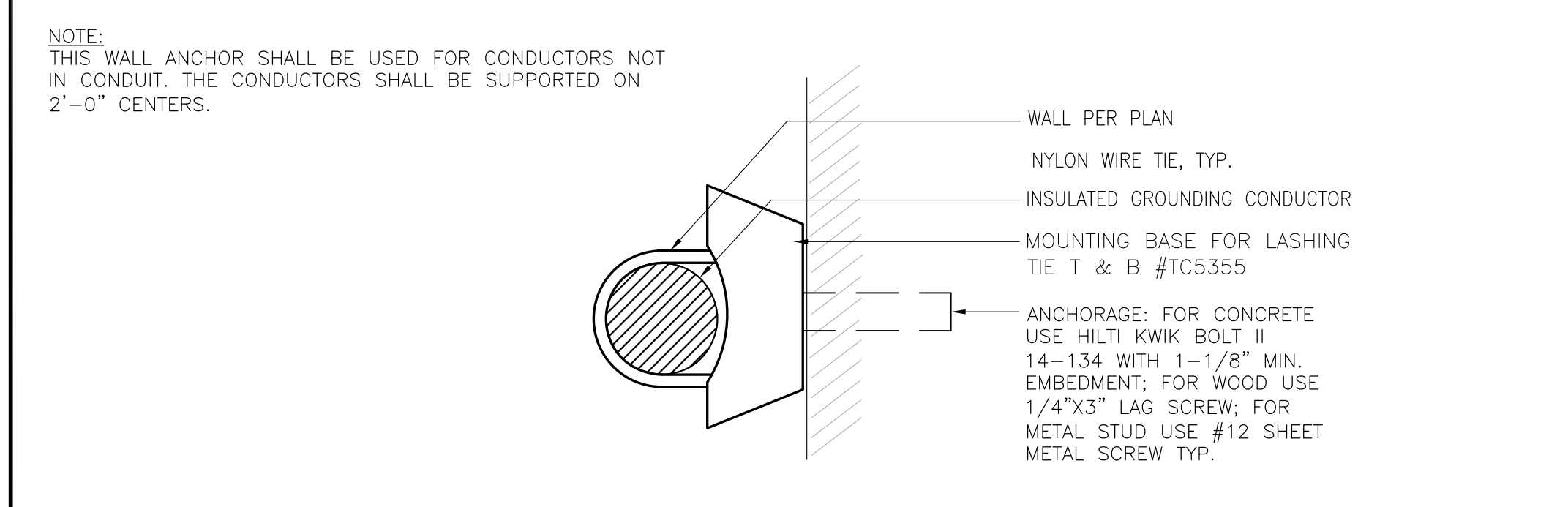
TYPICAL INTERIOR TWO HOLE LUG NO SCALE 6



TYPICAL COLD WATER CONDUIT GROUNDING DETAIL NO SCALE 7



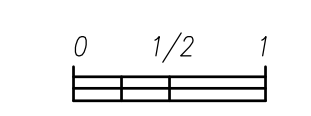
GROUND BUSS BAR NO SCALE 8



GROUND HALO STAND-OFF NO SCALE 9

TITLE SHEET FOR:
SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107
ELECTRICAL AND GROUNDING DETAILS
PRJ NO. _____
PMT NO. _____

(REV. 02/24/2022)

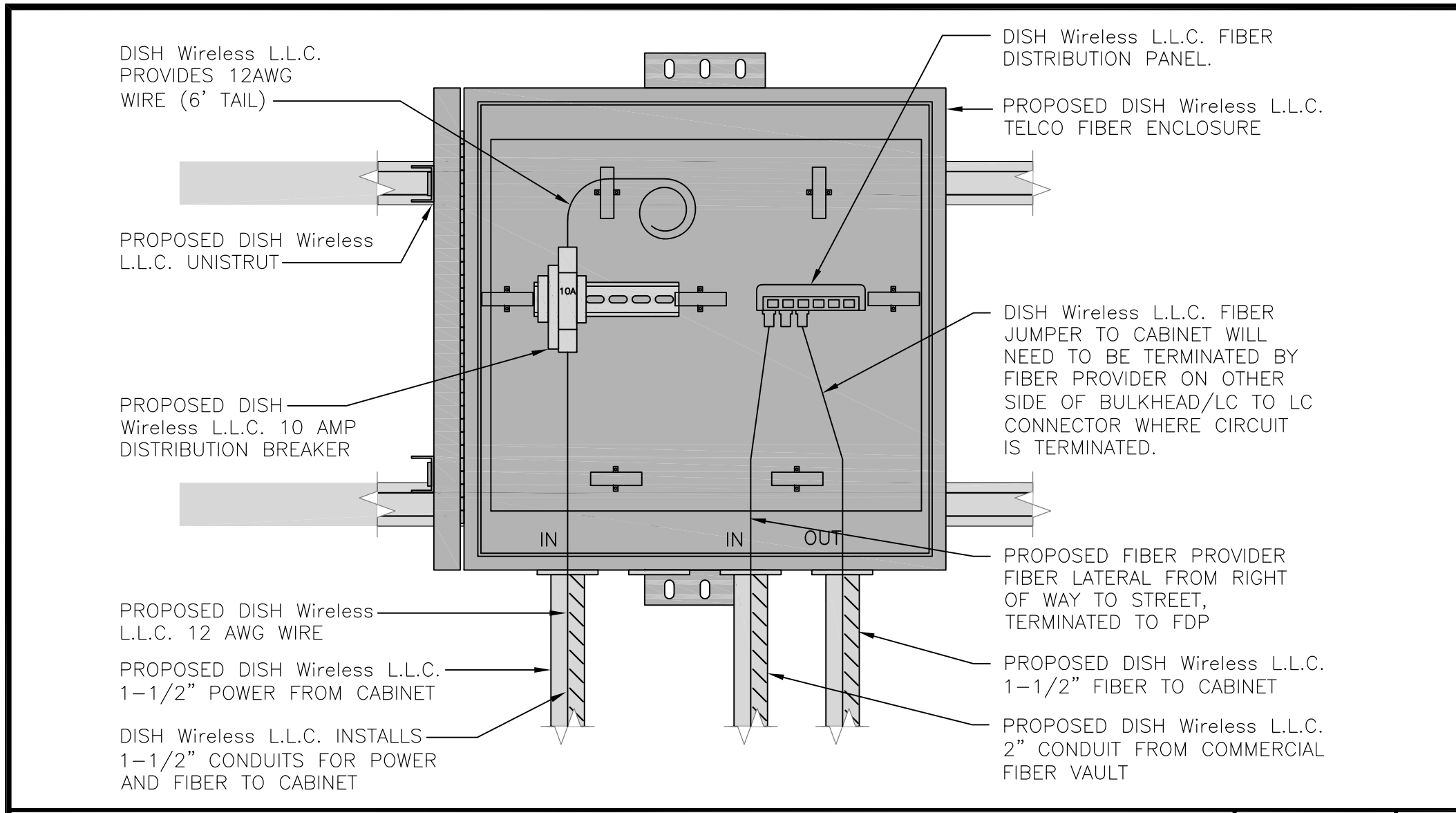


IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



DEVELOPMENT SERVICES DEPARTMENT

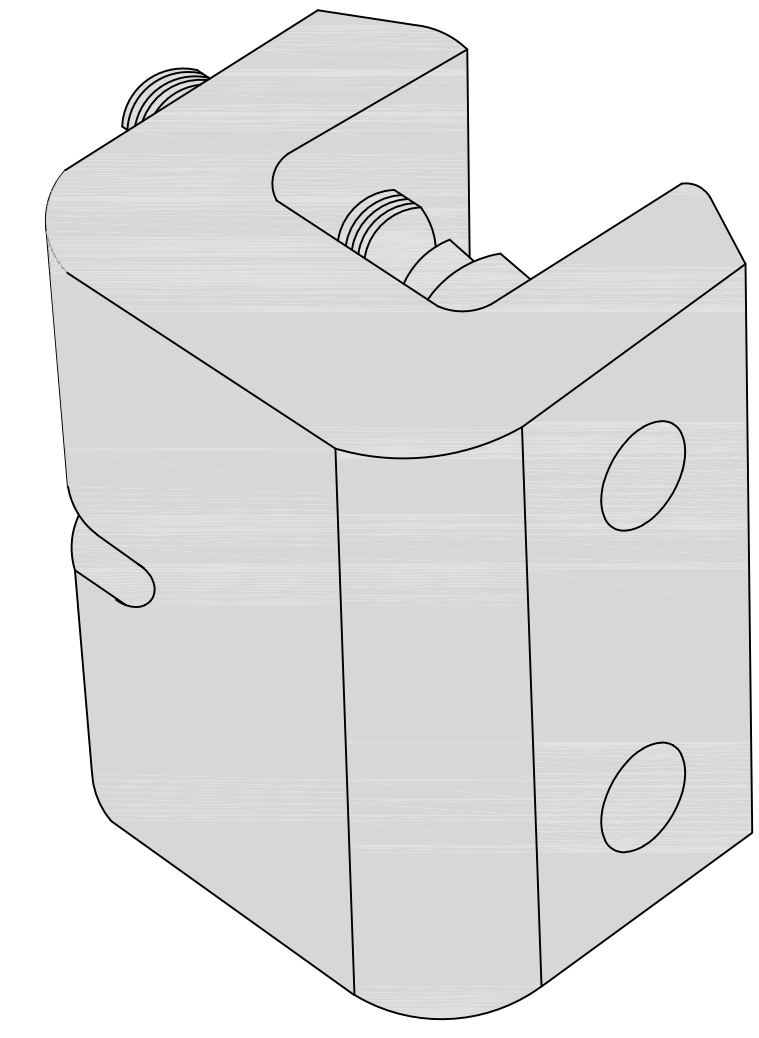
E04



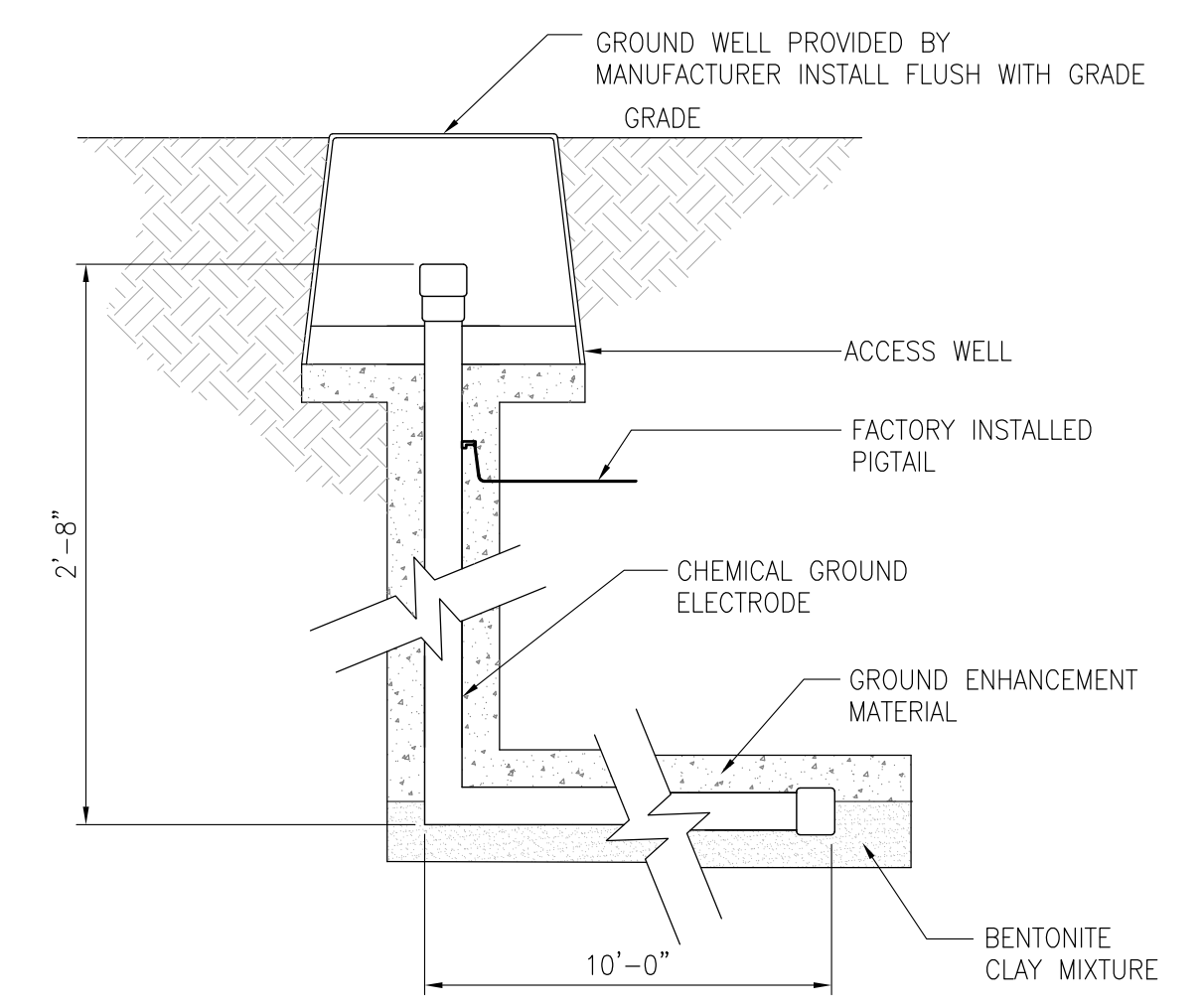
**PANDUIT GUBC500-6
UNIVERSAL BEAM GROUNDING, CLAMP**

COPPER CONDUCTOR SIZE RANGE AWG	#6-500
FLANGE THICKNESS INCHES	0.250-0.675
STUD SIZE INCHES	1/2"
THREAD SIZE	1/2"-13
DIMENSIONS (LxWxH)	3.15"x 2.13"x 2.50"

NOTE:
1. UNIVERSAL, FITS ON A WIDE RANGE OF STANDARD (ANGLED) AND WIDE FLANGE (PARALLEL) STRUCTURAL STEEL BEAMS.
2. UL 467 LISTED FOR GROUNDING AND BONDING ONLY



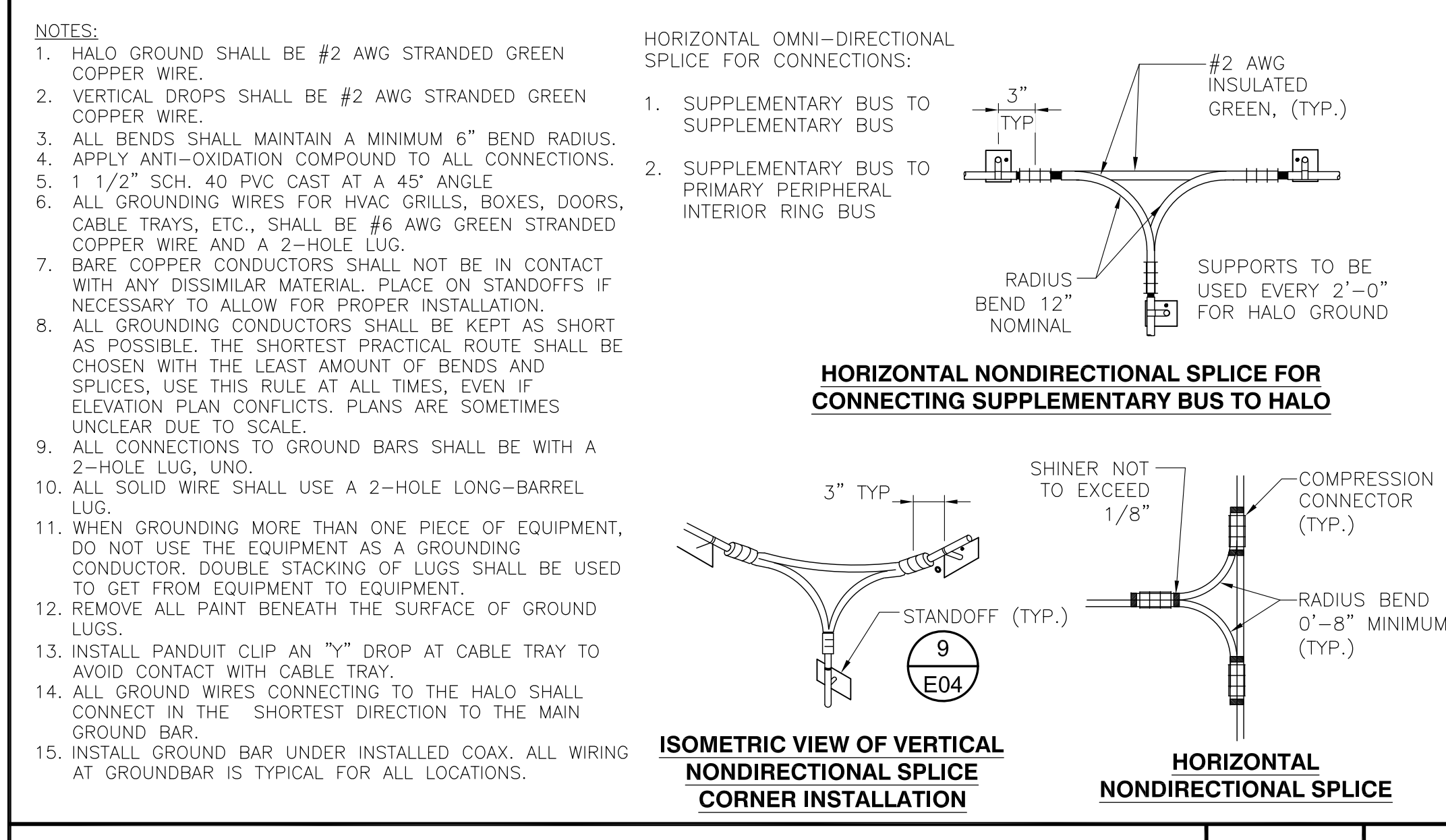
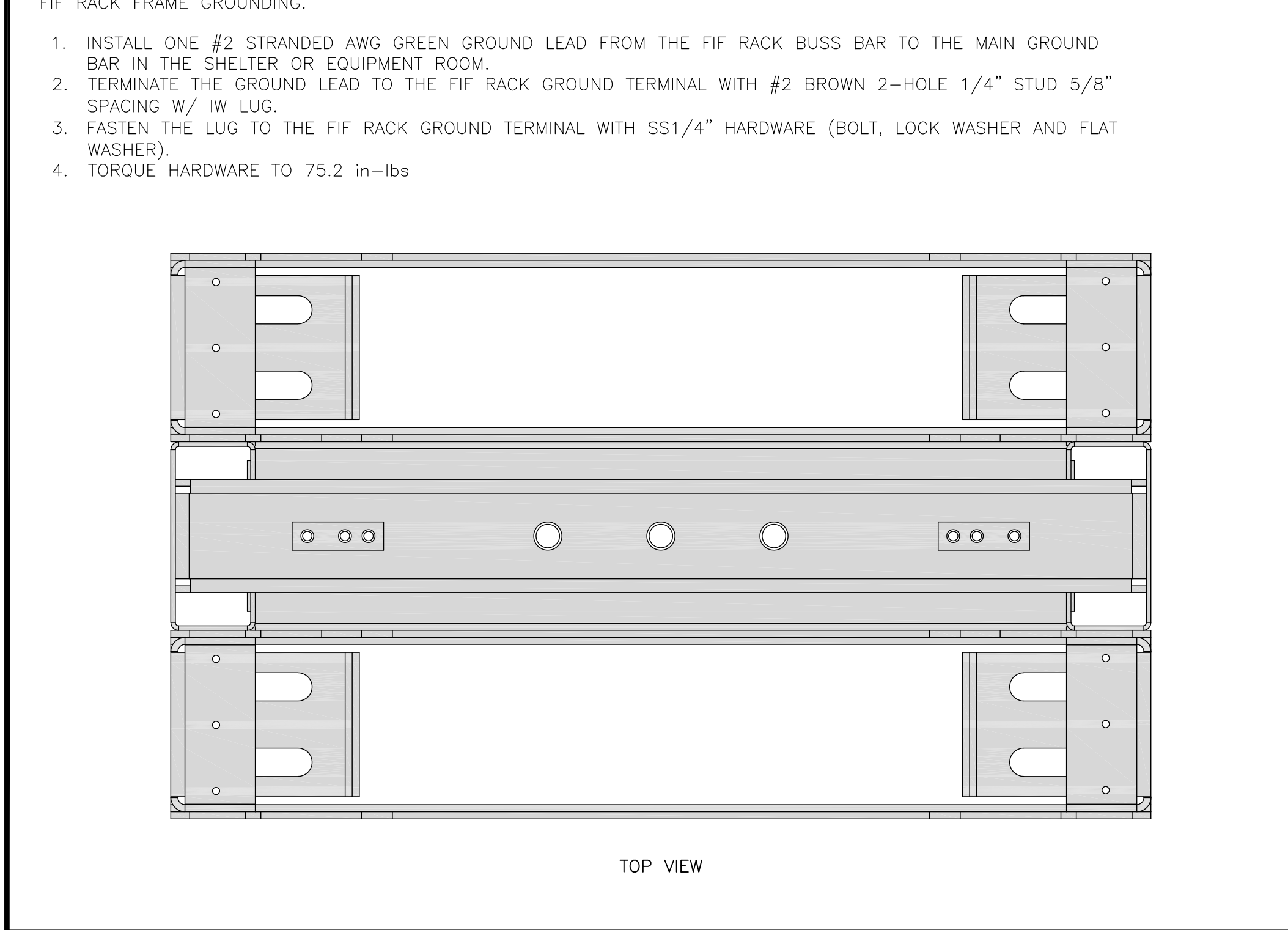
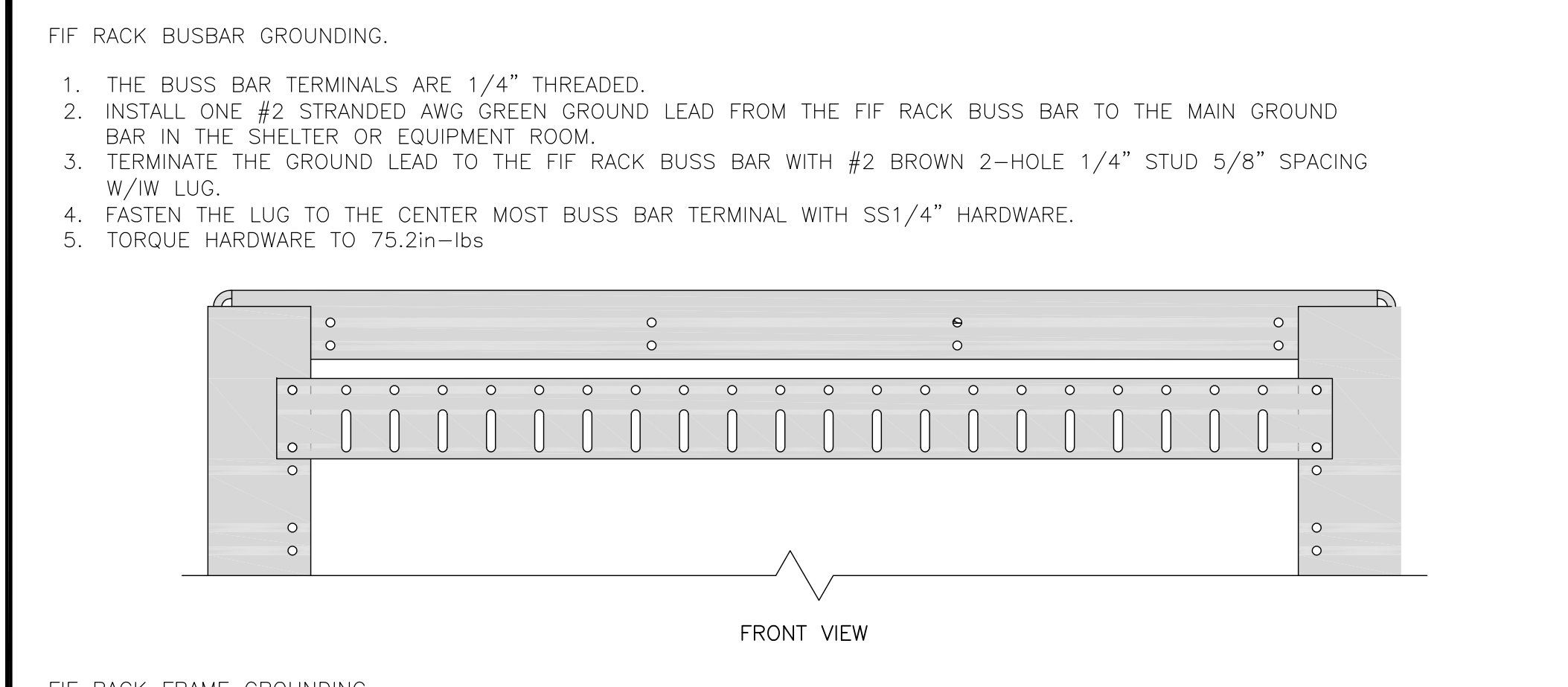
NVENT/ERICO KIT: ECR-H-10-2G-4D
10' STRANDED W/#2/0 SOLID PIGTAIL, WITH BACKFILL & ACCESS WELL OR APPROVED EQUAL. INSTALL PER MFR. SPECIFICATIONS



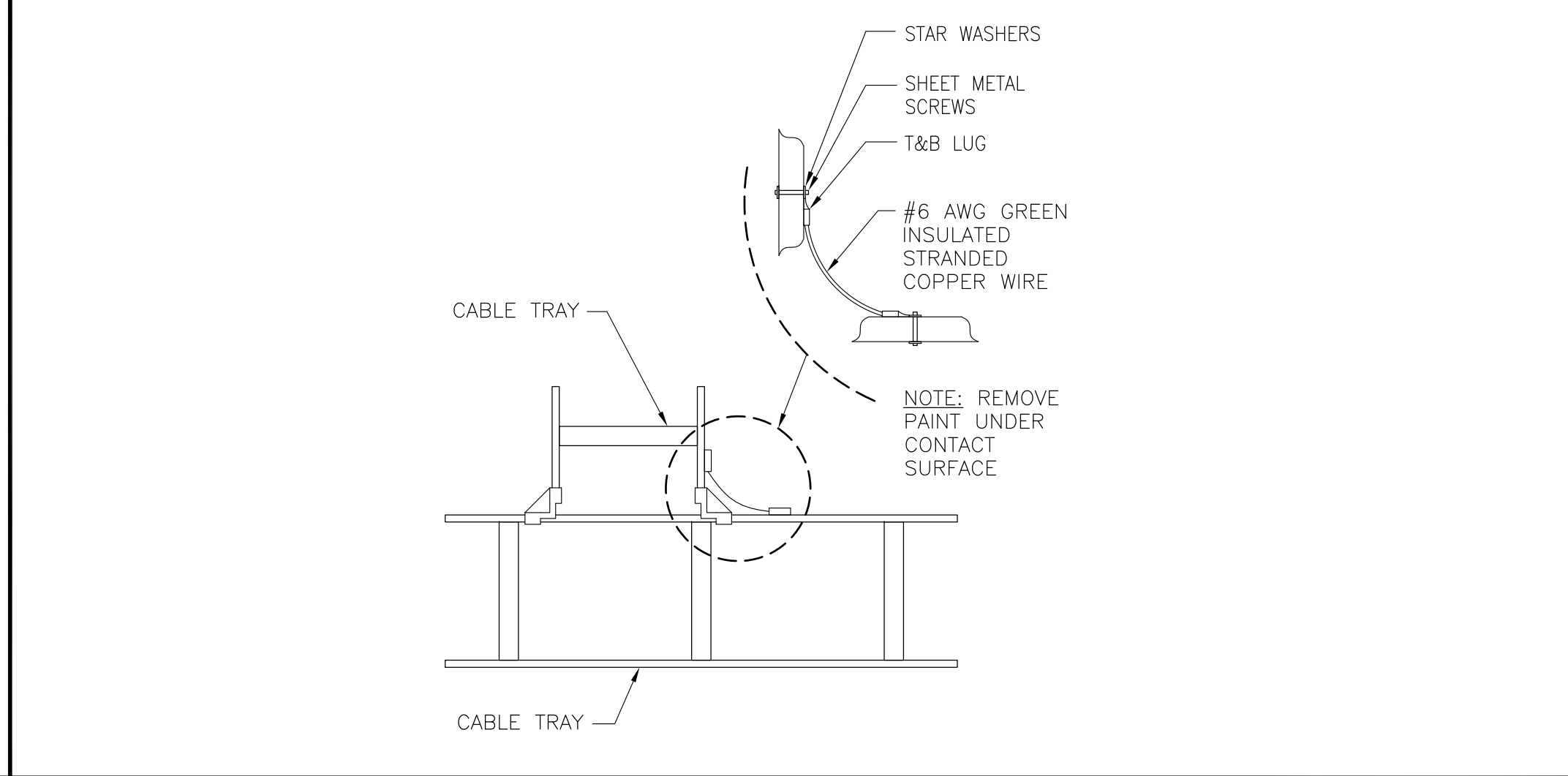
DARK TELCO BOX – INTERIOR WIRING LAYOUT NO SCALE 1

BUILDING STEEL GROUNDING DETAIL NO SCALE 2

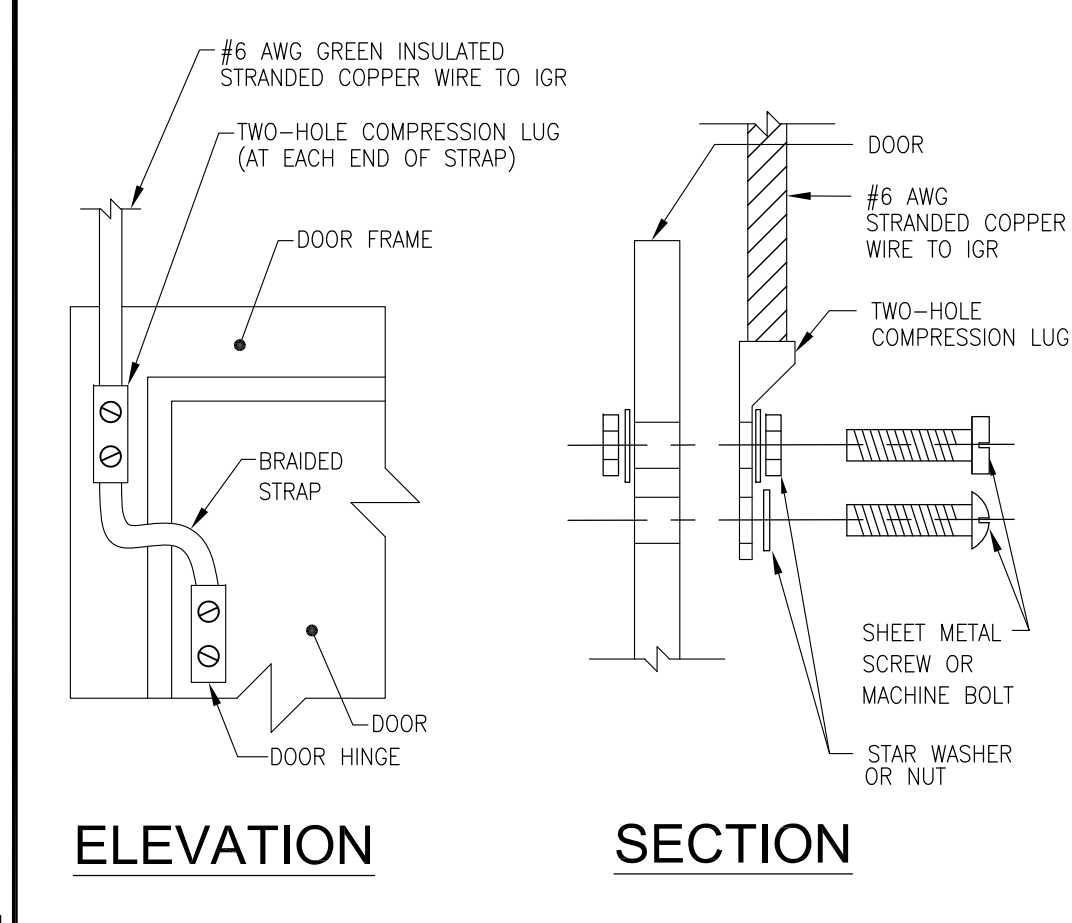
XIT CHEMICAL HORIZONTAL GROUND ROD NO SCALE 3



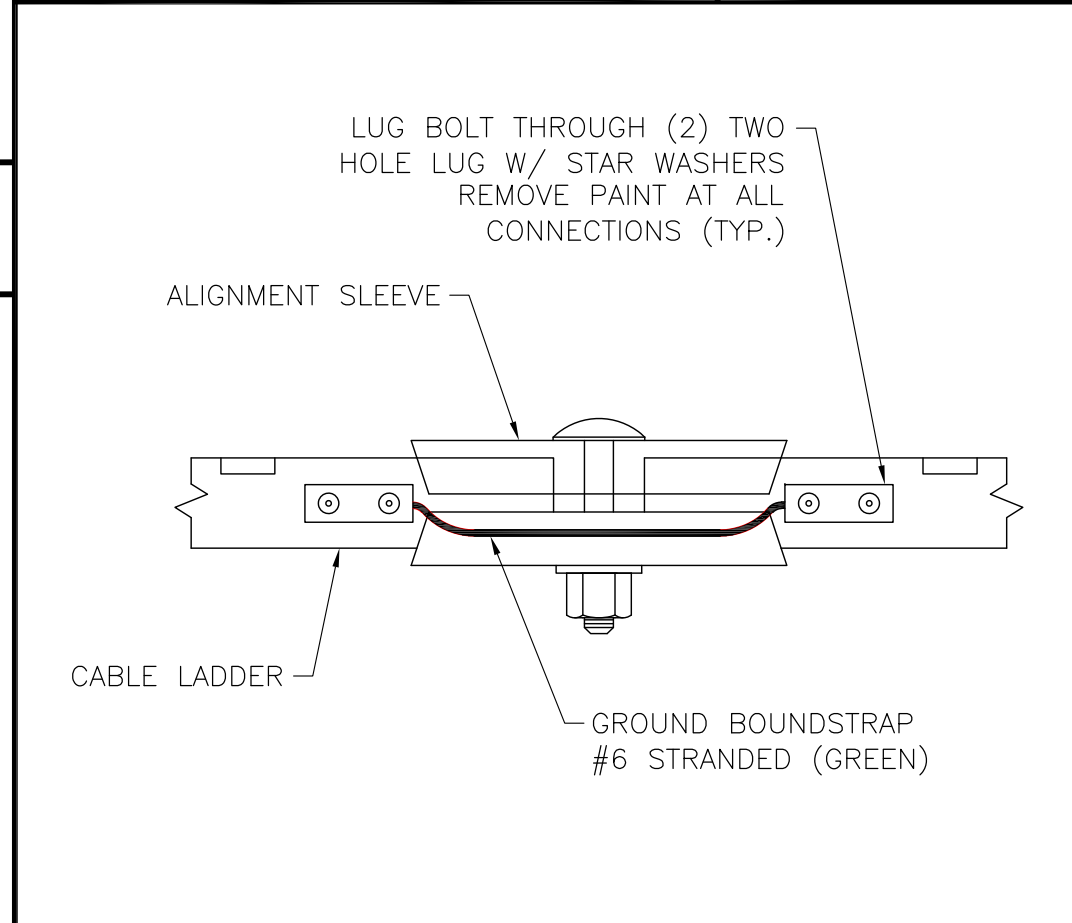
INTERIOR GROUND HALO NO SCALE 5



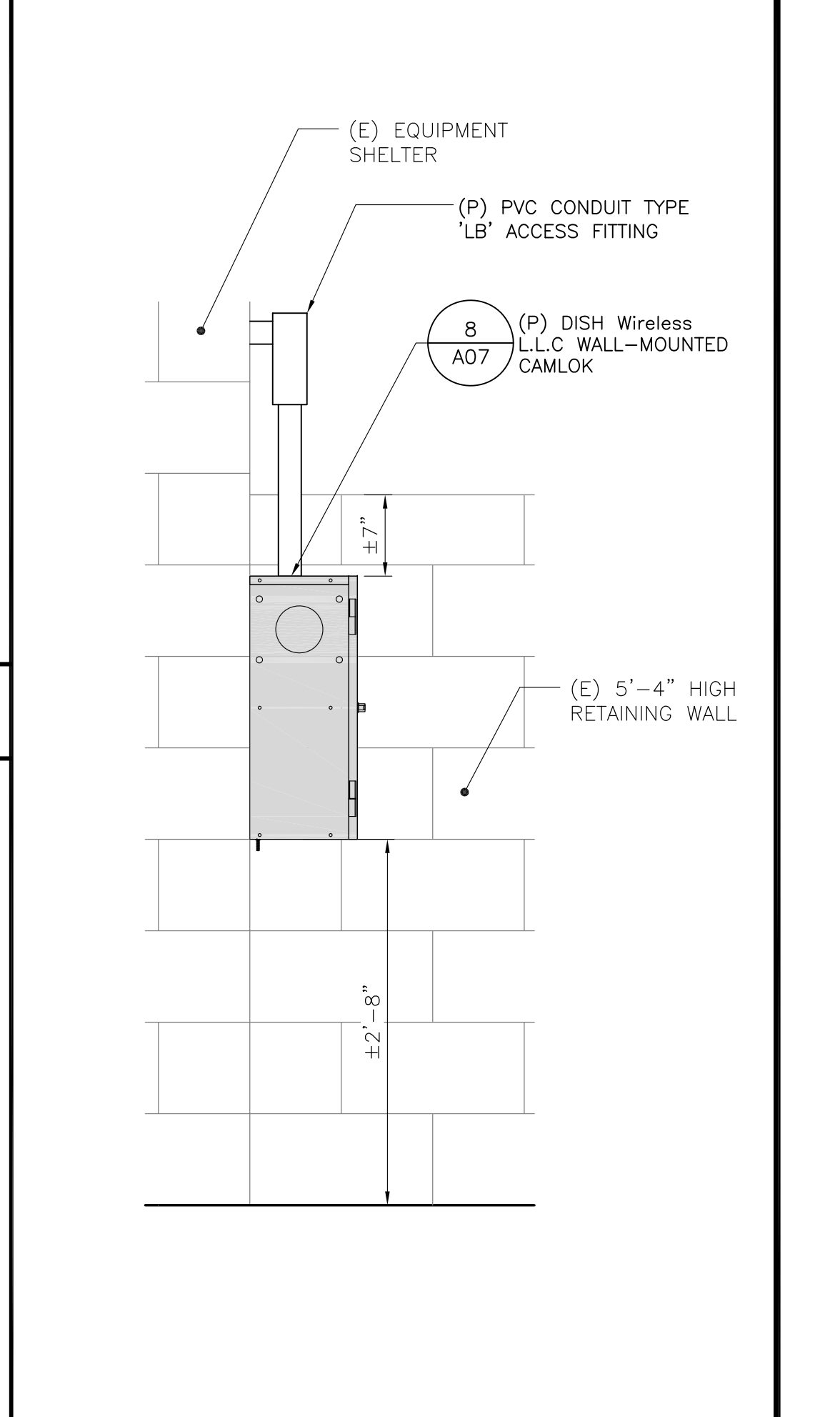
CABLE LADDER GROUNDING NO SCALE 9



DOOR GROUNDING NO SCALE 6



LADDER – GROUND BOND STRAP NO SCALE 7



CAMLOCK ELEVATION NO SCALE 8

FIF RACK BUSBAR GROUNDING NO SCALE 4

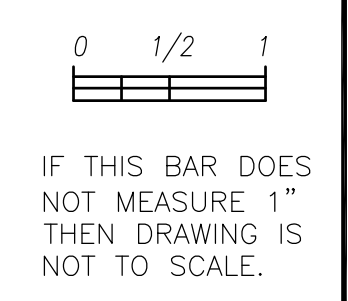
TITLE SHEET FOR:

SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

ELECTRICAL AND GROUNDING DETAILS

PRJ NO. _____
PMT NO. _____


(REV. 02/24/2022)



E05

Battery 23" 2U / 200Ah

SLB48-200-228-1U
13S Series, Generation 5



Technical Specification

Enclosure Size	23" 2U
Lithium Chemistry	NMC
Rated Voltage	48V
Typical Capacity Ah (0.2C, 25°C to 32.6V)	200 Ah
Typical Energy Wh (0.2C, 25°C to 32.6V)	9912 Wh
Calendar Life @ 80% SOC	20 years
Peak Discharge Power	6kW for 60 seconds
Discharge Cutoff Current	100 A
End-of-Discharge Voltage (LVBD)**	32.5 V
Charge Current Limitation (CLD)†	100 A
Charge Voltage for 100% SOC	54.6 V
Charge Voltage for 80% SOC	52 V
Operating Temperature Discharging	0 to +55°C (32 to 131°F)
Operating Temperature Charging	-20 to +60°C (-4 to 140°F)
Operating Relative Humidity	According to ETSI 300 019-1-2 class 3.2 (9-95%)
Storage Temperature	-20 to +60°C (-4 to 140°F)
Weight	Approx. 53 kg (116 lb)
Dimensions mm (in")	W 544 D 725 H 87 (W 21.4" D 28.5" H 3.4")
Circuit breaker	100 A, BMS Controlled, dual pole
IP class	IP20
Communication Protocols	RS485, RJ45 (2 ports), Modbus
Being certified according to	UL1973, UL62268, UN38.3
Management & Monitoring	Software for PC (Studio) included for full local monitoring and management. Remote connection via Modbus

Safe
All our products are designed with your safety in mind - thoroughly verified and certified for safe operation.

Simple
Advanced technology made super easy to use, easy to install, maintenance free, charge control.

Strong
Works in all conditions and environments, extra protection against dust and moisture for prolonged life.

Smart
Automatic balancing, automatic reconnection, remote monitoring options and much more.

Secure
Our unique, patented Anti-Theft Device disables function of batteries if removed from site. It's prepared for optional GPS tracker.

Sustainable
The lifetime is extraordinary long. It's small, light, maintenance free and can be remotely controlled.

05A0201U Rev 1.0

Polarium Energy Solutions AB
Jon Stenbecka Torng IF | PO Box 1037 | SE-164 21, Kista, Sweden
Phone: +46 8 53455 4300 | info@polarium.com | www.polarium.com

Battery 23" 2U / 200Ah

SLB48-200-228-1U
13S Series, Generation 5

Constant Current (A) @ 25°C

Duration (hours)	1	2	3	4	5	6	7	8	9	10	12	14	16	20	24
46.5	919	512	391	293	233	184	162	144	110	117	97	83	72	57	47
45	N/A	626	451	333	267	224	193	169	131	136	113	97	84	67	55
44	N/A	745	530	383	314	264	227	199	150	156	131	114	100	79	66
43.5	N/A	829	583	423	346	290	250	220	166	173	147	126	110	88	73
39.5	N/A	923	655	471	382	320	276	242	176	184	163	140	122	98	83
38	N/A	976	679	489	401	336	289	254	176	204	171	147	128	103	86
36	N/A	N/A	683	515	423	347	299	262	194	211	180	153	132	106	88
34.5	N/A	N/A	686	517	426	348	299	262	194	211	176	153	132	106	88
32.5	N/A	N/A	686	517	426	348	299	262	194	211	176	153	132	106	88

Constant Power (W) @ 25°C

Duration (hours)	1	2	3	4	5	6	7	8	9	10	12	14	16	20	24
46.5	N/A	2636	1848	1407	1162	978	843	740	608	591	489	415	359	279	226
45	N/A	3027	2107	1521	1231	1033	890	783	626	616	508	426	364	284	231
44.5	N/A	3526	2469	1804	1464	1244	1084	956	766	764	632	531	451	351	281
39.5	N/A	N/A	2224	1611	1234	1054	924	814	654	654	534	454	384	294	236
38	N/A	N/A	2338	1693	1293	1113	983	873	713	713	593	513	443	353	283
36	N/A	N/A	2496	1826	1396	1216	1086	976	796	796	676	596	526	416	336
34.5	N/A	N/A	2425	1755	1355	1175	1045	935	755	755	635	555	485	375	305
32.5	N/A	N/A	2425	1755	1355	1175	1045	935	755	755	635	555	485	375	305

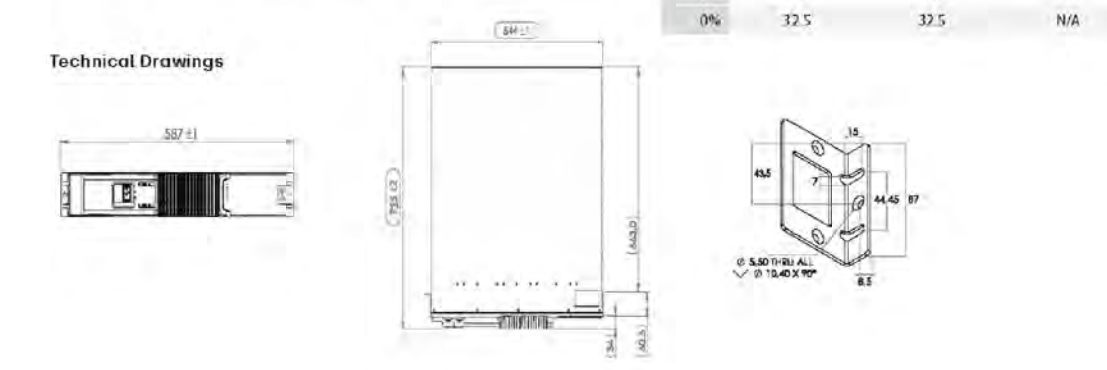
Energy / Wh @ 25°C

Duration (hours)	1	2	3	4	5	10
46.5	4772	5273	5476	5789	5809	5976
45	N/A	6046	6021	6083	6004	6256
44.5	N/A	7047	7221	7480	7428	7614
44	N/A	7723	8006	8180	8304	8526
39.5	N/A	8547	8772	8936	9056	9335
38	N/A	9402	9302	9333	9464	9748
36	N/A	N/A	9541	9604	9738	10000
34.5	N/A	N/A	9603	9703	9777	10000
32.5	N/A	N/A	9603	9703	9777	10000

State of Charge vs Voltage

State of Charge (%)	6.2°C	0.5°C	1.0°C
100%	54.4	54.4	N/A
90%	52.5	51.5	N/A
80%	50.5	50.5	N/A
70%	50.0	49.3	N/A
60%	48.9	48.1	N/A
50%	47.6	46.8	N/A
40%	46.5	45.5	N/A
30%	45.5	44.5	N/A
20%	44.2	43.3	N/A
10%	43.1	41.9	N/A
0%	32.5	32.5	N/A

Technical Drawings



2022 CFC SECTION 1206 COMPLIANCE

NEW CABINET

BATTERY TYPE:	(N) POLARIUM SLB48-200-228-1U
AMP-HR PER BATTERY	200 AH
VOLTS PER BATTERY	48 VOLTS
KWH PER BATTERY	9.60 KWH
BATTERY QUANTITY:	2
TOTAL KWH:	19.2 KWH

THE TOTAL KWH @ THIS SITE WILL BE LESS THAN 20KWH, THIS SITE IS IN COMPLIANCE WITH 2022 CFC SECTION 1206, TABLE 1201.1 THRESHOLD FOR LITHIUM-ION BATTERIES.

BATTERY SPECS AND KWH CALCULATION

NO SCALE 1

DATA SHEET

AC Power Protection Cabinet Solutions with Raycap Surge Protection

Power Protection Cabinet

RDIAC-2465-P-240-MTS



Each compact PPC combines the Main Disconnect, Manual Transfer Switch, Load Center, SPD and Genset Lock Generator Interface into one cost effective solution.

Features

- 60 kAIC fault current rated
- 24 position load center
- 200A/200A main/generator breakers
- Suitable for use as service entrance equipment
- 12.5 kA (10000 us) 140 kA (800 us) Stinesrud® surge protection device
- Cam-lock generator interfaces
- Power coated aluminum
- GFCI installed
- NEMA 3R Rated
- UL Listed

Benefits

- Saves floor space
- Easy to install
- Cost Effective

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Raycap www.raycap.com

SPECIFICATIONS

AC Power Protection Cabinet Solutions with Raycap Surge Protection

Power Protection Cabinet

RDIAC-2465-P-240-MTS

Electrical	RDIAC-2465-P-240-MTS
Utility Breaker	200A, 60kAIC
Generator Breaker	200A, 10kAIC
Generator Interface	Camlock
Opening AC Voltage	240/120/1 phase 3W-G
Transfer Switch	Manual
GFCI	Included
Load Center	24 Position

Surge Suppression

Surge Protection Device (SPD) Classification to UL	Type 2
Maximum Continuous Operating AC Voltage (MCOV)	150V
Normal Discharge Current (I _n)	20kA
Maximum Surge Current Capacity at 800µs (I _{max})	145kA
Impulse Discharge Current per IEC at 1000µs	12 kA
Voltage Protection Rating (VPR) at 5kA/1000µs	600V
Suppression Technology	Si-MOSFET
Protection Module	Line-Neutral

Mechanical

Direction	Hinged
Operating Temperature (°C)	-40° C to +70° C
Enclosure Type (NEMA)	3R Powder Coated Aluminum
Enclosure Dimension (H x W x D)	29" x 22.85" x 12.50"
Generator receptacle mounting	Left
Weight	80 lbs

UL Listing Information

AC Surge Protection Compliance: UL 1449, cUL, ETL
PPC Compliance: UL 501, UL 508

Raycap www.raycap.com

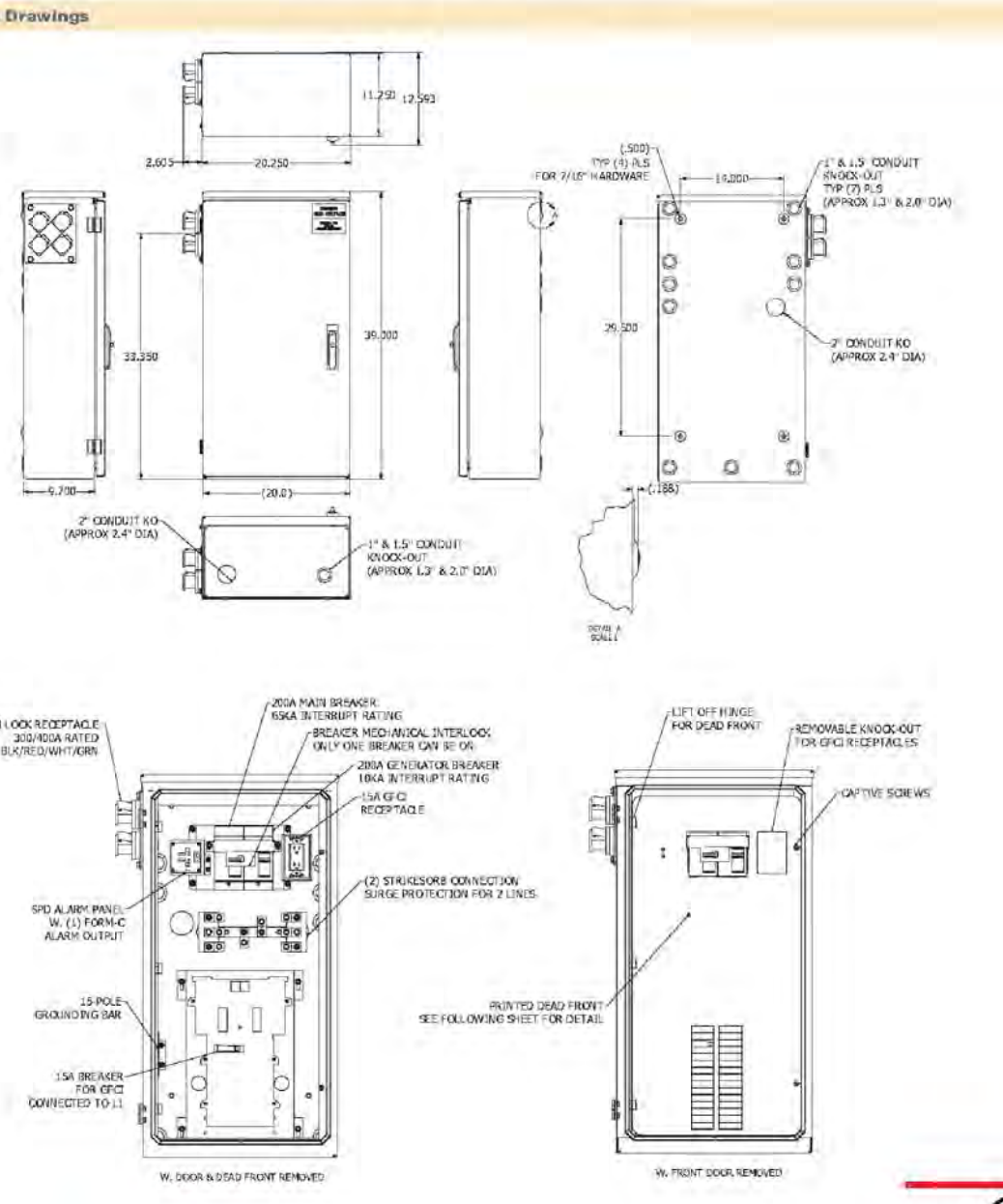
SPECIFICATIONS

AC Power Protection Cabinet Solutions with Raycap Surge Protection

Power Protection Cabinet

RDIAC-2465-P-240-MTS

Product Drawings



Raycap www.raycap.com

PPC SPECIFICATIONS

NO SCALE 2

TITLE SHEET FOR:

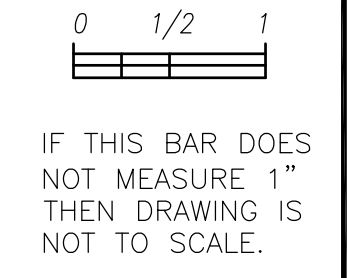
SDSAN00499A

1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

ELECTRICAL AND GROUNDING DETAILS

PRJ NO. _____
PMT NO. _____

(REV. 02/24/2022)



E06

RF JUMPER COLOR CODING

3/4" TAPE WIDTHS WITH 3/4" SPACING

LOW-BAND RRH - (600MHz N71 BASEBAND) + (850MHz N26 BAND) + (700MHz N29 BAND) - OPTIONAL PER MARKET

ADD FREQUENCY COLOR TO SECTOR BAND (CBRS WILL USE YELLOW BANDS)

ALPHA RRH				BETA RRH				GAMMA RRH			
PORT 1 + SLANT	PORT 2 - SLANT	PORT 3 + SLANT	PORT 4 - SLANT	PORT 1 + SLANT	PORT 2 - SLANT	PORT 3 + SLANT	PORT 4 - SLANT	PORT 1 + SLANT	PORT 2 - SLANT	PORT 3 + SLANT	PORT 4 - SLANT
RED	RED	RED	RED	BLUE	BLUE	BLUE	BLUE	GREEN	GREEN	GREEN	GREEN
ORANGE	ORANGE	RED	RED	ORANGE	ORANGE	BLUE	BLUE	ORANGE	ORANGE	GREEN	GREEN
	WHITE (-) PORT	ORANGE	ORANGE		WHITE (-) PORT	ORANGE	ORANGE		WHITE (-) PORT	ORANGE	ORANGE
			WHITE (-) PORT				WHITE (-) PORT				WHITE (-) PORT

MID-BAND RRH - (AWS BANDS N66+N70)

ADD FREQUENCY COLOR TO SECTOR BAND (CBRS WILL USE YELLOW BANDS)

RED	RED	RED	RED	BLUE	BLUE	BLUE	BLUE	GREEN	GREEN	GREEN	GREEN
PURPLE	PURPLE	RED	RED	PURPLE	PURPLE	BLUE	BLUE	PURPLE	PURPLE	GREEN	GREEN
	WHITE (-) PORT	PURPLE	PURPLE		WHITE (-) PORT	PURPLE	PURPLE		WHITE (-) PORT	PURPLE	PURPLE
			WHITE (-) PORT				WHITE (-) PORT				WHITE (-) PORT

HYBRID/DISCREET CABLES

INCLUDE SECTOR BANDS BEING SUPPORTED ALONG WITH FREQUENCY BANDS

EXAMPLE 1 - HYBRID, OR DISCREET, SUPPORTS ALL SECTORS, BOTH LOW-BANDS AND MID-BANDS

EXAMPLE 2 - HYBRID, OR DISCREET, SUPPORTS CBRS ONLY, ALL SECTORS

EXAMPLE 1	EXAMPLE 2	EXAMPLE 3
RED	RED	RED
BLUE	BLUE	
GREEN	GREEN	ORANGE
ORANGE	YELLOW	PURPLE
PURPLE		

FIBER JUMPERS TO RRHs

LOW-BAND RRH FIBER CABLES HAVE SECTOR STRIPE ONLY

LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH
RED	RED	BLUE	BLUE	GREEN	GREEN
	PURPLE		PURPLE		PURPLE

POWER CABLES TO RRHs

LOW-BAND RRH POWER CABLES HAVE SECTOR STRIPE ONLY

LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH
RED	RED	BLUE	BLUE	GREEN	GREEN
	PURPLE		PURPLE		PURPLE

RET MOTORS AT ANTENNAS

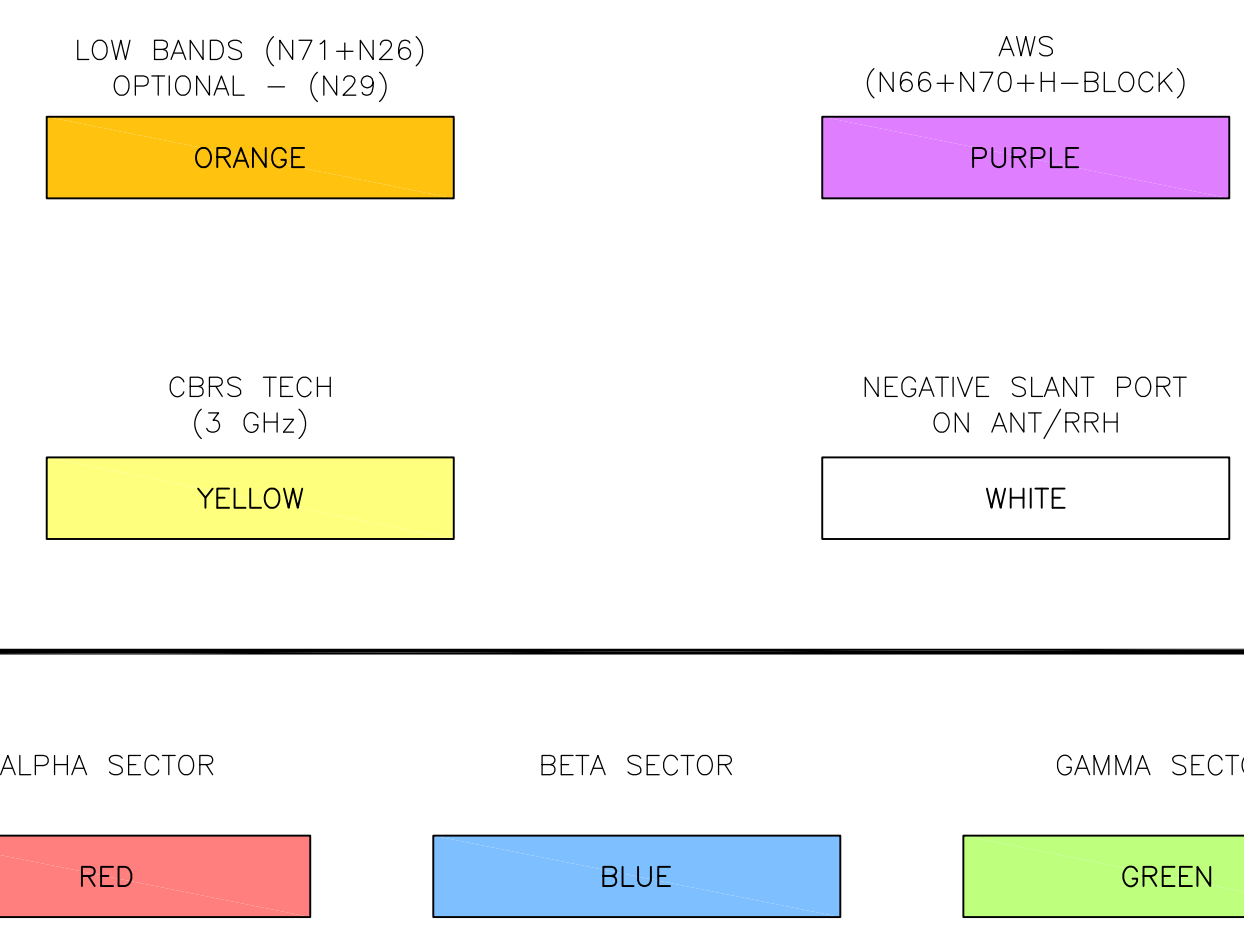
ANTENNA 1 LOW BAND / "IN"	ANTENNA 1 HIGH BAND / "IN"	ANTENNA 1 LOW BAND / "IN"	ANTENNA 1 HIGH BAND / "IN"	ANTENNA 1 LOW BAND / "IN"	ANTENNA 1 HIGH BAND / "IN"
RED	RED	BLUE	BLUE	GREEN	GREEN
	PURPLE		PURPLE		PURPLE

MICROWAVE RADIO LINKS

LINKS WILL HAVE A 1.5-2 INCH WHITE WRAP WITH THE AZIMUTH COLOR OVERLAPPING IN THE MIDDLE. ADD ADDITIONAL SECTOR COLOR BANDS FOR EACH ADDITIONAL MW RADIO.

MICROWAVE CABLES WILL REQUIRE P-TOUCH LABELS INSIDE THE CABINET TO IDENTIFY THE LOCAL AND REMOTE SITE ID'S

FORWARD AZIMUTH OF 0-120 DEGREES		FORWARD AZIMUTH OF 120-240 DEGREES		FORWARD AZIMUTH OF 240-360 DEGREES	
PRIMARY	SECONDARY	PRIMARY	SECONDARY	PRIMARY	SECONDARY
WHITE	WHITE	WHITE	WHITE	WHITE	WHITE
RED	RED	BLUE	BLUE	GREEN	GREEN
WHITE	WHITE	WHITE	WHITE	WHITE	WHITE
	RED	BLUE	BLUE		GREEN
	WHITE		WHITE		WHITE



COLOR IDENTIFIER NO SCALE 2

RF CABLE COLOR CODES

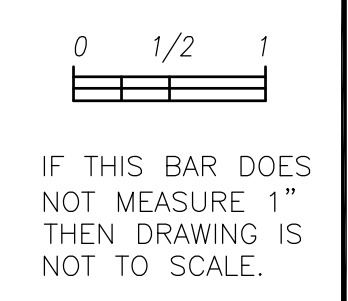
NO SCALE 1 NOT USED NO SCALE 3

TITLE SHEET FOR:
SDSAN00499A
1711 SUNSET CLIFFS BLVD., SAN DIEGO, CA 92107

ELECTRICAL AND GROUNDING DETAILS PRJ NO. _____ PMT NO. _____



STAND 8



E07

(REV. 02/24/2022)



LETTER OF AUTHORIZATION

County/Municipality: City of San Diego
Property: 1711 Sunset Cliffs Blvd, San Diego, CA 92107
Site ID: SDSAN00499A Site Name: DISH

The undersigned **Point Loma** Masonic Temple Associations of the above described Property (“Owner”), appoint(s) **Stand 8** and its employees, agents and contractors, on behalf of (“DISH”) as Owner’s agent, for the purpose of filing and completing any application necessary for constructing or installing antennas, support structures and related equipment on the Property as DISH may require for its wireless communications system.

Assessor’s Parcel Number: 448-381-01-00

Authorized Agent:
Stand 8

Property Owner:
Point Loma Masonic Temple Association

By: Kim Ice

By: 

Name: Kim Ice

Name: Christopher Shamoon

Title: Site Acquisitions Specialist

Title: Treasurer

Date: 3.18.22

Date: June 22, 2022



TM

DISH Wireless

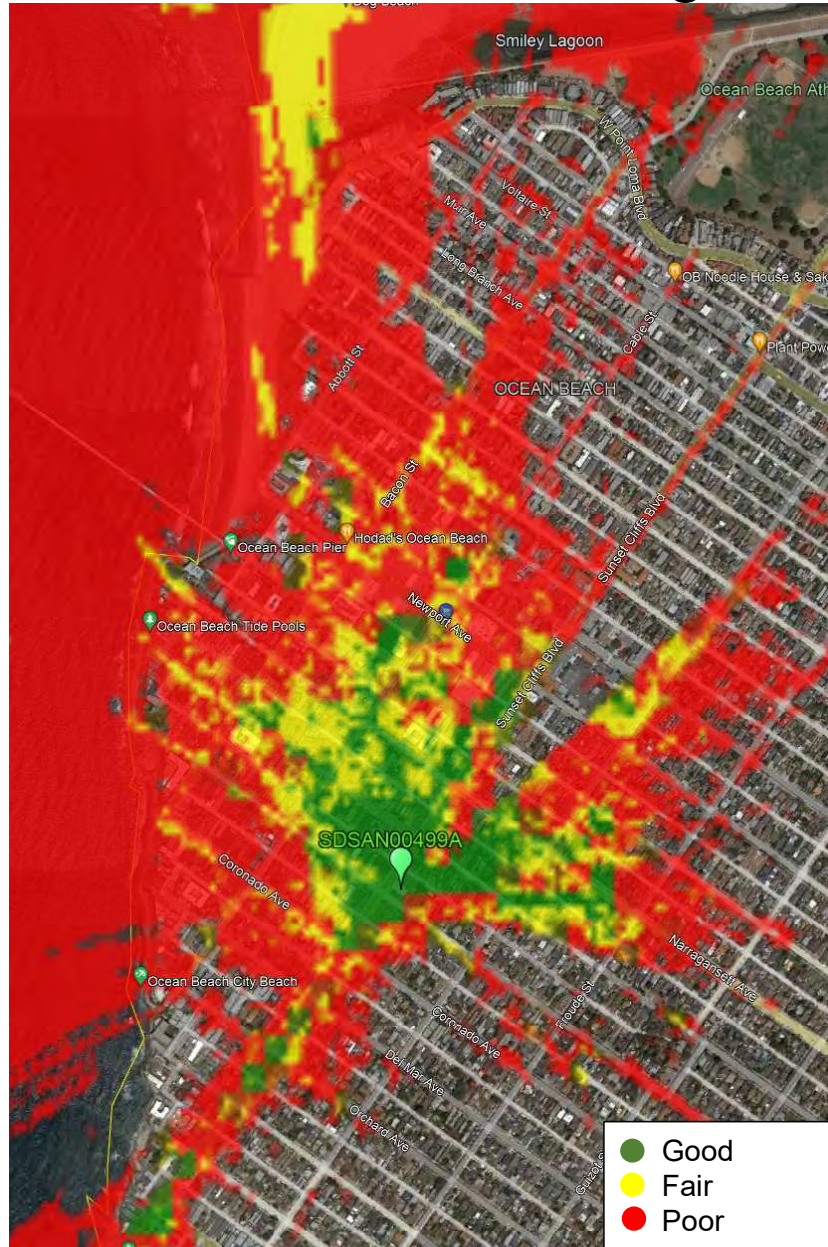
SDSAN00499A Band n66 coverage

December 2021



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SDSAN00499A Band n66 Coverage



This site covers about half the area of the Ocean Beach community. It covers about a mile of Sunset Cliffs Blvd, Narragansett Ave and the beach area of Ocean Beach.





DISH Wireless

