



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 28, 2024 REPORT NO. HO-24-011

HEARING DATE: March 6, 2024

SUBJECT: 8011 LA JOLLA SHORES, Process Three Decision

PROJECT NUMBER: [PRJ-1063139](#)

OWNER/APPLICANT: John Ramon Pierce, Trustee of The John Ramon Pierce Trust dated August 29, 2019, Owner / Chandra Slaven, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit to remodel an existing 2,274-square-foot single dwelling unit to include a 188-square-foot addition to the existing garage, and a 703-square-foot second-story addition with a roof deck located at [8011 La Jolla Shores Drive](#) within the [La Jolla Community Plan area](#)?

Proposed Actions:

1. APPROVE Site Development Permit No. PMT-3192788.

Fiscal Considerations: All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: There is no active code enforcement case on the project site.

Housing Impact Statement: The project proposes a remodel and addition of an existing single dwelling unit which supports the goal of the Housing Element of the City of San Diego's General Plan to "repair and maintain the city's existing housing stock" (HE-66).

La Jolla Shores Planned District Advisory Board: On September 20, 2023, the La Jolla Shores Planned District Advisory Board voted 5-0-0 to recommend approval (Attachment 7), with the condition to impose a two-foot setback of the proposed second story on three sides, and a solid six-foot fence surrounding the property. The applicant agreed and implemented these conditions in the project design.

Community Planning Group Recommendation: On November 2, 2023, the La Jolla Community Planning Group voted 17-0-1 to recommend approval of the project (Attachment 8).

Community Plan Analysis: The project site is located at 8011 La Jolla Shores Drive within the La Jolla Shores Planned District Single-Family (LJSPD-SF) Base Zone of the La Jolla Shores Planned District. The [La Jolla Community Plan](#) (LJCP) land use designation allows for single-dwelling unit residential density ranging from zero to five dwelling units per acre (0-5 DU/AC). The project proposes a remodel and addition to an existing single dwelling unit. Therefore, the project is in conformance with the maximum density regulations of the LJSPD-SF.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Existing Facilities. The project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 16, 2023, and the opportunity to appeal that determination ended December 4, 2023.

BACKGROUND

The 0.21-acre project site is located at 8011 La Jolla Shores Drive within the LJSPD-SF Base Zone of the La Jolla Shores Planned District (LJSPD), the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limit Overlay Zone (CHLOZ), the Parking Impact Overlay Zone (Coastal and Beach Impact), the Transit Area Overlay Zone (TAOZ), the Parking Standards Transit Priority Area (PSTPA) and the Transit Priority Area (TPA) within the La Jolla Community Plan and Council District 1.

Pursuant to San Diego Municipal Code ([SDMC Section 1510.0201](#)), the project requires a Site Development Permit, Process Three, with the Hearing Officer as the decision maker for a remodel and addition to an existing single dwelling unit which exceeds the ten percent minor addition threshold.

DISCUSSION

The site is currently developed with an existing 2,274-square-foot single dwelling unit and garage. The proposed remodel includes the demolition of 53'-0" feet of exterior wall length of the existing garage and living room. This demolition accounts for only eleven percent (11%) of existing exterior wall; therefore, the project is exempt from the requirement to obtain a Coastal Development Permit pursuant to SDMC Section 126.0704(a).

The project includes a 188-square-foot addition to the existing garage and the addition of a 773-square-foot second story with a roof deck over the existing and proposed garage space. The project abuts La Jolla Shores Drive which is considered a "scenic roadway with partially obstructed views over private properties and down public right-of-ways" (Subarea C: La Jolla Shores – Visual Access Figure C, LJCP). Based on a submitted neighborhood survey of existing development patterns, and bulk and scale comparisons within the neighborhood, the project was determined to be in conformance with setbacks, bulk and scale as specified in the LJSPD Ordinance, [SDMC Section 1510.0304](#), including a building height of twenty-four feet (24'-0"), which is below the established thirty-foot (30'-0") coastal height limit, and a floor to area ratio (FAR) of 0.35 when the maximum allowed FAR is 0.56. The maximum lot coverage is sixty percent (60%) whereas the project proposes a lot coverage of twenty-eight percent (28%). The proposed project does not propose any variances or deviations from the applicable development regulations.

The project site was previously developed and currently has an existing single dwelling unit with an attached garage and does not contain nor is it adjacent to any sensitive biological resources. No impacts to biological resources are expected on-site, and the project site is not in or adjacent to the Multi-Habitat Planning Area of the City's Multiple Species Conversation Plan.

Conclusion:

City staff has determined the project is consistent with the La Jolla Community Plan, the La Jolla Shores Planned District – Single Family Base Zone, and the regulations of the Land Development Code. Staff has provided draft permit findings and conditions to support approval of the project (Attachments 4 and 5) and recommends the Hearing Officer APPROVE Site Development Permit No. PMT-3192788.

ALTERNATIVES

1. Approve Site Development Permit No. PMT-3192788 with modifications.
2. Deny Site Development Permit No. PMT-3192788, if the findings required to approve the project cannot be affirmed.

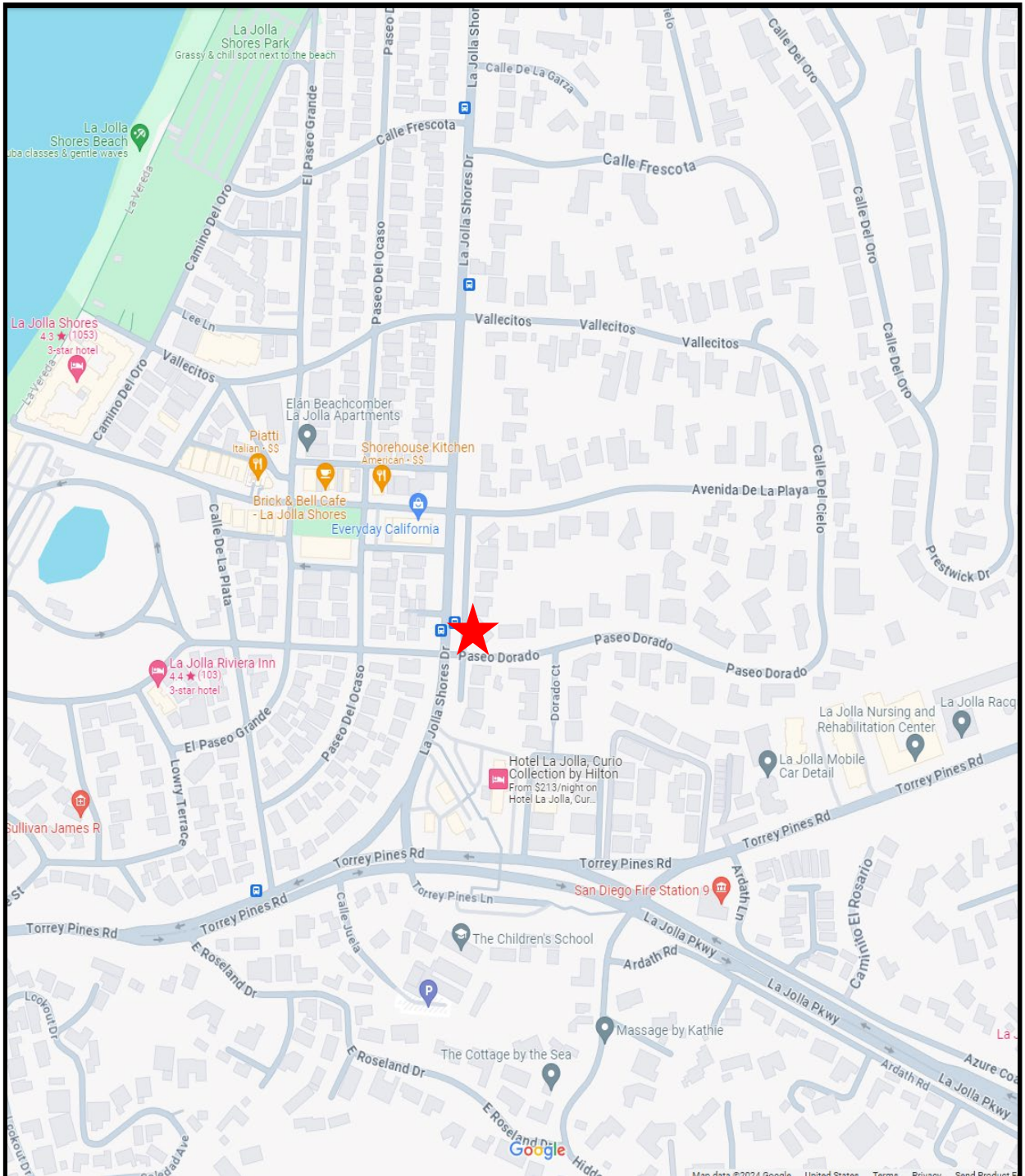
Respectfully submitted,



Jose Bautista
Development Project Manager
Development Services Department

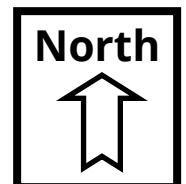
Attachments:

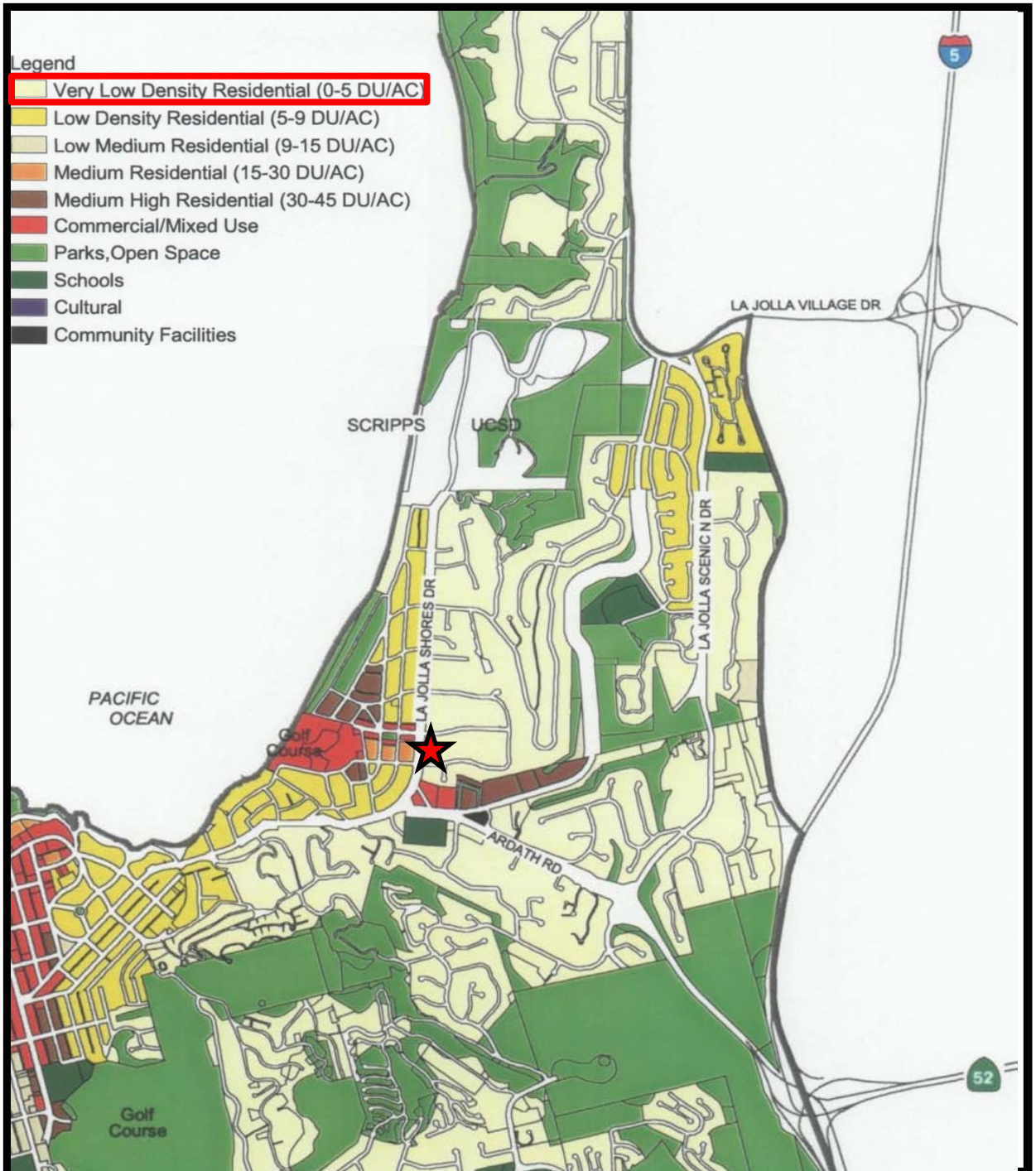
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Right to Appeal
7. La Jolla Shores Planned District Advisory Board Recommendation
8. La Jolla Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location

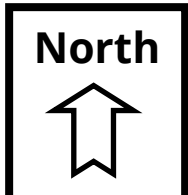
8011 La Jolla Shores Drive
Project No. PRJ-1063139

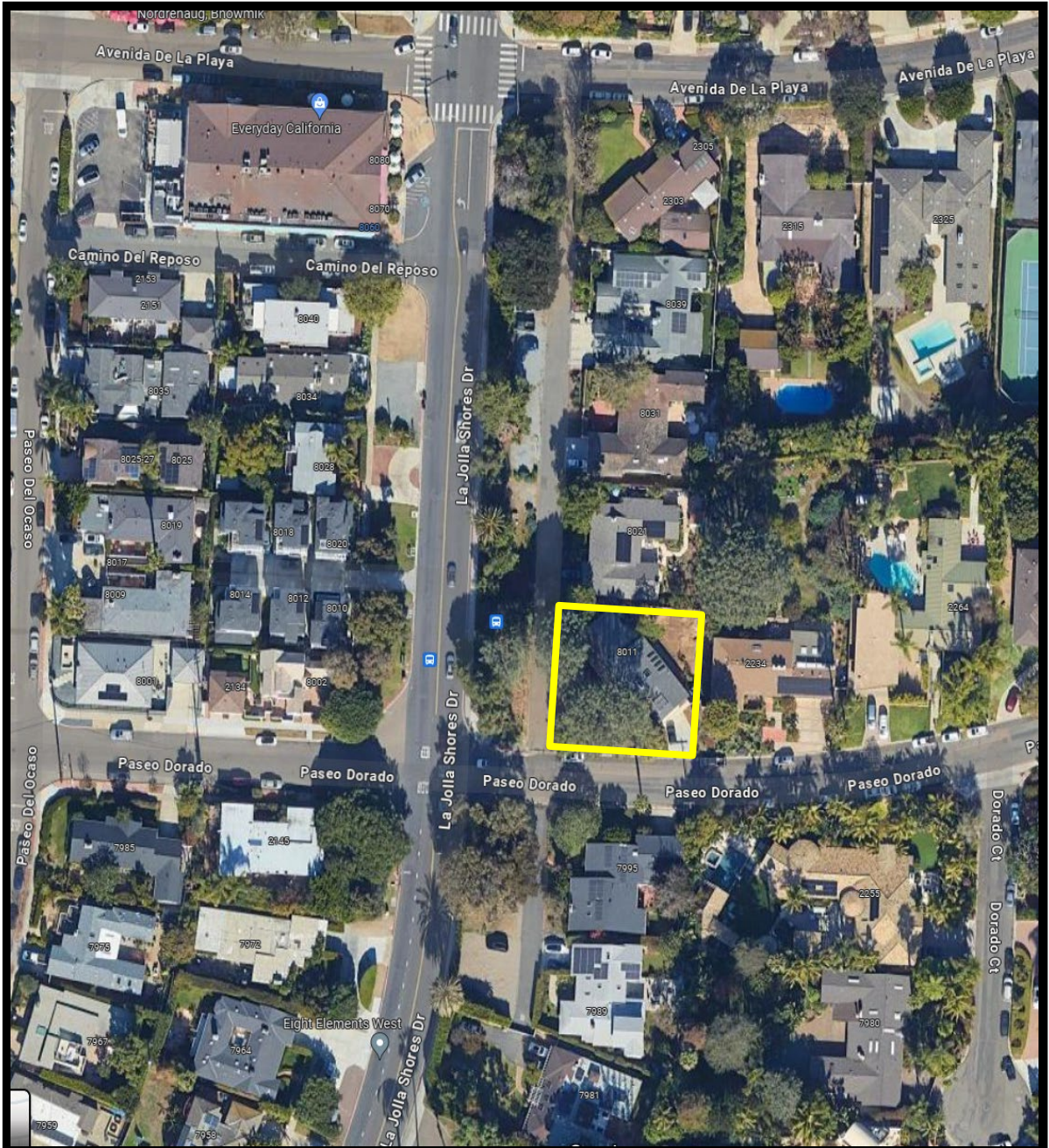




Community Land Use Plan

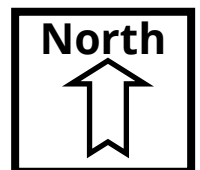
8011 La Jolla Shores Drive
Project No. 1063139





Aerial Photo

8011 La Jolla Shores Drive
Project No. PRJ-1063139



HEARING OFFICER
RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. PMT-3192788
8011 LA JOLLA SHORES - PROJECT NO. PRJ-1063139

WHEREAS, JOHN RAMON PIERCE, TRUSTEE OF THE JOHN RAMON PIERCE TRUST DATED AUGUST 29, 2019, Owner and Permittee, filed an application with the City of San Diego for a permit to remodel an existing 2,274-square-foot single dwelling unit with a 188-square-foot addition to the existing garage, and a 703-square-foot second-story addition with a roof deck (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3192788), on portions of a 0.21-acre project site;

WHEREAS, the project site is located at 8011 La Jolla Shores Drive in the La Jolla Shores Planned District – Single Family (LJSPD-SF) Base Zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limit Overlay Zone (CHLOZ), the Parking Impact Overlay Zone (Coastal and Beach Impact), the Transit Area Overlay Zone (TAOZ), the Parking Standards Transit Priority Area (PSTPA) and the Transit Priority Area (TPA) within the La Jolla Community Plan;

WHEREAS, the project site is legally described as LOT 5 OF SYCAMORE TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2866, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 22, 1952;

WHEREAS, on November 16, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301 (Existing Facilities); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

WHEREAS, on March 6, 2024, the Hearing Officer of the City of San Diego considered Site Development Permit No. PMT-3192788 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego that it adopts the following findings with respect to Site Development Permit No. PMT-3192788:

A. SITE DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The 0.21-acre project site is located at 8011 La Jolla Shores Drive in the La Jolla Shores Planned District – Single Family (LJSPD-SF) Base Zone within the La Jolla Community Plan. The project is located within an urbanized area of La Jolla Shores, north of Paseo Dorado, south of Avenida De La Playa, west of Calle Del Cielo, and east of La Jolla Shores Drive. The project proposes to remodel an existing 2,274-square-foot single dwelling unit and garage, and the addition of 188-square-foot to the existing garage, and a 773-square-foot second-story addition with a roof deck.

The project site is located within the Very Low Density Residential land use designation per the La Jolla Community Plan (LJCP) Land Use Map allowing a maximum density of zero to five dwelling units per acre (0-5 DU/AC). This density range is characterized by large, single-dwelling unit estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas (LJCP, pg.75). The project site is zoned LJSPD-SF within the La Jolla Shores Planned District which implements the objectives and proposals of the General Plan for the City of San Diego and the LJCP, and further regulates the development of land in La Jolla Shores. The LJCP identifies La Jolla Shores Drive as a “scenic roadway with partially obstructed views over private properties and down public right-of-ways” (Subarea C: La Jolla Shores – Visual Access Figure C).

The project supports the following residential policies of the LJCP, which are found beginning on page 70:

1. Designation of Residential Densities:

Maintain the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density.

The project maintains the existing land use of one house on one lot in a single dwelling unit zone and plan designation. It proposes a

remodel and addition to an existing single dwelling unit within a single dwelling unit base zone and plan designation. The project will conform to setback requirements consistent with the neighborhood.

2. Community Character:

2a: The City should apply the development recommendations that are contained in this plan to all properties in La Jolla in order to avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures.

The project exterior finishes are in keeping with the neighborhood as the walls will be 'hardi-plank' fiber-cement lap siding to match the existing exterior materials and color (light-beige), including a wood architectural feature over the cedar garage door to match the trim around the windows, and asphalt shingle roofing. The project enhances community character with visually compatible architectural form and scale.

2b: The City should ensure that new residential development within La Jolla complies with the landscape and streetscape guidelines that are identified in this element and in Appendix E of this plan.

The project has been reviewed against and complies with the listed guidelines including the proposed planting, irrigation, and landscape-related improvements as shown in Exhibit 'A'.

The project also supports the following LJCP recommendations, which begin on page 76:

2. Community Character:

2a: In order to maintain and enhance the existing neighborhood character and ambiance, and to promote good design and visual harmony in the transitions between new and existing structures, preserve the following elements:

- 1) Bulk and scale - with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space;
- 2) Street landscape - with regard to size and shape or generalized type of planting materials;
- 3) Hardscapes - with regard to pavement types, patterns or lack of patterns, colors, widths, colors and contours;

- 4) Street fixtures - with regard to type, size and location (street light fixtures, benches, street signage);
- 5) Site fixtures - with regard to height, type, material and location (fences, walls, retaining walls, curb cuts and driveways);
- 6) Curbs, gutters and street pavements -with regard to types and materials; and
- 7) Public physical and visual access as identified in Figure 9 and Appendix

The proposed building materials include 'hardi-plank' fiber-cement lap siding to match the existing exterior materials and color (light-beige), including a wood architectural feature over the cedar garage door to match the trim around the windows, and asphalt shingle roofing. The building design includes building articulation, proportioned fenestration, and roofline variations consistent with the surrounding residential neighborhood. The materials and color schemes are consistent with those in the surrounding neighborhood and existing adjacent single-dwelling units. As such, the proposed bulk and scale will not be disruptive to adjacent homes near the project site.

2c: In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements.

See response to 2a above.

2e: In order to address transitions between the bulk and scale of new and older development in residential areas, maintain the existing 30-foot height limit of the single dwelling unit zones and Proposition D. Structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit, in order to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air.

See response to 2a above.

The project site is located east of La Jolla Shores Drive and does not contain a designated view corridor per the LJCP, and the project does not propose any development outside of private property that would impede public views. Furthermore, the project will protect public views by conforming to setback requirements consistent with the neighborhood, as well as the coastal height limitation, with a structure height of twenty-four feet (24'-0") which is below the thirty-foot (30'-0") height limit of the Coastal Height Limit Overlay Zone (CHLOZ).

The project's design also supports the City of San Diego General Plan's Urban Design Element goal to "design buildings that contribute to a positive neighborhood character and relate to neighborhood and community context (UD-A.5). The proposed project will observe setbacks to all property lines consistent with other properties in the vicinity. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to public health, safety, and welfare.

The project site is currently developed with a single dwelling unit, and the project, by remodeling and adding to the existing unit, maintains the existing land use. The project site does not contain and is not adjacent to environmentally sensitive lands in the form of sensitive biological resources, coastal beaches, coastal bluffs, or steep slopes as defined by the LJCPC or the Land Development Code (LDC). The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA). The project was determined to be exempt from the CEQA (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301 (Existing Facilities). The project permit also contains specific requirements to ensure compliance with the regulations of the LDC, including those adopted to protect the public health, safety and welfare. Permit requirements include, but are not limited to:

- 1) Submitting a Water Pollution Control Plan prepared in accordance with the City's Construction Best Management Practices (BMPs) and Storm Water Standards;
- 2) Entering into an Encroachment Maintenance Removal Agreement for any public improvements, including landscaping and irrigation, in the public right-of-way;
- 3) Maintenance of all landscape improvements; and
- 4) All private water and sewer facilities shall be designed to meet the requirements of the California Uniform Plumbing Code.

The project has been determined to comply with the LJCPC recommendations for residential projects as described in finding A.1.a above, incorporated herein by reference. The project supports the City of San Diego's Housing Element of the General Plan to "repair and maintain the city's existing housing stock" (HE-66) by proposing to remodel an existing single-dwelling unit which will be required to conform with current building code regulations, and site improvements which include an increase in permeable surfaces which reduces the chance of stormwater runoff during a rainstorm. During and after construction, the project will be required to comply with established Site Development Permit conditions, all relevant ministerial building codes designed to protect the public health, safety, and welfare

of the community, including the California Building Code, stormwater regulations, and applicable regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As required by the La Jolla Shores Planned District Ordinance, a neighborhood survey of the existing development pattern and bulk and scale was submitted for the analysis of the project. The proposed project was found to be in conformance with setbacks, bulk and scale as specified in the La Jolla Shores Planned Development Ordinance (LJSPDO), SDMC Section 1510.0304 Single Family Development Zone Regulations, including a building height of twenty-four feet (24'-0"), which is below the established thirty-foot (30'-0") coastal height limit, and a floor to area ratio of 0.35 when the maximum is 0.56. The maximum lot coverage is sixty percent (60%) whereas the project proposes a lot coverage of twenty-eight percent (28%). No variances or deviations to any Land Development Code regulation are proposed. SDMC 1510.0301 contains language in the General Design regulations, which references the "character of the area and design principles", encourages "originality and diversity in architecture", identifies "building materials and color" as the most critical unifying elements, requires that "each building shall be sited and designed so as to protect public views from public rights-of-way", and SDMC Section 1510.0304 which identifies the Single-Family Zone-Development Regulations. The proposed building materials include 'hardi-plank' fiber-cement lap siding to match the existing exterior materials and color (light-beige), including a wood architectural feature over the cedar garage door to match the trim around the windows, and asphalt shingle roofing. The building design includes building articulation, proportioned fenestration, and roofline variations consistent with the surrounding residential neighborhood. The materials and color schemes are consistent with those in the surrounding neighborhood and existing adjacent single-family dwelling units. The LJSPD Ordinance for Single Family Zone development does not identify established setbacks but requires building and structure setbacks to be in general conformity with those of the vicinity. As designed, the project will protect public views by conforming to setback requirements which are consistent and in conformity with the setbacks of those in the vicinity, as well as the coastal height limitation, with a structure height of twenty-four feet (24'-0") which is below the thirty-foot (30'-0") height limit of the Coastal Height Limit Overlay Zone (CHLOZ). Therefore, the project complies with the General Design regulations, and dwelling unit density specified in the LJSPD Ordinance relating to Single Family Zone development.

The proposed project conforms to all applicable height, setback, and bulk regulations and the project is not proposing any variances or deviations to any Land Development Code regulation. The project will not obstruct coastal or scenic views from any identified public vantage point, and no public view to and along the ocean will be impacted. Therefore, the proposed development complies with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. PMT-3192788 is hereby GRANTED by the Hearing Officer to the referenced Owner and Permittee, in the form, exhibits, terms, and conditions as set forth in Permit No. PMT-3192788, a copy of which is attached hereto and made a part hereof.

Jose Bautista
Development Project Manager
Development Services

Adopted on: March 6, 2024

IO#: 24009288

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009288

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-3192788
8011 LA JOLLA SHORES - PROJECT NO. PRJ-1063139
HEARING OFFICER

This Site Development Permit No. PMT-3192788 is granted by the Hearing Officer of the City of San Diego to JOHN RAMON PIERCE, TRUSTEE OF THE JOHN RAMON PIERCE TRUST DATED AUGUST 29, 2019, Owner and Permittee, pursuant to San Diego Municipal Code (SDMC) section 1510.0201. The 0.21-acre project site is located at 8011 La Jolla Shores Drive in the La Jolla Shores Planned District – Single Family (LJSPD-SF) Base Zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limit Overlay Zone (CHLOZ), the Parking Impact Overlay Zone (Coastal and Beach Impact), the Transit Area Overlay Zone (TAOZ), the Parking Standards Transit Priority Area (PSTPA) and the Transit Priority Area (TPA) within the La Jolla Community Plan Area. The project site is legally described as: LOT 5 OF SYCAMORE TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2866, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 22, 1952.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee, to remodel an existing 2,274-square-foot single dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 6, 2024, on file in the Development Services Department.

The project shall include:

- a. The demolition of an eleven percent (11%) portion of existing exterior walls of a 2,274-square-foot single dwelling unit and attached garage;
- b. The remodel of an existing 2,274-square-foot single dwelling unit with an attached garage, to include the addition of a 188-square-foot to the existing garage, and a 703-square-foot second-story addition with a roof deck over the existing and proposed garage space;
- c. Landscape improvements to include planting, irrigation, and landscape-related improvements;
- d. Associated fencing and lighting;

- e. Off-street parking; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 20, 2027.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

9. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA) from the City Engineer for private improvements, such as landscaping and irrigation, within the Paseo Dorado right-of-way.

13. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction Best Management Practice (BMP) Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

15. Prior to the issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.

16. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

17. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 5

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 6, 2024, and [Approved Resolution Number].

DRAFT

SITE DEVELOPMENT PERMIT/PRJ Approval No.: PRJ-1063139
Date of Approval: March 6, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jose Bautista
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

JOHN RAMON PIERCE
Owner/Permittee

By _____
Trustee of the John Ramon Pierce Trust
dated August 29, 2019

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: November 16, 2023

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009288

PROJECT NAME / NUMBER: 8011 La Jolla Shores / 1063139**COMMUNITY PLAN AREA:** La Jolla**COUNCIL DISTRICT:** 1**LOCATION:** 8011 La Jolla Shores Drive, San Diego, CA 92037

PROJECT DESCRIPTION: Site Development Permit (SDP) for the remodel of and addition to an existing 1,816-square-foot one-story dwelling unit. A 773-square-foot second-story addition with roof deck would be added to the existing garage. An additional 258-square-foot would also be added to the existing garage and new interior stairs would provide access to the new second floor above. A new wood fence would be added around the perimeter of the property. The proposed project is located in the La Jolla Shores Planned District, Coastal Height Overlay Zone, Coastal Overlay Zone (Non-appealable), Parking Impact Overlay Zone, Transit Area Overlay Zone, Transit Priority Overlay Zone in the La Jolla Community Plan, Council District 1. LEGAL DESCRIPTION: Sycamore Terrace, Lot 5, Map 2866.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, Existing Facilities.**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego Hearing Officer

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301, Existing Facilities which allows for additions to existing facilities up 2,500 square feet. Since the proposed project is an 1,031 square-foot additions to an existing garage at an existing residence, the exemption is appropriate; and where the exceptions listed in Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER:

Jose Bautista

MAILING ADDRESS:

1222 First Avenue, MS 501, San Diego, CA 92101-4153

PHONE NUMBER / EMAIL:

(619) 557-7983 / JABautista@sandiego.gov

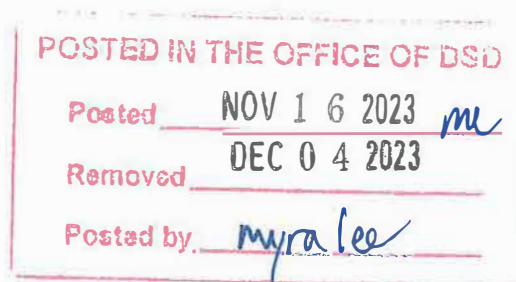
On November 16, 2023 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (December 4, 2023). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.

- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.





LA JOLLA SHORES PLANNED DISTRICT ADVISORY BOARD

MEETING MINUTES FROM:

WEDNESDAY, September 20, 2023

Item 1: CALL TO ORDER

Chair Jane Potter called the meeting to order at 10:00 a.m.

Item 2: ROLL CALL

Members Present: Jane Potter – Chair, Herbert Lazerow, Kathleen Neil, Suzanne Weissman and Philip Wise.

Staff Liaison: Melissa Garcia, Senior Planner, City Planning Department; Angela Dang, Junior Planner, City Planning Department.

Item 3: APPROVAL OF THE AGENDA

Motion to approve agenda by Board Member Lazerow, seconded by Board Member Wise. Agenda approved 5-0-0.

Item 4: APPROVAL OF THE MINUTES from August 16, 2023. Minutes were approved with changes from Board Member Lazerow 5-0-0.

Item 5: BOARD MEMBER COMMENT

Board Member suggested including brief descriptions of all projects being heard at Advisory Board meetings in the agendas moving forward and pages to be numbered. Board Member Wise requested an item to be placed on the November agenda for a presentation and Board discussion of a proposed location for the additional parking stalls needed by the La Jolla Shores Business Association. The stalls are a requirement to obtain a Spaces as Places permit from the City of San Diego to continue the Avenida de La Playa Street Dining event. The Board members agreed to place the item on the agenda as an Action Item.

Item 6: STAFF LIAISON COMMENT AND NON-AGENDA PUBLIC COMMENT

No staff or liaison comment.

Item 7: **PRJ 1063139 - 8011 La Jolla Shores - La Jolla Shores - (CONTINUED ACTION ITEM).**

Project Description: Proposal to add a 258 square-foot addition to the existing garage; a 773 square-foot second story over the garage, with a roof deck; and a 7-foot-high solid wall surrounding the property, except for the garage and the rear.

Continuation of the project from August 16, 2023 board meeting. Designer Rob and homeowner Pierce addressed the comments.

Public Comment:

There was no testimony provided by the public on this project.

Board Comment included:

- Suggestion to paint complementary structures like the fence to a gray, tan, or brown; the addition can remain the same color as the existing residence.
- Support for decreasing the size of the roof deck footprint.

Board Motion: The LJSPDAB voted to recommend the project as presented, conditional on a second-story setback of 2 feet on 3 sides and a 6-foot-high solid wall surrounding the property. Motion made by Chair Potter and seconded by Board Member Lazerow. Motion approved 5-0-0.

Item 8: **PRJ-692097 - Senn Way Residence - 7792 Senn Way - (ACTION ITEM).**

Project Description: Proposal for a new 13,096 square-foot 3-story single-family dwelling and attached garage and 3,230 square-foot pool and sport court.

Timothy Fink and Mehdi Rafaty from TAG FRONT presented the project.

Public Comment:

There was no testimony provided by the public on this project.

Board Comment included:

- Request for the homeowner or designers to speak to the neighbors since grading activity and runoff will likely affect adjacent homes.
- Confirm all lighting will not project off the property, especially due to its proximity to the MHPA
- Emphasis on the need for traffic control during construction.
- No environmental document has been issued for public review; insufficient information at this time to vote on the project.

Board Motion: The LJSPDAB voted to continue the item until an EIR or other environmental document is issued. Motion made by Board Member Lazerow and seconded by Board Member Neil. Motion approved 5-0-0.

Item 9: 2416 Avenida De La Playa – (INFORMATION ITEM).


Project Description: Proposal for a garage addition, pool bath and storage addition, interior remodel, deck remodel, new pool and spa, various landscaping and site improvements.

Maureen Dant and Kim Grant from Kim Grant Design presented the project. The project has not been submitted to the City. Board members stated it was important to talk to all neighbors directly adjacent and expressed general approval of the plans presented.

Item 10: Update on LJSPDAB March 2023 Letter to DSD – (INFORMATION ITEM).

Item 8: ADJOURNMENT

Next meeting: Wednesday, October 25th, 2023. The meeting concluded at 12:09 p.m.

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	<h1>Community Planning Committee Distribution Form</h1>
	Project Name: 8011 La Jolla Shores Drive, La Jolla, CA 92037	Project Number: 1063139
Community: La Jolla		
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: November 02, 2023
# of Members Yes 17	# of Members No 0	# of Members Abstain 1
Conditions or Recommendations:		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: Suzanne Baracchini		
TITLE: Trustee/Secretary		DATE: November 06, 2023
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>		

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Pierce Remodel and Addition **Project No. For City Use Only:** PRJ-1063139

Project Address: 8011 La Jolla Shores, La Jolla CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: John Ramon Pierce Trust Owner Tenant/Lessee Successor Agency

Street Address: 8011 La Jolla Shores

City: La Jolla State: CA Zip: 92037

Phone No.: 619-300-2887 Fax No.: _____ Email: johnramonpierce@gmail.com

Signature:  Date: 10.19.22

Additional pages Attached: Yes No

Applicant

Name of Individual: John Ramon Pierce Owner Tenant/Lessee Successor Agency

Street Address: 8011 La Jolla Shores

City: La Jolla State: CA Zip: 92037

Phone No.: 619-300-2887 Fax No.: _____ Email: johnramonpierce@gmail.com

Signature:  Date: 10.19.22

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Table with 2 columns: REVISIONS, BY

BALENTINE CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(619) 531-5106 www.balentineconsulting.com

PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

TITLE SHEET & PROJECT INFO
N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN: RMB
DATE: 2/18/2024
JOB NUMBER: 21092
SHEET

A001

GENERAL NOTES

- A. SITE INFORMATION IS TAKEN FROM A CURSORY SITE VISIT AND IS NOT EXTENSIVELY FIELD DOCUMENTED. FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS IN AREA OF WORK PRIOR TO BEGINNING CONSTRUCTION. IF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS EXIST, NOTIFY DESIGNER AND OWNER(S) IMMEDIATELY OF SUCH DISCREPANCIES.
B. CONTRACTOR TO PERFORM A FULL REVIEW OF THESE PLANS AND HAVE A COMPLETE UNDERSTANDING OF ALL ITEMS REPRESENTED. IF ANY DISCREPANCIES OR CONFLICTS OCCUR WITHIN THESE DRAWINGS, CONTRACTOR TO NOTIFY OWNER AND DESIGNER IMMEDIATELY PRIOR TO ORDERING MATERIALS, FABRICATION, INSTALLATION AND ALL OTHER CONSTRUCTION RELATED ACTIVITIES.
C. THE CONTRACTOR / BUILDER SHALL VERIFY WITH THE OWNER AND DESIGNER THE DATE OF THE MOST CURRENT DRAWINGS. (REFER TO LAST REVISION DATE ON ALL APPLICABLE SHEETS.
D. THE CONTRACTOR/BUILDER AND/OR SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE, DRAWINGS AND APPROVAL STAMPS TO OBTAIN FIRST HAND KNOWLEDGE OF ALL CONDITIONS. ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED TO THE OWNER AND DESIGNER PRIOR TO STARTING ANY WORK AND ORDERING MATERIALS. NO ALLOWANCE SHALL BE GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE CONDITIONS WHICH CAN BE DETERMINED BY CAREFULLY EXAMINING THE SITE, DRAWINGS OR STAMPS.
E. PLAN CHANGES REQUIRE PRIOR APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT. PROPOSED PLAN CHANGES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPART FOR REVIEW PRIOR TO CONSTRUCTION.
F. THE CONTRACTOR/BUILDER AND/OR SUBCONTRACTOR'S WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND/OR LOCAL JURISDICTIONS WHICH REGULATE BUILDING PROCEDURES & PRACTICES.
G. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN THEIR RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMITTAL OF BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR, OWNER, AND DESIGNER, OF ANY WORK CALLED OUT ON THE DRAWINGS, WITH RESPECT TO HIS TRADE WHICH CAN NOT BE FULLY GUARANTEED FOR AT LEAST ONE YEAR.
H. USE OF THESE DRAWINGS FOR OTHER PROJECTS / PROPERTIES OTHER THAN THE ONE SPECIFICALLY INTENDED BY THE DESIGNER IS A VIOLATION OF COMMON-LAW COPYRIGHT AND THE PROFESSIONAL CODE OF THE STATE OF CALIFORNIA.
I. ALL PLUMBING, HVAC, ELEC., AND LIGHTING WORK IS DESIGN / BUILD BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS, SIZING, DIAGRAMS, etc. WHICH MAY BE REQUIRED FOR PERMITS AND CONSTRUCTION. (VERIFY WITH OWNER'S FOR 'AS-BUILT' DRAWING REQUIREMENTS). CONTRACTOR SHALL SUBMIT A COMPLETE LIST OF EQUIPMENT AND FIXTURES WITH MANUFACTURERS CATALOG NUMBER AND DESCRIPTION PROPOSED FOR A COMPLETE JOB TO OWNER WITH HIS BID.
J. ADEQUACY OF EXISTING HVAC, GAS AND ELECTRICAL SERVICES TO PROVIDE NEW LOADS SHALL BE CONFIRMED BY THE G.C.
K. REPAIR / PATCH ALL SURFACES AFFECTED BY CONSTRUCTION OPERATIONS TO MATCH SURROUNDING MATERIAL UNLESS OTHERWISE NOTED OR SPECIFICALLY REQUESTED BY OWNER AND/OR DESIGNER.
L. UNLESS INDICATED OTHERWISE, ALL DIMENSIONS ARE FROM ROUGH FACE OF STUD TO ROUGH FACE OF STUD AT ALL WALLS.
M. CONTRACTOR/BUILDER TO CONFIRM WITH OWNER AS TO LOCATIONS & TYPE OF LIGHTING, POWER SOURCES, APPLIANCE REQUIREMENTS, DOOR HARDWARE, FINISHES, CABINETRY STYLE, etc. PRIOR TO ORDERING AND INSTALLATION OR FABRICATION OF THESE ITEMS.
N. A MINIMUM OF 50 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CGB9C SECTION 4.408.1 AND CITY ORDINANCE.
O. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE BASE OF MEASUREMENT (REFERENCE DATUM).
P. DURING CONSTRUCTION, AT LEAST (1) ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT.
Q. BUILDING UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.
R. PROTECT ADJOINING PROPERTY FROM DAMAGE DURING CONSTRUCTION AND DEMOLITION WORK. PROVIDE PROTECTION FOR FOOTINGS, FOUNDATIONS, WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES.
S. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDINGS SHOULD BE PROTECTED, DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED EXCAVATION STARTING DATE.
T. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
U. PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.0310, 129.0104(a)(4), and 142.0220, PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH 188UED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORM WATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.

DETAILED SCOPE OF WORK

THE PROJECT PROPOSES THE REMODEL & ADDITION TO AN (E) ONE-STORY, SINGLE FAMILY RESIDENCE. THESE PLANS WILL COMPLY WITH ALL REGULATIONS, CONDITIONS AND REQUIREMENTS OF S.D.P. APPROVAL # 3192188.
THE FOLLOWING IMPROVEMENTS AS FOLLOWS:
• 188 sq. ft. WILL BE ADDED TO THE EXISTING GARAGE. A NEW INTERIOR STAIRS WILL PROVIDE ACCESS TO THE NEW SECOND FLOOR ABOVE.
• A 103 sq. ft., SECOND STORY ADDITION WILL OCCUR OVER THE EXISTING GARAGE, AND NEW ADDED AREA.
• A ROOF DECK (530 sq. ft.) WILL OCCUR OVER THE NEW SECOND FLOOR.
• A NEW WOOD FENCE AROUND THE PERIMETER OF THE PROPERTY.
THE AFOREMENTIONED SCOPE OF WORK, REQUIRES BOTH THE APPROVAL OF A SITE DEVELOPMENT PERMIT, STANDARD BUILDING PERMIT AS ISSUED BY THE CITY OF SAN DIEGO.
A 'NOTICE OF COMPLETEION' CANNOT BE LOCATED.

PROJECT DATA

PROJECT NAME: PIERCE RESIDENCE
PROJECT TYPE: REMODEL & ADDITION
PROJECT ADDRESS: 8011 LA JOLLA SHORES DR. LA JOLLA, CA 92037
APN: 346-371-05-00
YEAR BUILT: 1952
LEGAL DESCRIPTION:
SUBDIVISION: SYCAMORE TERRACE
LOT: 5
MAP: 2866

BUILDING CODE DATA

TYPE OF CONSTRUCTION: SPRINKLERED: [] YES
TYPE V-B [] NO
OCCUPANCY CLASSIFICATION(S): R-3 / U
GOVERNING JURISDICTION: CITY OF SAN DIEGO
GOVERNING CODES: CBC-2022
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
CITY OF SAN DIEGO ZONING ORDINANCE & MUNICIPAL CODE

ZONING DATA

BASE ZONE:
• LJS8PD-9F (LA JOLLA SHORES PLANNED DISTRICT)
HISTORICAL / CULTURAL RESOURCES
• PALEONTOLOGICAL SENSITIVITY AREA (LOW)
OVERLAY ZONES:
• COASTAL HEIGHT
• COASTAL (N-APP-2)
• PARKING IMPACT (PI02-COASTAL / BEACH-IMPACT)
• TRANSIT AREA
• TRANSIT PRIORITY
COMMUNITY PLAN
• LA JOLLA
GEOLOGIC CATEGORY
• 52
PLANNING AND ZONING DATA
LOT AREA: 8,990 sq. ft.
DEVELOPMENT REGULATIONS:
MAX. FLOOR AREA: 5,034 sq. ft.
MAX. STRUCTURE HEIGHT: 30'-0"
MAX. FLOOR AREA RATIO: 0.56 x 8,990 = 5,034 sq. ft.

EXISTING CONDITIONS
FIRST FLOOR: 1,170 sq. ft.
GARAGE: 504 sq. ft.
TOTAL: 2,274 sq. ft.
PROPOSED CONDITIONS:
FIRST FLOOR: 0 sq. ft.
SECOND FLOOR: 703 sq. ft.
GARAGE: 188 sq. ft.
ROOF DECK: 530 sq. ft. (GFA EXEMPT)
TOTAL: 891 sq. ft.
PROJECT TOTAL AFTER ADDITION: (NET TOTAL)
FIRST FLOOR: 1,170 sq. ft.
SECOND FLOOR: 703 sq. ft.
GARAGE: 692 sq. ft.
ROOF DECK: 530 sq. ft. (GFA EXEMPT)
TOTAL: 3,165 sq. ft.
3,165 sq. ft. / 8,990 sq. ft. = 0.35 (35 %)
LOT COVERAGE:
FIRST FLOOR: 1,170 sq. ft.
GARAGE: 692 sq. ft.
TOTAL: 2,462 sq. ft.
2,462 sq. ft. / 8,990 sq. ft. = 0.27 (27 %)
(0.27 less than 0.60 ALLOWABLE LOT COVERAGE)
LANDSCAPED TABULATION:
STRUCTURE: 2,462 sq. ft.
HARDSCAPE (CONCRETE): 840 sq. ft.
FRONT PORCH: 215 sq. ft.
REAR DECK: 545 sq. ft.
TOTAL: 4,062 sq. ft.
8,990 sq. ft. LOT - 4,062 sq. ft. = 4,928 sq. ft. LANDSCAPE AREA
4,928 sq. ft. / 8,990 sq. ft. = 4,928 sq. ft. = 55% LANDSCAPE

PROJECT TEAM

OWNER: JOHN RAMON PIERCE TRUST
8011 LA JOLLA SHORES DR. LA JOLLA, CA 92037
PHONE: (619) 300-2881
CONTACT: JOHN PIERCE
DESIGN CONSULTANT: R. BALENTINE CONSULTING, LLC.
10755 SCRIPPS POWAY PKWY. #226 SAN DIEGO, CA 92131
PHONE: (619) 531-5106
CONTACT: ROB BALENTINE
TITLE 24 CONSULTANT: RE. MINOR & ASSOCIATES ARCHITECTURE
1281 HANSON WAY RAMONA, CA 92065
PHONE: (619) 865-1231
CONTACT: ROB MINOR
CONTRACTOR: NOT YET SELECTED

DRAWING SHEET INDEX

A001 TITLE SHEET
A002 STORM WATER FORMS, BMP NOTES, GREEN BLDG. NOTES
A003 COASTAL DEMOLITION DOCUMENTATION
A101 SITE PLAN - SUBJECT PROPERTY ENLARGED
A102 300' SITE PLAN
L1 LANDSCAPE PLAN
A201 EXISTING / DEMO. & PROPOSED FIRST FLOOR PLAN
A202 EXISTING / DEMO. ROOF & PROPOSED SECOND FLOOR PLAN
A203 PROPOSED ROOF DECK PLAN
A301 EXTERIOR ELEVATIONS - FRONT & REAR
A302 EXTERIOR ELEVATIONS - LEFT & RIGHT SIDE
A401 BUILDING CROSS-SECTIONS
A501 CONCEPTUAL LIGHTING & POWER PLANS
A502 MECHANICAL, PLUMBING, ELECTRICAL, LIGHTING, SMOKE / CO DETECTOR NOTES, EVC'S NOTES
A601 DOOR / WINDOW SCHEDULES, ARCHITECTURAL DETAILS
S01 STRUCTURAL GENERAL NOTES
S02 STRUCTURAL NOTES & SCHEDULES
S03 FOUNDATION PLAN & DETAILS
S04 FLOOR & ROOF DECK FRAMING PLANS
S05 STRUCTURAL FRAMING DETAILS
T01 TITLE 24 ENERGY DOCUMENTATION
T02 2022 LOW RISE RESIDENTIAL MANDATORY MEASURES
MM-1 2022 GREEN BUILDING STANDARDS
MM-2 2022 GREEN BUILDING STANDARDS

TABULAR DATA

EXISTING CONDITIONS
FIRST FLOOR: 1,170 sq. ft.
GARAGE: 504 sq. ft.
TOTAL: 2,274 sq. ft.
PROPOSED CONDITIONS:
FIRST FLOOR: 0 sq. ft.
SECOND FLOOR: 703 sq. ft.
GARAGE: 188 sq. ft.
ROOF DECK: 530 sq. ft. (GFA EXEMPT)
TOTAL: 891 sq. ft.
PROJECT TOTAL AFTER ADDITION: (NET TOTAL)
FIRST FLOOR: 1,170 sq. ft.
SECOND FLOOR: 703 sq. ft.
GARAGE: 692 sq. ft.
ROOF DECK: 530 sq. ft. (GFA EXEMPT)
TOTAL: 3,165 sq. ft.
3,165 sq. ft. / 8,990 sq. ft. = 0.35 (35 %)
LOT COVERAGE:
FIRST FLOOR: 1,170 sq. ft.
GARAGE: 692 sq. ft.
TOTAL: 2,462 sq. ft.
2,462 sq. ft. / 8,990 sq. ft. = 0.27 (27 %)
(0.27 less than 0.60 ALLOWABLE LOT COVERAGE)
LANDSCAPED TABULATION:
STRUCTURE: 2,462 sq. ft.
HARDSCAPE (CONCRETE): 840 sq. ft.
FRONT PORCH: 215 sq. ft.
REAR DECK: 545 sq. ft.
TOTAL: 4,062 sq. ft.
8,990 sq. ft. LOT - 4,062 sq. ft. = 4,928 sq. ft. LANDSCAPE AREA
4,928 sq. ft. / 8,990 sq. ft. = 4,928 sq. ft. = 55% LANDSCAPE

PIERCE RESIDENCE
REMODEL & ADDITION
8011 LA JOLLA SHORES DRIVE
LA JOLLA, CALIFORNIA 92037

ABBREVIATIONS

ABV. ABOVE FINISHED FLOOR
AFF. ARC FAULT INTERRUPTER
AFI. ABOVE FINISHED SLAB
AFS. ADJACENT OR ADJUSTABLE
ADJ. AIR CONDITIONING
A/C. ALTERNATE
ALT. ANCHOR BOLT
APPROX. APPROXIMATE OR APPROXIMATELY
ARCH. ARCHITECTURAL
APN. ASSESSOR'S PARCEL NUMBER
BDET. BASEMENT
BSMT. BEARING
BRG. BETWEEN
BTUN. BLOCK
BLK. BLOCKING
BD. BOARD
BOT. BOTTOM
BLDG. BUILDING
CAB. CABINET
CBC. CALIFORNIA BUILDING CODE
C.I. CAST IRON
CLG. CEILING
CEM. PLST. CEMENT PLASTER
CTR. CENTER
CER. CERAMIC
C.O. CLEAN OUT
CLR. CLEAR
COL. COLUMN
COMB. COMBUSTION OR COMBUSTIBLE
COMP. COMPOSITION
CONC. CONCRETE
C.M.U. CONCRETE MASONRY UNIT
CONST. CONSTRUCTION
C.J. CONTROL JOINT
CONT. CONTINUOUS
CSMT. CASEMENT
CSNK. COUNTERSINK
DH. DOUBLE HUNG
DT. DETAIL
DIAG. DIAGONAL
DIA. DIAMETER
DIM. DIMENSION
DISP. DISPOSAL
DR. DOOR
DBL. DOUBLE
D.F. DOUGLAS FIR
DN. DOWN
D.S. DOWNSPOUT
DWS. DRAWING
DNG. DRYING
D.W. DISH WASHER
EA. EACH
EE. EACH END
ELEC. ELECTRICAL OR ELECTRIC
ELEV. ELEVATION
EMER. EMERGENCY
ENGR. ENGINEER
EQ. EQUIPMENT
EQUIP. EQUIPMENT
EXH. EXHAUST
E.W. EACH WAY
EP. EXHAUST FAN
(E) EXISTING
EXST. EXPANSION JOINT
EXT. EXTERIOR
FAU. FORCED AIR UNIT
FIN. FINISH
FF. FINISHED FLOOR
F.S. FINISHED SLAB
F.E. FIRE EXTINGUISHER
FLR. FLOOR
F.D. FLOOR DRAIN
FLUOR. FLUORESCENT
FND. FOUNDATION
F.O.C. FACE OF CONCRETE
F.O.S. FACE OF STUD
FF. FIREPLACE
FRM'G. FRAMING
FOOT OR FEET
FT. FOOTING
GALV. GALVANIZED
G.I. GALVANIZED STEEL
G.S.M. GALVANIZED SHEET METAL
GA. GAUGE
GL. GLASS OR GLAZING
GLU-LAM GLUE-LAMINATED
G.B. GRAB BAR
GR. GROUND OR GRADE
GFI. GROUND FAULT INTERRUPTER
GYF. GYPSUM
HDW. HARDWARE
HDWD. HARDWOOD
HDR. HEADER
HGR. HANGER
HVAC HEAT / VENT / AIR COND.
HEATER HEATER
HTG. HEATING
HT. HOLLOW CORE
H.C. HORIZONTAL
H.B. HOSE BIBB
HR. HOUR
INFO. INFORMATION
ID. INSIDE DIAMETER
INSUL. INSULATION
INT. INTERIOR
KIT. KITCHEN
LAV. LAVATORY
LIN. LINEN CLOSET
LNG. LENGTH OR LONG
LBS. POUND OR POUNDS
LT. LIGHT
M.B. MACHINE BOLT
MFR. MANUFACTURER
MAS. MASONRY
MAX. MAXIMUM
MECH. MECHANICAL
M.C. MEDICINE CABINET
MTL. METAL
MIN. MINIMUM
MIR. MIRROR
MISC. MISCELLANEOUS
MT. MOUNT
MNTD. MOUNTED
NEG. NATIONAL ELECTRICAL CODE
NAT. NATURAL
NEW. NEW
N.I.C. NOT IN CONTRACT
N.T.S. NOT TO SCALE
OBS. OBSCURE
O.C. ON CENTER
OPNG. OPENING
EQUAL OPPOSITE
O.D. OUTSIDE DIAMETER
OH. OVERHEAD
FR. FAIR
PART. PARTITION
PYMT. PAVEMENT
FL-LAM. FLOOR LAMINATE
FL. FLATE
PLYWD. PLYWOOD
PEN. PLYWOOD EDGE NAILING
PVC. POLYVINYL CHLORIDE
PSF. POUNDS PER SQ. FT.
PSI. POUNDS PER SQ. IN.
RA. RETURN AIR
P.I.P. POURED IN PLACE
P.T. PRESSURE TREATED
P.T.D.F. PRESSURE TREATED DOUGLAS FIR
RAD. RADIUS
R RISER
R & S ROD & SHELF
RD. ROOF DRAIN
RWLL. RAIN WATER LEADER
RDWD. REDWOOD
REF. REFRIGERATOR
REQ'D. REQUIRED
RESIL. RESILIENT
RET. RETAINING
REV. REVISION
RH. RIGHT HAND
RM. ROOM
R.O. ROUGH OPENING
RND. ROUND
SCHD. SCHEDULE
SCRN. SCREEN
SECT. SECTION
S.E.D. SEE ELECTRICAL DRAWINGS
S.M.D. SEE MECHANICAL DRAWINGS
S.P.D. SEE PLUMBING DRAWINGS
S.S.D. SEE STRUCTURAL DRAWINGS
SHEAR WALL
SHT. SHEET
S 4 P SHELF & POLE
SH. SINGLE HUNG
SHWR. SHOWER
SIM. SIMILAR
S.G.D. SLIDING GLASS DOOR
S.C. SOLID CORE
SPEC. SPECIFICATIONS
SQ. SQUARE
SQ. FT. SQUARE FEET (OR FOOT)
STD. STANDARD
STL. STEEL
STOR. STORAGE
STRUC. STRUCTURAL
SUSP. SUSPENDED
SYS. SYSTEM
TEL. TELEPHONE
TV. TELEVISION
TEMP. TEMPORARY
TMPR.D. TEMPERED
THK. THICK
TP. TOILET PAPER HOLDER
T. TREAD
TLT. TOILET
TYP. TYPICAL
UNFIN. UNFINISHED
UBC. UNIFORM BUILDING CODE
UFC. UNIFORM PLUMBING CODE
UMC. UNIFORM MECHANICAL CODE
UNO. UNLESS NOTED OTHERWISE
VERT. VERTICAL
V.G. VERTICAL GRAIN
V.I.F. VERIFY IN FIELD
VIN. VINYL
W. WASHER
W/ WITH
W/O WITHOUT
UNISCT. UNUSUAL
UTR. WATER
UH. WATER CLOSET
WATER HEATER
W.P. WATER PROOF
WF GFI. WATER PROOF GFI
WR. WATER RESISTANT
WT. WEIGHT
WIN. WINDOW
WD. WOOD
& AND
@ AT
@ CENTER LINE
@ PROPERTY LINE
@ DIAMETER
@ NUMBER OR FOUND

REVISIONS	BY

STORMWATER NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRDRIQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO 'STORM WATER STANDARDS MANUAL' MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING AND IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP / WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES / EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP / WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN (3) THREE BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP / WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER / DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY, AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CALIFORNIA FACT SHEET TC-01 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' FEET OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 'STORM WATER MANAGEMENT AND DISCHARGE CONTROL'.

GREEN BLDG. CODE NOTES

- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- EIGHTY PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR OR EXTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE. A LETTER FROM THE INSTALLER AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND DOCUMENTING ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION AND RESULTS ISSUED BY THE FRAMER SUB-CONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF THE MAINTENANCE MANUAL.
 - AN OWNER MANUAL CERTIFICATE SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED / RECEIVED TO THE BUILDING OWNER. THE MANUAL SHOULD INCLUDE IN ADDITION TO OTHER ASPECTS THE FOLLOWING:
 - DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 - ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - LANDSCAPE IRRIGATION SYSTEMS.
 - WATER RE-USE SYSTEMS.
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.
 - INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5' FEET AWAY FROM FOUNDATION.
 - INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 - INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
 - A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUB-CONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
- A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED.
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED.
- HARDWOOD, PLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.509.5 AND TABLE 4.504.5 OF CALGREEN.
- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
- JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- ALL HEATING & COOLING EQUIPMENT MUST COMPLY WITH ACCA MANUAL S-1004 EQUIPMENT SIZING REQUIREMENTS AND MANUAL J-2004 EQUIPMENT SELECTION CRITERIA OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- DUCT SYSTEMS SIZING MUST COMPLY WITH ACCA MANUAL D-2022, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN REASONABLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS OF THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.



10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(619) 531-5106 www.balentineconsulting.com

PIERCE RESIDENCE

8011 La Jolla Shores Drive
San Diego, California 92037

REMODEL & ADDITION

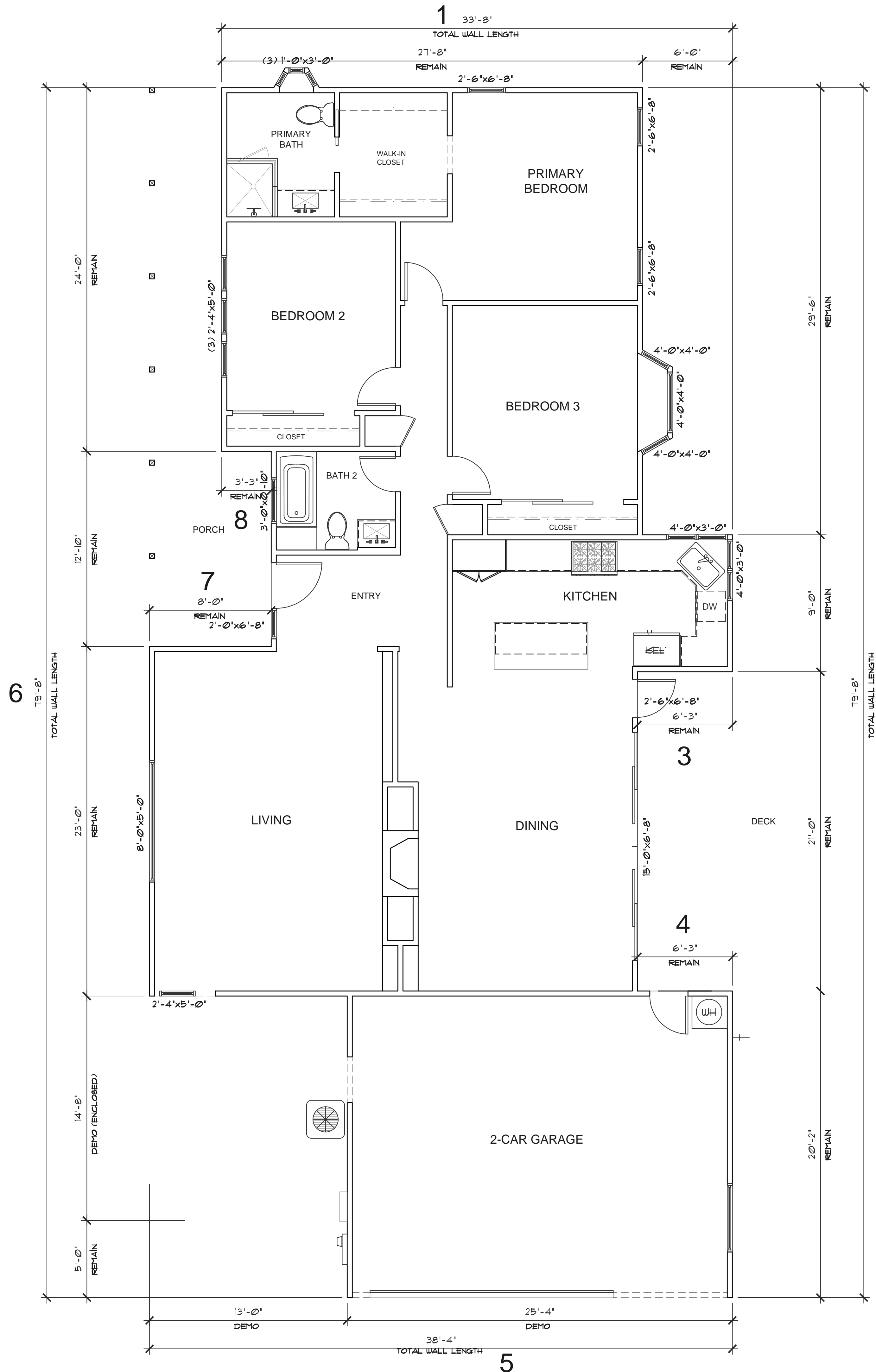
GREEN BUILDING CODE NOTES
& STORM WATER FORMS

N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN	
REVIS	
DATE	2/8/2024
JOB NUMBER	21092
SHEET	

A002

REVISIONS	BY



WALL NUMBER	(E) WALL LENGTH	DEMOED WALL LENGTH	REMAINING WALL LENGTH
1	33'-8"	0'-0"	33'-8"
2	79'-8"	0'-0"	79'-8"
3	6'-3"	0'-0"	6'-3"
4	6'-3"	0'-0"	6'-3"
5	38'-4"	38'-4"	0'-0"
6	79'-8"	14'-8"	65'-0"
7	8'-0"	0'-0"	8'-0"
8	3'-3"	0'-0"	3'-3"
TOTAL	255'-1"	53'-0"	202'-1"

79% OF EXISTING WALL LENGTH TO BE REMAIN
(202'-1" / 255'-1" = 79%)

EXISTING & DEMOLITION WALL LEGEND

- WALL REMOVAL PER CITY OF SAN DIEGO
- NO CHANGE TO EXISTING EXTERIOR WALL
- PROPOSED ADDITION

NOTE:
THIS WALL LEGEND PERTAINS ONLY TO SHEET A 22 (THIS SHEET)

REVISIONS	BY

BALENTINE
CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(619) 531-5106 www.balentineconsulting.com

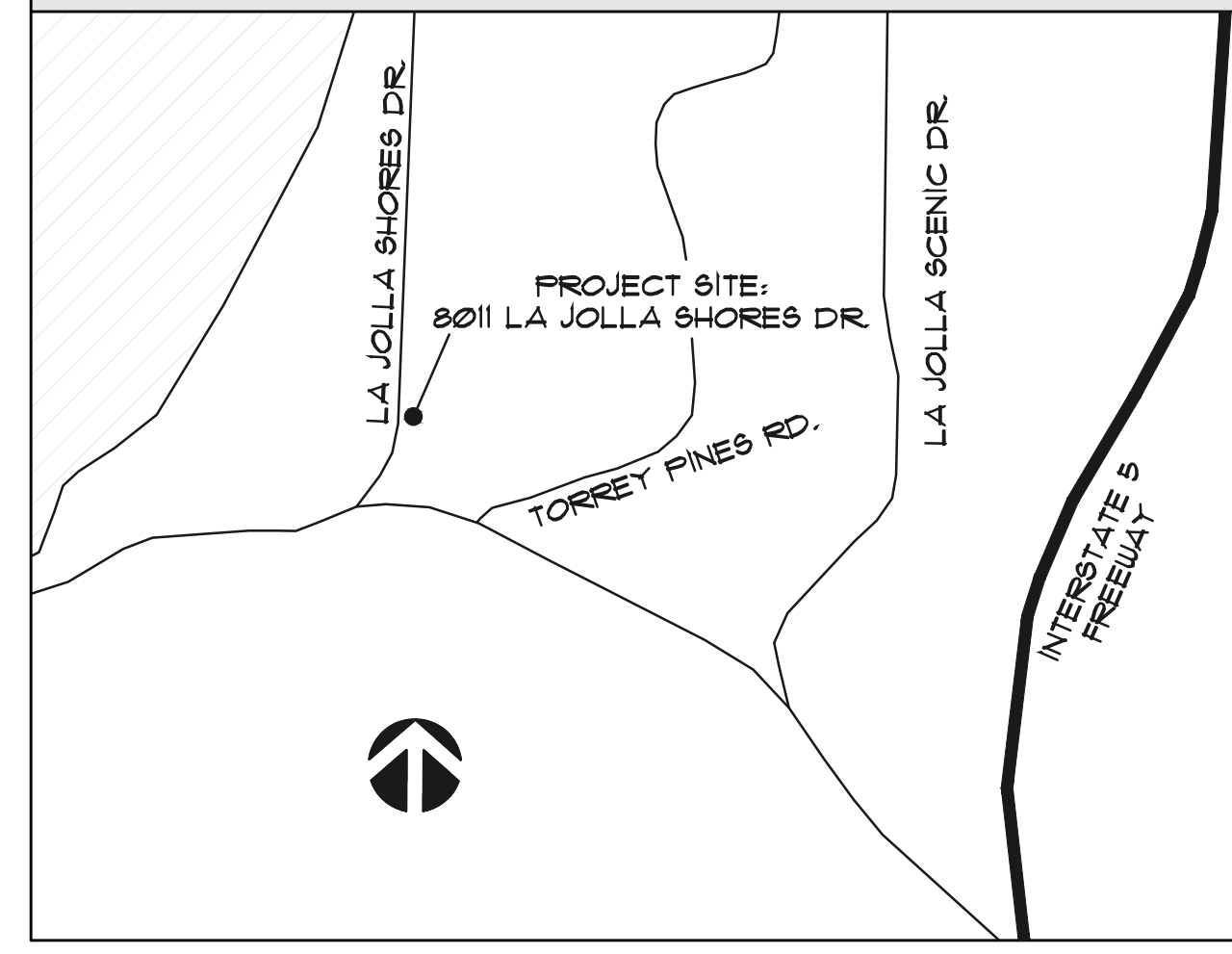
PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

SITE PLAN
N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN RMB
DATE 2/15/2024
JOB NUMBER 21032
SHEET

A101

VICINITY MAP



SITE PLAN NOTES

- THIS PROJECT IS LOCATED WITHIN ASBS 29 OF LA JOLLA SHORES COASTAL WATERSHED and OWNER / PERMITTEE IS RESPONSIBLE FOR COMPLIANCE WITH ALL ASBS REQUIREMENTS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
 - DESIGNER IS NOT RESPONSIBLE FOR LAND SURVEY OR TOPOGRAPHICAL INFORMATION. FIELD VERIFY ALL INFORMATION.
 - THE CONTRACTOR OR OWNER / BUILDER SHALL BE RESPONSIBLE FOR SITE SURVEY, SETBACKS, ETC. IF DISCREPANCIES WITH DIMENSIONS OF SITE PLAN TO FLOOR PLAN AND LOCAL ZONING ORDINANCES CANNOT BE MET, NOTIFY THE DESIGNER PRIOR TO TRENCHING OF FOOTINGS, EXCAVATING, ETC.
 - THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL WORK TO BE DONE TO PREPARE THE SITE FOR THE NEW OR REMODELED CONSTRUCTION.
 - ALL FINISH GRADES AROUND THE EXTERIOR OF THE STRUCTURE SHALL BE SLOPED TO DRAIN SURFACE WATER AWAY FROM THE STRUCTURE(S). THE GRADE SHALL FALL A MINIMUM OF 6" (5% PERCENT SLOPE) WITHIN THE FIRST 10'-0".
 - THE CONTRACTOR OR OWNER / BUILDER SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING ANY WORK ON THE PROJECT.
 - PLAN CHANGES REQUIRE PRIOR APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT. PROPOSED PLAN CHANGES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
 - ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40% PERCENT.
 - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSED THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
 - THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACHES ITS EFFECTIVENESS.
 - ALL SLOPS THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 - THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
 - STORM WATER RUN-OFF FROM ALL PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO LANDSCAPING AREAS OR PLANTER BOXES, PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
 - THIS PROJECT HAS BEEN IDENTIFIED AS BEING WITHIN AN AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS) WATERSHED ACCORDING TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB).
- IN ACCORDANCE WITH RWQCB RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:
- THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB.
 - THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, and SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS.
 - THE DISCHARGES:
 - ARE ESSENTIAL FOR FLOOD CONTROL or SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, and PARKING LOT DRAINAGE.
 - ARE DESIGNED TO PREVENT SOIL EROSION.
 - OCUR ONLY DURING WET WEATHER.
 - ARE COMPOSED OF ONLY STORM WATER RUNOFF.
 - NON-STORM WATER DISCHARGES (IE. HYDROSTATIC TESTING, POTABLE WATER, ECT.) TO ASBS AREAS IS PROHIBITED AS DEFINED IN ORDER NON. RS-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW and APPROVAL.

ALL OFF-STREET PARKING IS LOCATED WITHIN THE GARAGE (2-SPACES PROVIDED). NO OTHER OFF-STREET PARKING IS AVAILABLE.

VISIBILITY TRIANGLE NOTE: VISIBILITY TRIANGLE PER DIAGRAM 113-0255. NO PHYSICAL ENCROACHMENTS TO OCCUR WITHIN.

TOTAL DISTURBANCE AREA: 275 +/- sq. ft.
(E) IMPERVIOUS AREA: 2,800 +/- sq. ft.
(N) IMPERVIOUS AREA: 255 sq. ft.
TOTAL IMPERVIOUS AREA: 3,055 sq. ft.

CUT QUANTITIES: 10 cu yards
FILL QUANTITIES: 0 cu yards
IMPORT / EXPORT: 0 cu yards
MAX CUT DEPTH: approx. 1'-6"
MAX FILL DEPTH: 0 (not applicable)

NOTE: THE PROJECT PROPOSES TO EXPORT (0) ZERO CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL CUT SOIL WILL BE RE-DISTRIBUTED ACROSS THE SUBJECT SITE.

ANY EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND THE SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPERATE CONDITIONAL USE PERMIT.

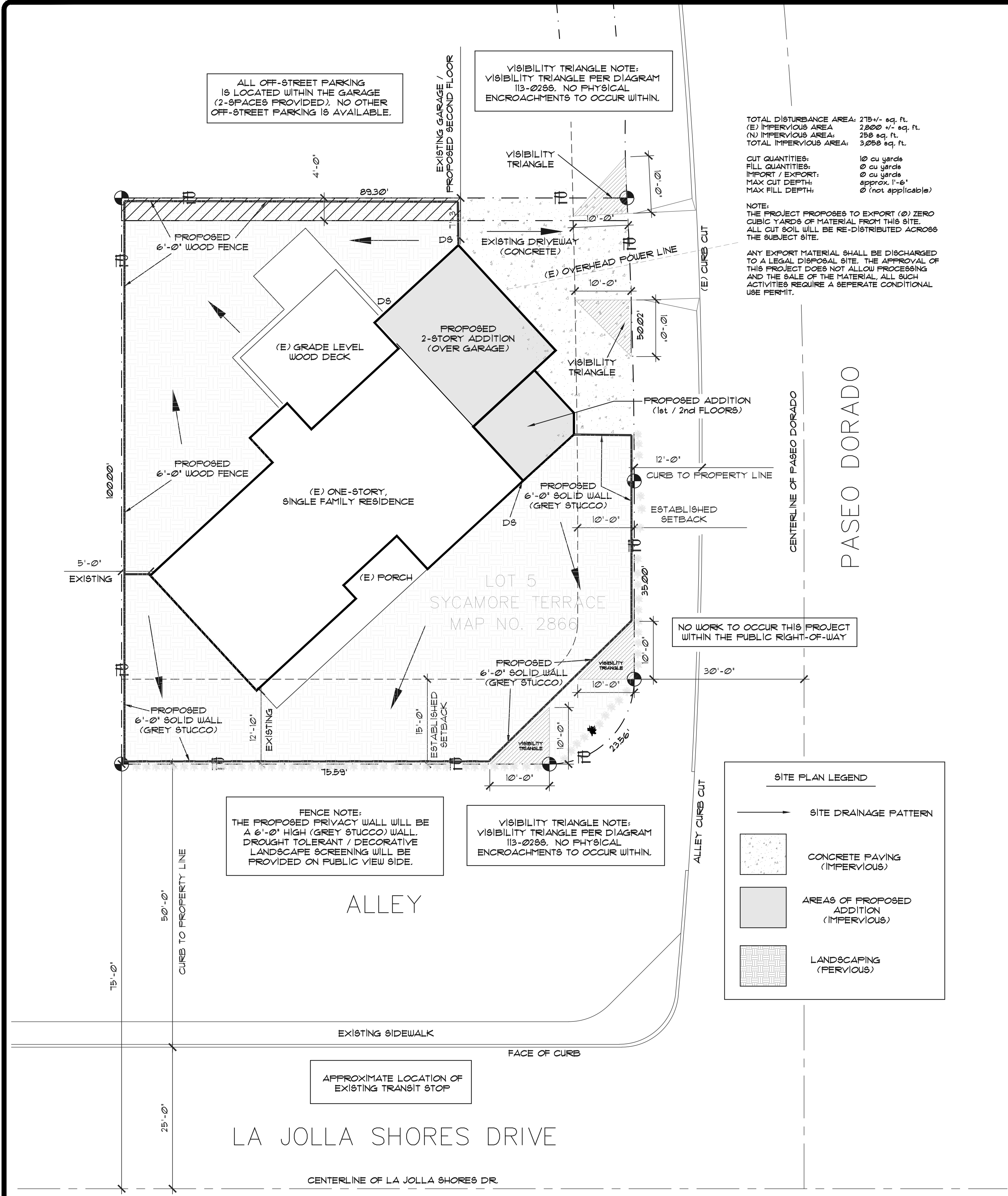
NO WORK TO OCCUR THIS PROJECT WITHIN THE PUBLIC RIGHT-OF-WAY

SITE PLAN LEGEND

- SITE DRAINAGE PATTERN
- [Pattern] CONCRETE PAVING (IMPERVIOUS)
- [Pattern] AREAS OF PROPOSED ADDITION (IMPERVIOUS)
- [Pattern] LANDSCAPING (PERVIOUS)

FENCE NOTE: THE PROPOSED PRIVACY WALL WILL BE A 6'-0" HIGH (GREY STUCCO) WALL. DROUGHT TOLERANT / DECORATIVE LANDSCAPE SCREENING WILL BE PROVIDED ON PUBLIC VIEW SIDE.

VISIBILITY TRIANGLE NOTE: VISIBILITY TRIANGLE PER DIAGRAM 113-0255. NO PHYSICAL ENCROACHMENTS TO OCCUR WITHIN.



REVISIONS	BY

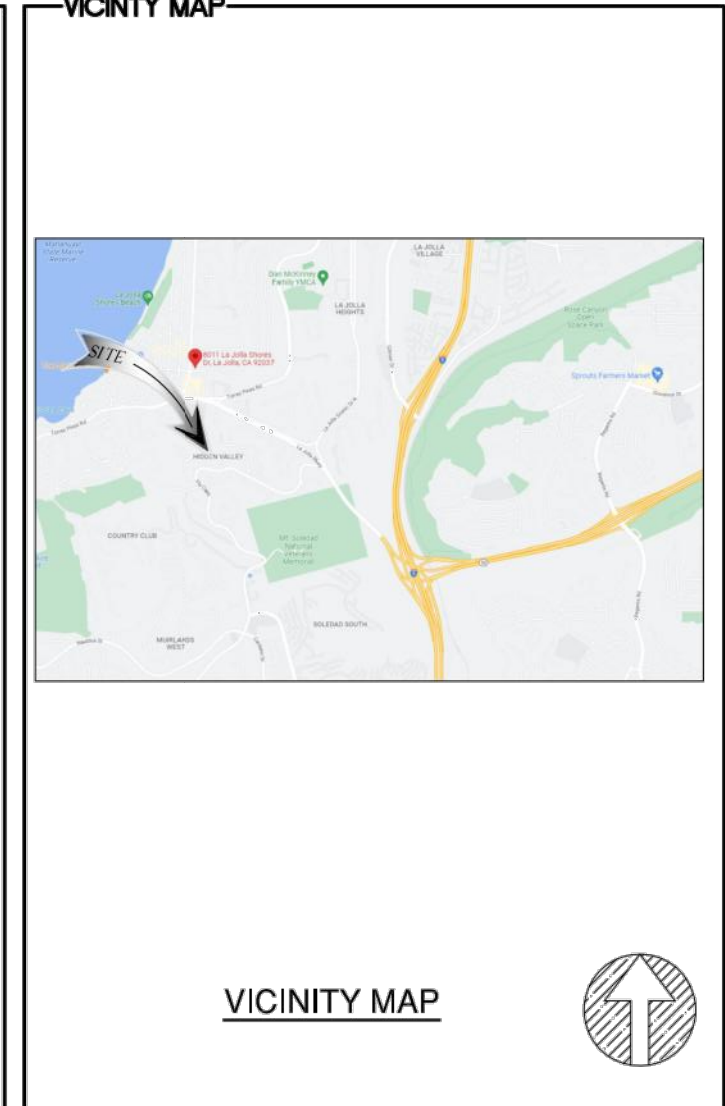
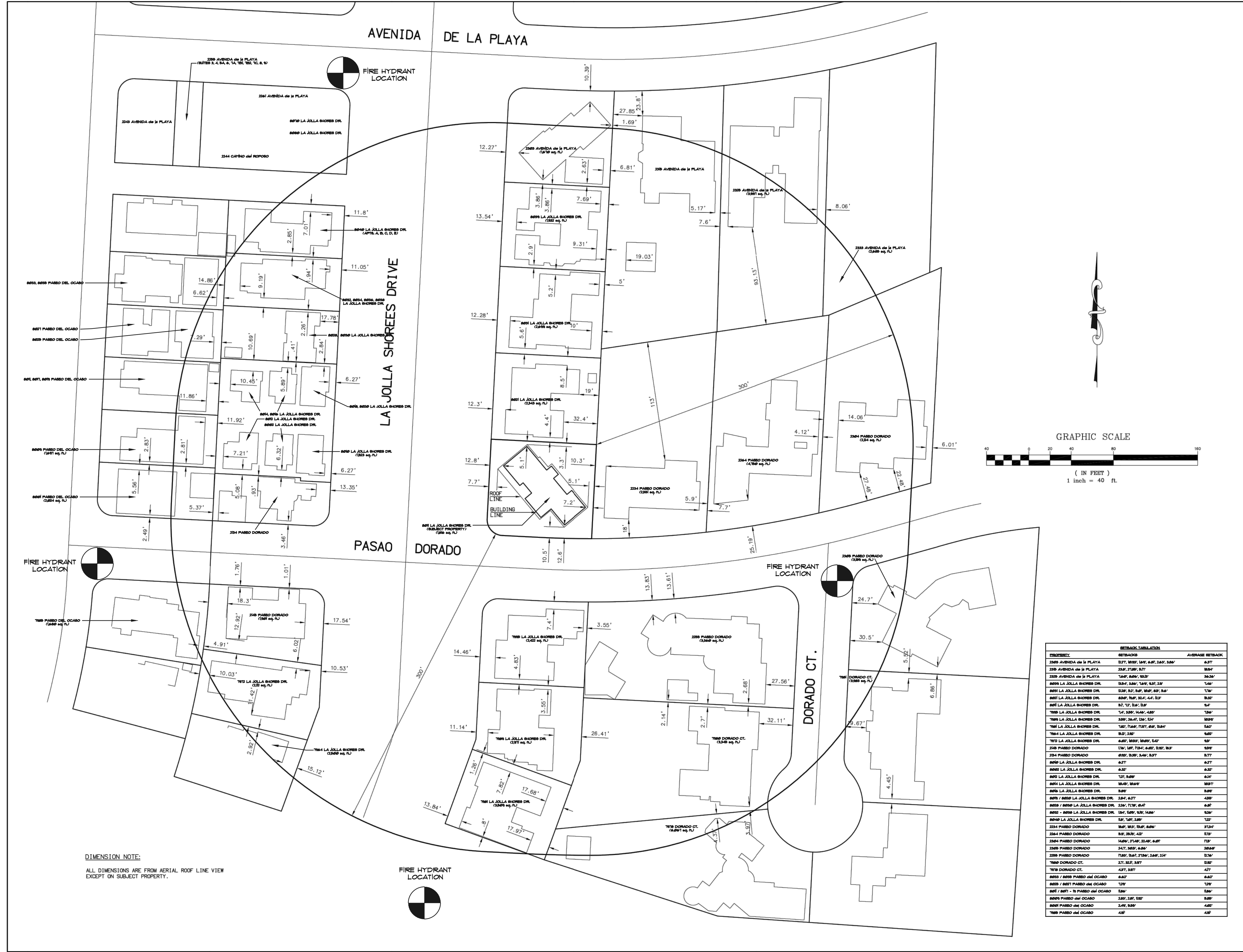
BALENTINE CONSULTING
 10755 SCRIPES POWAY PKWY., SUITE 226
 SAN DIEGO, CALIFORNIA 92131
 (858) 531-5706 www.balentineconsulting.com

PIERCE RESIDENCE
 8011 La Jolla Shores Drive
 San Diego, California 92037
REMODEL & ADDITION

300' NOTICING SITE PLAN
 N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN
 RMB
 DATE
 2/18/2024
 JOB NUMBER
 21032
 SHEET

A102



SITE INFORMATION

8011 LA JOLLA SHORES DRIVE

LEGAL DESCRIPTION

LOT 5 OF SYCAMORE TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2866, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 22, 1952, BEING DESCRIBED IN DOCUMENT NO. 2021-0016719, RECORDED JANUARY 8, 2021.

APN: 346-371-05
GROSS AREA - 0.206 ACRES
8,989.23 SQ. FT.

THE PROPERTY LINES, BEARINGS AND DIMENSIONS, SHOWN HEREON, ARE ESTABLISHED FROM AVAILABLE RECORD INFORMATION AND ARE SUBJECT TO VERIFICATION BY A COMPLETE FIELD BOUNDARY RETRACEMENT SURVEY.

PLAN PREPARED BY

ACCURATE LAND SURVEYS
 2514 ALPINE BLVD. SUITE 44, ALPINE, CA 91901
 PH: 619-445-0110

SEAL

TRJ

SHEET TITLE

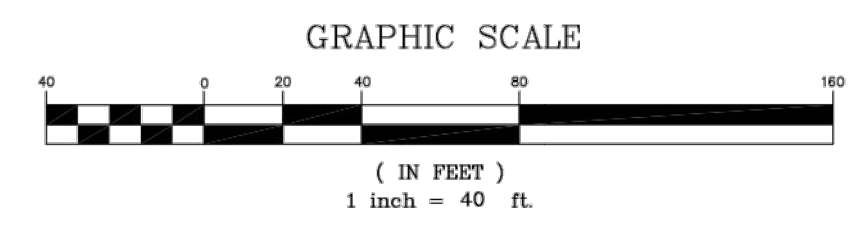
300' RADIUS SITE PLAN

DATE

03/01/2022

SHEET NUMBER

SHEET 1 OF 1

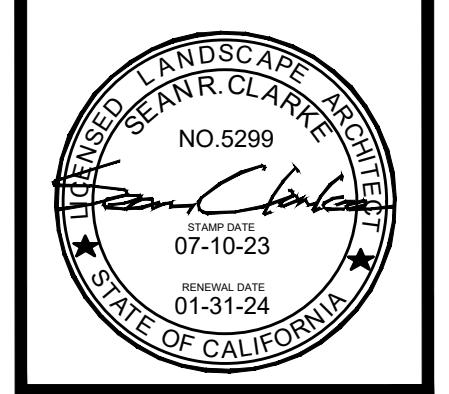


ENCLOSURE	RETRACED	AVERAGE RETRACK
2308 AVENIDA DE LA PLAYA	827'	8.87'
2309 AVENIDA DE LA PLAYA	2342'	2.87'
2310 AVENIDA DE LA PLAYA	1546'	1.83'
2311 AVENIDA DE LA PLAYA	1546'	1.83'
2312 AVENIDA DE LA PLAYA	1546'	1.83'
2313 AVENIDA DE LA PLAYA	1546'	1.83'
2314 AVENIDA DE LA PLAYA	1546'	1.83'
2315 AVENIDA DE LA PLAYA	1546'	1.83'
2316 AVENIDA DE LA PLAYA	1546'	1.83'
2317 AVENIDA DE LA PLAYA	1546'	1.83'
2318 AVENIDA DE LA PLAYA	1546'	1.83'
2319 AVENIDA DE LA PLAYA	1546'	1.83'
2320 AVENIDA DE LA PLAYA	1546'	1.83'
2321 AVENIDA DE LA PLAYA	1546'	1.83'
2322 AVENIDA DE LA PLAYA	1546'	1.83'
2323 AVENIDA DE LA PLAYA	1546'	1.83'
2324 AVENIDA DE LA PLAYA	1546'	1.83'
2325 AVENIDA DE LA PLAYA	1546'	1.83'
2326 AVENIDA DE LA PLAYA	1546'	1.83'
2327 AVENIDA DE LA PLAYA	1546'	1.83'
2328 AVENIDA DE LA PLAYA	1546'	1.83'
2329 AVENIDA DE LA PLAYA	1546'	1.83'
2330 AVENIDA DE LA PLAYA	1546'	1.83'
2331 AVENIDA DE LA PLAYA	1546'	1.83'
2332 AVENIDA DE LA PLAYA	1546'	1.83'
2333 AVENIDA DE LA PLAYA	1546'	1.83'
2334 AVENIDA DE LA PLAYA	1546'	1.83'
2335 AVENIDA DE LA PLAYA	1546'	1.83'
2336 AVENIDA DE LA PLAYA	1546'	1.83'
2337 AVENIDA DE LA PLAYA	1546'	1.83'
2338 AVENIDA DE LA PLAYA	1546'	1.83'
2339 AVENIDA DE LA PLAYA	1546'	1.83'
2340 AVENIDA DE LA PLAYA	1546'	1.83'
2341 AVENIDA DE LA PLAYA	1546'	1.83'
2342 AVENIDA DE LA PLAYA	1546'	1.83'
2343 AVENIDA DE LA PLAYA	1546'	1.83'
2344 AVENIDA DE LA PLAYA	1546'	1.83'
2345 AVENIDA DE LA PLAYA	1546'	1.83'
2346 AVENIDA DE LA PLAYA	1546'	1.83'
2347 AVENIDA DE LA PLAYA	1546'	1.83'
2348 AVENIDA DE LA PLAYA	1546'	1.83'
2349 AVENIDA DE LA PLAYA	1546'	1.83'
2350 AVENIDA DE LA PLAYA	1546'	1.83'
2351 AVENIDA DE LA PLAYA	1546'	1.83'
2352 AVENIDA DE LA PLAYA	1546'	1.83'
2353 AVENIDA DE LA PLAYA	1546'	1.83'
2354 AVENIDA DE LA PLAYA	1546'	1.83'
2355 AVENIDA DE LA PLAYA	1546'	1.83'
2356 AVENIDA DE LA PLAYA	1546'	1.83'
2357 AVENIDA DE LA PLAYA	1546'	1.83'
2358 AVENIDA DE LA PLAYA	1546'	1.83'
2359 AVENIDA DE LA PLAYA	1546'	1.83'
2360 AVENIDA DE LA PLAYA	1546'	1.83'
2361 AVENIDA DE LA PLAYA	1546'	1.83'
2362 AVENIDA DE LA PLAYA	1546'	1.83'
2363 AVENIDA DE LA PLAYA	1546'	1.83'
2364 AVENIDA DE LA PLAYA	1546'	1.83'
2365 AVENIDA DE LA PLAYA	1546'	1.83'
2366 AVENIDA DE LA PLAYA	1546'	1.83'
2367 AVENIDA DE LA PLAYA	1546'	1.83'
2368 AVENIDA DE LA PLAYA	1546'	1.83'
2369 AVENIDA DE LA PLAYA	1546'	1.83'
2370 AVENIDA DE LA PLAYA	1546'	1.83'
2371 AVENIDA DE LA PLAYA	1546'	1.83'
2372 AVENIDA DE LA PLAYA	1546'	1.83'
2373 AVENIDA DE LA PLAYA	1546'	1.83'
2374 AVENIDA DE LA PLAYA	1546'	1.83'
2375 AVENIDA DE LA PLAYA	1546'	1.83'
2376 AVENIDA DE LA PLAYA	1546'	1.83'
2377 AVENIDA DE LA PLAYA	1546'	1.83'
2378 AVENIDA DE LA PLAYA	1546'	1.83'
2379 AVENIDA DE LA PLAYA	1546'	1.83'
2380 AVENIDA DE LA PLAYA	1546'	1.83'
2381 AVENIDA DE LA PLAYA	1546'	1.83'
2382 AVENIDA DE LA PLAYA	1546'	1.83'
2383 AVENIDA DE LA PLAYA	1546'	1.83'
2384 AVENIDA DE LA PLAYA	1546'	1.83'
2385 AVENIDA DE LA PLAYA	1546'	1.83'
2386 AVENIDA DE LA PLAYA	1546'	1.83'
2387 AVENIDA DE LA PLAYA	1546'	1.83'
2388 AVENIDA DE LA PLAYA	1546'	1.83'
2389 AVENIDA DE LA PLAYA	1546'	1.83'
2390 AVENIDA DE LA PLAYA	1546'	1.83'
2391 AVENIDA DE LA PLAYA	1546'	1.83'
2392 AVENIDA DE LA PLAYA	1546'	1.83'
2393 AVENIDA DE LA PLAYA	1546'	1.83'
2394 AVENIDA DE LA PLAYA	1546'	1.83'
2395 AVENIDA DE LA PLAYA	1546'	1.83'
2396 AVENIDA DE LA PLAYA	1546'	1.83'
2397 AVENIDA DE LA PLAYA	1546'	1.83'
2398 AVENIDA DE LA PLAYA	1546'	1.83'
2399 AVENIDA DE LA PLAYA	1546'	1.83'
2400 AVENIDA DE LA PLAYA	1546'	1.83'
2401 AVENIDA DE LA PLAYA	1546'	1.83'
2402 AVENIDA DE LA PLAYA	1546'	1.83'
2403 AVENIDA DE LA PLAYA	1546'	1.83'
2404 AVENIDA DE LA PLAYA	1546'	1.83'
2405 AVENIDA DE LA PLAYA	1546'	1.83'
2406 AVENIDA DE LA PLAYA	1546'	1.83'
2407 AVENIDA DE LA PLAYA	1546'	1.83'
2408 AVENIDA DE LA PLAYA	1546'	1.83'
2409 AVENIDA DE LA PLAYA	1546'	1.83'
2410 AVENIDA DE LA PLAYA	1546'	1.83'
2411 AVENIDA DE LA PLAYA	1546'	1.83'
2412 AVENIDA DE LA PLAYA	1546'	1.83'
2413 AVENIDA DE LA PLAYA	1546'	1.83'
2414 AVENIDA DE LA PLAYA	1546'	1.83'
2415 AVENIDA DE LA PLAYA	1546'	1.83'
2416 AVENIDA DE LA PLAYA	1546'	1.83'
2417 AVENIDA DE LA PLAYA	1546'	1.83'
2418 AVENIDA DE LA PLAYA	1546'	1.83'
2419 AVENIDA DE LA PLAYA	1546'	1.83'
2420 AVENIDA DE LA PLAYA	1546'	1.83'
2421 AVENIDA DE LA PLAYA	1546'	1.83'
2422 AVENIDA DE LA PLAYA	1546'	1.83'
2423 AVENIDA DE LA PLAYA	1546'	1.83'
2424 AVENIDA DE LA PLAYA	1546'	1.83'
2425 AVENIDA DE LA PLAYA	1546'	1.83'
2426 AVENIDA DE LA PLAYA	1546'	1.83'
2427 AVENIDA DE LA PLAYA	1546'	1.83'
2428 AVENIDA DE LA PLAYA	1546'	1.83'
2429 AVENIDA DE LA PLAYA	1546'	1.83'
2430 AVENIDA DE LA PLAYA	1546'	1.83'
2431 AVENIDA DE LA PLAYA	1546'	1.83'
2432 AVENIDA DE LA PLAYA	1546'	1.83'
2433 AVENIDA DE LA PLAYA	1546'	1.83'
2434 AVENIDA DE LA PLAYA	1546'	1.83'
2435 AVENIDA DE LA PLAYA	1546'	1.83'
2436 AVENIDA DE LA PLAYA	1546'	1.83'
2437 AVENIDA DE LA PLAYA	1546'	1.83'
2438 AVENIDA DE LA PLAYA	1546'	1.83'
2439 AVENIDA DE LA PLAYA	1546'	1.83'
2440 AVENIDA DE LA PLAYA	1546'	1.83'
2441 AVENIDA DE LA PLAYA	1546'	1.83'
2442 AVENIDA DE LA PLAYA	1546'	1.83'
2443 AVENIDA DE LA PLAYA	1546'	1.83'
2444 AVENIDA DE LA PLAYA	1546'	1.83'
2445 AVENIDA DE LA PLAYA	1546'	1.83'
2446 AVENIDA DE LA PLAYA	1546'	1.83'
2447 AVENIDA DE LA PLAYA	1546'	1.83'
2448 AVENIDA DE LA PLAYA	1546'	1.83'
2449 AVENIDA DE LA PLAYA	1546'	1.83'
2450 AVENIDA DE LA PLAYA	1546'	1.83'
2451 AVENIDA DE LA PLAYA	1546'	1.83'
2452 AVENIDA DE LA PLAYA	1546'	1.83'
2453 AVENIDA DE LA PLAYA	1546'	1.83'
2454 AVENIDA DE LA PLAYA	1546'	1.83'
2455 AVENIDA DE LA PLAYA	1546'	1.83'
2456 AVENIDA DE LA PLAYA	1546'	1.83'
2457 AVENIDA DE LA PLAYA	1546'	1.83'
2458 AVENIDA DE LA PLAYA	1546'	1.83'
2459 AVENIDA DE LA PLAYA	1546'	1.83'
2460 AVENIDA DE LA PLAYA	1546'	1.83'
2461 AVENIDA DE LA PLAYA	1546'	1.83'
2462 AVENIDA DE LA PLAYA	1546'	1.83'
2463 AVENIDA DE LA PLAYA	1546'	1.83'
2464 AVENIDA DE LA PLAYA	1546'	1.83'
2465 AVENIDA DE LA PLAYA	1546'	1.83'
2466 AVENIDA DE LA PLAYA	1546'	1.83'
2467 AVENIDA DE LA PLAYA	1546'	1.83'
2468 AVENIDA DE LA PLAYA	1546'	1.83'
2469 AVENIDA DE LA PLAYA	1546'	1.83'
2470 AVENIDA DE LA PLAYA	1546'	1.83'
2471 AVENIDA DE LA PLAYA	1546'	1.83'
2472 AVENIDA DE LA PLAYA	1546'	1.83'
2473 AVENIDA DE LA PLAYA	1546'	1.83'
2474 AVENIDA DE LA PLAYA	1546'	1.83'
2475 AVENIDA DE LA PLAYA	1546'	1.83'
2476 AVENIDA DE LA PLAYA	1546'	1.83'
2477 AVENIDA DE LA PLAYA	1546'	1.83'
2478 AVENIDA DE LA PLAYA	1546'	1.83'
2479 AVENIDA DE LA PLAYA	1546'	1.83'
2480 AVENIDA DE LA PLAYA	1546'	1.83'
2481 AVENIDA DE LA PLAYA	1546'	1.83'
2482 AVENIDA DE LA PLAYA	1546'	1.83'
2483 AVENIDA DE LA PLAYA	1546'	1.83'
2484 AVENIDA DE LA PLAYA	1546'	1.83'
2485 AVENIDA DE LA PLAYA	1546'	1.83'
2486 AVENIDA DE LA PLAYA	1546'	1.83'
2487 AVENIDA DE LA PLAYA	1546'	1.83'
2488 AVENIDA DE LA PLAYA	1546'	1.83'
2489 AVENIDA DE LA PLAYA	1546'	1.83'
2490 AVENIDA DE LA PLAYA	1546'	1.83'
2491 AVENIDA DE LA PLAYA	1546'	1.83'
2492 AVENIDA DE LA PLAYA	1546'	1.83'
2493 AVENIDA DE LA PLAYA	1546'	1.83'
2494 AVENIDA DE LA PLAYA	1546'	1.83'
2495 AVENIDA DE LA PLAYA	1546'	1.83'
2496 AVENIDA DE LA PLAYA	1546'	1.83'
2497 AVENIDA DE LA PLAYA	1546'	1.83'
2498 AVENIDA DE LA PLAYA	1546'	1.83'
2499 AVENIDA DE LA PLAYA	1546'	1.83'
2500 AVENIDA DE LA PLAYA	1546'	1.83'

DIMENSION NOTE:
 ALL DIMENSIONS ARE FROM AERIAL ROOF LINE VIEW EXCEPT ON SUBJECT PROPERTY.



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
 110 COPPERWOOD WAY # 9
 OCEANSIDE CA 92058
 CA. 760-716-3100
 L A # 5299



SHEET TITLE:
LANDSCAPE CONCEPT PLAN

PROJECT:
**PIERCE RESIDENCE
 REMODEL & ADDITION**
 8011 LA JOLLA SHORES DR.
 LA JOLLA, CA 92037

REVISIONS

 DRAWN JA
 APPROVED SC
 JOB NO. SRC23150
 DATE 07-10-23
 SCALE AS SHOWN
 SHEET

PLANT LEGEND

SRUBS SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	COLS	WU-
	MUHLENBERGIA CAPILARIS	PINK MUHLY	5 GAL.	9		LOW
	VERBANA LILACINA	CEDROS ISLAND VERBANA	5 GAL.	10		LOW

GROUND COVERS SYM	BOTANICAL NAME	COMMON NAME	SIZE	SQ.FT.	COLS	WU-
	CEANOTHUS YANKEE POINT	YANKEE POINT CEANOTHUS	1 GAL. 6" O.C.	96		LOW

MISC.

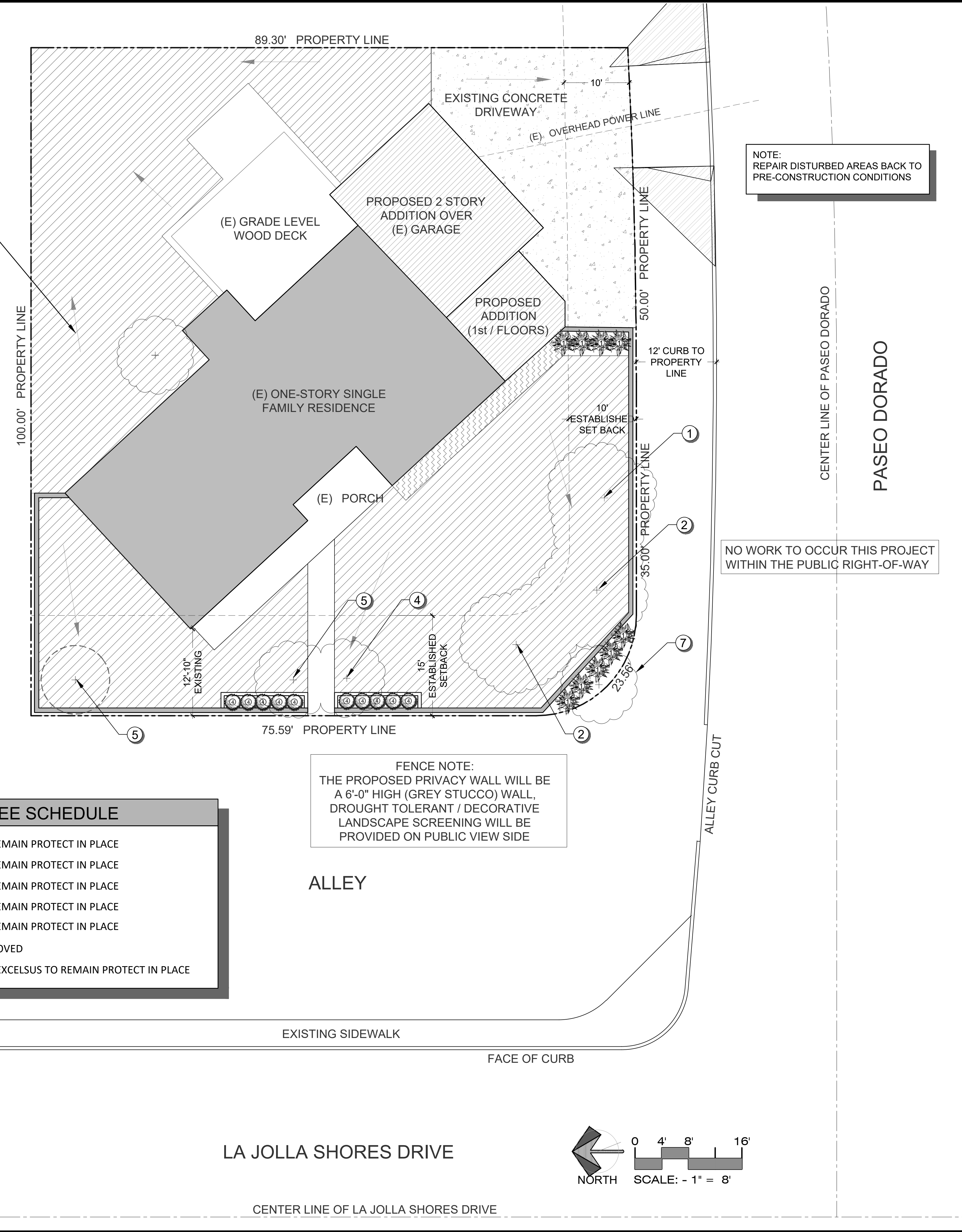
SYM	DESCRIPTION
	EXISTING LANDSCAPE TO REMAIN PROTECT IN PLACE
	EXISTING TREES TO REMAIN PROTECT IN PLACE

LANDSCAPE GENERAL NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE DESIGN MANUAL AND THE REGIONAL STANDARDS.
- MAINTENANCE:** ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION:** AN EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED, THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEAD AND DRIP LINE.
- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED.
- ARCHITECTURAL ELEVATIONS AND FEATURES SHALL BE CONSIDERED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
- ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
- ALL PLANTER AREAS SHALL RECEIVE A 3" DEPTH OF SHREDDED BARK MULCH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- NON-BIODIGRADABLE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOT BALL.
- A MINIMUM ROOTZONE OF 40SF. IN AREA SHALL BE PROVIDED FOR ALL TREES THE MINIMUM DIMENSION FOR THIS AREA 5 FEET, PER SDMC 142.0403(b)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE SECTION 142.040(b)(5)(10).
- MINIMUM TREE SEPARATION DISTANCE
 TRAFFIC SIGNALS / SIGNAL SIGNS - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 a) A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES
 b) STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 c) A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 d) ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

AREA TABULATION		
DESCRIPTION	SQFT	%
TOTAL LOT	8,990'	100
EXISTING AND PROPOSED STRUCTURES	2,459.7'	27.36
DRIVEWAY	855.6'	9.52
DECK/PATHS	856.7'	9.53
PROPOSED LANDSCAPE AREA	4,818'	53.59
MIN. ALLOWED LANDSCAPE AREA	2,697'	30.0

MINIMUM TREE SEPARATION DISTANCE	
IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 feet
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 feet
SEWER LINES	10 feet
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 feet
DRIVEWAYS	10 feet
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 feet



NOTE:
 MAINTAIN EXISTING SITE SURFACE DRAINAGE FLOW

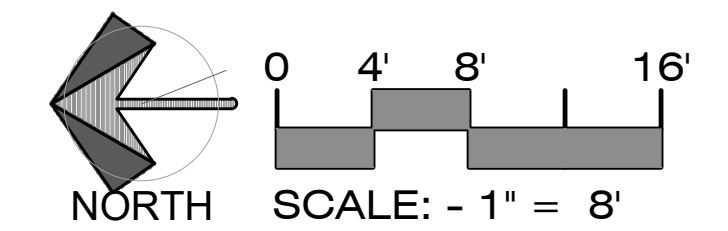
NOTE:
 REPAIR DISTURBED AREAS BACK TO PRE-CONSTRUCTION CONDITIONS

NO WORK TO OCCUR THIS PROJECT WITHIN THE PUBLIC RIGHT-OF-WAY

FENCE NOTE:
 THE PROPOSED PRIVACY WALL WILL BE A 6'-0" HIGH (GREY STUCCO) WALL. DROUGHT TOLERANT / DECORATIVE LANDSCAPE SCREENING WILL BE PROVIDED ON PUBLIC VIEW SIDE

EXISTING TREE SCHEDULE	
①	16" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
②	12" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
③	12" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
④	10" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
⑤	18" CALIPER TORREY PINE TO REMAIN PROTECT IN PLACE
⑥	METROSIDEROS SP. TO BE REMOVED
⑦	MULTI TRUNK METROSIDEROS EXCELSUS TO REMAIN PROTECT IN PLACE

LA JOLLA SHORES DRIVE
 CENTER LINE OF LA JOLLA SHORES DRIVE



PLOT DATE: 07-07-23

REVISIONS	BY

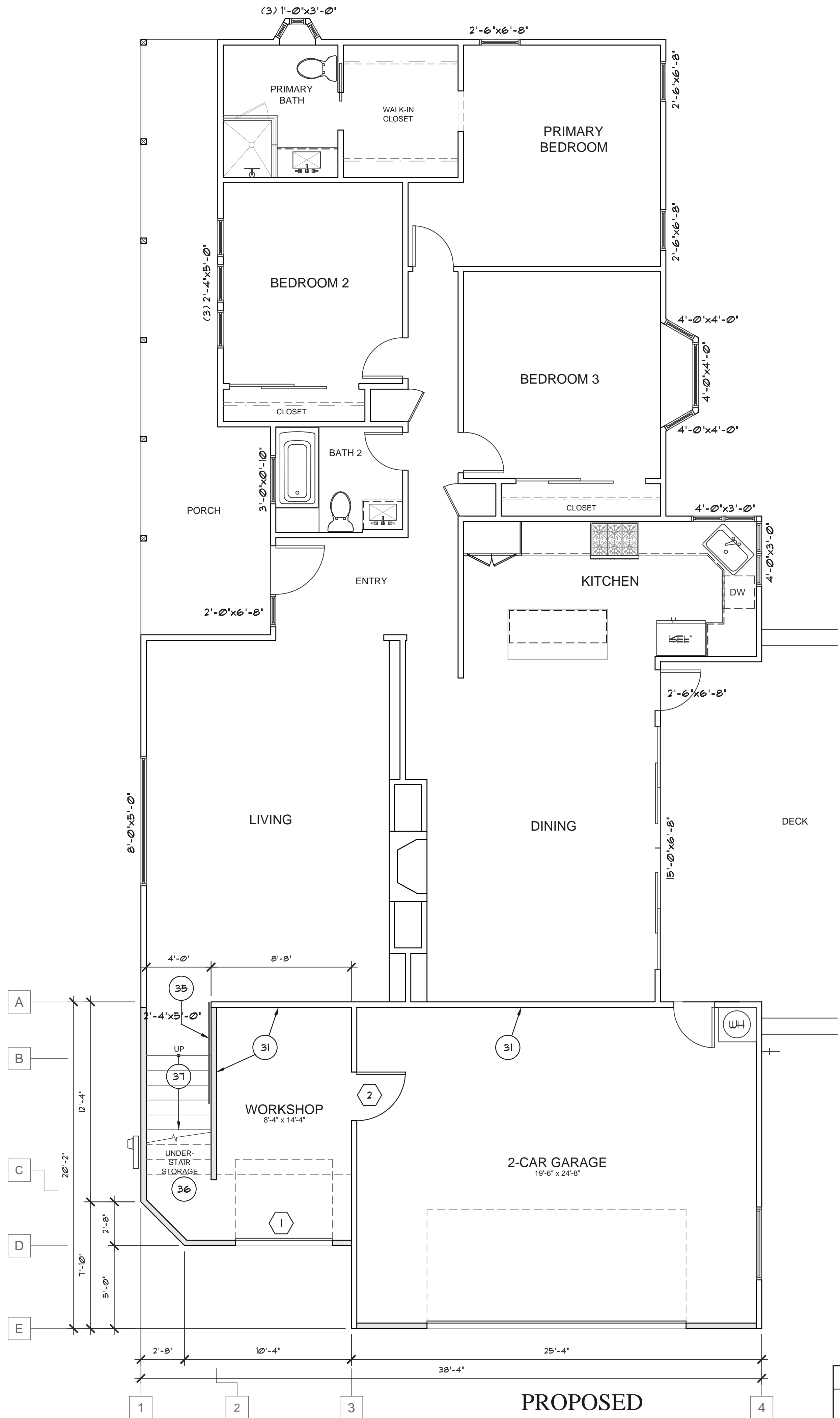
BALENTINE
CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(858) 531-5106 www.BalentineConsulting.com

PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

**EXISTING / DEMOLITION AND
PROPOSED FIRST FLOOR PLAN**
N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN
RMB
DATE
2/18/2024
JOB NUMBER
21032
SHEET

A201



EXIST / DEMOLITION KEYNOTES:

- (E) WALL TO REMAIN UNALTERED, TYP.
- (E) STEM WALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
- (E) GARAGE SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED
- AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
- (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
- (E) ELECTRIC METER TO REMAIN UNALTERED.
- (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
- PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
- NOT USED.
- PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
- PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

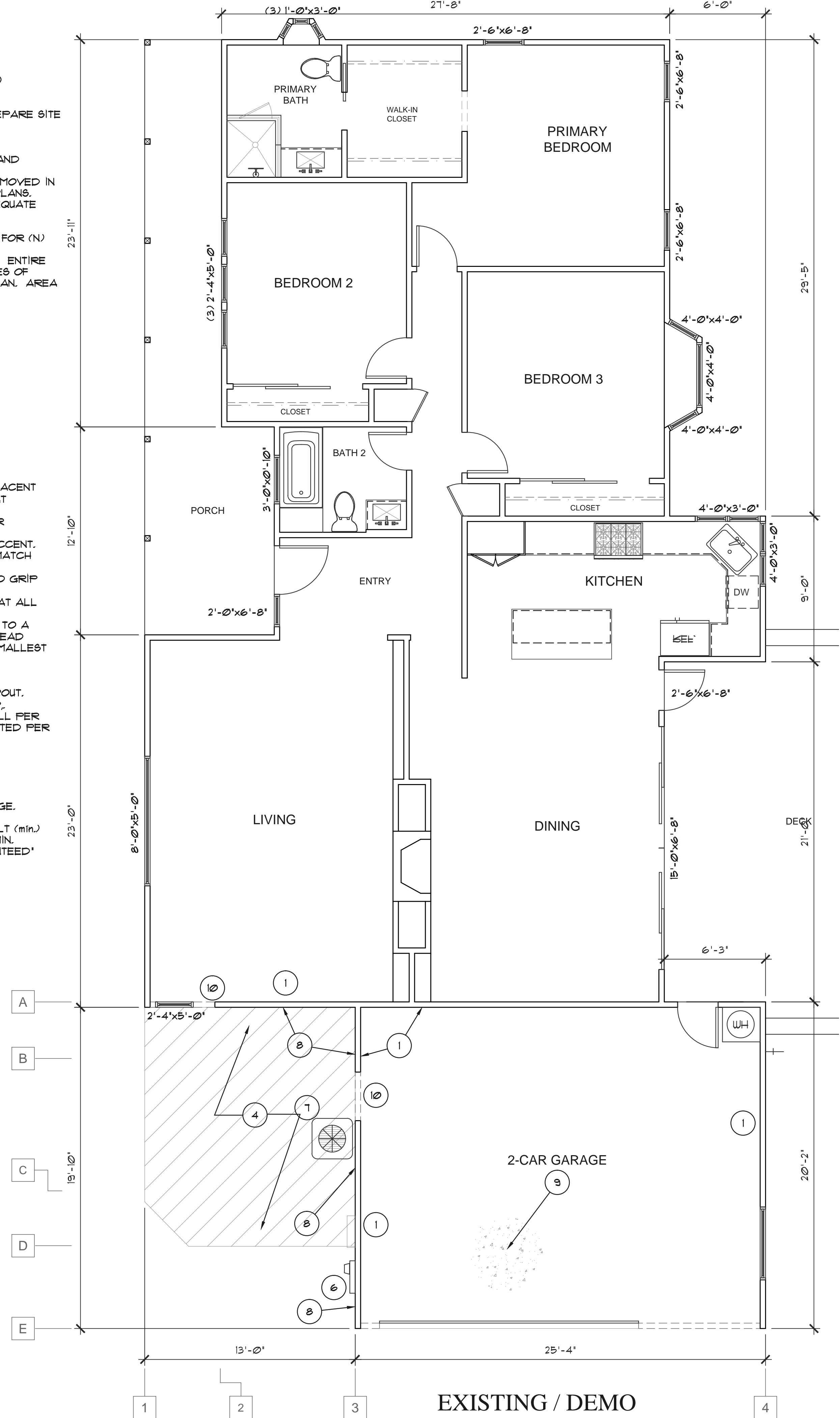
NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. MIN. 1/2" INCH GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

- (N) 2x STUD WALLS PER STRUCTURAL.
- (N) 1/2" INCH MIN. TYPE 'X' GIBS TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" INCH MIN. TYPE 'X' GIBS TYP. AT CEILING.
- (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 2x4 'HARDPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT. 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E9R-2290). COLOR TO BE 'LIGHT BEIGE'.
- PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
- PROVIDE MIN. 1/2" INCH GYP. BD. AT ALL WALLS & SOFFITS AT ALL UNDER-STAIR LOCATION.
- STAIR RISERS TO BE A MAXIMUM OF 7-3/4" INCHES, TREADS TO A MINIMUM OF 11" INCHES - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" INCH.
- (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- (N) TJI FRAMING PER STRUCTURAL.
- DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
- WATERPROOF MEMBRANE, SLOPED 1/4" / FT. TO DRAIN, TYP. WATERPROOF DECKING BY 'WESTCOAT', E9R # 220), INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- SOLID WALL GUARDRAIL.
- HORIZONTAL FLAT-BAR METAL GUARDRAIL.
- GAS STUB OUT.
- (N) SUPPORT POST PER STRUCTURAL.
- CEDAR GARAGE DOOR.
- WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.
- (N) COMPOSITION (ASPHALT) SHINGLES. PROVIDE 30# FELT (min.) UNDERLAYMENT. ROOF SHEATHING (PER STRUCTURAL). MIN. CLASS 'A' ASSEMBLY REQUIRED. ROOFING BY 'CERTAINTED' (ICC REPORT # E9R-1389). INSTALL PER MFR'S RECOMMENDATIONS.
- (N) FLOOR DIAPHRAGM FOR STAIR LANDING.

WALL LEGEND	
	EXISTING WALLS TO REMAIN UNALTERED
	(E) WALLS TO BE DEMOLISHED
	NEW STUD WALLS (PER STRUCTURAL)
	NEW PARTIAL HT. WALL / RAILINGS



REVISIONS	BY

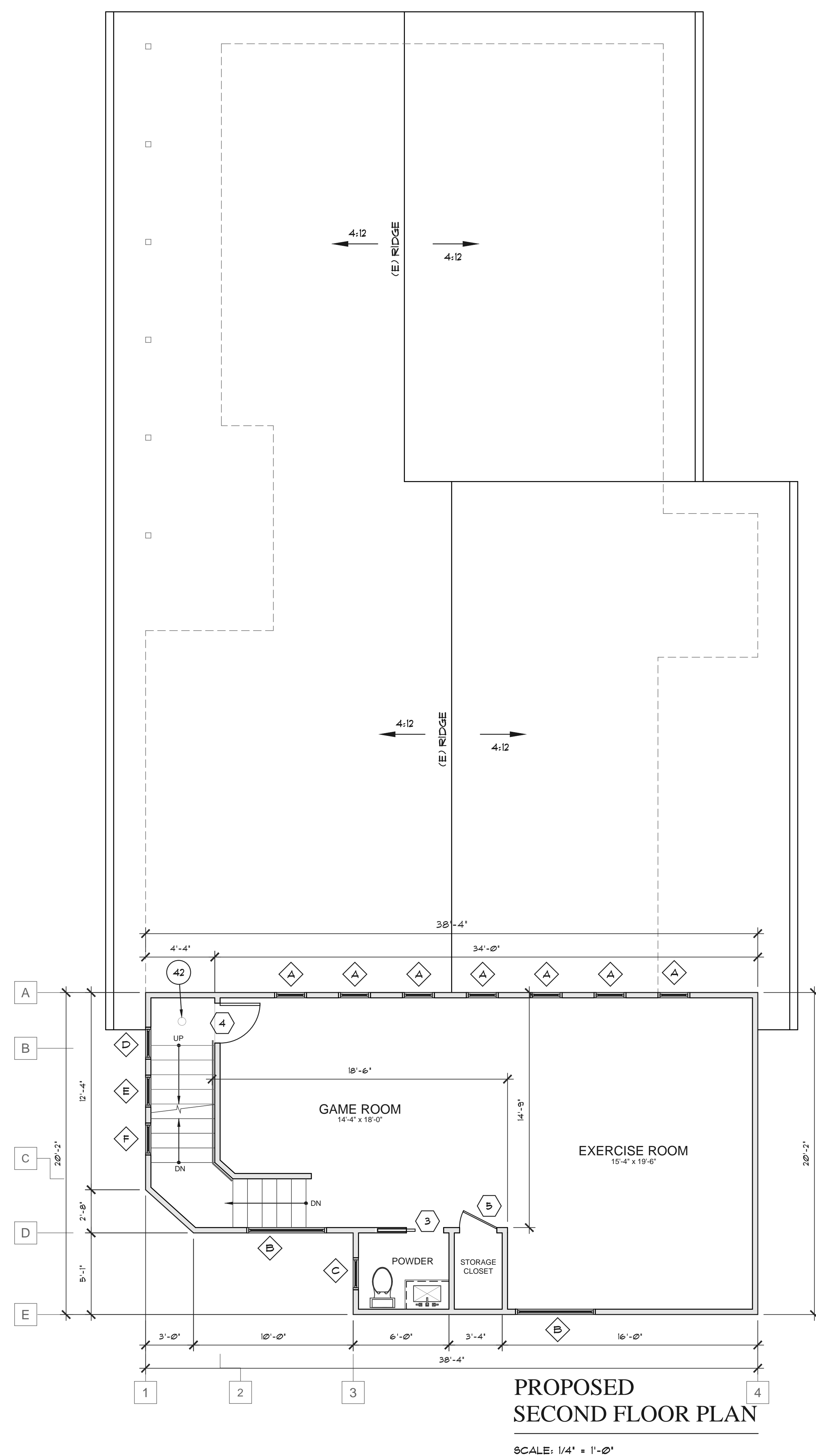
BALENTINE
CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(858) 531-5106 www.BalentineConsulting.com

PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

**EXISTING / DEMOLITION AND
PROPOSED FLOOR PLAN**
N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN
RMB
DATE
2/8/2024
JOB NUMBER
21032
SHEET

A202



EXIST / DEMOLITION KEYNOTES:

- (E) WALL TO REMAIN UNALTERED, TYP.
- (E) STEM WALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
- (E) GARAGE SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED
- AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
- (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
- (E) ELECTRIC METER TO REMAIN UNALTERED.
- (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
- PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
- NOT USED.
- PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
- PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

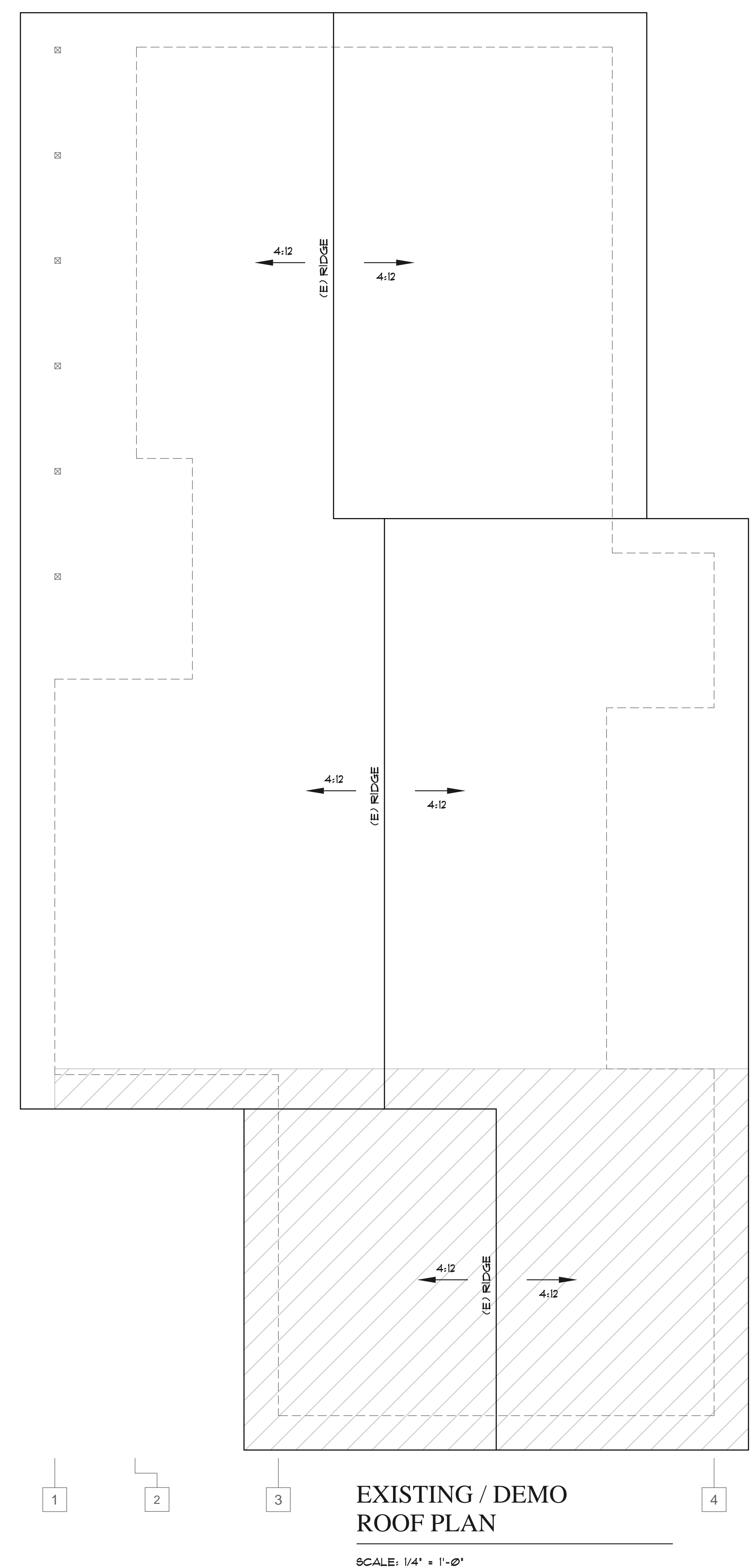
- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

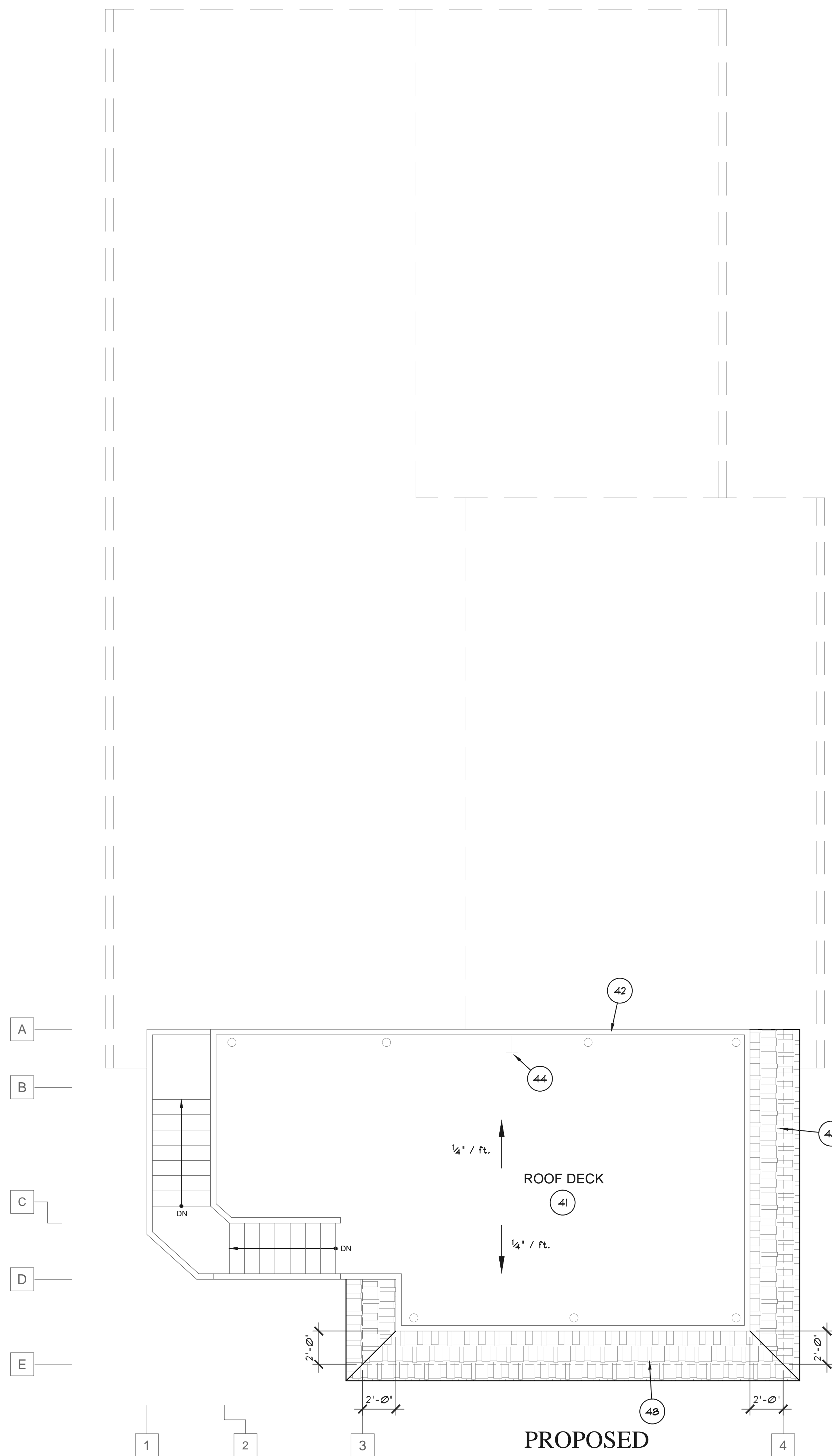
NEW CONSTRUCTION KEYNOTES:

- (N) 2x STUD WALLS PER STRUCTURAL.
- (N) 1/2" inch min. TYPE 'X' GIBB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GIBB TYP. AT CEILING.
- (N) BATHROOM FIXTURES, CABINETRY & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 2x4 'HARDPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
- 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E9R-2290). COLOR TO BE 'LIGHT BEIGE'.
- PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
- PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS AT ALL UNDER-STAIR LOCATION.
- STAIR RISERS TO BE A MAXIMUM OF 7-3/4" inches. TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
- (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- (N) TJI FRAMING PER STRUCTURAL.
- DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
- WATERPROOF MEMBRANE, SLOPED 1/4" / ft. TO DRAIN, TYP. WATERPROOF DECKING BY 'WESTCOAT', E9R # 220), INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- SOLID WALL GUARDRAIL.
- HORIZONTAL FLAT-BAR METAL GAURDRAIL.
- GAS STUB OUT.
- (N) SUPPORT POST PER STRUCTURAL.
- CEDAR GARAGE DOOR.
- WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.
- (N) COMPOSITION (ASPHALT) SHINGLES. PROVIDE 30# FELT (min.) UNDERLAYMENT. ROOF SHEATHING (PER STRUCTURAL). MIN. CLASS 'A' ASSEMBLY REQUIRED. ROOFING BY 'CERTAINTEED' (ICC REPORT # E9R-1300). INSTALL PER MFR'S RECOMMENDATIONS.
- (N) FLOOR DIAPHRAGM FOR STAIR LANDING.

WALL LEGEND

	EXISTING WALLS TO REMAIN UNALTERED
	(E) WALLS TO BE DEMOLISHED
	NEW STUD WALLS (PER STRUCTURAL)
	NEW PARTIAL HT. WALL / RAILINGS





**PROPOSED
ROOF DECK PLAN**

SCALE: 1/4" = 1'-0"

EXIST / DEMOLITION KEYNOTES:

1. (E) WALL TO REMAIN UNALTERED, TYP.
2. (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.ON.)
3. (E) GARAGE SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
4. AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
5. (E) FLOOR FRAMING TO REMAIN UNALTERED (U.ON.)
6. (E) ELECTRIC METER TO REMAIN UNALTERED.
7. (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
8. PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
9. NOT USED.
10. PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
11. PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP FLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. MIN. 1/2" INCH GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

30. (N) 2x STUD WALLS PER STRUCTURAL.
31. (N) 1/2" INCH MIN. TYPE 'X' GIBB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" INCH MIN. TYPE 'X' GIBB TYP. AT CEILINGS.
32. (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
33. 2x4 'HARDIPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
34. 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E9R-2290). COLOR TO BE 'LIGHT BEIGE'.
35. PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
36. PROVIDE MIN. 1/2" INCH GYP. BD. AT ALL WALLS & SOFFITS AT ALL UNDER-STAIR LOCATION.
37. STAIR RISERS TO BE A MAXIMUM OF 7-3/4" INCHES. TREADS TO A MINIMUM OF 11" INCHES - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" INCH.
38. (N) CONG. SLAB & FOOTINGS PER STRUCTURAL, TYP.
39. (N) TJI FRAMING PER STRUCTURAL.
40. DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
41. WATERPROOF MEMBRANE, SLOPED 1/4" / FT. TO DRAIN, TYP.
42. WATERPROOF DECKING BY 'WESTCOAT', E9R # 220, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
43. SOLID WALL GUARDRAIL.
44. HORIZONTAL FLAT-BAR METAL GAURDRAIL.
45. GAS STUB OUT.
46. (N) SUPPORT POST PER STRUCTURAL.
47. CEDAR GARAGE DOOR.
48. WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.
49. (N) COMPOSITION (ASPHALT) SHINGLES. PROVIDE 30# FELT (min.) UNDERLAYMENT. ROOF SHEATHING (PER STRUCTURAL). MIN. CLASS 'A' ASSEMBLY REQUIRED. ROOFING BY 'CERTAINTEED' (ICC REPORT # E9R-1389). INSTALL PER MFR'S RECOMMENDATIONS.
49. (N) FLOOR DIAPHRAGM FOR STAIR LANDING.

REVISIONS	BY

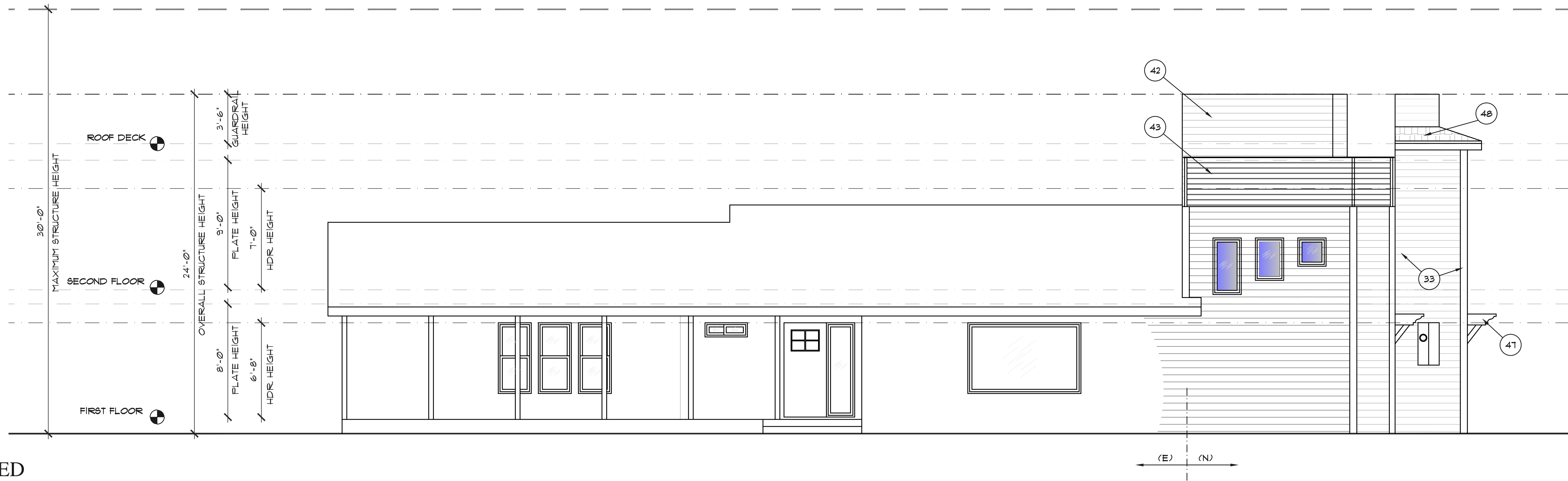
BALENTINE
CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(858) 531-5106 www.BalentineConsulting.com

PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

EXTERIOR ELEVATIONS
N.D.P. APPROVAL SET (PRJ-1063139)

DRAWN	
DATE	2/8/2024
JOB NUMBER	21032
SHEET	

A301



PROPOSED FRONT ELEVATION - WEST -

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION - EAST -

SCALE: 1/4" = 1'-0"

EXIST / DEMOLITION KEYNOTES:

- (E) WALL TO REMAIN UNALTERED, TYP.
- (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
- (E) GARAGE SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
- AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
- (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
- (E) ELECTRIC METER TO REMAIN UNALTERED.
- (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
- PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
- NOT USED.
- PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
- PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

- (N) 2x STUD WALLS PER STRUCTURAL.
- (N) 1/2" inch min. TYPE 'X' GWB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GWB TYP. AT CEILING.
- (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 2x4 'HARDPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
- 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (EQR-2290). COLOR TO BE 'LIGHT BEIGE'.
- PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
- PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS AT ALL UNDER-STAIR LOCATION.
- STAIR RISERS TO BE A MAXIMUM OF 1-3/4" inches, TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
- (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- (N) TJI FRAMING PER STRUCTURAL.
- DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
- WATERPROOF MEMBRANE SLOPED 1/4" / ft. TO DRAIN, TYP.
- WATERPROOF DECKING BY 'WESTCOAT', EQR # 2201, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- SOLID WALL GUARDRAIL.
- HORIZONTAL FLAT-BAR METAL GAURDRAIL.
- GAS STUB OUT.
- (N) SUPPORT POST PER STRUCTURAL.
- CEDAR GARAGE DOOR.
- WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.
- (N) COMPOSITION (ASPHALT) SHINGLES. PROVIDE 30# FELT (min.) UNDERLAYMENT, ROOF SHEATHING (PER STRUCTURAL), MIN. CLASS 'A' ASSEMBLY REQUIRED. ROOFING BY 'CERTAINTED' (ICC REPORT # ESR-1389). INSTALL PER MFR'S RECOMMENDATIONS.
- (N) FLOOR DIAPHRAGM FOR STAIR LANDING.

REVISIONS	BY

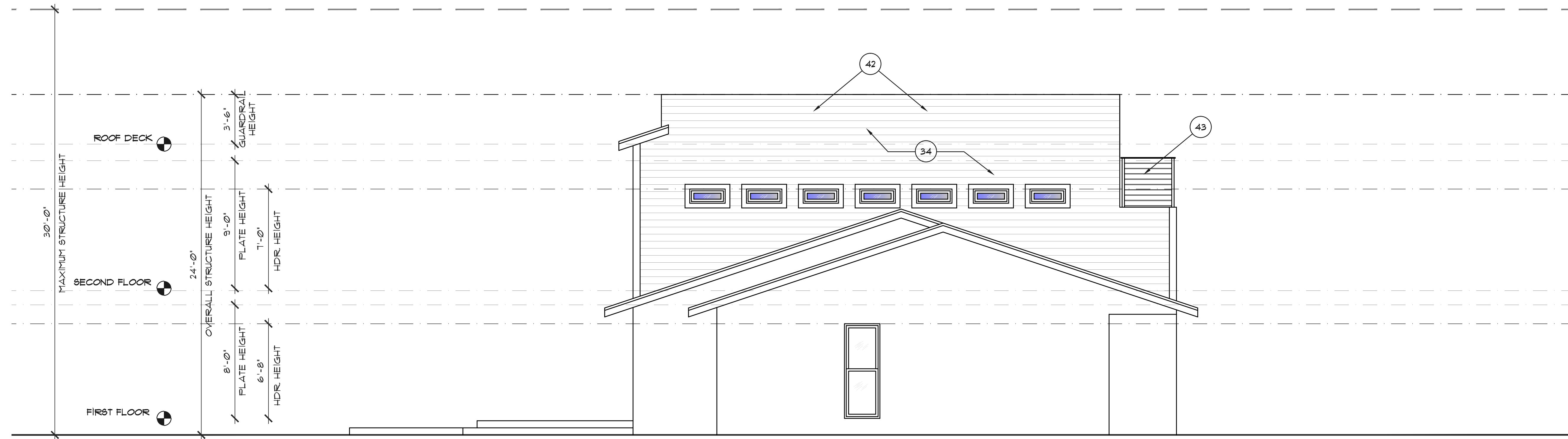
BALENTINE
CONSULTING
10755 SCRIPPS POWAY PKWY., SUITE 226
SAN DIEGO, CALIFORNIA 92131
(858) 531-5106 www.BalentineConsulting.com

PIERCE RESIDENCE
8011 La Jolla Shores Drive
San Diego, California 92037
REMODEL & ADDITION

EXTERIOR ELEVATIONS
N.D.P. APPROVAL SET (PRJ-1063139)

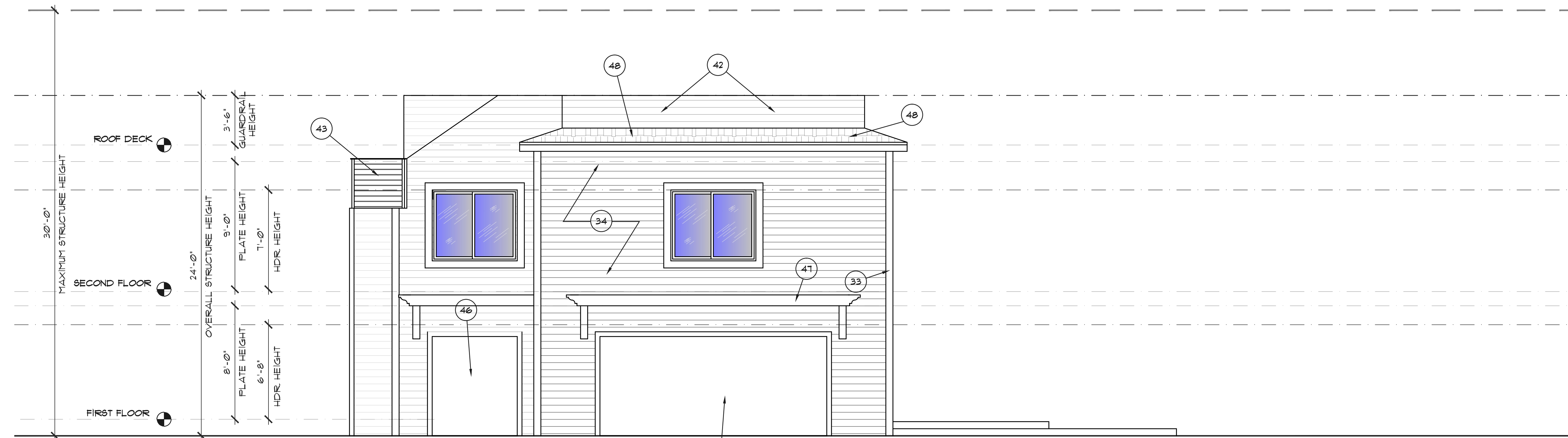
DRAWN	RFB
DATE	2/8/2024
JOB NUMBER	21032
SHEET	

A302



**PROPOSED
LEFT SIDE ELEVATION - NORTH -**

SCALE: 1/4" = 1'-0"



**PROPOSED
RIGHT SIDE ELEVATION - SOUTH -**

SCALE: 1/4" = 1'-0"

EXIST / DEMOLITION KEYNOTES:

- (E) WALL TO REMAIN UNALTERED, TYP.
- (E) STEMWALL & FOOTING TO REMAIN UNDISTURBED (U.O.N.)
- (E) GARAGE SLAB FOUNDATION & FOOTINGS TO REMAIN UNDISTURBED.
- AREA OF PROPOSED ADDITION. (SHOWN HATCHED). PREPARE SITE AS NEEDED OR REQUIRED.
- (E) FLOOR FRAMING TO REMAIN UNALTERED (U.O.N.)
- (E) ELECTRIC METER TO REMAIN UNALTERED.
- (E) AIR-CONDITIONING CONDENSOR TO BE DISCONNECT, AND RELOCATED PER PLAN.
- PORTION OF (E) STUCCO, LATH & BLDG. PAPER TO BE REMOVED IN PREPARATION FOR (N) SHEAR WALLS PER STRUCTURAL PLANS. CLEAN AND PREPARE (E) FRAMING AS NEEDED FOR ADEQUATE SHEAR CONNECTION.
- NOT USED.
- PORTION OF (E) WALL TO BE REMOVED IN PREPARATION FOR (N) DOOR OR WINDOW OPENING PER PLAN.
- PORTION OF (E) ROOF TO BE COMPLETELY DEMOLISHED. ENTIRE ROOF FRAMING TO BE REMOVED DOWN TO (E) TOP PLATES OF WALLS IN PREPARATION FOR (N) FLOOR FRAMING PER PLAN. AREA SHOWN HATCHED.

NEW CONSTRUCTION GENERAL NOTES:

- AA. R-15 (min.) BATT INSULATION AT ALL EXTERIOR WALLS.
- BB. R-38 (min.) BATT INSULATION AT CEILING JOISTS.
- CC. MIN. 1/2" inch GYP. BD. TYPICAL ENTIRE INTERIOR. VERIFY THICKNESS AND FINISH TEXTURE w/ OWNER(S).

NEW CONSTRUCTION KEYNOTES:

- (N) 2x STUD WALLS PER STRUCTURAL.
- (N) 1/2" inch min. TYPE 'X' GWB TYP. AT GARAGE WALLS ADJACENT ANY HABITABLE SPACE. 3/8" inch min. TYPE 'X' GWB TYP. AT CEILINGS.
- (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 2x4 'HARDPLANK' TRIM, PAINTED DARK BROWN AS AN ACCENT.
- 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E8R-2290). COLOR TO BE 'LIGHT BEIGE'.
- PROVIDE STAIR HANDRAIL (MIN. 34" - 38" AFF). 1-1/2" HAND GRIP REQ'D.
- PROVIDE MIN. 1/2" inch GYP. BD. AT ALL WALLS & SOFFITS AT ALL UNDER-STAIR LOCATION.
- STAIR RISERS TO BE A MAXIMUM OF 1-3/4" inches, TREADS TO A MINIMUM OF 11" inches - NO NOSING REQUIRED. RISER & TREAD DIFFERENTIAL SHALL NOT EXCEED THE GREATEST AND SMALLEST BY 3/8" inch.
- (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- (N) TJI FRAMING PER STRUCTURAL.
- DECK DRAINS. PIPING IN FLOOR JOISTS, OUT TO DOWNSPOUT.
- WATERPROOF MEMBRANE, SLOPED 1/4" / ft. TO DRAIN, TYP.
- WATERPROOF DECKING BY 'WESTCOAT', E8R # 2201, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CLASS 'A' / 1hr RATED PER MANUFACTURER'S SPECIFICATIONS.
- MANUFACTURER'S SPECIFICATIONS.
- SOLID WALL GUARDRAIL.
- HORIZONTAL FLAT-BAR METAL GAURDRAIL.
- GAS STUB OUT.
- (N) SUPPORT POST PER STRUCTURAL.
- CEDAR GARAGE DOOR.
- WOOD ARCHITECTURAL FEATURE 'EYEBROW' OVER GARAGE. DARK BROWN TO MATCH WINDOW TRIM.
- (N) COMPOSITION (ASPHALT) SHINGLES. PROVIDE 30# FELT (min.) UNDERLAYMENT, ROOF SHEATHING (PER STRUCTURAL), MIN. CLASS 'A' ASSEMBLY REQUIRED. ROOFING BY 'CERTAINTED' (ICC REPORT # E8R-1389). INSTALL PER MFR'S RECOMMENDATIONS.
- (N) FLOOR DIAPHRAGM FOR STAIR LANDING.