



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 31, 2024 REPORT NO. HO-24-002

HEARING DATE: February 14, 2024

SUBJECT: Carvalho De Mendonca, Process Three Decision

PROJECT NUMBER: [690811](#)

OWNER/APPLICANT: Alexandre Carvalho De Mendonca, Owner / Offset Design & Drafting, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve demolishing an existing 2,035-square-foot single dwelling unit and portion of existing garage and constructing a new two story, 4,298 square-foot single dwelling unit with basement, attached garage, balcony and decks for a total gross floor area of 9,858 square feet at 6208 Avenida Cresta within the La Jolla Community Plan area?

Proposed Actions: Approve Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274.

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project proposes the replacement of an existing single dwelling unit with a new single dwelling unit.

Community Planning Group Recommendation: On April 11, 2023, the La Jolla Community Planning Association voted 13-0-1 to approve the project (Attachment 6).

Environmental Review: The project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). The environmental determination for the project was made on November 13, 2023, and the opportunity to appeal the determination ended November 28, 2023 (Attachment 7). There were no appeals of the environmental determination.

BACKGROUND

The project site is developed with a 2,035 square-foot single dwelling unit at 6208 Avenida Cresta. The 0.20-acre site is not located between the sea and the first public roadway and there is no public view or coastal access from the project site, as identified in the La Jolla Community Plan (Community Plan). The project site is in the RS-1-5 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area (Attachments 1-3). The existing structure is more than 45 years old, requiring staff to evaluate the proposal for historic significance per San Diego Municipal Code (SDMC) Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Pursuant to SDMC Section 126.0402(a)(3), a Process Two Neighborhood Development Permit is required due to the location of a previously conforming structural envelope within the required 20-foot front yard setback. A Process Three Coastal Development Permit is also required for development within the appealable area of the Coastal Overlay Zone which is not exempt by SDMC Section [126.0704](#). Therefore, the decision to approve, conditionally approve, or deny the project shall be made by the Hearing Officer, and the decision is appealable to the Planning Commission. The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC Section 112.0103. For decisions involving coastal development within the appealable area, the final City decision is appealable to the Coastal Commission.

DISCUSSION

The project (Attachment 9 – Project Plans) includes demolishing an existing single dwelling unit and portion of garage and constructing a new two story, 4,298 square-foot single dwelling unit with basement, attached garage, balcony and decks for a total gross floor area of 9,858 square feet. The project complies with the RS-1-5 Zone development regulations for building height (24 feet) which does not exceed the 30-foot height limit, density, and floor area ratio (.49) which is below the maximum (.56) allowed. As previously mentioned, a Neighborhood Development Permit is required due to the location of a previously conforming structural envelope within the required 20-foot front yard setback. The existing area to remain (garage) encroaches between 5 feet to 6 feet 3 inches within the front yard setback. Staff has determined that the location of the encroachment, which conforms to the previous regulations for conforming premises, does not adversely impact the community character or with the bulk and scale of the surrounding neighborhood.

The Community Plan designates the site as low density residential (5-9 dwelling units per acre), and the development of one dwelling unit on the project site is consistent with the prescribed density. The project is consistent with the Community Plan goals of incorporating a variety of architectural styles, colors and building materials for single-family development and providing a dwelling unit that is similar in bulk and scale to the existing homes within the neighborhood. The project is also consistent with the Community Plan policy of avoiding extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and the promotion of good design and harmony within the visual relationships and transitions between new and older structures. The project complies with this Community Plan policy by incorporating terraces, off-setting planes, and variations within the front yard setback.

The project site does not contain sensitive vegetation or biological resources nor is the site within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Staff has also reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include the following:

- Constructing a new City standard 12-foot driveway adjacent to the site;
- Closing the existing driveway and providing a City standard curb, gutter and sidewalk;
- Entering into an Encroachment Maintenance Removal Agreement for the landscaping, walkway and curb outlet in the public right-of-way;
- Obtaining a bonded grading permit;
- Implementing storm water construction best management practices;
- Maintenance of all landscape improvements;
- Constructing all proposed public water and sewer facilities, per the City's Water and Sewer Facility design guidelines and regulations; and
- Installing appropriate private back flow prevention devices.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274, with modifications.
2. Deny Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274, if the findings required to approve the project cannot be affirmed.

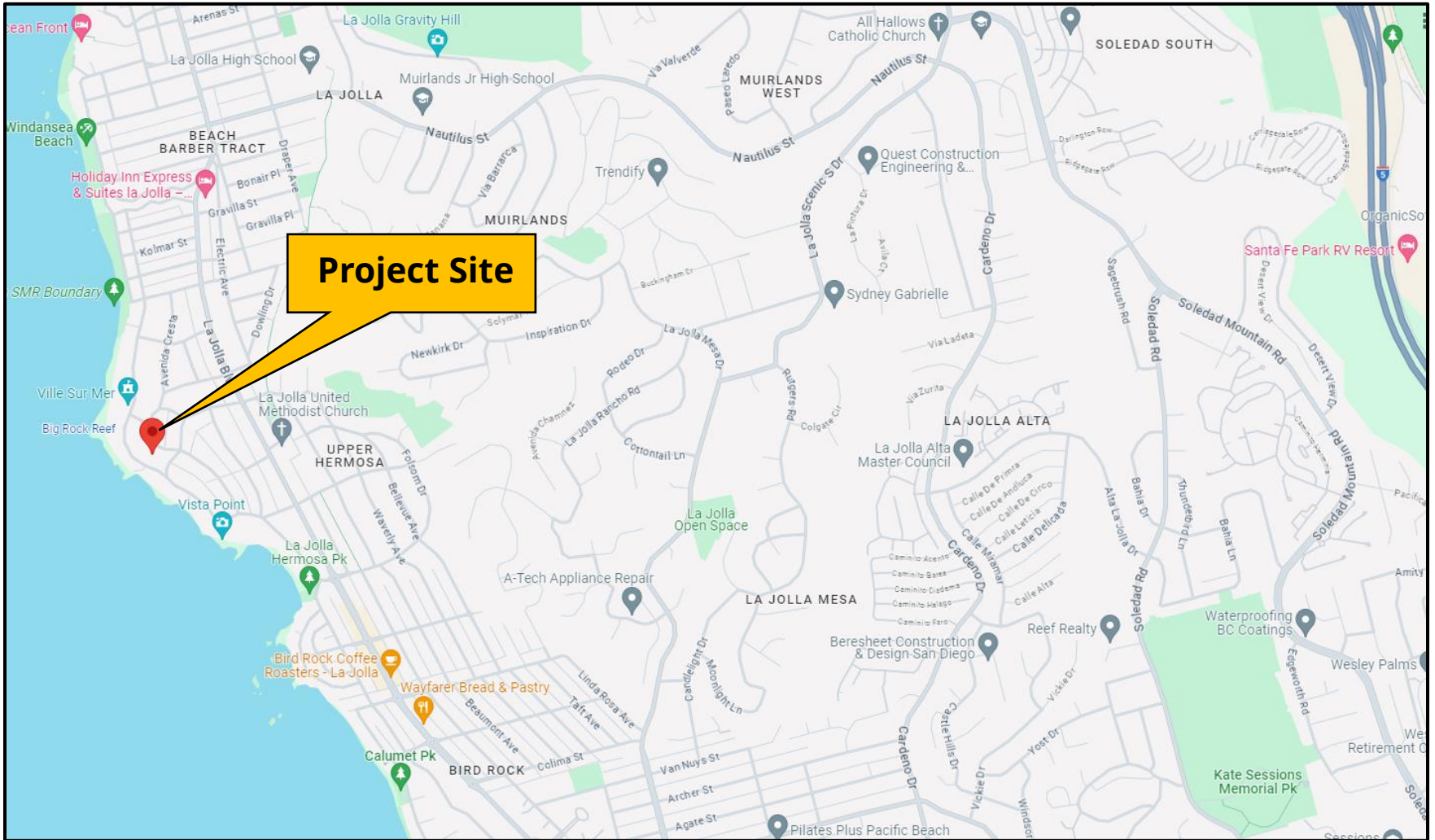
Respectfully submitted,



Xavier Del Valle, Development Project Manager

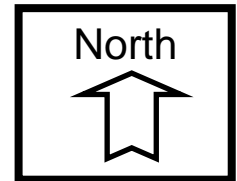
Attachments:

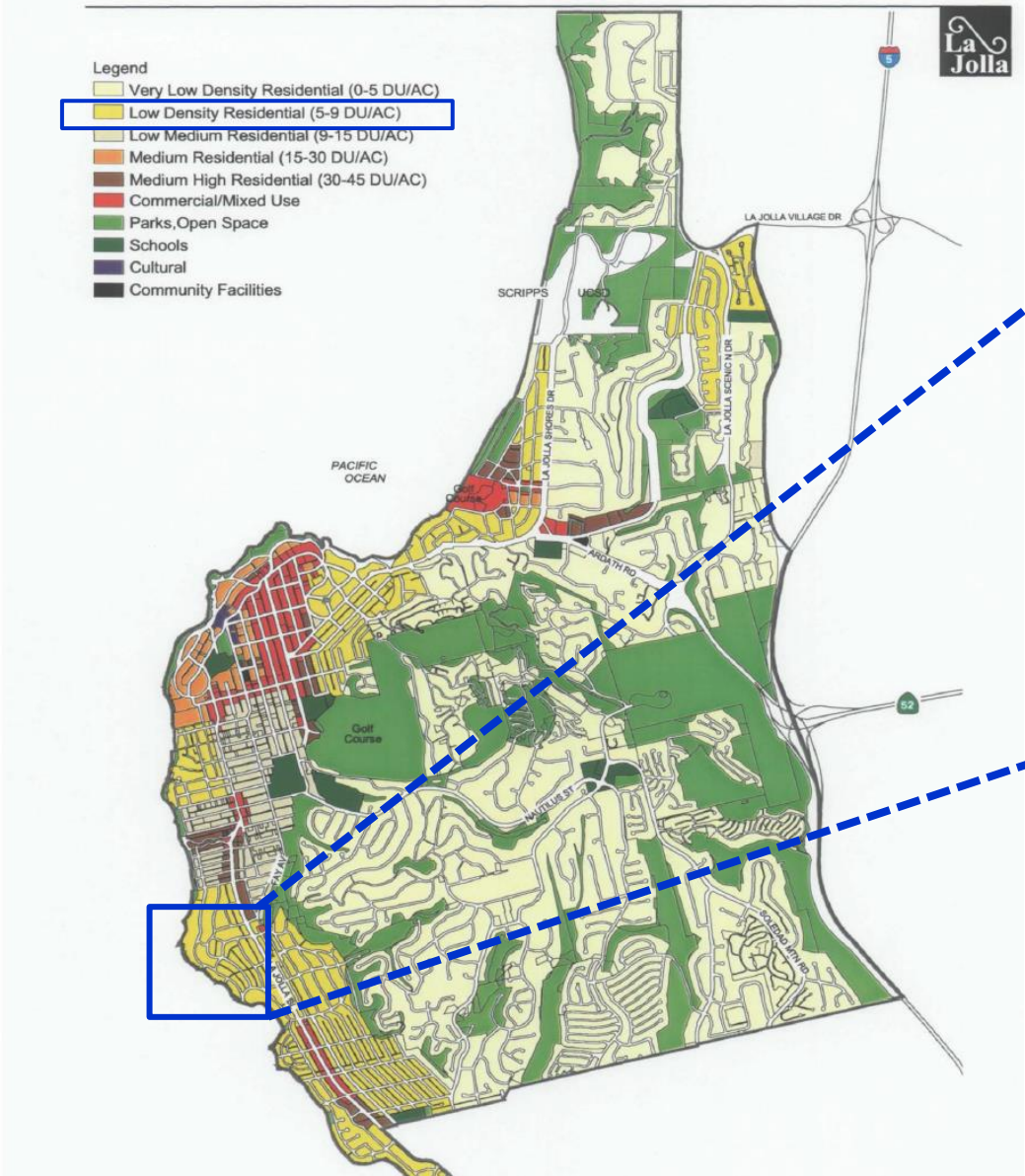
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Association Recommendation
7. Notice of Right to Appeal (NORA)
8. Ownership Disclosure Statement
9. Project Plans



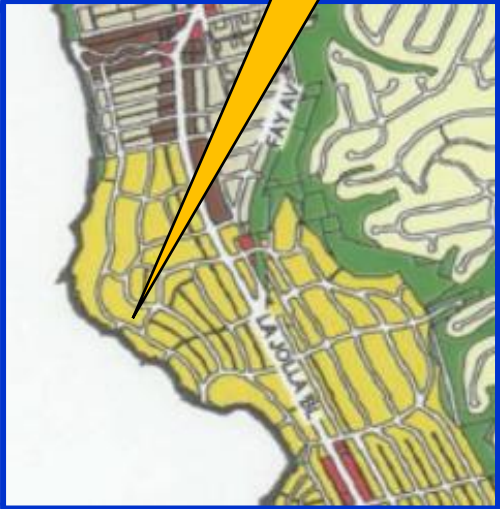
Project Location Map

Carvalho De Mendonca
Project No. 690811 - 6208 Avenida Cresta



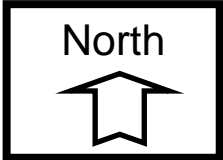


Project Site



Land Use Map

Carvalho De Mendonca
 Project No. 690811 - 6208 Avenida Cresta





Big Rock Reef

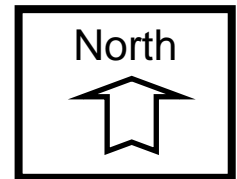
Vila Sur Mer

Project Site



Aerial Photograph

Carvalho De Mendonca
Project No. 690811 - 6208 Avenida Cresta



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. PMT-2560553
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3269274
CARVALHO DE MENDONCA - PROJECT NO. 690811
HEARING OFFICER

WHEREAS, ALEXANDRE CARVALHO DE MENDONCA, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing 2,035-square-foot single dwelling unit and portion of existing garage and construct a new two story, 4,298 square-foot single dwelling unit with basement, attached garage, balcony and decks for a total gross floor area of 9,858 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274), on portions of a 0.20-acre site;

WHEREAS, the project site is located at 6208 Avenida Cresta in the RS-1-5 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 11 in Block 3 of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the Office of the County Recorder of San Diego County, November 21, 1924;

WHEREAS, on November 13, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15302 (Replacement or Reconstruction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 14, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located approximately 300 feet east from the Pacific Ocean in a developed area within the La Jolla Community Plan area. The project site is not located between the sea and the first public roadway and there is no public view or coastal access from the project site, as identified in the La Jolla Community Plan (Community Plan). The project complies with the community goals regarding public view preservation and enhancement since the project complies with the RS-1-5 Zone development regulations for building height (24 feet) which does not exceed the 30-foot height limit, density, and floor area ratio (.49) that is below the maximum (.56) allowed. Staff has also determined that the location of the existing area (garage) to remain (encroachment between 5 feet to 6 feet 3 inches within required 20-foot front yard setback) does not adversely impact the community character or with the bulk and scale of the surrounding neighborhood. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is developed and does not contain sensitive vegetation or biological resources. The project site is not within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Staff has also reviewed and

accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards. The project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The existing structure is more than 45 years old, requiring staff to evaluate the proposal for historic significance per SDMC Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria specified in the Historical Resources Guidelines of the Land Development Manual.

The project complies with the RS-1-5 Zone development regulations for building height (24 feet) which does not exceed the 30-foot height limit, density, and floor area ratio (.49) which is below the maximum (.56) allowed. Pursuant to SDMC Section 126.0402(a)(3), a Neighborhood Development Permit is required for the project due to the location of a previously conforming structural envelope within the required 20-foot front yard setback. The existing area (garage) to remain encroaches between 5 feet to 6 feet 3 inches within the front yard setback. Staff has determined that the encroachment, which conforms to the previous regulations for conforming premises, does not adversely impact the community character or with the bulk and scale of the surrounding neighborhood.

The Community Plan designates the site as low density residential (5-9 dwelling units per acre), and the development of one dwelling unit on the project site is consistent with the prescribed density. The project is consistent with the Community Plan goals of incorporating a variety of architectural styles, colors and building materials for single-family development and providing a dwelling unit that is similar in bulk and scale to the existing homes within the neighborhood. The project is also consistent with the Community Plan policy of avoiding extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and the promotion of good design and harmony within the visual relationships and transitions between new and older structures. The project complies with this Community Plan policy by incorporating terraces, off-setting planes, and variations within the front yard setback.

The project site is located approximately 300 feet east from the Pacific Ocean in a developed area within the La Jolla Community Plan area. The project site is not located between the sea and the first public roadway and there is no public view or coastal access from the project site, as identified in the Community Plan. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the nearest public road and the sea or the shoreline of any body of water. The project will be redeveloped entirely within private property and will not adversely impact public access or any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404]

1. Findings for all Neighborhood Development Permits:

- a. **The proposed development will not adversely affect the applicable land use plan.**

The Community Plan designates the site as low density residential (5-9 dwelling units per acre), and the development of one dwelling unit on the project site is consistent with the prescribed density. The project is consistent with the Community Plan goals of incorporating a variety of architectural styles, colors and building materials for single-family development and providing a dwelling unit that is similar in bulk and scale to the existing homes within the neighborhood. The project is also consistent with the Community Plan policy of avoiding extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and the promotion of good design and harmony within the visual relationships and transitions between new and older structures. The project complies with this Community Plan policy by incorporating terraces, off-setting planes, and variations within the front yard setback. There is no public view or coastal access from the project site, as identified in the Community Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

- b. **The proposed development will not be detrimental to the public health, safety and welfare.**

Staff has reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards. Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include the following:

- Constructing a new City standard 12-foot driveway adjacent to the site;

- Closing the existing driveway and providing a City standard curb, gutter and sidewalk;
- Entering into an Encroachment Maintenance Removal Agreement for the landscaping, walkway and curb outlet in the public right-of-way;
- Obtaining a bonded grading permit;
- Implementing storm water construction best management practices;
- Maintenance of all landscape improvements;
- Constructing all proposed public water and sewer facilities, per the City's Water and Sewer Facility design guidelines and regulations; and
- Installing appropriate private back flow prevention devices.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The existing structure is more than 45 years old, requiring staff to evaluate the proposal for historic significance per SDMC Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria specified in the Historical Resources Guidelines of the Land Development Manual.

Pursuant to SDMC Section 126.0402(a)(3), a Neighborhood Development Permit is required due to the location of a previously conforming structural envelope within the required 20-foot front yard setback. The existing area to remain (garage) encroaches between 5 feet to 6 feet 3 inches within the front yard setback. Staff has determined that the encroachment, which conforms to the previous regulations for conforming premises, does not adversely impact the community character or with the bulk and scale of the surrounding neighborhood. Additionally, the project complies with the RS-1-5 Zone development regulations for building height (24 feet) which does not exceed the 30-foot height limit, density, and floor area ratio (.49) which is below the maximum (.56) allowed. Therefore, the project will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274 and is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the

ATTACHMENT 4

form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274 , a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on February 14, 2024

IO#: 24008931

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008931

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-2560553
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3269274
CARVALHO DE MENDONCA - PROJECT NO. 690811
HEARING OFFICER

This Coastal Development Permit No. PMT-2560553 and Neighborhood Development Permit No. PMT-3269274 is granted by the Hearing Officer of the City of San Diego to ALEXANDRE CARVALHO DE MENDONCA, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and 126.0402. The 0.20-acre site is located at 6208 Avenida Cresta in the RS-1-5 Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as: Lot 11 in Block 3 of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the Office of the County Recorder of San Diego County, November 21, 1924.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and construct a new two story, single dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 14, 2024, on file in the Development Services Department.

The project shall include:

- a. Demolishing an existing 2,035 square-foot single dwelling unit and portion of existing garage and constructing a new two story, 4,298-square-foot single dwelling unit with basement, attached garage, balcony and decks for a total gross floor area of 9,858 square feet; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 1, 2027.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a new City standard 12-foot driveway adjacent to the site along Avenida Cresta, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway with a City standard curb, gutter and sidewalk adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the proposed grading. All grading shall conform to the requirements of the SDMC, satisfactory to the City Engineer.
16. The proposed drainage system as shown on the site plan is subject to approval by the City Engineer.
17. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the existing and proposed landscape, irrigation, street trees, walkway and curb outlet in the Avenida Cresta public right-of-way, including the existing site wall within the City's easement.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.
19. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any grading permits, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City's Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A" on file in the Development Services Department.
21. Prior to issuance of any public improvement permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape construction documents for public right-of-way improvements. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.
22. Prior to issuance of any construction permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape and irrigation construction documents which are consistent with the City's Landscape Standards. The construction documents shall be in substantial conformance with Exhibit "A" Landscape Development Plan on file in the Development Services Department. Construction plans shall provide a 40 square-foot area around each tree which is unencumbered by hardscape and utilities unless otherwise approved per SDMC 142.0403(b)(6).

23. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A" Landscape Development Plan on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements as shown on the approved plans, including in the public right-of-way unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscaping shall be maintained consistent with the City's Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

25. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction documents is damaged or removed, the Owner/ Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

PLANNING/DESIGN REQUIREMENTS:

26. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

WATER AND SEWER DEVELOPMENT REQUIREMENTS:

29. All proposed private water and sewer facilities located within a single lot shall be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

30. Prior to the issuance of any construction permits, if determined during the permit review process that the existing water service will not be adequate to serve the project, the Owner/Permittee shall assure by permit and bond the design and construction of new water and sewer service(s) outside of any driveway or drive aisle, including the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

31. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPDs) on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer.
32. Prior to the issuance of any construction permits, the Owner/Permittee is required to develop and record an additional 4.5 feet of contiguous public sewer easement as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and City Engineer.
33. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
34. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City's Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 14, 2024, and [Approved Resolution Number].

ATTACHMENT 5

Neighborhood Development Permit No PMT-3269274
Coastal Development Permit No. PMT-2560553
Date of Approval: February 14, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager


**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

OWNER/PERMITTEE

By _____
Alexandre Carvalho De Mendonca

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	<h1>Community Planning Committee Distribution Form</h1>
	Project Name: 6208 Avenida Cresta	Project Number: 690811
Community: La Jolla		
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: April 11, 2023
# of Members Yes 13	# of Members No 0	# of Members Abstain 1
Conditions or Recommendations:		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: Suzanne Baracchini		
TITLE: LJCPA Trustee/Secretary		DATE: April 11, 2023
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>		

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



THE CITY OF SAN DIEGO

DATE OF NOTICE: November 13, 2023

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24008931

PROJECT NAME / NUMBER: Carvalho De Mendonca / 690811

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 6208 Avenida Cresta, San Diego, CA 92037

PROJECT DESCRIPTION: The project proposes a Coastal Development Permit to demolish the existing 2,035 square foot (sf) single-family residence and portion of 506 sf garage to construct a new two-story single-family residence with basement level, attached garage, balcony, patio, and pool for a gross square footage of 10,324 located at 6208 Avenida Cresta. The 0.20-acre site is in the Residential-Single Unit (RS-1-5) zone, Coastal (Appealable Area) Overlay zone and is designated Low Density Residential (5-9 DU/AC) within the La Jolla Community Plan and Council District 1. LEGAL DESCRIPTION: Lot 11, TR1810 BLK 3.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302 (Replacement or Reconstruction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). The exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Since the project proposes the replacement of an existing single-family residence with a new single-family residence, this exemption was deemed appropriate. In addition, the exceptions listed in CEQA Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

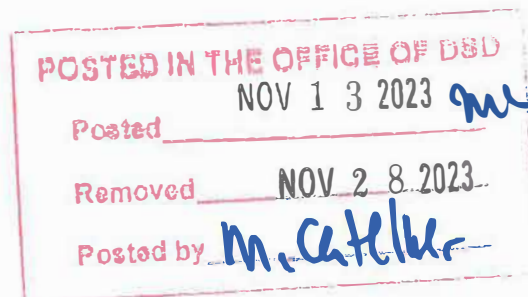
DEVELOPMENT PROJECT MANAGER: Xavier Del Valle
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 557-7941 / XDelValle@sandiego.gov

On November 13, 2023, the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (November 28, 2023). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form DS-3031 can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form DS-3031 can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application DS-3031 (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



	<p>City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p>	<p>FORM DS-318</p> <p>October 2017</p>
---	---	---

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

CARVALHO DE MENDONÇA RESIDENCE

COASTAL SET

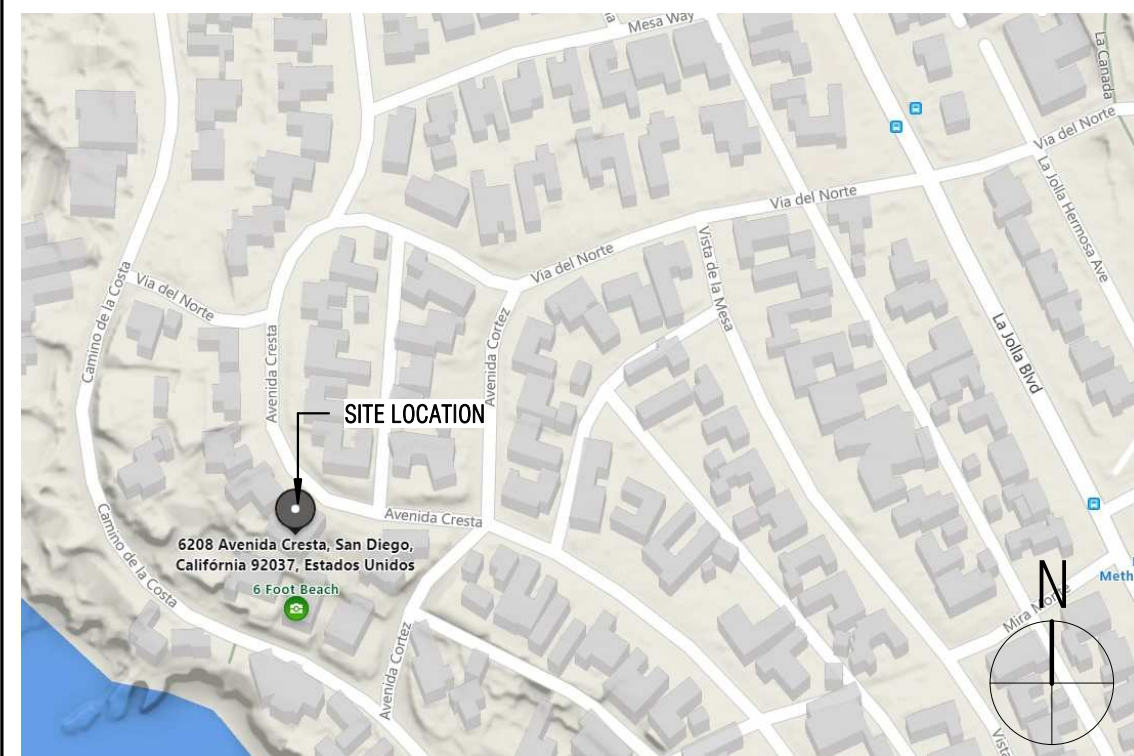
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510



CARVALHO DE MENDONÇA
RESIDENCE

COASTAL SET
COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510
PROJECT NUMBER: 1702

VICINITY MAP



PROJECT INFORMATION

ZONING:	RS-1-5
FRONT SETBACK:	20'
SIDE SETBACK:	0.08 X LOT WIDTH
STREET SETBACK:	0.10 X LOT WIDTH
REAR SETBACK:	20'
MAX. HEIGHT:	30'
APN:	357-012-10-00
YEAR BUILT:	1954
LEGAL DESCRIPTION:	LOT 11, TR1810 BLK 3*
#STORIES:	02
TOTAL SITE SQ.FT.	≈ 0.2 ACRES ≈ 8,745 SF
SITE ADDRESS:	6208 AVENIDA CRESTA, LA JOLLA, CA 92037
OCCUPANCY TYPE:	R3-U
EASEMENT ON PROPERTY:	YES
HISTORIC:	NO
CONSTRUCTION TYPE:	VB/N
EXISTING HOUSE:	2,711 SF
PROPOSED HOUSE:	8,095 SF
EXISTING GARAGE:	506 SF
PROPOSED GARAGE:	568 SF

Copyright © 2022
All ideas, designs, and arrangements incated on these drawings are the property of **OFFSET DESIGN AND DRAFTING**, and are intended to be used in connection with this specific project only and shall not otherwise be used for any other purpose. There shall be no changes or deviations from these drawings without the written consent of the engineer.

DRAWN BY:

RQ/RR

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

TITLE SHEET

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

BUILDING CODE

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 MECHANICAL CODE
- 2019 PLUMBING CODE
- 2019 ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ENERGY CODE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDINGS STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO.

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____

PROJECT TEAM

OWNER ALEXANDRE & PATRICIA DE MENDONCA 6208 AVENIDA CRESTA LA JOLLA, CA 92037	DESIGNER OFFSET DESIGN DRAFTING CONTACT: FLAVIA GOMES 3509 DEL REY STREET, UNIT 213 SAN DIEGO, CA 92109 PH: 858-344-7702 EMAIL: FLAVIA@OFFSETDESIGNDRAFT.COM
TITLE 24 TBD	SHEILA BASÍLIO ARQUITETURA AV NOSSA SENHORA DA PENHA, 699 - 413A SANTA LUCIA - VITORIA ESPÍRITO SANTO 29056250 BRAZIL
SURVEY & CIVIL ENGINEERING CHRISTENSEN ENGINEERING & SURVEYING 7888 SILVERTON AVENUE, SUITE J SAN DIEGO, CA 92126 PH: 858-271-9901	AIA ARCHITECT ELIZABETH CARMICHAEL 2640 FINANCIAL CT, SUIT D SAN DIEGO CA 92102
LANDSCAPE ARCHITECT WICHMANN LANDSCAPE ARCHITECTURE 405 VIA DEL NORTE, STUDIO C LA JOLLA, CA 92037 PHONE #: (858) 459-9220	STRUCTURAL ENGINEER TBD
	GEOTECHNICAL ENGINEERING GEOTECHNICAL EXPLORATION, INC. 7420 TRADE STREET SAN DIEGO, CA 92121 PHONE #: (858) 549-7222

SCOPE OF WORK

COASTAL DEVELOPMENT PERMIT TO DEMOLISH THE EXISTING RESIDENCE OF 2,035 S.F AND PORTION OF EXISTING GARAGE TO CONSTRUCT A NEW TWO STORY, SINGLE-FAMILY RESIDENCE OF 4,298 S.F WITH ATTACHED GARAGE OF 568 S.F. NEW BASEMENT : LIVING SPACE 1,600 S.F (NOT INCLUDED ON FAR) COVERED OPEN SPACE OF 2,199.

ZONING INFORMATION

COASTAL HEIGHT OVERLAY:	30'
COASTAL OVERLAY ZONE (COZ):	CST-APP N-APP-2
PARKING IMPACT OVERLAY ZONE (PIOZ):	PIOZ- COASTAL-IMPACT PIOZ-BEACH-IMPACT
TRANSIT AREA OVERLAY ZONE (TAOZ):	YES
TRANSIT PRIORITY AREA (TPA):	YES
AFFORDABLE HOUSING PARKING DEMAND:	HIGH
PALEONTOLOGICAL SENSITIVITY AREA:	HIGH
GEOLOGIC HAZARD CATEGORY:	53

AREA CALCULATION

BUILDING AREA	EXISTING	DEMO	NEW	INCLUDED F.A.R.
BASEMENT LEVEL	678 SF	678 SF	3,333 SF	0 SF
1ST FLOOR LEVEL	2,035 SF	2,035 SF	2,513 SF	2,513 SF
GARAGE	506 SF	402 SF	568 SF	0 SF
POOL	0 SF	0 SF	547 SF	0 SF
BBO AREA	0 SF	0 SF	418 SF	0 SF
DECK	0 SF	0 SF	402 SF	0 SF
2ND FLOOR	0 SF	0 SF	1,783 SF	1,783 SF
BALCONY	0 SF	0 SF	294 SF	0 SF
TOTAL	3,2147 SF	3,133	10,324 SF	4,298 SF

FLOOR AREA SUMMARY	GROSS FLOOR AREA:	10,324 SF
	SITE AREA:	8,745 SF
	ALLOWABLE FAR:	4,897 SF
	PROPOSED FAR:	4,298 SF

LOT COVERAGE AREA:	TOTAL SITE AREA	8,745 SF (100%)
	FOOTPRINT	2,513 SF (28%)
	HARDSCAPE AREA	2,392 SF (27%)
	LANDSCAPE AREA	3,840 SF (45%)

SITE WORK INFORMATION	
EXISTING IMPERVIOUS AREA	5,395 SF
EXISTING BUILDING FOOTPRINT	2,862 SF
EXISTING LANDSCAPE	4,970 SF
PROPOSED IMPERVIOUS AREA	4,905 SF
PROPOSED BUILDING FOOTPRINT	2,513 SF
PROPOSED LANDSCAPE	3,840 SF
TOTAL DISTURBANCE AREA	6,227 SF

SHEET INDEX

TITLE SHEETS	
T1 TITLE SHEET	ARCHITECTURAL
CA GREEN CODE	
CA1 CA GREEN CODE	A1.0 EXISTING LOWER FLOOR PLAN
CA2 CA GREEN CODE	A1.1 EXISTING FIRST FLOOR PLAN
CA3 CA GREEN CODE	A1.2 PROPOSED LOWER FLOOR PLAN
CA4 CA GREEN CODE	A1.3 PROPOSED FIRST FLOOR PLAN
CA5 CA GREEN CODE	A1.4 PROPOSED SECOND FLOOR PLAN
SPECIFICATION SHEET	
SPC SPECIFICATION SHEET	A2.1 EXISTING ROOF PLAN
	A2.2 PROPOSED ROOF PLAN
CIVIL	
C1 TOPOGRAPHIC MAP	A3.1 EXISTING ELEVATIONS
C2 GRADING PLAN	A3.2 PROPOSED ELEVATIONS
C3 GRADING PLAN	A3.3 PROPOSED ELEVATIONS
ARCHITECTURAL	
As1.1 SITE PLAN	A3.4 PROPOSED ELEVATIONS
	A4.1 BUILDING SECTIONS
	A4.2 BUILDING SECTIONS
	A4.3 BUILDING SECTIONS
	A4.4 BUILDING SECTIONS
DEMO PLAN	LANDSCAPE
AD1.0 DEMO PLAN - LOWER LEVEL	L1.1 LANDSCAPE
AD1.1 DEMO PLAN - FIRST FLOOR	
AD2.1 ROOF DEMO PLAN	ARCHITECTURAL
	R1.1 RENDERINGS
	R1.2 RENDERINGS

T1
RV.02

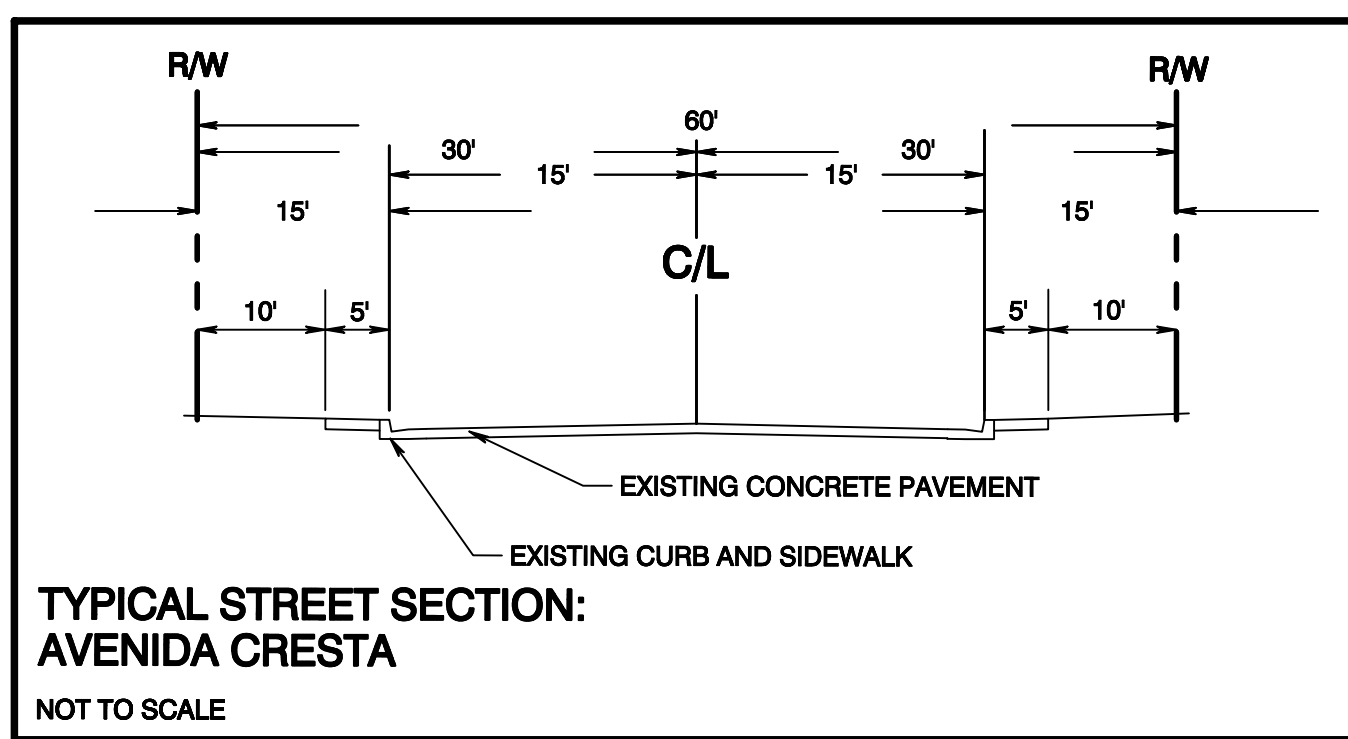
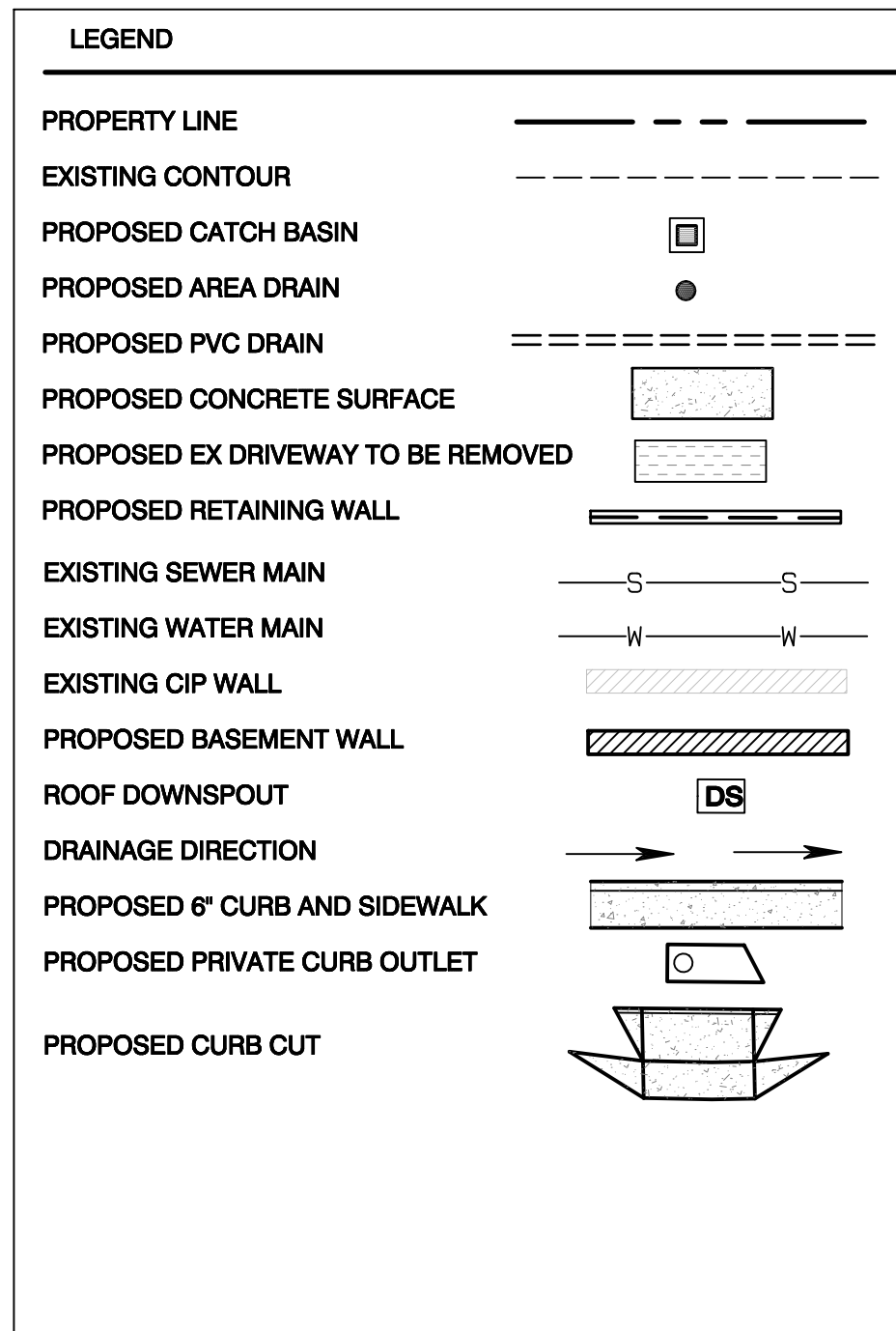
COASTAL DEVELOPMENT PERMIT NO.690811

LEGAL DESCRIPTION

LOT 11 IN BLOCK 3 OF LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 21, 1924.

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS A SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED NOVEMBER 30, 2020.
2. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER AND WATER MAINS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. THE ASSESSOR PARCEL NUMBER IS: 357-012-10-00
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
6. SITE RUNOFF SHALL BE TREATED BY FLOW OVER LANDSCAPING.
7. BENCHMARK: CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTHWESTERLY CORNER OF VIA DEL NORTE AND AVENIDA CRESTA. ELEVATION 84.26' MEAN SEA LEVEL (N.G.V.D. 1929).
8. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMC SECTION 142.0409 (b)(2). PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.



Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (858)271-9901

Project Address:
8208 AVENIDA CRESTA
LA JOLLA, CA 92037

Project Name:
CARVALHO DE MENDONCA RESIDENCE

Sheet Title:

- Revision 5:
- Revision 4
- Revision 3: 08-29-23 REVISE DESIGN ADDRESS CITY COMMENTS
- Revision 2: 03-20-22 ADDRESS CITY COMMENTS
- Revision 1: 07-07-21 REVISED

Original Date: JANUARY 11, 2021

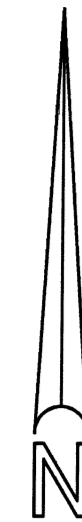
Sheet: 3 OF 17

Anthony K. Christensen
ANTHONY K. CHRISTENSEN
RCE 54021
EXP. 12-31-23
Date: AUGUST 29, 2023



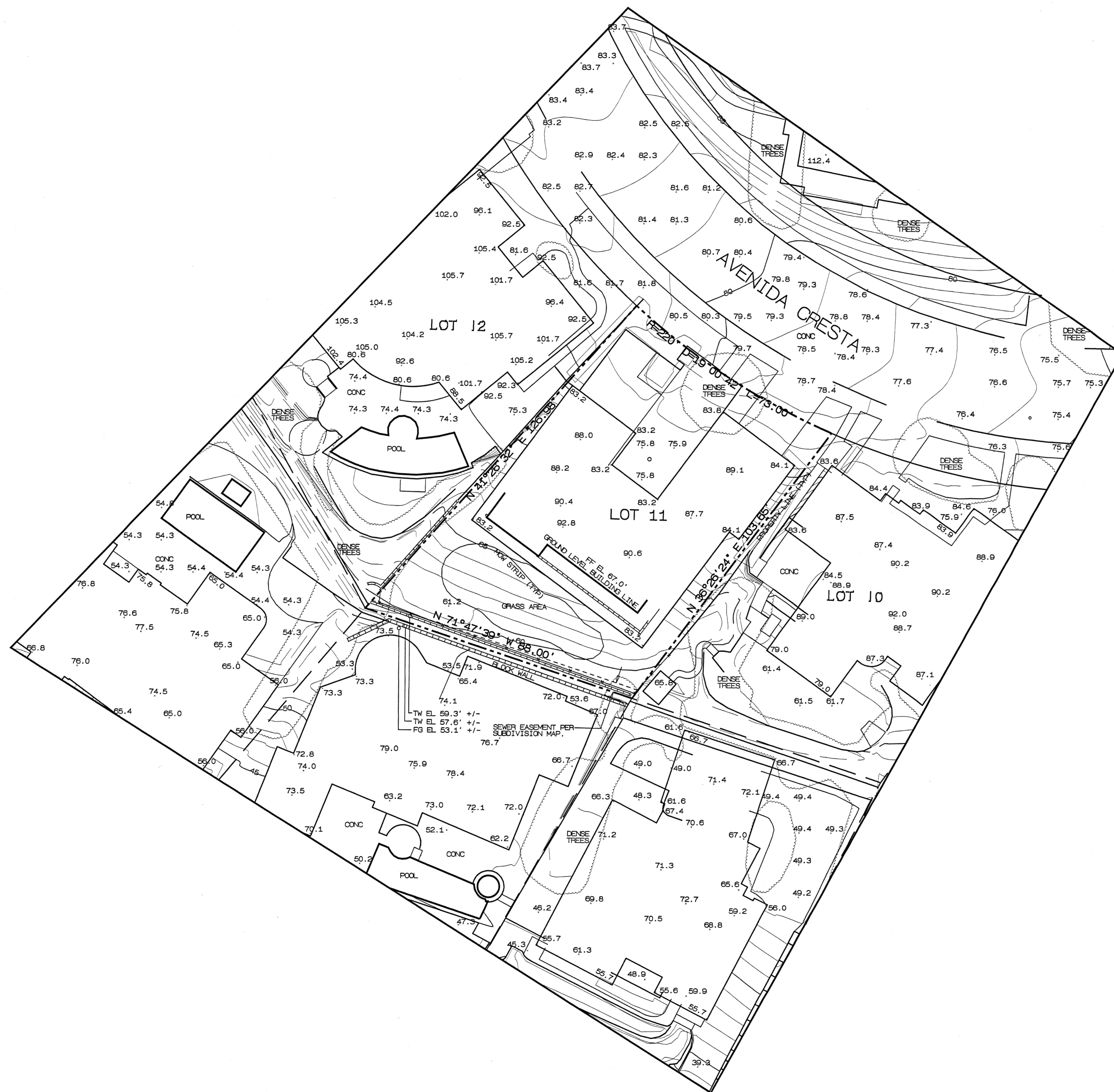
PRELIMINARY GRADING PLAN

C-2



SCALE: 1" = 20'

CONTOUR INTERVAL: 1'



LEGAL DESCRIPTION

LOT 11 IN BLOCK 3 OF LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 21, 1924.

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 6208 AVENIDA CRESTA, LA JOLLA, CA, 92037.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 357-012-10.
5. THE TOTAL AREA OF THE SUBJECT PARCEL IS 0.20 ACRES.

ABBREVIATIONS

CONC CONCRETE
 EL ELEVATION
 FF FINISH FLOOR
 FG FINISH GRADE
 TW TOP OF WALL
 TYP TYPICAL

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTH-WESTERLY CORNER OF VIA DEL NORTE AND AVENIDA CRESTA. ELEVATION 84.26' MEAN SEA LEVEL (N.G.V.D. 1929).

P. Christensen

PATRICK F. CHRISTENSEN, P.L.S. 7208

11-30-20
 Date



Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE "J"
 SAN DIEGO, CA 92126
 PHONE (858)271-9901 FAX (858)271-8912

Project Address:
 6208 AVENIDA CRESTA
 LA JOLLA, CA 92037

Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1:

Project Name:
 MENDONCA RESIDENCE

Original Date: NOVEMBER 30, 2020

Sheet Title:

TOPOGRAPHIC MAP

Sheet 1 Of 1

DEP# _____

CE & S CHRISTENSEN ENGINEERING & SURVEYING
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS
 7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
 TELEPHONE: (858)271-9901 EMAIL: CEANDS@AOL.COM

COASTAL DEVELOPMENT PERMIT NO.690811

CONSTRUCTION NOTES

- ① PROPOSED REMOVAL AND REPLACEMENT OF EX DRIVEWAY WITH 6" CURB AND SIDEWALK PER CURRENT CITY STANDARDS (PUBLIC)
- ② PROPOSED 12" DRIVEWAY PER CURRENT CITY STANDARDS
- ③ EXISTING WATER SERVICE TO BE PROTECTED OR UPGRADED, AS REQUIRED. BACKFLOW OR PASSIVE PURGE STYLE FIRE SPRINKLER WILL BE REQUIRED
- ④ PROPOSED PRIVATE CURB OUTLET PER CURRENT CITY STANDARDS
Q100=0.48 CFS, V100 = 2.3 FPS
- ⑤ PROPOSED REMOVAL OF EXISTING CONCRETE DRIVEWAY, REPLACE WITH LANDSCAPING
- ⑥ PROPOSED PRIVATE SITE/RETAINING WALL (TYPICAL) (SEPARATE PERMIT)
- ⑦ PROPOSED PRIVATE 3636 CATCH BASIN WITH PUMP TO CONVEY COLLECTED RUNOFF TO CURB OUTLET
- ⑧ PORTION OF EXISTING GARAGE TO REMAIN.
- ⑨ PROPOSED AREA OF CUT WITHIN BASEMENT (TYPICAL)
- ⑩ PROPOSED BASEMENT WALL
- ⑪ PROPOSED PRIVATE 1212 CATCH BASIN
- ⑫ PROPOSED PRIVATE 6" TRENCH DRAIN
- ⑬ EXISTING 3" PUBLIC SEWER EASEMENT PER MAP NO. 1810 (TYPICAL)
- ⑭ PROPOSED ROOF DOWNSPOUT (TYPICAL)
- ⑮ PROPOSED PLANTER WALL (TYPICAL)
- ⑯ PROPOSED PRIVATE WALKWAY
- ⑰ VISIBILITY TRIANGLE AREA (TYPICAL)
- ⑱ PROPOSED LANDSCAPING WITHIN EXISTING/PROPOSED PUBLIC SEWER EASEMENT WITH ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT
- ⑲ APPROXIMATE LOCATION EX PRIVATE SEWER LATERAL, TO REMAIN
- ⑳ PROPOSED 4" PVC DRAIN PIPE
- ㉑ PROPOSED 4.5" SEWER EASEMENT DEDICATION
- ㉒ ENCROACHMENT MAINTENANCE AGREEMENT REQUIRED FOR EXISTING, PRIVATE, CAST IN PLACE WALL WITHIN AREA OF PROPOSED SEWER EASEMENT DEDICATION
- ㉓ EXISTING WATER METER BOX AND METER
- ㉔ PROPOSED 4" PVC PIPE FROM CATCH BASIN WITH PUMP TO CURB OUTLET

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT REQUIRED FOR PRIVATE WALKWAY AND CURB OUTLET WITHIN AVENIDA CRESTA AND LANDSCAPING WITHIN EXISTING/PROPOSED SEWER EASEMENT

ENCROACHMENT MAINTENANCE AGREEMENT REQUIRED FOR EXISTING PRIVATE SITE WALL IN PROPOSED PUBLIC SEWER EASEMENT

GRADING DATA

AREA OF SITE - 8,746 S.F.
 AREA OF SITE TO BE GRADED - 8,746 SF
 PERCENT OF SITE TO BE GRADED - 100%
 AREA OF SITE WITH NATURAL SLOPES GREATER THEN 25% - 0 SF
 PERCENT OF SITE WITH NATURAL SLOPES GREATER THEN 25% - 0%
 AMOUNT OF CUT - 615 CY
 AMOUNT OF FILL - 195 CY
 AMOUNT OF EXPORT - 420 CY
 MAXIMUM HEIGHT OF FILL - 6' (2' WITHIN BUILDING FOOTPRINT)
 MAXIMUM DEPTH OF CUT - 5' (11' WITHIN BUILDING FOOTPRINT)

RETAINING WALL: 130' TOTAL LENGTH; 8.2' MAX HEIGHT (6.0' RETAINING)

NOTE: EARTHWORK CALCULATION IS APPROXIMATE TO FINISH SURFACE

IMPERVIOUS AREA:
 EXISTING IMPERVIOUS AREA = 4,900 SF
 PROPOSED IMPERVIOUS AREA = 5,507 SF

NOTE:
 THERE ARE NO ENVIRONMENTALLY SENSITIVE LANDS NEAR THE PROJECT SITE.

Prepared By:

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 7888 SILVERTON AVENUE, SUITE 'J'
 SAN DIEGO, CA 92126
 PHONE (858)271-9901

Project Address:

6208 AVENIDA CRESTA
 LA JOLLA, CA 92037

Project Name:

CARVALHO DE MENDONCA RESIDENCE

Sheet Title:

PRELIMINARY GRADING PLAN

Revision 5:

Revision 4

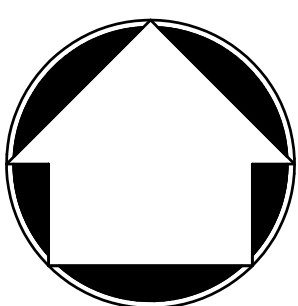
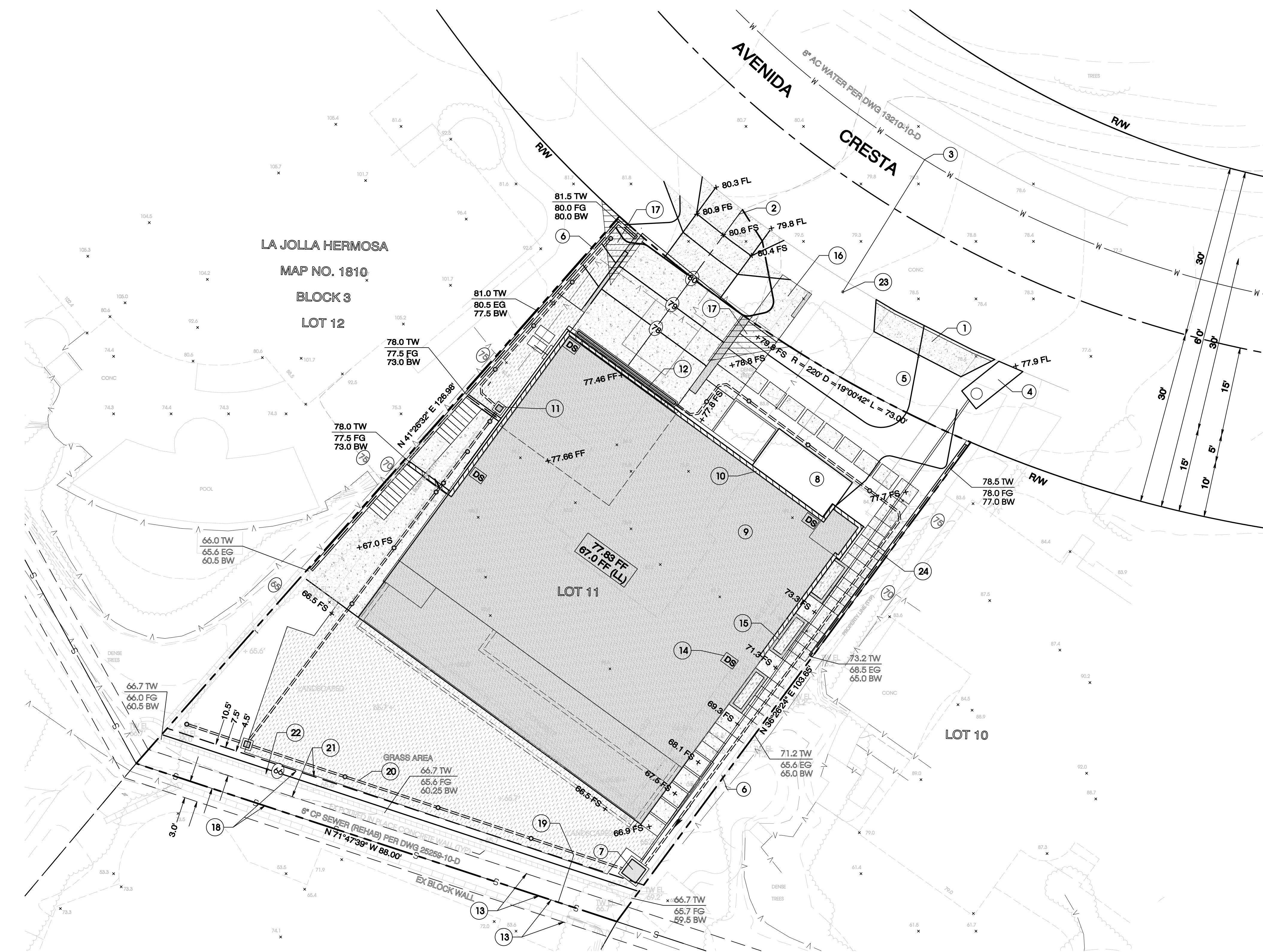
Revision 3: 08-29-23 REVISE DESIGN ADDRESS CITY COMMENTS

Revision 2: 03-20-22 ADDRESS CITY COMMENTS

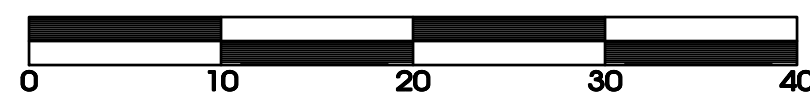
Revision 1: 07-07-21 REVISED

Original Date: JANUARY 11, 2021

Sheet: 4 OF 17



SCALE: 1" = 10'



Anthony K. Christensen

ANTONY K. CHRISTENSEN
 RCE 54021
 EXP. 12-31-23

AUGUST 29, 2023
 Date



DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

CA GREEN CODE

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

GREEN BUILDING

SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the buildings conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]

The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
RSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

RESIDENTIAL MANDATORY MEASURES

DIVISION 4.1 PLANNING AND DESIGN

SECTION 4.102 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Watties are used to reduce sediment in runoff. Watties are either constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Watties are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

- Retention basins of sufficient size shall be utilized to retain storm water on the site.
- Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.
(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales
- Water collection and disposal systems
- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:

- On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
 - Where there is no commercial power supply.
 - Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit.
 - Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

Notes:

- Construction documents are intended to demonstrate the projects capability and capacity for facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

- The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.
- The EV space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.

Note: Electric Vehicle charging stations serving public housing are required to comply with the California Building Code, Chapter 11B.

4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486 mm).
- The minimum width of each EV space shall be 9 feet (2743 mm).
- One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 3-foot (914 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
 - Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), has sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit.

4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

Notes:

- Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.
- There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TABLE 4.106.4.3.1	
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:

- The minimum length of each EV space shall be 18 feet (5486mm).
- The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.

4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.

4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B.

ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

TITLE 24 CALCUATIONS
SEE SHEET T24 FOR TITLE 24 CALCULATION

WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.9 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE: THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE		FLOW RATE
FIXTURE TYPE		
SHOWER HEADS (RESIDENTIAL)		1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)		MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS		0.5 GPM @ 60 PSI
KITCHEN FAUCETS		1.8 GPM @ 60 PSI
METERING FAUCETS		0.2 GAL/CYCLE
WATER CLOSET		1.28 GAL/FLUSH
URINALS		0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

- The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 7, Division 2, MWELO and supporting documents, including water budget calculator, are available <https://www.water.ca.gov/>

MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 ROBOT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT PLAN. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
- The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

- Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
- Identify diversion facilities where the construction and demolition waste material collected will be taken.
- Identify construction methods employed to reduce the amount of construction and demolition waste generated.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.

Notes:

- Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
- Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

- Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
- Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspectors verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq, are not required to comply with the organic waste portion of this section.

ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, pre-laminated wood joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG).

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

CA GREEN CODE

REVISION:

RV.00 - 10/27/2022 - COASTAL

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RV.02 - 09/05/2023 - COASTAL

ENVIRONMENTAL QUALITY (CONTINUED)

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR
ARCHITECTURAL COATINGS_{2,3}GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT
COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &
EXEMPT COMPOUNDS2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS
ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY
THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS
SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS
AVAILABLE FROM THE AIR RESOURCES BOARD.TABLE 4.504.5 - FORMALDEHYDE LIMITS¹

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED
BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL
MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE
WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF.
CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH
93120.12.2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM
THICKNESS OF 5/16" (8 MM).

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table

4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.)
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.
- Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION (HCD). When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector.

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Note:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector.

In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special Inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When special documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

FIRE DEPARTMENT NOTES

GENERAL PLAN PROVISIONS

1. Building undergoing construction, alteration, or demolition shall be in accordance with CFC Chapter 33. (CFC 3301.1)

2. Provide fire protection for the building during construction in accordance with California Title 19 and CFC, chapter 9.

3. Building shall comply with the 2013 CFC Article 81 for high pile combustible stock.

4. Storage, dispensing or use of any flammable or combustible liquids, flammable gases, and hazardous chemical shall comply with the California Fire Code regulations.

BUILDING INTERIOR FIRE PROTECTION PROVISIONS

5. Provide and install a minimum of one 2A 10BC classification fire extinguisher within 75' travel distance for each 3,000 sq. ft. or portion thereof on each floor. Mount handle a maximum of 40" Above Finish Floor (A.F.F.) (CFC 906)

6. Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. No dead bolts, surface bolts, sliding bolts, or other locking devices are permitted except as noted in (CBC 1008.1.8). At main entry doors provide a readily visible, durable sign on or adjacent to the door, stating, "This door must remain unlocked during business hours". Letters to be 1" high on a contrasting background and any locking device shall be readily distinguishable as locked.

7. Contractor to secure all permits required by the fire department from the fire prevention bureau prior to occupying this building.

8. Interior finish shall comply with codes as follows: (CBC Chapter 8), wall and finish materials shall not to exceed flame spread classifications per (CBC Section 803.1). All decorative materials shall be maintained in a flame-retardant condition.

9. All penetrations of fire resistive wall assemblies must be protected per (CBC Section 712).

10. Duct penetrations of fire rated floors, corridors, walls and ceilings shall use fire dampers per (CBC Section 909.10.4).

11. Maintain one hour fire resistive wall construction at built-in fixtures such as Fire Extinguisher cabinets, and electrical panels exceeding 16 sq. in. In area, (CBC Section 906.1)

BUILDING EMERGENCY SIGNAGE PROVISIONS

12. Exit signs and illumination (egress identification) shall be provided per (CBC Section 1011). Exit signs must be internally illuminated. The word "Exit" shall be in high contrast with their background as noted in this section. Electrically powered, self-luminous and photoluminescent exit signs shall be listed and labeled in accordance with UL924 and shall be installed in accordance with the manufacturer's instructions and Chapter 27 (CBC Section 1011.5).

13. Address shall be provided for all new and existing building in a position as to be plainly visible and legible from the street or road fronting the property. (CFC 505.1). Address numerals shall be provided for each tenant space. Address letters shall be a minimum of eight (8) inches in height and be installed on a contrasting background. Prior to installation have Fire Inspector verify location of address.

14. Provide Knox Box as required per local fire department codes.

BUILDING FIRE SUPPRESSION SYSTEM PROVISIONS

15. This building (is / is not) equipped with an approved automatic sprinkler system. Submit design-building plans for modification and upgrades indicating fire department approval to Architect/Owner prior to installations. Changes to accommodate field conditions shall be re-submitted for final approval with no additional charge to the Owner.

16. Fire sprinkler heads shall be centered in ceiling tiles and soffits. Locate in center of soffit for all conditions unless noted otherwise. Align with centerline of window mullion or center head between mullions only. Center heads between light fixture and adjacent wall. Random or asymmetrical placement of sprinkler heads is not acceptable. Heads shall be recessed at soffit and areas were finished gypsum ceiling occur.

17. Plans for all fixed fire protection equipment such as standpipes, sprinkler systems, site utilities (detector check, Fire Dept. Connection, etc.), and fire alarm systems must be submitted by the installing contractor to, and approved by, the Fire Prevention Bureau, owner's insurance organization, and architect before this equipment is installed.

18. The installation of automatic sprinkler systems shall comply with the (CBC Section 901.2), for combined systems. Automatic fire sprinkler system shall be design-build.
19. When serving more than 100 sprinklers, automatic sprinkler systems shall be supervised by an approved central, proprietary or remote station service for a local alarm, which will give an audible signal at a constantly attended location. (Approved by the Fire Department).

20. It shall be the fire sprinkler contractor's responsibility to review the plans and provide fire sprinklers in all void spaces, canopy overhangs, etc. as required by the uniform fire code and local ordinances. Any access openings shall be coordinated and approved by general contractor and owner prior to installation. Fire stops must be provided in accordance with (CBC Section 717) in the following locations:

- a) In concealed spaces of stud walls and partitions, including lurred spaces, at the ceiling level.
- b) In concealed spaces of stud walls and partitions, including lurred spaces, at 10 foot intervals along the length of the wall
- c) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceiling and covered ceilings.
- d) In concealed spaces between stair stringers at the soffits, drop ceiling and covered ceilings and in fire wither run of stairs if unfinished.
- e) In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels with non combustible materials.

21. A fire sprinkler system, if required (as noted on SHEET #T-1), will be supplied and installed at contractor's sole cost and expense. System shall be installed in compliance with all codes, including local Supply lines, valves, and pop-up heads, without drops, and any necessary temporary threaded galvanized plugs for installed drops and heads to all rooms and areas of the premises required by applicable codes. Monitoring devices, alarms, pulls, enunciator panels, visual and audio warning indicators, strobes, and any other required materials, system testing, inspection approval by the local fire inspector and monitoring fees including telephone lines, if required, are the responsibility of the contractor.

22. Life safety systems (i.e. smoke alarms and fire detection systems) are the responsibility of the landlord. Landlord is responsible for any monthly monitoring and associated fees.

23. Emergency fire devices: where required by the Fire Department, (contractor to verify prior to bid) contractor shall provide design-build (including all city & fire dept. approved visual emergency warning systems where audible emergency warning systems are required. This system shall be designed and installed in accordance with the (NFPA 72 AND 72S AS AMENDED IN CHAPTER 60, 6003 AND 6004).

24. Accessibility requirements for emergency Fire Devices:

- a) Install fire alarm pull devices and equipment @48" A.F.F. to center line or highest operable part.
- b) If emergency warning systems are required, they shall include visual warning devices that are designed and installed per (NFPA 72 AND 72G AS AMENDED IN CHAPTER 35/60).
- c) Place visual alarms at 80" A.F.F. to 6' below ceiling line (whichever is higher) in common use areas including lobbies, restrooms and hallways.
- d) Visual alarms flash < 60 times per minute shall comply with state fire marshal standards when audible emergency warning systems are supplied.
- e) Install visual alarms < 30" or apart in common use areas or max. 100" or apart when partitions/ obstacles are < 72" A.F.F., in lieu of hanging them from the ceiling. (NFPA 72G)
- f) Locate visual notification devices in common use areas i.e.: restrooms, music rooms, corridors, gymnasiums, rooms with excessive noise, multiple purpose rooms, occupational shops, lobbies, meeting rooms. (CBC Section 907.9.1.1).

FIRE DEPARTMENT REQUIREMENTS

25. Fire access roadway signs/red curbs shall be installed per CFC 503.3.

26. Fire hydrants shall comply with CFC 507.5.

27. Fire hydrant locations shall be identified by the installation of reflective markers. [CFC 901.4.3]

28. An approved access walkway leading from fire apparatus access roads to exterior openings required by fire or the building code shall be provided. Show walkway on the plans. [CFC 504-1]

29. Fire apparatus access roads and water supplies for fire protection, shall be installed and made serviceable prior to and during time of construction. [CFC 3310.1, 3312.1]

30. Every building four stories or more in height shall be provided with not less than one standpipe for use during construction installed in accordance with (CBC 905 [CFC 905]).

31. Decorative materials shall be maintained in a flame-retardant condition. [TITLE 19, SECT. 3.08, 3.21; CFC 804]

32. REQUIREMENTS FOR PORTABLE FIRE EXTINGUISHERS:

- a) At least one fire extinguisher with a minimum rating of 2-A-10-BC shall be provided within 75 feet maximum travel distance for each 6,000 square feet or portion thereof on each floor. [CFC Section 906]
- b) At least one fire extinguisher with a minimum rating of 4A:20BC shall be provided outside of each mechanical, electrical or boiler room. [CFC 906.3.1, TITLE 19, SEC. 3.29]
- c) A sodium bicarbonate or potassium bicarbonate dry-chemical type portable fire extinguisher having a minimum rating of 10b shall be installed within 30 feet of commercial food heat-processing equipment. [CFC 906.3.2]

34. FIRE EXTINGUISHING SYSTEMS.

- a) Complete plans and specifications for fire-extinguishing systems, including automatic sprinklers and wet and dry standpipes; halon systems and other special types of automatic fire-extinguishing systems; basement pipe inlets; and other fire-protection systems and appurtenances thereto shall be submitted to Fire and Life Safety for review and approval prior to installation. [CFC 901.2]
- b) Fire-extinguishing systems shall be installed in accordance with CFC 903.
- c) All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is 20 or more. [CFC 903.4]
- d) Approved automatic fire extinguishing systems shall be provided for the protection of commercial-type cooking equipment. Separate complete plans for these systems shall be submitted to fire and life safety for review and approval to installation. [CFC 904.11]

35. FIRE ALARM SYSTEMS

- a) Complete plans and specifications for fire alarm systems shall be submitted to Fire and Life Safety for review and approval prior to installation. [CFC 901.2]
- b) Installation of fire alarm systems shall be in accordance with CFC 907.
- c) An approved audible sprinkler flow alarm shall be provided on the exterior of the building in an approved location. An approved audible sprinkler flow alarm to alert the occupants shall be provided in the interior of the building in a normally occupied location. [CBC 903.4.2]

36. Complete plans and specification for the operation of elevators shall be submitted to fire and life safety for review and approval prior to installation. [CBC Sec. 3001.1]

37. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.

38. Key boxes shall be provided for all (high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other) structures or areas where access to an area is restricted.

39. Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3

40. Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.

41. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.

42. The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in egress paths.

43. Complete plans and specifications for all fire extinguishing systems, including automatic sprinkler and standpipe systems and other special fire extinguishing systems and related appurtenances shall be submitted to the City of San Diego for review and approval prior to installation.

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT
PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____

DATE _____

DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

CA GREEN CODE

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

2019 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY	REQUIREMENTS FOR VENTILATION AND INDOOR AIR QUALITY:	SOLAR READY BUILDINGS:	STORM WATER
<p>BUILDING ENVELOPE MEASURES:</p> <p>AIR LEAKAGE. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFMper square foot or less when tested per NFRC-400/ASTM E283 or AAMA-WDMA/CSA 101/1.S.2/A440-2011. *</p> <p>LABELING. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a). FIELD FABRICATED EXTERIOR DOORS AND FENESTRATION products must use U-factors and solar heat gain coefficient (SHGC) values from Tables110.6-A,110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*</p> <p>AIR LEAKAGE. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.</p> <p>INSULATION CERTIFICATION BY MANUFACTURERS. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).</p> <p>INSULATION REQUIREMENTS FOR HEATED SLAB FLOORS. Heated slab floors must be insulated per the requirements of § 110.8(g).</p> <p>ROOFING PRODUCTS SOLAR REFLECTANCE AND THERMAL EMITTANCE. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CFR.</p> <p>RADIANT BARRIER. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.§ 150.0(a).Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling, or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and ex filtration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.</p> <p>LOOSE-FILL INSULATION. Loose fill insulation must meet the manufacturer’s required density for the labeled R-value.</p> <p>WALL INSULATION. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102. Or, R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.</p> <p>RAISED-FLOOR INSULATION. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.</p> <p>SLAB EDGE INSULATION. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).</p> <p>VAPOR RETARDER. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(i).</p> <p>VAPOR RETARDER. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.</p> <p>FENESTRATION PRODUCTS. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.</p>	<p>REQUIREMENTS FOR VENTILATION AND INDOOR AIR QUALITY. All dwelling units mustmeet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(p)1.</p> <p>SINGLE FAMILY DETACHED DWELLING UNITS. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(i)1C.</p> <p>MULTIFAMILY ATTACHED DWELLING UNITS. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates inaccordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit-envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.</p> <p>MULTIFAMILY BUILDING CENTRAL VENTILATION SYSTEMS. Central ventilation systems that serve multiple dwelling units must be balanced toprove ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit air flows must be within 20percentof the unit with the lowest airflow rate as it relates to the individual unit’s minimum required airflow rate for compliance.</p> <p>KITCHEN RANGE HOODS. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.</p> <p>FIELD VERIFICATION AND DIAGNOSTIC TESTING. Dwelling unventilation airflow must be verifiedin accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HV1 to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.</p>	<p>SINGLE FAMILY RESIDENCES. Single family residences located in subdivisions with 10or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed,must comply with the requirements of § 110.10(b) through § 110.10(e).</p> <p>LOW-RISE MULTIFAMILY BUILDINGS. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(i) through § 110.10(l).</p> <p>MINIMUM SOLAR ZONE AREA. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimensions less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structurelocated within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire Building, including mixed occupancy.</p> <p>AZIMUTH. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.</p> <p>SHADING. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.</p> <p>SHADING. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.</p> <p>STRUCTURAL DESIGN LOADS ON CONSTRUCTION DOCUMENTS. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.</p> <p>INTERCONNECTION PATHWAYS. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.</p> <p>DOCUMENTATION. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)through§ 110.10(c) must be provided to the occupant.</p> <p>MAIN ELECTRICAL SERVICE PANEL. The main electrical service panel must have a minimum bus bar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as “For Future Solar Electric”</p>	<p style="text-align: center;">INSERT HERE STORM WATER FORM</p>
	<p>POOL AND SPA SYSTEMS AND EQUIPMENT MEASURES:</p> <p>CERTIFICATION BY MANUFACTURERS. Any pool or spa heating system or equipment must be certified to have all of the following: at hermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off of the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating</p> <p>PIPING. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.</p> <p>COVERS. Outdoor pools or spas that have a heat pump or gas heater must have a cover.</p> <p>DIRECTIONAL INLETS AND TIME SWITCHES FOR POOLS. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods</p> <p>PILOT LIGHT. Natural gas pool and spa heaters must not have a continuously burning pilot light.</p> <p>POOL SYSTEMS AND EQUIPMENT INSTALLATION. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.*</p>		
<p>SPACE CONDITIONING, WATER HEATING, AND PLUMBING SYSTEM MEASURES:</p> <p>CERTIFICATION. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.</p> <p>HVAC EFFICIENCY. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table110.2-K.</p> <p>CONTROLS FOR HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC RESISTANCE HEATERS. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-off temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.</p> <p>THERMOSTATS. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.</p> <p>WATER HEATING RECIRCULATION LOOPS Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, back flow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.</p> <p>ISOLATION VALVES. Instantaneous water heaters with an input rating greater than 6.8 kBtuper hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.</p> <p>PILOT LIGHTS. Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per h our), and pool and spa heaters.</p> <p>BUILDING COOLING AND HEATING LOADS. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.</p> <p>CLEARANCES. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer (§ 150.0(h)3B)Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer’s instructions.</p> <p>STORAGE TANK INSULATION. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R- 12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.</p> <p>WATER PIPING, SOLAR WATER-HEATING SYSTEM PIPING, AND SPACE CONDITIONING SYSTEM LINE INSULATION. All domestic hot water piping must be insulated as specified in Section 609.1.1 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is associated with a domestic hot water recirculation system; from the heating source to storage tank or between tanks, buried below grade and from the heating source to kitchen faucets.</p> <p>INSULATION PROTECTION. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water resistant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.</p> <p>GAS OR PROPANE WATER HEATING SYSTEMS. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 1.25 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240-volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unswitched conductor must be labeled with the word “spare” and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breakerfor the branch circuit and labeled with the words “Future 240V Use”; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.</p> <p>RECIRCULATING LOOPS. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.</p> <p>SOLAR WATER-HEATING SYSTEMS. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director</p>	<p>LIGHTING MEASURES:</p> <p>LIGHTING CONTROLS AND COMPONENTS. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.*</p> <p>LUMINARIES EFFICACY. All installed luminaries must meet the requirements in Table 150.0-A.</p> <p>BLANK ELECTRICAL BOXES. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.</p> <p>RECESSED DOWN LIGHT LUMINARIES IN CEILINGS. Luminaries recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in §150.0(k)1C.</p> <p>ELECTRONIC BALLASTS FOR FLUORESCENT LAMPS. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz</p> <p>NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS. Night lights, step lights and path lights are not required to comply with Table150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than Swatts of power and emit no more than 150 lumens.</p> <p>LIGHTING INTEGRAL TO EXHAUST FANS. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).</p> <p>SCREW BASED LUMINARIES. Screw based luminaries must contain lamps that comply with Reference Joint Appendix JA8.</p> <p>LIGHT SOURCES IN ENCLOSED OR RECESSED LUMINARIES. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaries.</p> <p>LIGHT SOURCES IN DRAWERS, CABINETS, AND LINEN CLOSETS. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 0.5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.</p> <p>INTERIOR SWITCHES AND CONTROLS. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A</p> <p>INTERIOR SWITCHES AND CONTROLS. Exhaust fans must be controlled separately from lighting systems.</p> <p>INTERIOR SWITCHES AND CONTROLS. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.</p> <p>INTERIOR SWITCHES AND CONTROLS. Controls and equipment must be installed in accordance with manufacturer’s instructions.</p> <p>INTERIOR SWITCHES AND CONTROLS. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with§ 150.0(k).</p> <p>INTERIOR SWITCHES AND CONTROLS. Lighting controls must comply with the applicable requirements of § 110.9.</p> <p>INTERIOR SWITCHES AND CONTROLS. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.</p> <p>INTERIOR SWITCHES AND CONTROLS. A multisense programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.</p> <p>INTERIOR SWITCHES AND CONTROLS. Luminaries that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.</p> <p>INTERIOR SWITCHES AND CONTROLS. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.</p> <p>RESIDENTIAL OUTDOOR LIGHTING. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in Item § 150.0(k)3A (ON and OFF switch) and the requirements in either § 150.0(k)3A(i) (photocell) and either a motion sensor or automatic time switch control) or § 150.0(k)3A(ii) (astronomical time clock), or an EMCS.</p> <p>RESIDENTIAL OUTDOOR LIGHTING. For low-rise residential building with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in Sections110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by§ 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.</p> <p>INTERNALLY ILLUMINATED ADDRESS SIGNS. Internally illuminated address signs must comply with § 140.6, or must consume no more than Swatts of power as determined according to § 130.0(c).</p> <p>RESIDENTIAL GARAGES FOR EIGHT OR MORE VEHICLES. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.</p> <p>INTERIOR COMMON AREAS OF LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor.</p> <p>INTERIOR COMMON AREAS OF LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must1.Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; andii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress</p>	<p>STORM WATER NOTES</p> <p>STORM WATER QUALITY NOTES - CONSTRUCTION BMPs</p> <p>THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.</p> <ol style="list-style-type: none"> PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW . ALL REQUIREMENTS OF THE CITY OF SAN DIEGO “STORM WATER STANDARDS MANUAL” MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL UNDO GRADE, INCLUDING CLEARING AND GRUBBING AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE. PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALLBMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS. SAFETY ALLOWS. CONSTRUCTION ENTRANCE EXIT AREA. TEMPORARY CONST. R. UCT. ION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEETTC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT NIT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS, WIDTH SHALLBE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 “STORM WATER MANAGEMENT AND DISCHARGE CONTROL”. 	
<p>DUCTS AND FANS MEASURES:</p> <p>DUCTS. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.</p> <p>CMC COMPLIANCE. All air-distribution system ducts and plenums must meet the requirements of the CMC§660.0, 6.602, 6.603, 6.604, 6.605, 6.606 AND(S)SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed andsurrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 123. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.*</p> <p>FACTORY-FABRICATED DUCT SYSTEMS. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.</p> <p>FIELD-FABRICATED DUCT SYSTEMS. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.</p> <p>BACK DRAFT DAMPER. Fan systems that exchange air between the conditioned space and outdoors must have back draft or automatic dampers.</p> <p>GRAVITY VENTILATION DAMPERS. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.</p> <p>PROTECTION OF INSULATION. Insulation must be protected from damage, sunlight, moisture, equipment/maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation</p> <p>POROUS INNER CORE FLEX DUCT. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.</p> <p>DUCT SYSTEM SEALING AND LEAKAGE TEST. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.</p> <p>AIR FILTRATION. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*</p> <p>SPACE CONDITIONING SYSTEM AIRFLOW RATE AND FAN EFFICACY. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≥ 0.45 watts per CFM for gas leakage air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≥ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.</p>			
			<p>I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.</p> <p>DESIGN SIGNATURE REQUIRED _____ DATE _____</p>

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}		SPACING OF FASTENERS
Roof				
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 ¹ / ₂ " × 0.113")	-	-
2	Ceiling joists to plate, toe nail	3-8d (2 ¹ / ₂ " × 0.113")	-	-
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	-	-
4	Collar tie rafter, face nail or 1 ¹ / ₂ " × 20 gage ridge strap	3-10d (3" × 0.128")	-	-
5	Rafter to plate, toe nail	2-16d (3 ¹ / ₂ " × 0.138")	-	-
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-8d (3 ¹ / ₂ " × 0.135") 3-16d (3 ¹ / ₂ " × 0.135")	-	-
Wall				
7	Build-up corner studs	10d (3" × 0.128")	24" o.c.	-
8	Build-up header, two pieces with 1 ¹ / ₂ " spacer	16d (3 ¹ / ₂ " × 0.135")	16" o.c. along each edge	-
9	Continued header, two pieces	16d (3 ¹ / ₂ " × 0.135")	16" o.c. along each edge	-
10	Continuous header to stud, toe nail	4-8d (2 ¹ / ₂ " × 0.113")	-	-
11	Double studs, face nail	10d (3" × 0.128")	24" o.c.	-
12	Double top plates, face nail	10d (3" × 0.128")	24" o.c.	-
13	Double top plates, minimum 48-inch offset of end joints, face nail in lapped area	8-16d (3 ¹ / ₂ " × 0.135")	-	-
14	Sole plate to joist or blocking, face nail	16d (3 ¹ / ₂ " × 0.135")	16" o.c.	-
15	Sole plate to joist or blocking at braced wall panels	3-16d (3 ¹ / ₂ " × 0.135")	16" o.c.	-
16	Stud to sole plate, toe nail or	3-8d (2 ¹ / ₂ " × 0.113") 2-16d (3 ¹ / ₂ " × 0.135")	-	-
17	Top or sole plate to stud, end nail	2-16d (3 ¹ / ₂ " × 0.135")	-	-
18	Top plates, laps at corners and intersections, face nail	2-10d (3" × 0.128")	-	-
19	1" brace to each stud and plate, face nail	2-8d (2 ¹ / ₂ " × 0.113") 2 staples 1 ¹ / ₂ "	-	-
20	1" × 6" sheathing to each bearing, face nail	2-8d (2 ¹ / ₂ " × 0.113") 2 staples 1 ¹ / ₂ "	-	-
21	1" × 8" sheathing to each bearing, face nail	2-8d (2 ¹ / ₂ " × 0.113") 3 staples 1 ¹ / ₂ "	-	-
22	Wider than 1" × 8" sheathing to each bearing, face nail	3-8d (2 ¹ / ₂ " × 0.113") 4 staples 1 ¹ / ₂ "	-	-
Floor				
23	Joist to sill or girder, toe nail	3-8d (2 ¹ / ₂ " × 0.113")	-	-
24	1" × 6" subfloor or less to each joist, face nail	2-8d (2 ¹ / ₂ " × 0.113") 2 staples 1 ¹ / ₂ "	-	-
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 ¹ / ₂ " × 0.135")	-	-
26	Rim joist to top plate, toe nail (roof applications also)	8d (2 ¹ / ₂ " × 0.113")	6" o.c.	-
27	2" planks (plank & beam - floor & roof)	2-16d (3 ¹ / ₂ " × 0.135")	at each bearing	-
28	Build-up girders and beams, 2-inch lumber layers	10d (3" × 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and end at each splice.	-
29	Ledger strip supporting joists or rafters	3-16d (3 ¹ / ₂ " × 0.135")	At each joist or rafter	-

ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER ^{a, b, c}	SPACING OF FASTENERS	
			Edges (inches)	Intermediate supports ^{d, e} (inches)
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing				
30	3 ¹ / ₂ "-1 ¹ / ₂ "	8d common (2" × 0.113") nail (subfloor/wall) 8d common (2 ¹ / ₂ " × 0.131") nail (roof)	6	12 ^f
31	3 ¹ / ₂ "-1 ¹ / ₂ "	8d common (2" × 0.113") nail (subfloor, wall) 8d common (2 ¹ / ₂ " × 0.131") nail (roof)	6	12 ^f
32	3 ¹ / ₂ "-1"	8d common nail (2 ¹ / ₂ " × 0.131")	6	12 ^f
33	1 ¹ / ₂ "- 1 ¹ / ₂ "	10d common (3" × 0.148") nail or 8d (2 ¹ / ₂ " × 0.131") deformed nail	6	12 ^f
Other wall sheathing^g				
34	1 ¹ / ₂ " structural cellulose fiberboard sheathing	1 ¹ / ₂ " galvanized roofing nail, 1 ¹ / ₂ " crown or 1" crown staple 16 ga. 1 ¹ / ₂ " long	3	6
35	3 ¹ / ₂ " structural cellulose fiberboard sheathing	1 ¹ / ₂ " galvanized roofing nail, 1 ¹ / ₂ " crown or 1" crown staple 16 ga. 1 ¹ / ₂ " long	3	6
36	1 ¹ / ₂ " gypsum sheathing	1 ¹ / ₂ " galvanized roofing nail; staple galvanized, 1 ¹ / ₂ " long; 1 ¹ / ₂ " screws, Type W or S	7	7
37	3 ¹ / ₂ " gypsum sheathing	1 ¹ / ₂ " galvanized roofing nail; staple galvanized, 1 ¹ / ₂ " long; 1 ¹ / ₂ " screws, Type W or S	7	7
Wood structural panels, combination subfloor underlayment to framing				
38	3 ¹ / ₂ " and less	8d deformed (2" × 0.120") nail or 8d common (2 ¹ / ₂ " × 0.131") nail	6	12
39	1 ¹ / ₂ "- 1"	8d common (2 ¹ / ₂ " × 0.131") nail or 8d deformed (2 ¹ / ₂ " × 0.120") nail	6	12
40	1 ¹ / ₂ "- 1 ¹ / ₂ "	10d common (3" × 0.148") nail or 8d deformed (2 ¹ / ₂ " × 0.120") nail	6	12

^a Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strength as shown: 90 ksi for 16d shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

^b Staples are 16 gage wire and have a minimum 1¹/₂" inch in diameter crown width.

^c Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

^d Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.

^e Spacing of fasteners not included in this table shall be based on Table R602.3(2).

^f Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing.

^g Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.

Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and all floor primers only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

^h Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.

THESE ARE MINIMUM REQUIREMENTS AND SHALL NOT SUPERSEDE MORE RESTRICTIVE SPECIFICATIONS ON THE PLANS OR AS REQUIRED BY APPLICABLE CODE.

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND AM THE DESIGNER OF THE PROPOSED PROJECT:

DESIGN SIGNATURE REQUIRED

DATE

A. General
Applicable codes: All projects shall comply with the *2019 California Building Code (CBC)* and/or *California Residential Code (CRC)*, *2019 California Green Building Standards Code (CALGreen)*, *2019 California Electrical Code (CEC)*, *2019 California Mechanical Code (CMC)*, *2019 California Plumbing Code (CPC)*, *2019 California Fire Code (CFC)*, *2019 California Building Energy Efficiency Standards (CEES)*, and all City of San Diego amendments.

A. ELECTRICAL, PLUMBING, AND MECHANICAL

1. **Exterior lighting.** All projects shall comply with the City of San Diego lighting ordinance.

2. **GFCI outlets.** Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen countertops, at laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. (CEC 210.8)

3. **AFCI outlets.** Electrical circuits in bedrooms, living rooms, dining rooms, dens, closets, hallways, or similar rooms must be protected by Arc Fault Circuit Interrupters (AFCI). (CEC 210.12)

4. **Luminaire requirements.** Installed luminaires shall meet the efficacy and fixture requirements of CEES 150.0(x).

5. **Smoke detectors in building remodels.** Smoke detectors are required in each existing sleeping room, outside each separate sleeping area in the immediate vicinity of sleeping rooms, and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R315.3)

6. **Carbon monoxide detectors in building remodels.** Carbon monoxide detectors are required outside each separate sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R315.3)

7. **Water heater seismic strapping.** Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 1/4-inch-by-3-inch lag bolts attached directly to framing. Straps shall be placed at points within upper third and lower third of water heater vertical dimension. Lower connection shall occur minimum 4 inches above controls. (CPC 507.2)

8. **Gas appliances in garages.** Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch-high platforms listing report number provided showing ignition-resistant appliance. (CPC 507.13 and CMC 305.1)

9. **Impact protection of appliances.** Water heaters and heating/cooling equipment subject to vehicular impact shall be protected by bollards or an equivalent measure. (CPC 507.13.1 and CMC 305.1.1)

10. **Water closet clearance.** Minimum 30-inch-wide by 24-inch-deep clearance required at front of water closets. (CPC 402.5)

11. **Shower size.** Shower compartments shall have minimum area of 102.4 square inches and be able to encompass a 30-inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. (CPC 408.5 and CPC 408.6)

12. **Fireplace appliances.** Fireplaces with gas appliances are required to have the flue damper permanently fixed in the open position and fireplaces with LPG appliances are to have no "pit" or "sump" configurations. (CMC 303.7.1)

13. **Chimney clearance.** Minimum 2-foot chimney clearance required above building within 10-foot horizontally of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC R1003.9)

C. MECHANICAL VENTILATION AND INDOOR AIR QUALITY (ASHRAE 62.2-2010)

1. **Transfer air.** Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned attics. (CEES 150.0(o))

2. **Instructions and labeling.** Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to operate the system. CEES 150.0(o)

3. **Combustion and solid-fuel burning appliances.** Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting. (CEES 150.0(o))

4. **Garages.** The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of no more than 6% of total fan flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. (CEES 150.0(o))

5. **Minimum filtration.** Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or better. (CEES 150.0(o))

6. **Air inlets.** Air inlets (not exhausts) shall be located away from known contaminants. (CEES 150.0(o))

7. **Air moving equipment.** Air moving equipment used to meet either the whole-building ventilation requirement or the local ventilation exhaust requirement shall be in terms of airflow and sound. (CEES 150.0(o))

a. All continuously operating fans shall be rated at a maximum of 1.0 sone.
b. Intermittently operated whole-building ventilation fans shall be rated at a maximum of 1.0 sone.
c. Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone.
d. Remotely located air-moving equipment (mounted outside of habitable spaces) need not meet sound requirements if at least 4 feet of ductwork between fan and intake grill.

D. FOUNDATION AND UNDERFLOOR

1. **Foundation reinforcement.** Continuous footings and stem walls shall be provided with a minimum two longitudinal No. 4 bars, one at the top and one at the bottom of the footing. (CRC R403.1.3.3)

2. **Shear wall foundation support.** Shear walls shall be supported by continuous foundations. (CRC 403.1.2)

3. **Concrete slabs-on-grade.** Slabs-on-grade shall be minimum 3-1/2-inches thick. (CRC R506.1)

4. **Vapor retarder.** A 6 mil polyethylene or approved vapor retarder with joints lapped minimum 6 inches shall be placed between a concrete slab-on-grade and the base course or substrate. (CRC 506.2.3)

5. **Anchor bolts and sills.** Foundation plates or sills shall be bolted or anchored to the foundation or foundation wall per the following (CRC R403.1.6 and CRC R602.11.1):

a. Minimum 1/2-inch-diameter steel bolts
b. Bolts embedded at least 7 inches into concrete or masonry
c. Bolts spaced maximum 6 feet on center
d. Minimum two bolts per plate/sill piece with one bolt located maximum 12 inches and minimum 7 bolt diameters from each end of each sill plate/piece

e. Minimum 3-inch by 3-inch by 0.299-inch steel plate washer between sill and nut on each bolt

6. **Hold-downs.** All hold-downs must be tied in place prior to foundation inspection.

7. **Protection of wood against decay.** Naturally durable or preservative-treated wood shall be provided in the following locations (CRC R317.1):

a. Wood in contact with concrete in direct contact with ground, or embedded in concrete exposed to weather
b. Wood joists within 18 inches and wood woud joists within 12 inches of the exposed ground in crawl spaces that be of naturally durable or preservative-treated wood
c. Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or preservative-treated wood
d. Wood framing, sheathing, and siding on the exterior of the building and having clearance less than 6 inches from the exposed ground or less than 2 inches vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surface exposed to weather
e. Sills and sleepers on concrete or masonry slab in direct contact with ground unless separated from such slab by impervious moisture barrier
f. Ends of wood girders entering masonry or concrete walls with clearances less than 1/2 inch on tops, sides, and ends
g. Wood structural members supporting moisture-permeable floors or roofs exposed to weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier
h. Wood furring strips or other wood framing members attached directly to exterior of exterior concrete or masonry walls below grade except where vapor retarder applied between wall and furring strips or framing members.

8. **Underfloor ventilation.** Underfloor areas shall have ventilation openings through foundation walls or exterior walls, with minimum net area of ventilation openings of 1 square foot for each 150 square feet of underfloor area. On such ventilating opening shall be within 3 feet of each corner of the building. (CRC R408.1)

9. **Underfloor access.** Underfloor areas shall be provided with a minimum 18-inch by 24-inch access opening. (CRC R408.4)

E. WOOD FRAMING

1. **Fastener requirements.** The number, size, and spacing of fasteners connecting wood members/elements shall not be less than that set forth in CRC Table R602.3(1), (CRC R502.9, CRC R602.3, and CRC R802.2)

2. **Stud size, height, and spacing.** The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). (CRC R602.3.1)

3. **Sill plate.** Studs shall have full bearing on nominal 2-inch-thick or larger sill plate with width at least equal to stud width. (CRC R602.3.4)

4. **Bearing studs.** Where joists, trusses, or rafters are spaced more than 16 inches on center and the bearing studs below are spaced 24 inches on center, such members shall bear within 5 inches of the studs beneath. (CRC R602.3.3)

5. **Drilling and notching of studs.** Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Studs in nonbearing partitions may be notched to a depth not to exceed 40% of a single stud width. Any stud may be bored or drilled, provided the diameter of the resulting hole is no more than 60% of the stud width, the edge of the hole is no more than 5/8 inch to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior wall or bearing partitions drilled over 40% and up to 60% shall also be doubled with no more than two successive studs bored. (CRC R602.6)

6. **Top plate.** Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 24 inches. Joints in plates need not occur over studs. Plates shall be minimum nominal 2 inches thick and have width at least equal to width of studs. (CRC R602.3.2)

7. **Top plate splices.** Top plate lap splices shall be face-nailed with minimum 8 16d nails on each side of splice. (CRC R602.10.8.1)

8. **Drilling and notching of top plate.** When piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling, or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 0.054-inch thick and 1-1/2-inches wide shall be fastened across and to the plate at each side of the opening with not less than 8 10d nails having a minimum length of 1-1/2 inches at each side or equivalent. The metal tie must extend minimum 6 inches past the opening. (CRC R602.6.1)

9. **Cripple walls.** Foundation cripple walls shall be framed of studs not less in size than the standing above. Cripple walls must be more than 4 feet in height shall have studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and bottom plates in accordance with Table R602.3(1), or the cripple walls shall be constructed of solid blocking. Cripple walls shall be supported on continuous foundations. (CRC R602.9)

10. **Wall bracing.** Buildings shall be braced in accordance with the methods allowed per CRC R602.10.2, CRC R602.10.4, and/or CRC R602.10.5.

11. **Braced wall line spacing.** Spacing between braced wall lines shall not exceed 20 feet or alternate provisions of CRC R602.10.1.3.

12. **Braced wall line spacing.** Spacing between braced wall lines shall not exceed 20 feet or alternate provisions of CRC R602.10.1.3.

13. **Shear wall cumulative length.** The cumulative length of shear walls within each braced wall line shall meet the provisions of CRC Table R602.10.3(1) for wind loads and CRC Table R602.10.3(2) for seismic loads. (CRC R602.10.1.1)

14. **Shear wall spacing.** Shear walls shall be located not more than 25 feet on center. (CRC R602.10.2.2)

15. **Shear wall offset.** Shear walls may be offset out-of-plan not more than 4 feet from the designated braced wall line and not more than 8 feet from any other offset wall considered part of the same braced wall line. (CRC R602.10.1.2)

16. **Shear wall location.** Shear walls shall be located at the ends of each braced wall line or meet the alternate provisions of CRC R602.10.2.2.

17. **Individual shear wall length.** Shear walls shall meet minimum length requirements of CRC R602.10.6.5.1.

18. **Cripple wall bracing.** Cripple walls shall be braced per CRC R602.10.11.

19. **Shear wall and diaphragm nailing.** All shear walls, roof diaphragms, and floor diaphragms shall be nailed to supporting construction per CRC Table R602.3(1). (CRC R604.3)

20. **Shear wall joints.** All vertical joints in shear wall sheathing shall occur over, and be fastened to, common studs. Horizontal joints in shear walls shall occur over, and be fastened to, minimum 1-1/2-inch-thick blocking. (CRC R602.10.10)

21. **Framing over openings.** Headers, double joists, or trusses of adequate size to transfer loads to vertical members shall be provided over window and door openings in load-bearing walls and partitions. (CRC 2304.2.3)

22. **Joists under bearing partitions.** Joists under parallel bearing partitions shall be of adequate size to support the load. Double joists, sized to adequately support the load, that are separated to permit the installation of piping or vents shall be full-depth solid-blocked with minimum 2-inch nominal lumber spaced at maximum 4 feet on center. Bearing partitions perpendicular to joists shall not be offset from supporting girders, walls, or partitions more than the joist depth unless such joists are of sufficient size to carry the additional load. (CRC R502.4)

23. **Joists above or below shear walls.** Where joists are perpendicular to a shear wall above or below, a rim joist, band joist, or blocking shall be provided along the entire length of the shear wall. Where joists are parallel to a shear wall above or below, a rim joist, end joist, or other full-panel framing shall be provided directly above and/or below the shear wall. Where a parallel framing member cannot be located directly above and/or below the shear wall, partial framing blocking at 16-inch spacing shall be provided between the parallel framing members to each side of the shear wall. (CRC R602.10.8)

24. **Roof member bearing.** The ends of each

**CARVALHO DE MENDONÇA
RESIDENCE**

COASTAL SET
COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510
PROJECT NUMBER: 1702



SITE PLAN
1/8" = 1'-0"

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DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRIPTION:

SITE PLAN

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

GENERAL SITE PLAN NOTES

- A. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- B. BEFORE COMMENCING ANY SITE FOUNDATION EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE DIMENSIONS AND CONDITIONS THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- C. PROTECT EXISTING VEGETATION AND MARK PERIMETER OF CONSTRUCTION ZONE. REMOVE ALL TREES AND VEGETATION WITHIN 5' OF PROPOSED NEW STRUCTURES, UNLESS OTHERWISE SHOWN.
- D. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS. DRAINAGE SWALES ARE TO BE DIRECTED AS SHOWN, PROVIDE 2% SLOPE.
- E. LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- F. PROVIDE BUILDING ADDRESS NUMBERS THAT ARE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER LFC 901.4. SEE EXTERIOR ELEVATION FOR LOCATION.
- G. SOIL RECOMMENDATIONS:
 - a. SITE PREPARATION: CLEAR AND GRUB, REMOVE LANDSCAPING FILL AND MATERIALS TO 3' BELOW ALLEY AND REPLACE AS STRUCTURAL FILL.
 - b. MOISTURE PROTECTION: DIRECTLY BELOW SLAB: 15 MIL. POLYETHYLENE MEMBRANE OVER 4" LAYER OF CLEAN, COURSE SAND OR CRUSHED ROCK.
- H. DOWNSPOUTS SHALL BE DIRECTED ONTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE ONTO LANDSCAPED AREAS WHERE FEASIBLE.

SITE PLAN LEGEND

- AREA OF PROPOSED NEW RESIDENCE
- AREA OF PROPOSED CONCRETE HARDSCAPE
- AREA OF PROPOSED WOOD DECK
- AREA OF PROPOSED LANDSCAPE
- AREA OF EXISTING RESIDENCE TO BE DEMOLISHED
- AREA OF EXISTING GARAGE TO REMAIN
- AREA OF PROPOSED POOL

SITE PLAN KEYNOTES

- 1 NEW SITE FENCE
- 2 APPROXIMATE LOCATION OF EXISTING 3/4" WATER METER, V.I.F.
- 3 EXISTING SEWER LATERAL, V.I.F.
- 4 EXISTING 12" SDGE EASEMENT FOR POWER POLES AND WIRES, 6' EACH SIDE OF THE PROPERTY LINE.
- 5 LOCATION OF NEW 200 AMP ELECTRIC METER, V.I.F.
- 6 EXISTING NATURAL GAS METER, V.I.F.
- 7 NEW CURB AND DRIVEWAY APRON PER R.O.W APPROVAL # AND CITY STANDARDS SDG-159
- 8 EXISTING RETAINER WALL TO REMAIN.
- 9 EXISTING 6" SEWER EASEMENT PER SUBDIVISION MAP 3' EACH SIDE OF PROPERTY LINE.
- 10 NEW CONCRETE PAVER
- 11 PROPOSED HOUSE.
- 12 PROPOSED GARAGE.
- 13 PROPOSED POOL.
- 14 PROPOSED ELEVATOR.
- 15 PROPOSED WATER FEATURE.
- 16 PROPOSED EXTERIOR STAIR.
- 17 AREA OF EXISTING GARAGE TO REMAIN
- 18 TRASH & RECYCLE
- 19 OUTDOOR SHOWER

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____

As1.1
RV.02

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DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

DEMO PLAN - LOWER LEVEL

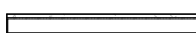


REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

DEMO FLOOR PLAN LEGEND

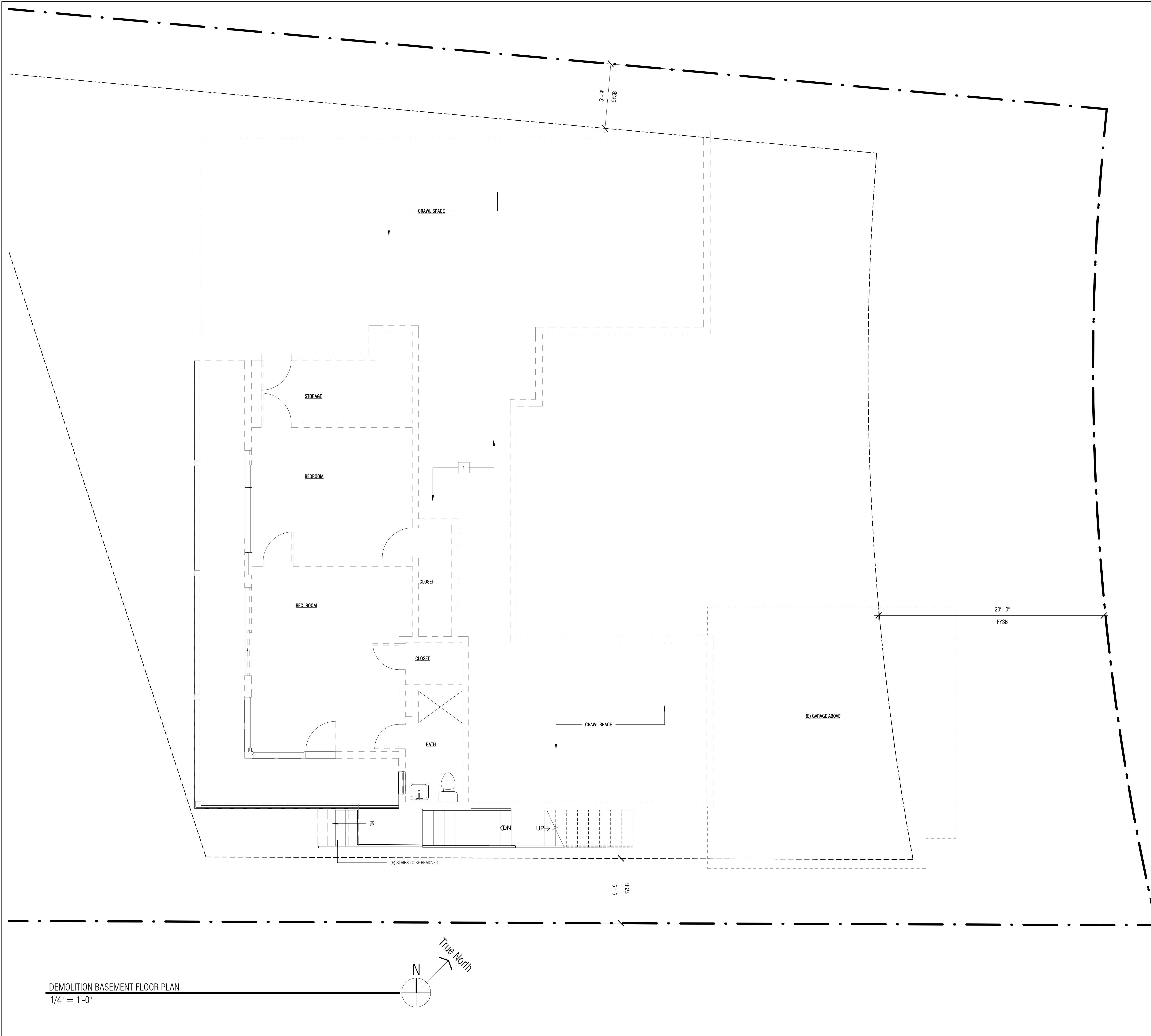
-  EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
-  EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
-  EXISTING ROOF TO BE DEMOLISHED

DEMOLITION NOTES

1. CONTRACTOR SHALL INVESTIGATE EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS.
2. CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.
3. CONTRACTOR SHALL ALLOW FOR CONNECTIONS TO EXISTING PLUMBING AND SEWER LOCATIONS.
4. REMOVE ALL LANDSCAPE/HARDSCAPE WHERE INDICATED FOR NEW ADDITION.
5. REMOVE WALLS AS SHOWN. VERIFY IN FIELD WITH ARCHITECT WALLS TO BE REMOVED.
6. REMOVE EXISTING ROOFING AND ROOF FRAMING WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
7. REMOVE EXISTING CEILING FRAMING AND FINISH WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
8. REMOVE FLOORING TO SUB FLOOR WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
9. REMOVE ALL EXISTING WINDOWS AS INDICATED AND PREP OPENING TO RECEIVE NEW UNIT. VERIFY ALL ROUGH OPENING DIMENSIONS
10. REMOVE EXISTING HARDSCAPE AND PREP FOR NEW HARDSCAPE.
11. ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.

DEMO FLOOR PLAN KEYNOTES

- 1 EXISTING BASEMENT TO BE DEMOLISHED



DEMOLITION BASEMENT FLOOR PLAN
1/4" = 1'-0"

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____

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Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

DEMO PLAN - FIRST FLOOR




REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

DEMO FLOOR PLAN LEGEND

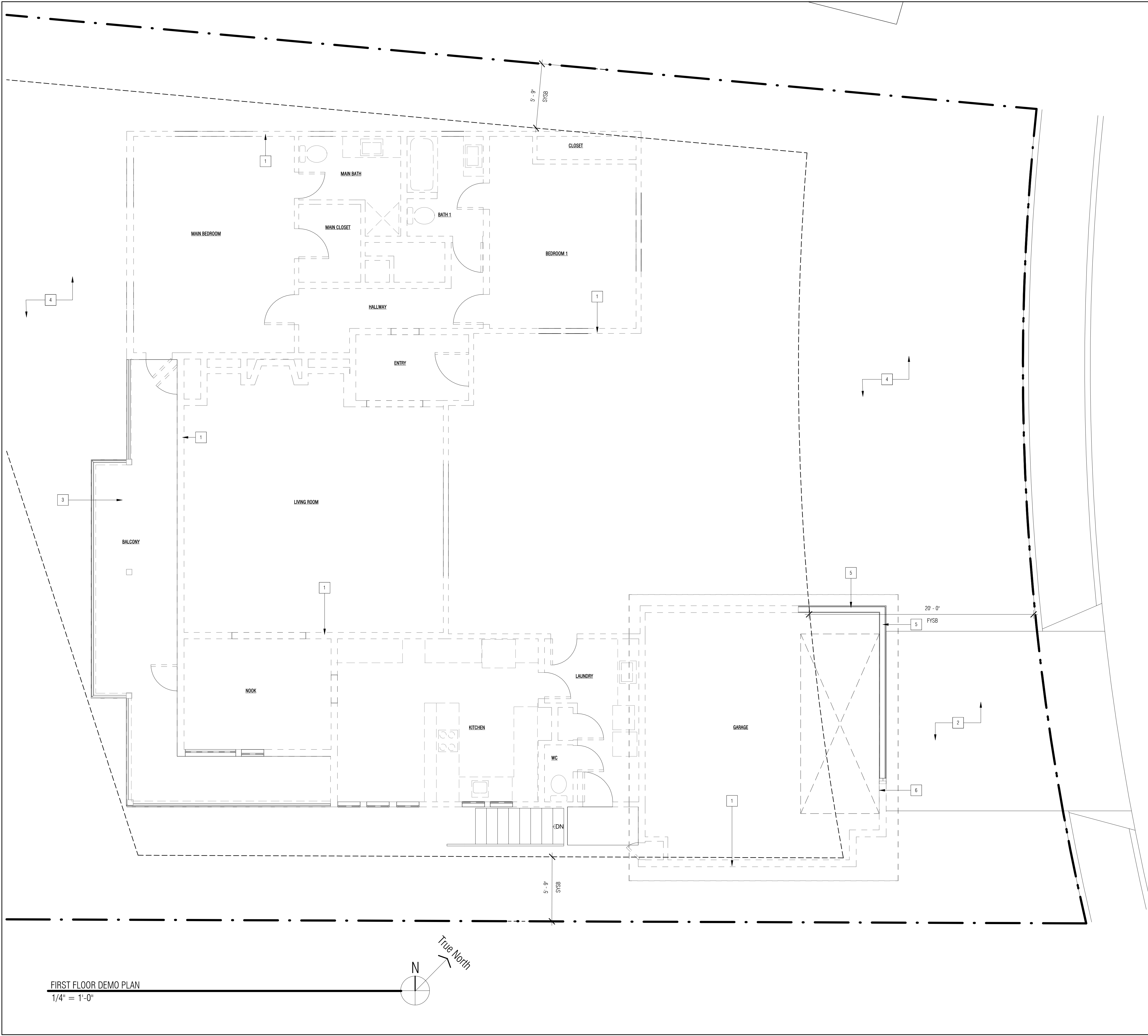
-  EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
-  EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
-  EXISTING ROOF TO BE DEMOLISHED

DEMOLITION NOTES

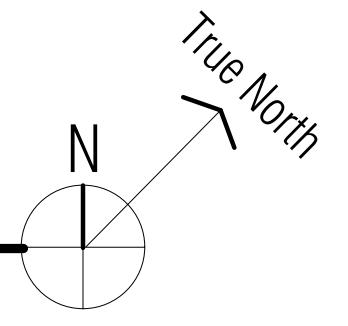
1. CONTRACTOR SHALL INVESTIGATE EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS.
2. CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.
3. CONTRACTOR SHALL ALLOW FOR CONNECTIONS TO EXISTING PLUMBING AND SEWER LOCATIONS.
4. REMOVE ALL LANDSCAPE/HARDSCAPE WHERE INDICATED FOR NEW ADDITION.
5. REMOVE WALLS AS SHOWN. VERIFY IN FIELD WITH ARCHITECT WALLS TO BE REMOVED.
6. REMOVE EXISTING ROOFING AND ROOF FRAMING WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
7. REMOVE EXISTING CEILING FRAMING AND FINISH WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
8. REMOVE FLOORING TO SUB FLOOR WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
9. REMOVE ALL EXISTING WINDOWS AS INDICATED AND PREP OPENING TO RECEIVE NEW UNIT. VERIFY ALL ROUGH OPENING DIMENSIONS
10. REMOVE EXISTING HARDSCAPE AND PREP FOR NEW HARDSCAPE.
11. ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.

DEMO FLOOR PLAN KEYNOTES

- 1 EXISTING WALLS TO BE DEMOLISHED
- 2 EXISTING DRIVEWAY APRON TO BE DEMOLISHED PER R.O.W APPROVAL #
- 3 EXISTING BALCONY TO BE DEMOLISHED
- 4 EXISTING LANDSCAPE TO BE REMOVED
- 5 EXISTING WALL TO REMAIN
- 6 EXISTING GARAGE DOOR TO BE DEMOLISHED AND IN FILL



FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT:

DESIGN SIGNATURE REQUIRED _____ DATE _____

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without the written consent of the engineer.

DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

ROOF DEMO PLAN

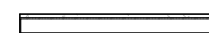
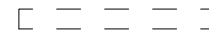

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPC

RV.02 - 09/05/2023 - COASTAL

DEMO FLOOR PLAN LEGEND

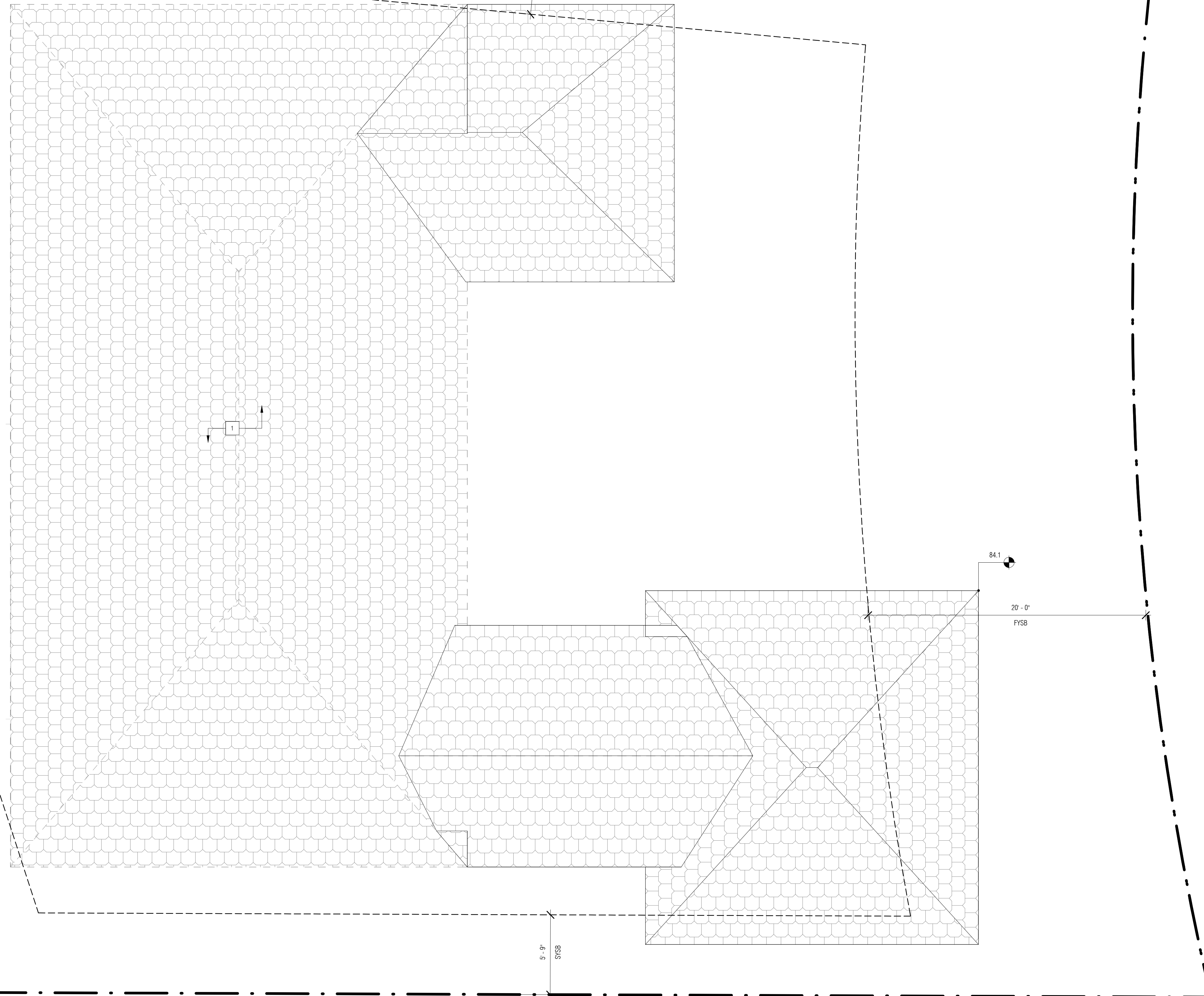
-  EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
-  EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
-  EXISTING ROOF TO BE DEMOLISHED

DEMOLITION NOTES

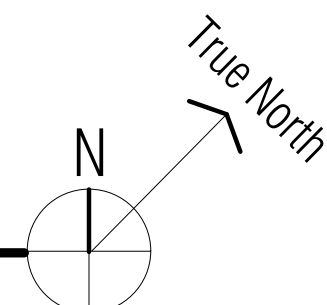
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5. REMOVE WALLS AS SHOWN. VERIFY IN FIELD WITH ARCHITECT WALLS TO BE REMOVED.
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8. REMOVE FLOORING TO SUB FLOOR WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
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11. ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.

DEMO FLOOR PLAN KEYNOTES

- 1 EXISTING ASPHALT ROOF TO BE DEMOLISHED



ROOF DEMO PLAN
1/4" = 1'-0"



I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT:

DESIGN SIGNATURE REQUIRED

DATE

**CARVALHO DE MENDONÇA
RESIDENCE**

COASTAL SET
COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510
PROJECT NUMBER: 1702

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DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

EXISTING LOWER FLOOR PLAN

REVISION:


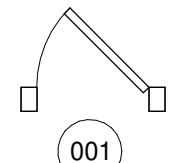
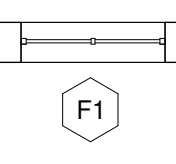

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

A1.0
RV.02

EXISTING FLOOR PLAN LEGEND

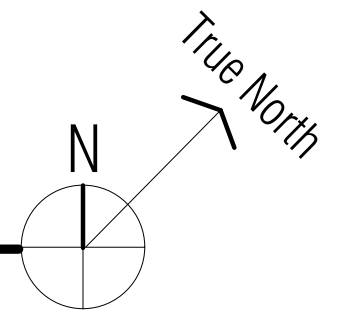
-  EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
-  EXISTING / NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE ON SHEET
-  EXISTING / NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON SHEET
-  LS LANDSCAPE AREAS

EXISTING FLOOR PLAN KEYNOTES

- 1 EXISTING CRAWL SPACE
- 2 EXISTING STORAGE
- 3 EXISTING BEDROOM
- 4 EXISTING RECREATION ROOM
- 5 EXISTING LANDSCAPE



EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____

**CARVALHO DE MENDONÇA
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COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510
PROJECT NUMBER: 1702

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DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

EXISTING FIRST FLOOR PLAN


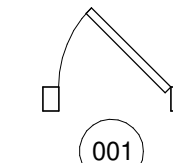
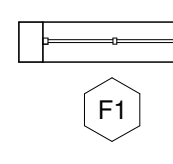

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

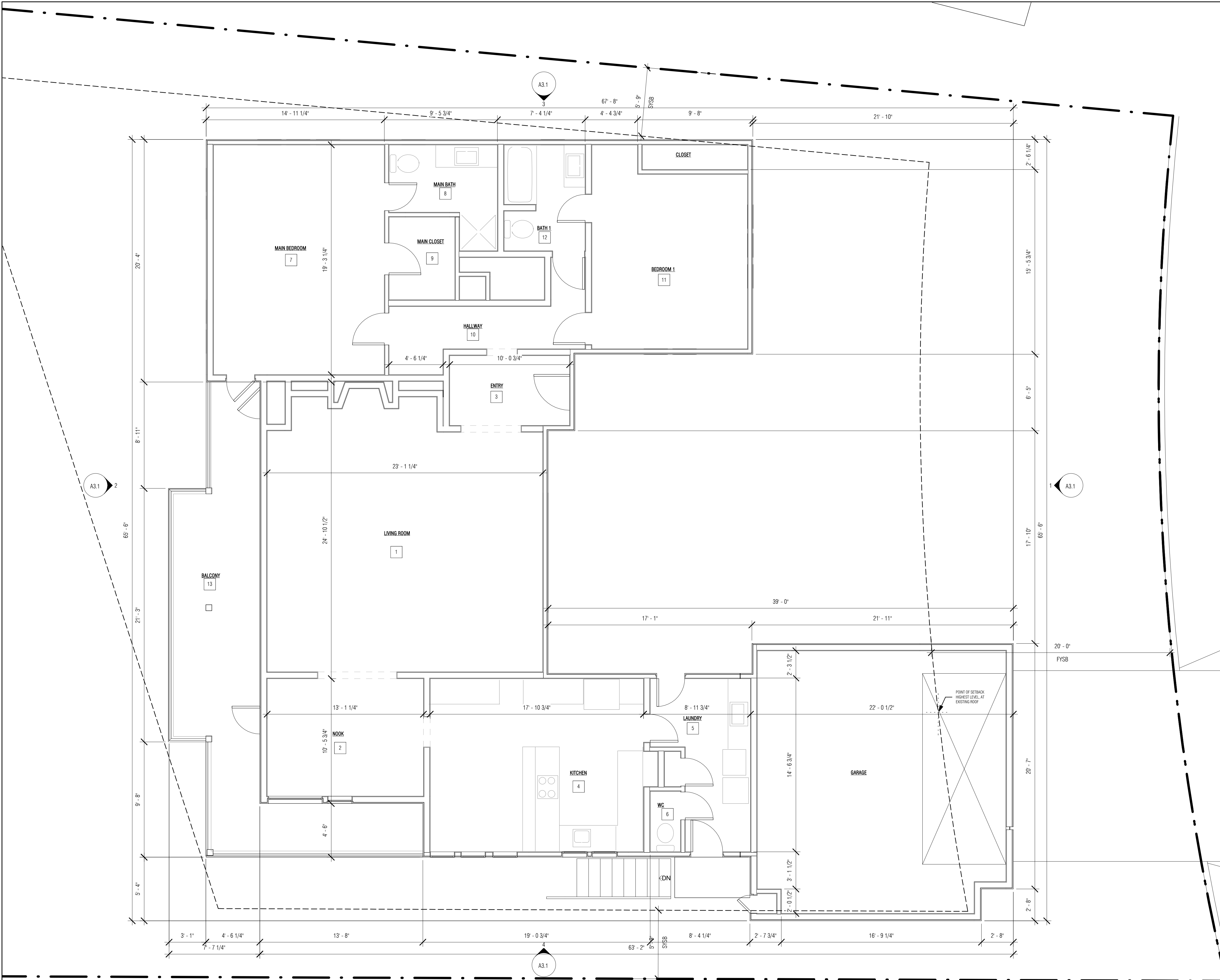
RV.02 - 09/05/2023 - COASTAL

EXISTING FLOOR PLAN LEGEND

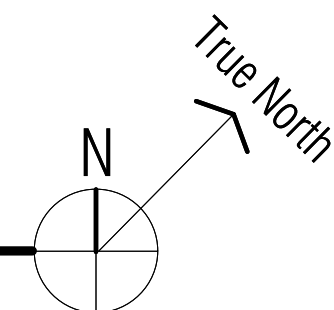
-  EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
-  EXISTING / NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON SHEET
-  EXISTING / NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON SHEET
-  LS LANDSCAPE AREAS

EXISTING FLOOR PLAN KEYNOTES

- 1 EXISTING LIVING ROOM
- 2 EXISTING NOOK
- 3 EXISTING ENTRY
- 4 EXISTING KITCHEN
- 5 EXISTING LAUNDRY
- 6 EXISTING W.C.
- 7 EXISTING MAIN BEDROOM
- 8 EXISTING MAIN BATHROOM
- 9 EXISTING MAIN CLOSET
- 10 EXISTING HALLWAY
- 11 EXISTING BEDROOM 1
- 12 EXISTING BATHROOM 1
- 13 EXISTING BALCONY



EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____

**CARVALHO DE MENDONÇA
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COASTAL DEVELOPMENT
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DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

PROPOSED LOWER FLOOR PLAN

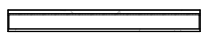
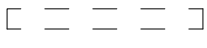


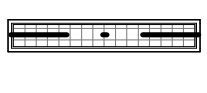
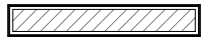
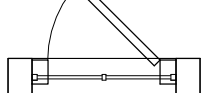

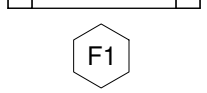
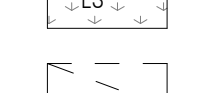
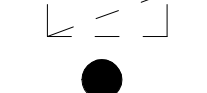
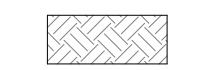
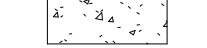
REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

FLOOR PLAN LEGEND

-  EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
-  EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
-  NEW WALL: 2 X 4 WOOD STUD WALL @ 16' O.C. - or as called out on plans
-  NEW WALL: 2 X 6 WOOD STUD WALL @ 16' O.C. - or as called out on plans
-  ONE HOUR CONSTRUCTION
2 X WOOD STUD @ 16' O.C. W/ 5/8" TYPE 'X' GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO).
SEE DETAIL 7-A-10.2.
-  NEW MASONRY CONSTRUCTION WALL
-  EXISTING / NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE ON SHEETHEET
-  EXISTING / NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON SHEET
-  LANDSCAPE AREAS
-  ATTIC ACCESS MINIMUM SIZE OF 22' X 30'
-  PROPOSED STRUCTURAL COLUMN
-  EARTH CUT
-  CONCRETE PAVER

FLOOR PLAN KEYNOTES

- 1 PROPOSED BASEMENT / CROWN SPACE
- 2 POOL ABOVE
- 3 NEW COLUMNS PER STRUCTURAL
- 4 NEW CONCRETE WALL
- 5 F.A.R. EXEMPT

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMP) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____



DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

PROPOSED FIRST FLOOR PLAN

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

GENERAL FLOOR PLAN NOTES

A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS TAKEN FROM FACE OF STUD, UNLESS NOTED OTHERWISE. ALL CABINET DIMENSIONS ARE TAKEN FROM FACE OF DRYWALL. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION. C. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A6.1 D. FOR CEILING AND MECHANICAL SEE SHEETS E1.1 E. FOR ELECTRICAL SEE SHEETS E1.1 F. INSULATION: VERIFY W/ TITLE 24 CALCULATIONS. R-15 BATT INSULATION AT ALL NEW 2 X 4 EXTERIOR WALLS AND RAISED FLOOR AREAS R-15 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL. R-30 BATT INSULATION AT CEILING & ROOF AREAS. H. HVAC EQUIPMENT: MINI SPLIT - 24 CALCULATIONS ON SHEET T-24. J. WATER HEATER: EXISTING TO REMAIN - 24 CALCULATIONS ON SHEET T-24. K. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON EACH LEVEL PERMANENTLY WIRED WITH BATTERY BACKUP AT NEW AREAS. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREA OF THE UNIT. SECTION 310.9.1.2 BATTERY POWERED AT EXISTING AREAS PER U.B.C. SEC. 1210 L. NEW FAU: EXISTING TO REMAIN - 24 CALCULATIONS ON SHEET T-24 M. CEILING HEIGHTS: HABITABLE SPACE SHALL HAVE A CEILING EIGHT OF NOT LESS THAN 7 FEET 6 INCHES EXCEPT AS NOTED. IF ANY ROOM IN BUILDING HAS A SLOPING CEILING, THE CEILING HEIGHT FOR THE ROOM IS REQUIRED IN ONLY ONE HALF OF THE AREA THEREOF. NO PORTION OF THE ROOM MEASURING LESS THAN 5 FEET FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL BE INCLUDED IN ANY COMPUTATION OF THE MINIMUM AREA THEREOF. UBC SECTION 310.6.1 N. GYPSUM WALL BOARD: PROVIDE 5/8" TYPE X GYP. BD. AT INTERIOR WALLS THROUGHOUT P. BATH / SHOWER LOCATIONS: COVER WOOD FRAMING W/ TYVEK VAPOR BARRIER AT FRAMING BEHIND SHOWER / TUBS. USE CONCRETE BACKER BOARD AT ALL TUB / SHOWER FLOORS WALLS / CEILING LOCATIONS. USE WATER RESISTANT GYP. BOARD ON ALL WALLS AT BATHROOM LOCATIONS. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. Q. NOISE: ALL SEPARATING WALL ASSEMBLIES SHALL PROVIDE A MINIMUM STC OF 50. FLOOR COVERINGS INCLUDED IN THE ASSEMBLY MUST BE PERMANENTLY RETAINED AND MAY BE REPLACED ONLY BY OTHER FLOOR COVERINGS PROVIDING THE SAME SOUND INSULATION. ALL PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS, BATHTUBS, SOFFITS OR HEATING, OR VENTILATING DUCTS SHALL BE SEALED AND INSULATED TO MAINTAIN MINIMUM STC RATING OF 45 PER ASTM E 90 AND E 413. R. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R SILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R ARE REVIEWED AND APPROVED. S. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

#1: PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE THE THE BUILDING DEPARTMENT WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS OF THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102

VERIFY DIMENSIONS IN FIELD. PLEASE NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY THE CONTRACTOR WILL VERIFY THESE PLANS WITH THE EXISTING BUILDING AND SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCY PRIOR TO PERFORMING ANY WORK

FLOOR PLAN LEGEND

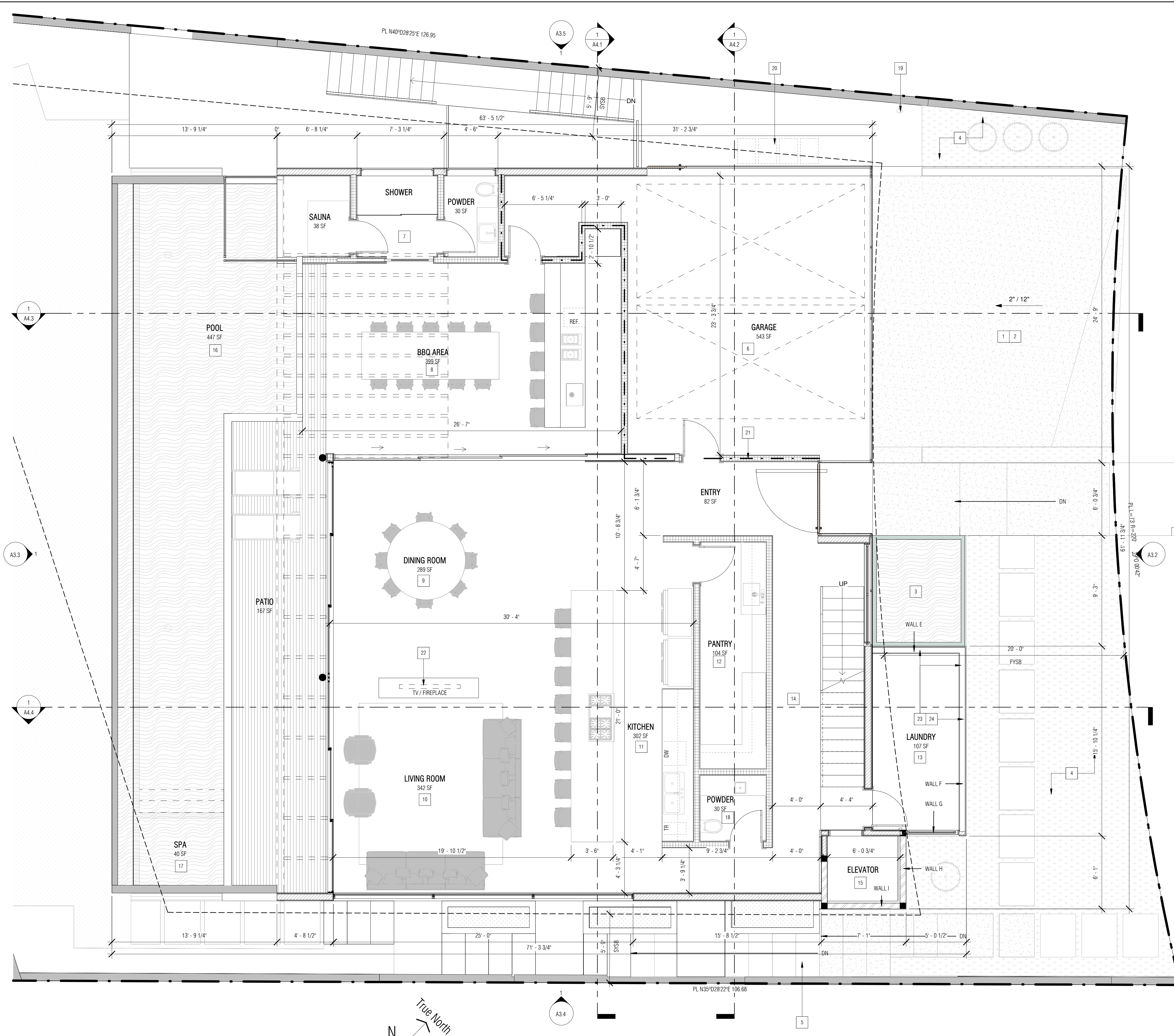
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NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
NEW WALL: 2 X 6 WOOD STUD WALL @ 16" O.C. - or as called out on plans
ONE HOUR-CONSTRUCTION 2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE 'X' GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO), SEE DETAIL 7-A-10.2.
NEW MASONRY CONSTRUCTION WALL
EXISTING / NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON SHEETHEET
EXISTING / NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON SHEET
LANDSCAPE AREAS
ATTIC ACCESS MINIMUM SIZE OF 22 X 30
PROPOSED STRUCTURAL COLUMN
EARTH CUT
CONCRETE PAVER

FLOOR PLAN KEYNOTES

- 1 PROPOSED DRIVE WAY
2 PROPOSED CONCRETE PAVERS
3 PROPOSED WATER FEATURE
4 PROPOSED LANDSCAPE
5 PROPOSED CONCRETE STAIRS
6 PROPOSED TWO-CAR GARAGE
7 PROPOSED SAUNA AREA
8 PROPOSED BBQ AREA
9 PROPOSED DINING ROOM
10 PROPOSED LIVING ROOM
11 PROPOSED KITCHEN
12 PROPOSED PANTRY
13 PROPOSED LAUNDRY
14 PROPOSED HALLWAY
15 PROPOSED ELEVATOR
16 PROPOSED POOL
17 PROPOSED SPA
18 PROPOSED POWDER ROOM
19 PROPOSED OUTDOOR SHOWER
20 PROPOSED TRASH AND RECYCLE BIN
21 1HR WALL
22 PROPOSED FIREPLACE
23 EXISTING WALL TO REMAIN - REFINISH AS NEEDED
24 FILL UP GARAGE OPENING

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED DATE



PROPOSED FIRST FLOOR PLAN 1/4" = 1'-0"

DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

PROPOSED SECOND FLOOR PLAN

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

GENERAL FLOOR PLAN NOTES

A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS TAKEN FROM FACE OF STUD, UNLESS NOTED OTHERWISE. ALL CABINETS ARE TO BE INSTALLED TO FACE OF DRYWALL. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.
C. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A6.1
D. FOR CEILING AND MECHANICAL SEE SHEETS E1.1
E. FOR ELECTRICAL SEE SHEETS E1.1
F. INSULATION: VERIFY W/ TITLE 24 CALCULATIONS.
R-15 BATT INSULATION AT ALL NEW 2 X 4 EXTERIOR WALLS AND RAISED FLOOR AREAS
R-15 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL.
R-30 BATT INSULATION AT CEILING & ROOF AREAS.
H. HVAC EQUIPMENT: MIN SPLIT - 24 CALCULATIONS ON SHEET T-24.
J. WATER HEATER: EXISTING TO REMAIN - 24 CALCULATIONS ON SHEET T-24.
K. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON EACH LEVEL PERMANENTLY WIRED WITH BATTERY BACKUP AT NEW AREAS. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREA OF THE UNIT.
L. NEW FAU: EXISTING TO REMAIN - 24 CALCULATIONS ON SHEET T-24.
M. CEILING HEIGHTS: HABITABLE SPACE SHALL HAVE A CEILING EIGHT OF NOT LESS THAN 7 FEET 6 INCHES EXCEPT AS NOTED. IF ANY ROOM IN BUILDING HAS A SLOPING CEILING, THE CEILING HEIGHT FOR THE ROOM IS REQUIRED IN ONLY ONE HALF OF THE AREA THEREOF. NO PORTION OF THE ROOM MEASURING LESS THAN 5 FEET FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL BE INCLUDED IN ANY COMPUTATION OF THE MINIMUM AREA THEREOF. UBC SECTION 310.6.1
N. GYPSUM WALL BOARD: PROVIDE 5/8" TYPE 'X' GYP. BD. AT INTERIOR WALLS THROUGHOUT.
P. BATH / SHOWER LOCATIONS: COVER WOOD FRAMING W/ TYVEK VAPOR BARRIER AT FRAMING BEHIND SHOWER / TUBS. USE CONCRETE BACKER BOARD AT ALL TUB / SHOWER FLOORS WALLS / CEILING LOCATIONS. USE WATER RESISTANT GYP. BOARD ON ALL WALLS AT BATHROOM LOCATIONS. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE.
Q. NOISE: ALL SEPARATING WALL ASSEMBLIES SHALL PROVIDE A MINIMUM STC OF 50. FLOOR COVERINGS INCLUDED IN THE ASSEMBLY MUST BE PERMANENTLY RETAINED AND MAY BE REPLACED ONLY BY OTHER FLOOR COVERING PROVIDING THE SAME SOUND INSULATION. ALL PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS, BATHTUBS, SOFFITS OR HEATING OR VENTILATING DUCTS SHALL BE SEALED AND INSULATED TO MAINTAIN MINIMUM STC RATING OF 45 PER ASTM E 90 AND E 413.
R. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R SHALL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R ARE REVIEWED AND APPROVED.
S. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

#1: PRIOR TO FINAL INSPECTION
THE LICENSED CONTRACTOR, OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE THE THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS OF THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC-102

VERIFY DIMENSIONS IN FIELD. PLEASE NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY

THE CONTRACTOR WILL VERIFY THESE PLANS WITH THE EXISTING BUILDING AND SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCY PRIOR TO PERFORMING ANY WORK

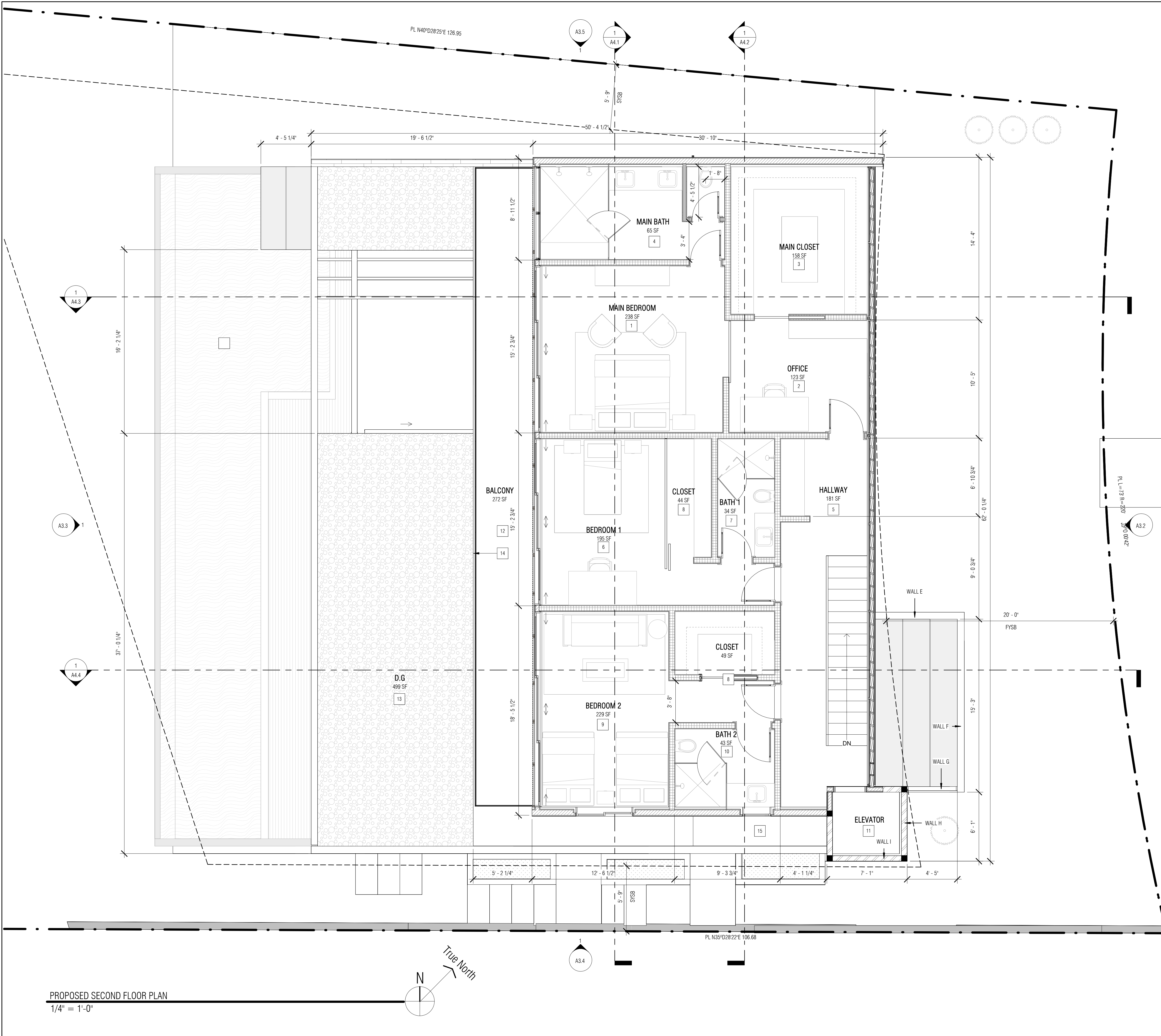
FLOOR PLAN LEGEND

- EXISTING WOOD STUD WALLS
Note: The majority of the existing exterior walls are 2 x 4 stud
- EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
- NEW WALL - 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
- NEW WALL - 2 X 6 WOOD STUD WALL @ 16" O.C. - or as called out on plans
- ONE HOUR CONSTRUCTION
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE 'X' GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO), SEE DETAIL 7-A-10.2.
- NEW MASONRY CONSTRUCTION WALL
- EXISTING / NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE ON SHEETSHEET
- EXISTING / NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON SHEET
- LANDSCAPE AREAS
- ATTC ACCESS MINIMUM SIZE OF 22 X 30
- PROPOSED STRUCTURAL COLUMN
- EARTH CUT
- CONCRETE PAVER

FLOOR PLAN KEYNOTES

- PROPOSED POOL BELOW
- 1 PROPOSED MAIN BEDROOM
- 2 PROPOSED OFFICE
- 3 PROPOSED MAIN CLOSET
- 4 MAIN BATHROOM
- 5 PROPOSED HALLWAY
- 6 PROPOSED BEDROOM 1
- 7 PROPOSED BATH 1
- 8 PROPOSED CLOSET
- 9 PROPOSED BEDROOM 2
- 10 PROPOSED BATH 2
- 11 PROPOSED ELEVATOR
- 12 PROPOSED BALCONY
- 13 GRAVEL
- 14 GLASS RAILING
- 15 PROPOSED PLANTER

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT:
DESIGN SIGNATURE REQUIRED _____ DATE _____



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

EXISTING ROOF PLAN

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL

ROOF GENERAL NOTES

WHEN PROVIDED, ALL VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE, OR SHALL BE PROTECTED BY LOUVERS AND CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/8" INCH OPENINGS OR ITS EQUIVALENT. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ROTATION IN ONLY ONE DIRECTION.

#1: PRIOR TO FINAL INSPECTION

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THE CONTRACTOR WILL VERIFY THESE PLANS WITH THE EXISTING BUILDING AND SITE AND NOTIFY THE DESIGN OF ANY DISCREPANCY PRIOR TO PERFORMING ANY WORK

VERIFY DIMENSIONS IN FIELD. PLEASE NOTIFY ENGINEER ANY DISCREPANCY IMMEDIATELY

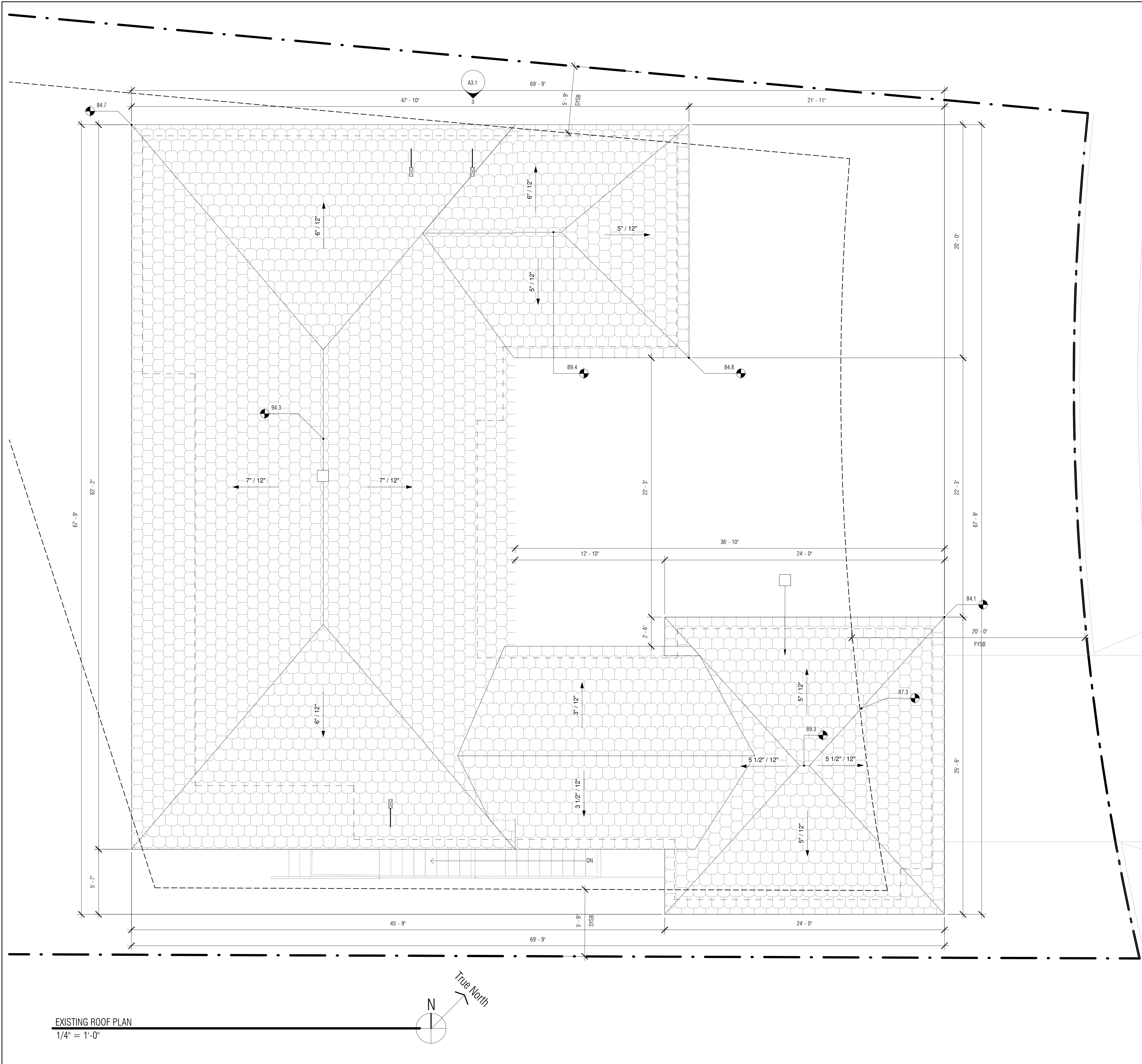
EXISTING TO REMAIN UNLESS NOTED OTHERWISE

ROOF LEGEND

- INDICATES DIRECTION OF ROOF SLOPE. SEE PLAN FOR ROOF PITCH
- ☐ PLUMBING VENT. VERIFY IN FIELD
- OS 2" X 2" S.S. DOWNSPOUT TO LANDSCAPING AT GRADE. PROVIDE SPLASHBLOCK DIRECTED TOWARDS LANDSCAPIN

ROOF PLAN FLOOR PLAN KEYNOTES

<varies>



I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

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DISCRPTION:

PROPOSED ROOF PLAN

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ROOF GENERAL NOTES

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VERIFY DIMENSIONS IN FIELD. PLEASE NOTIFY ENGINEER ANY DISCREPANCY IMMEDIATELY

EXISTING TO REMAIN UNLESS NOTED OTHERWISE

ROOF LEGEND

- INDICATES DIRECTION OF ROOF SLOPE. SEE PLAN FOR ROOF PITCH
- ☒ PLUMBING VENT. VERIFY IN FIELD
- 2" X 2" S.S. DOWNSPOUT TO LANDSCAPING AT GRADE. PROVIDE SPLASHBLOCK DIRECTED TOWARDS LANDSCAPIN

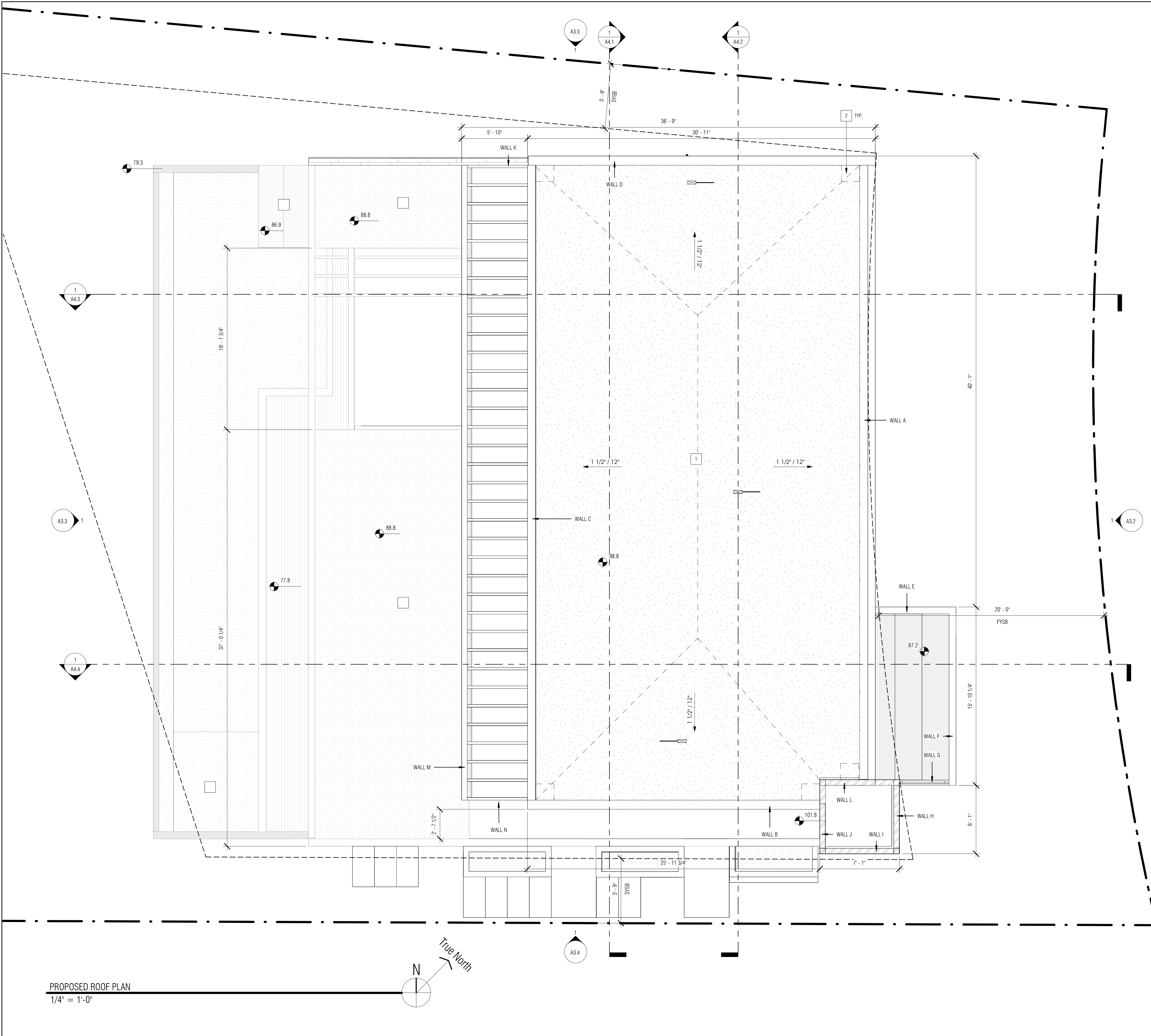
ROOF PLAN FLOOR PLAN KEYNOTES

- <varies>
- 1 PROPOSED BITUMEN ASPHALT ROOF
- 2 PROPOSED DOWN SPOTS

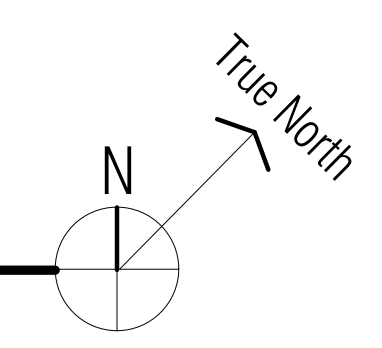
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DATE _____



PROPOSED ROOF PLAN
1/4" = 1'-0"



**CARVALHO DE MENDONÇA
RESIDENCE**

COASTAL SET
COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
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PROJECT NUMBER: 1702

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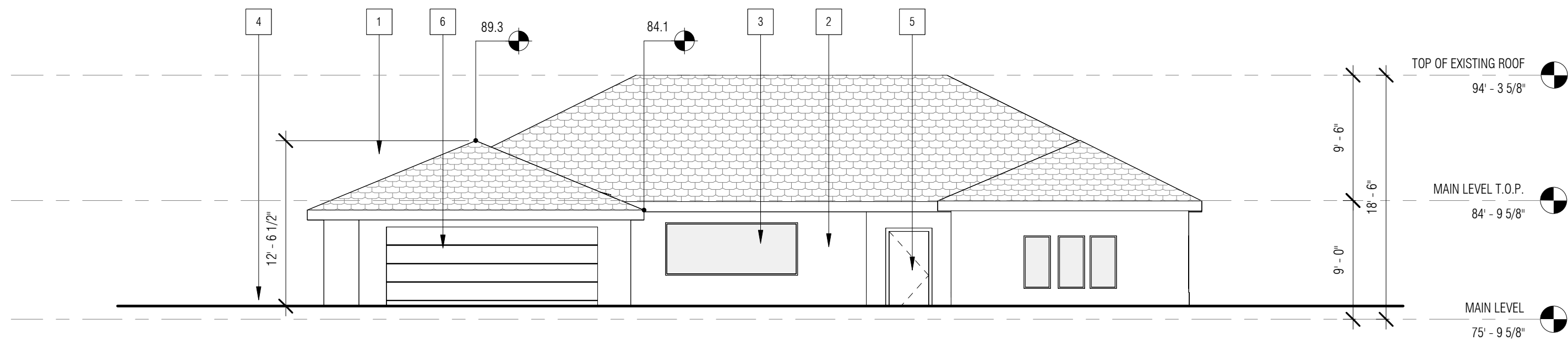
EXISTING ELEVATIONS

REVISION:

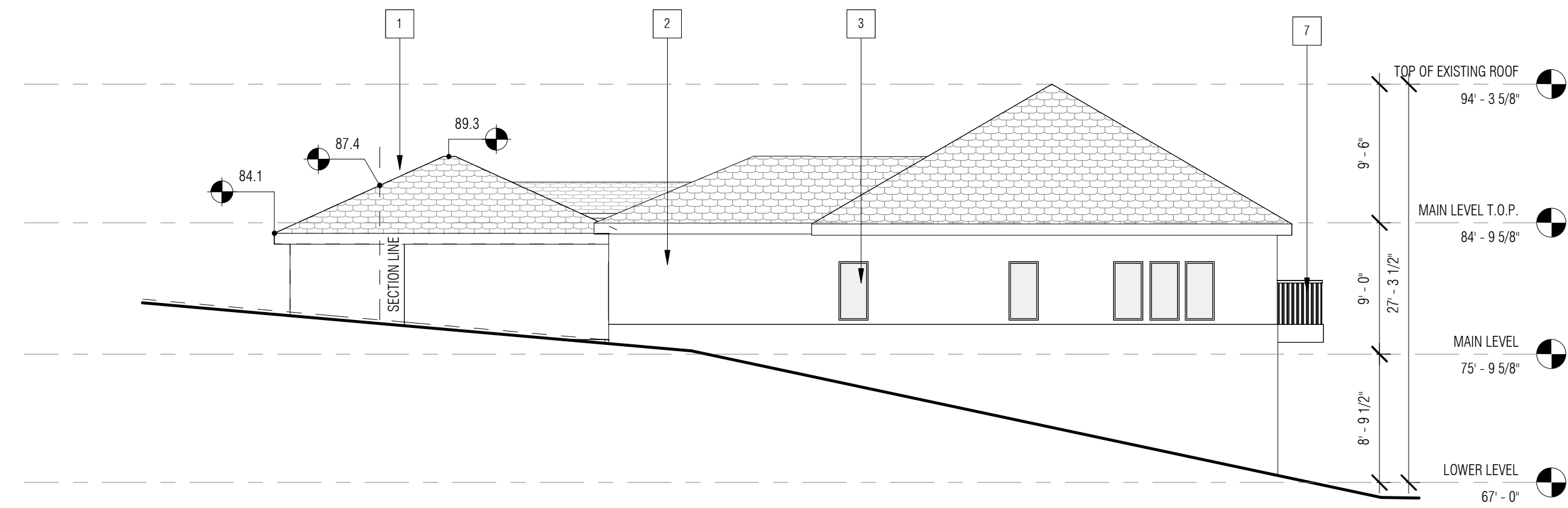
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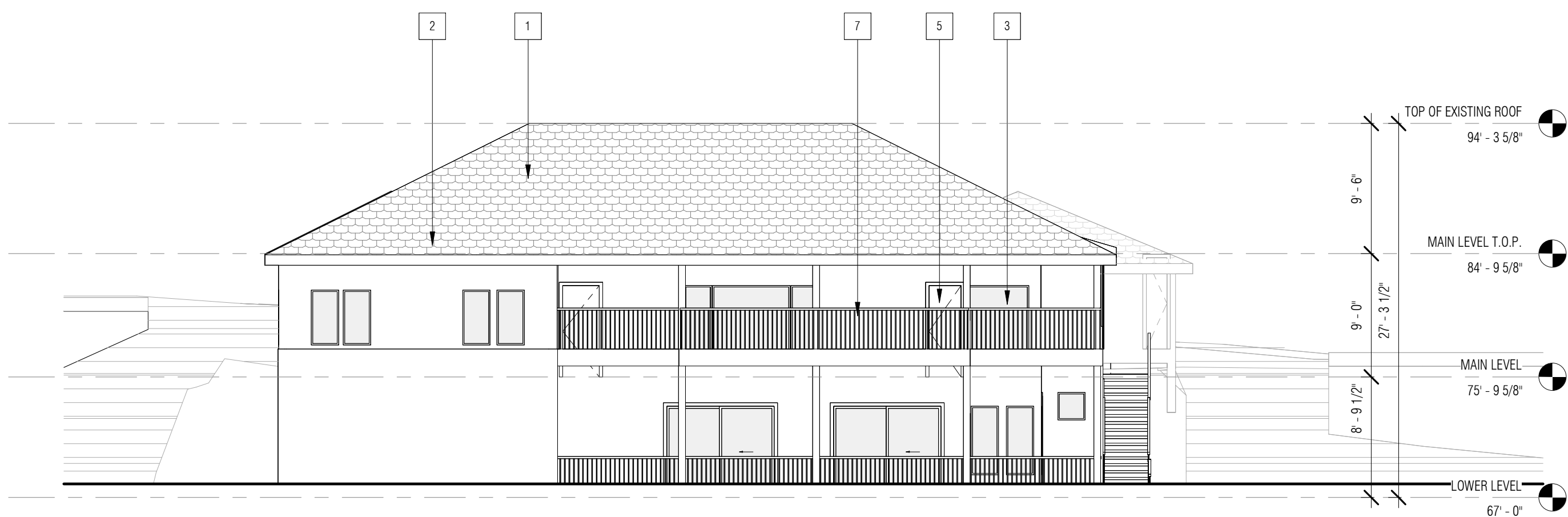
RV.02 - 09/05/2023 - COASTAL



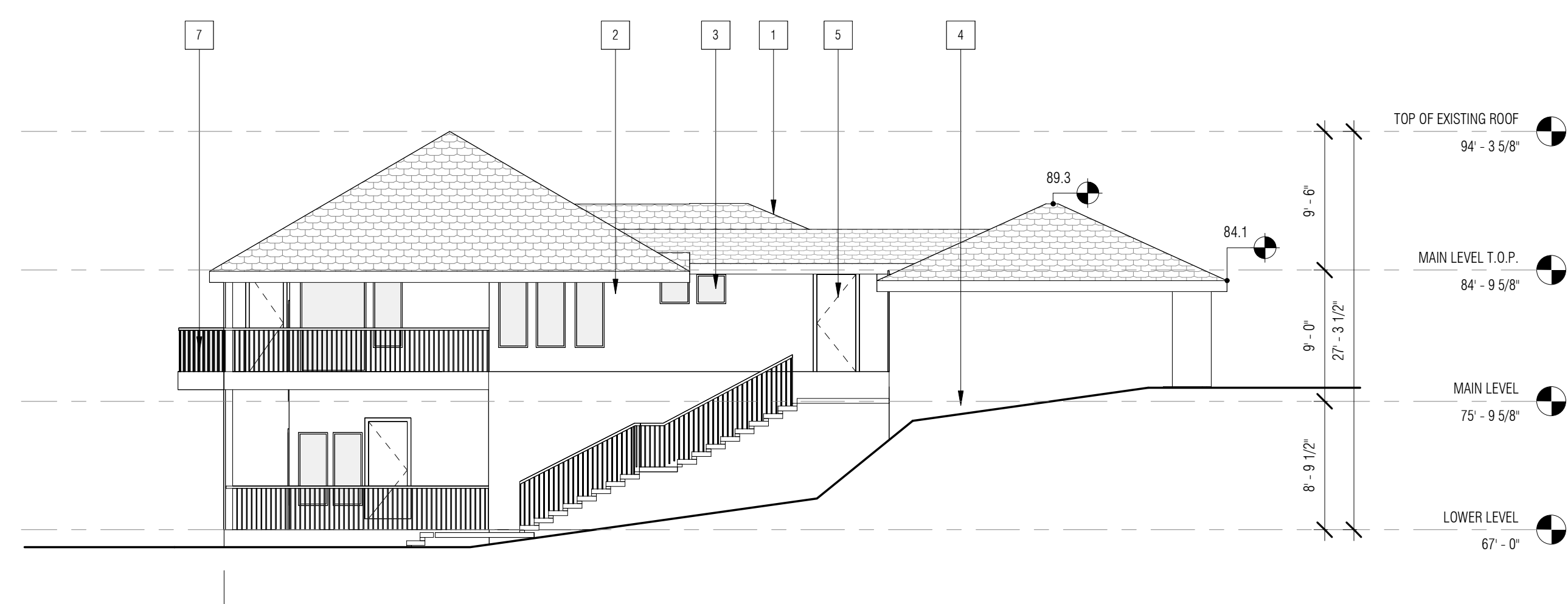
1 EXISTING - SOUTH ELEVATION
1/8" = 1'-0"



3 EXISTING - EAST ELEVATION
1/8" = 1'-0"



2 EXISTING - NORTH ELEVATION
1/8" = 1'-0"



4 EXISTING - WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

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THE CONTRACTOR WILL VERIFY THESE PLANS WITH THE EXISTING BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY PRIOR TO PERFORMING ANY WO

EXISTING ELEVATION KEYNOTES

- 1 EXISTING ASPHALT ROOF
- 2 EXISTING STUCCO
- 3 EXISTING GLAZING
- 4 EXISTING GRADING
- 5 EXISTING DOOR
- 6 EXISTING GARAGE DOOR
- 7 EXISTING WOOD RAILING

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____

DATE _____

**CARVALHO DE MENDONÇA
RESIDENCE**

COASTAL SET
COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510
PROJECT NUMBER: 1702

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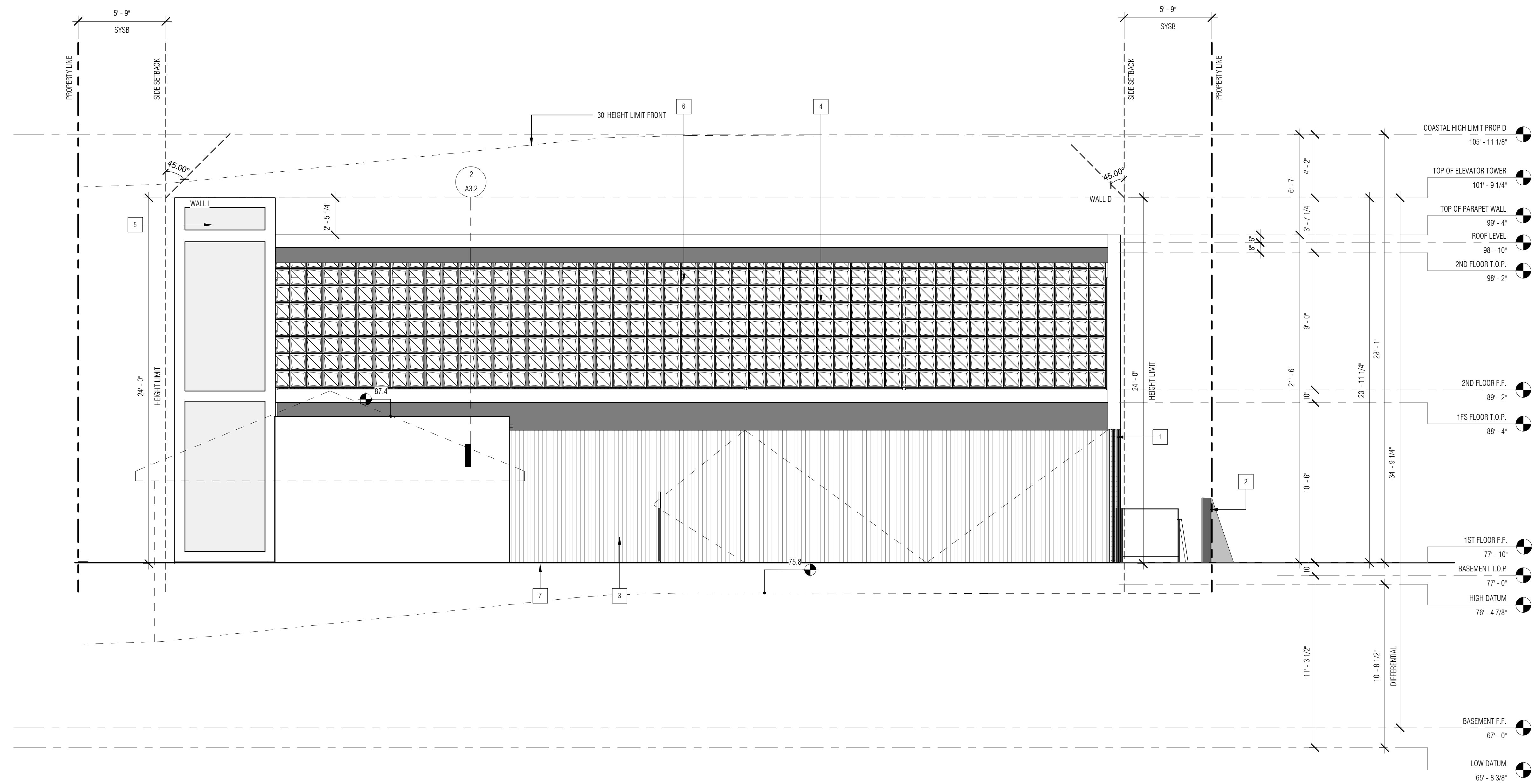
PROPOSED ELEVATIONS

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1 NORTH ELEVATION
1/4" = 1'-0"

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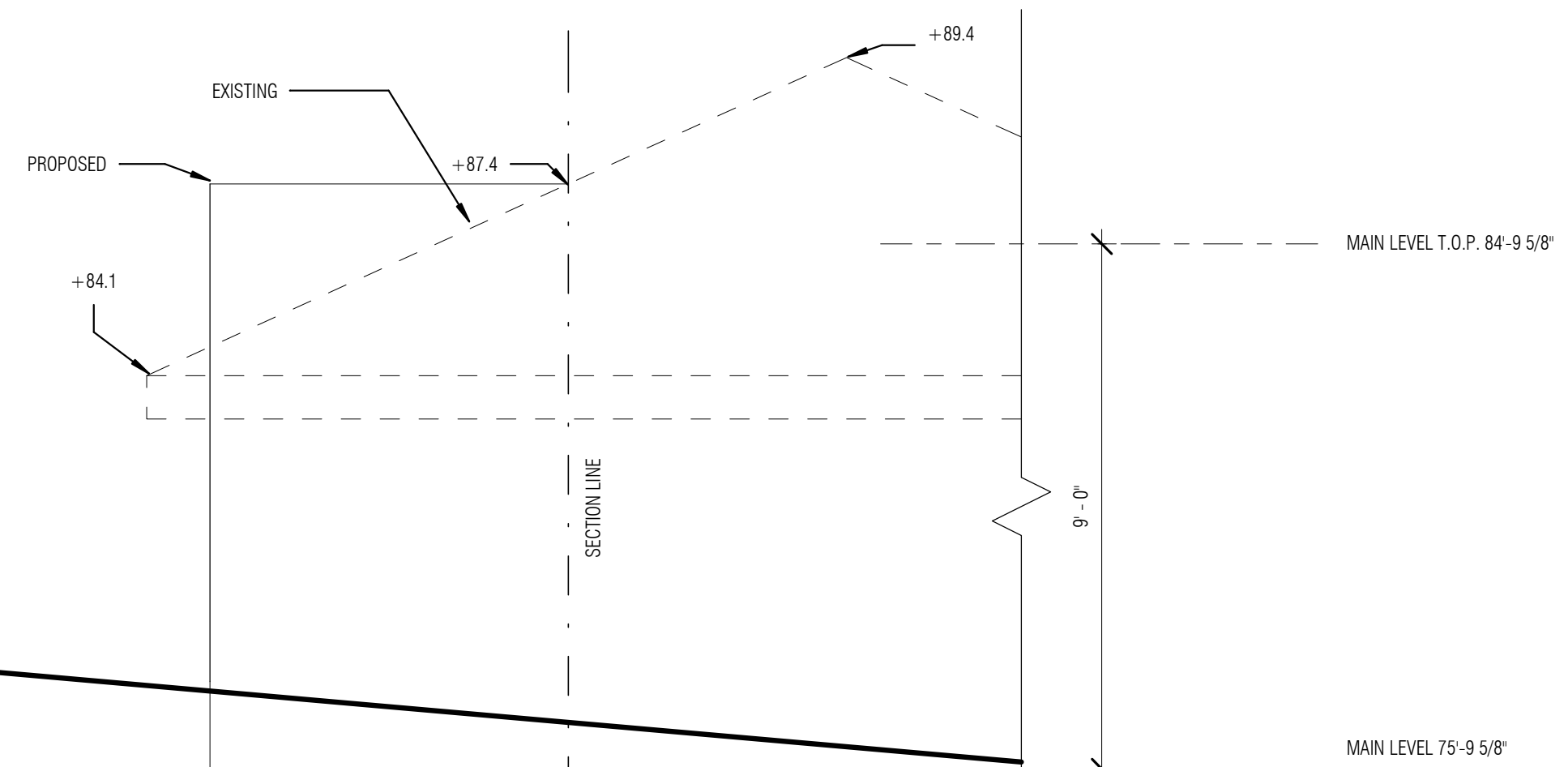
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NOTE:

- 1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- 2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC 131.0444 & 132.0505

ELEVATION KEYNOTES

- 1 PROPOSED CONCRETE WALL
- 2 PROPOSE 6' WALL
- 3 PROPOSED WOODEN SLAT FEATURE
- 4 PROPOSED FACADE FEATURE FROM BRAZIL
- 5 PROPOSED GLASS ELEVATOR TOWER
- 6 PROPOSED GLASS CURTAIN WALL
- 7



2 EXISTING ROOF LINE
A3.2
SCALE: 3/8" = 1'-0"

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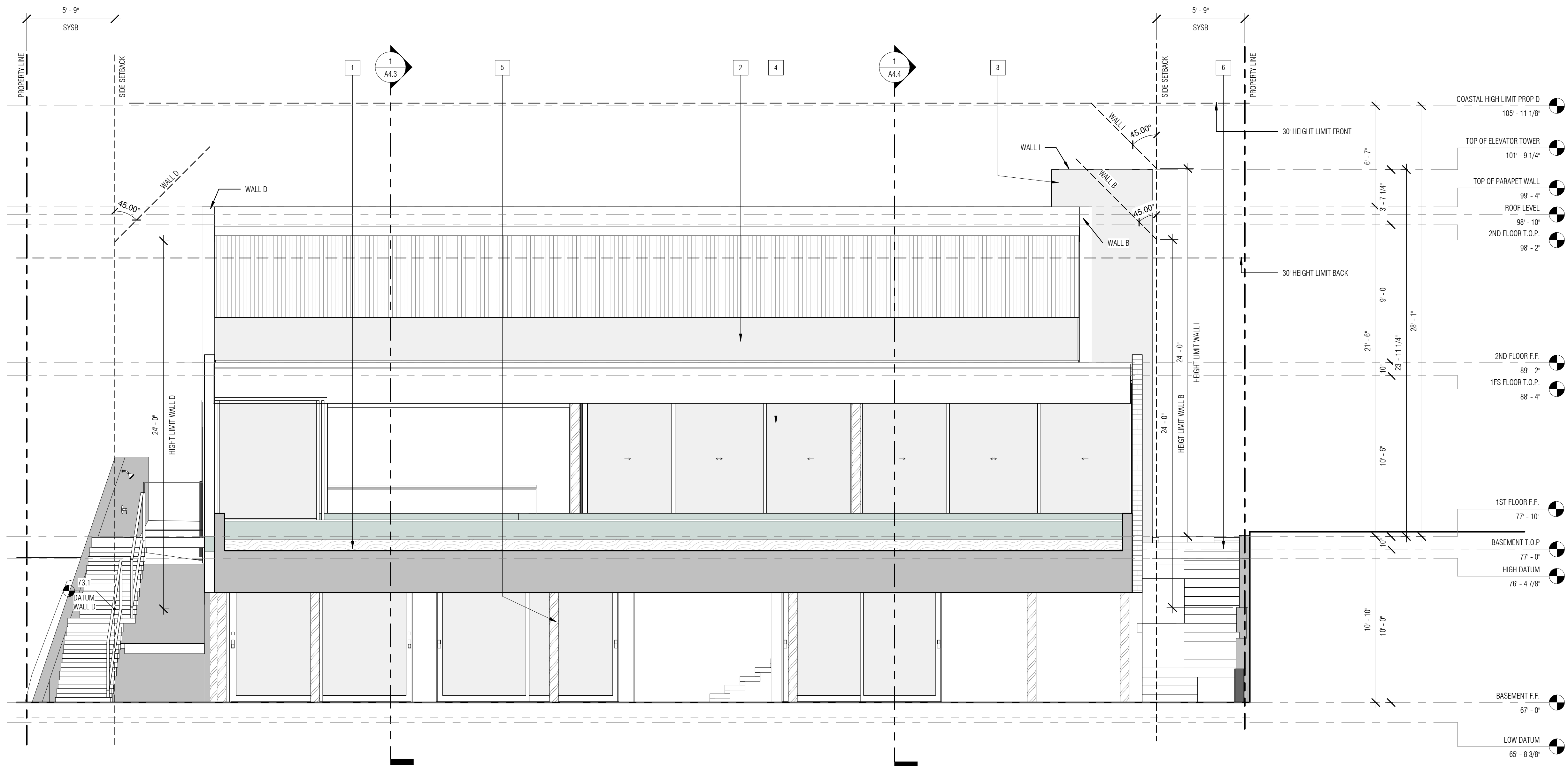
PROPOSED ELEVATIONS

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1 SOUTH ELEVATION
1/4" = 1'-0"

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2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC 131.0444 & 132.0505

ELEVATION KEYNOTES

- 1 PROPOSED INFINITY POOL
- 2 PROPOSED GLASS RAILING
- 3 PROPOSED GLASS ELEVATOR TOWER
- 4 PROPOSED SLIDING DOOR
- 5 PROPOSED COLUMNS PER STRUCTURAL
- 6 PROPOSED CONCRETE STAIRS

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

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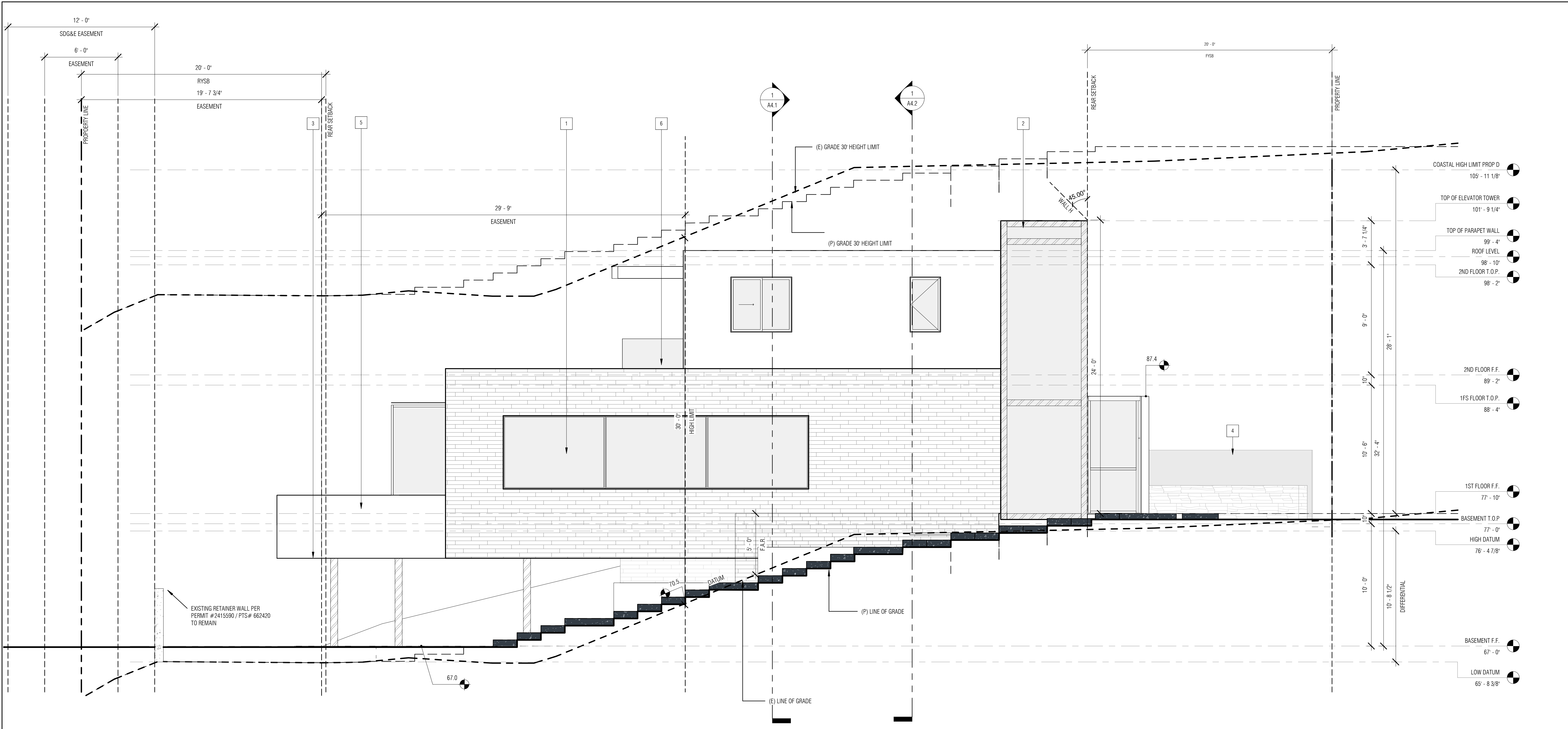
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1 EAST ELEVATION
1/4" = 1'-0"

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ELEVATION KEYNOTES

- 1 PROPOSED CONCRETE WALL
- 2 PROPOSED GLASS ELEVATOR TOWER
- 3 PROPOSED COLUMNS PER STRUCTURAL
- 4 PROPOSE 6' WALL
- 5 PROPOSED INFINITY POOL
- 6 PROPOSED GLASS RAILING

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

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PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

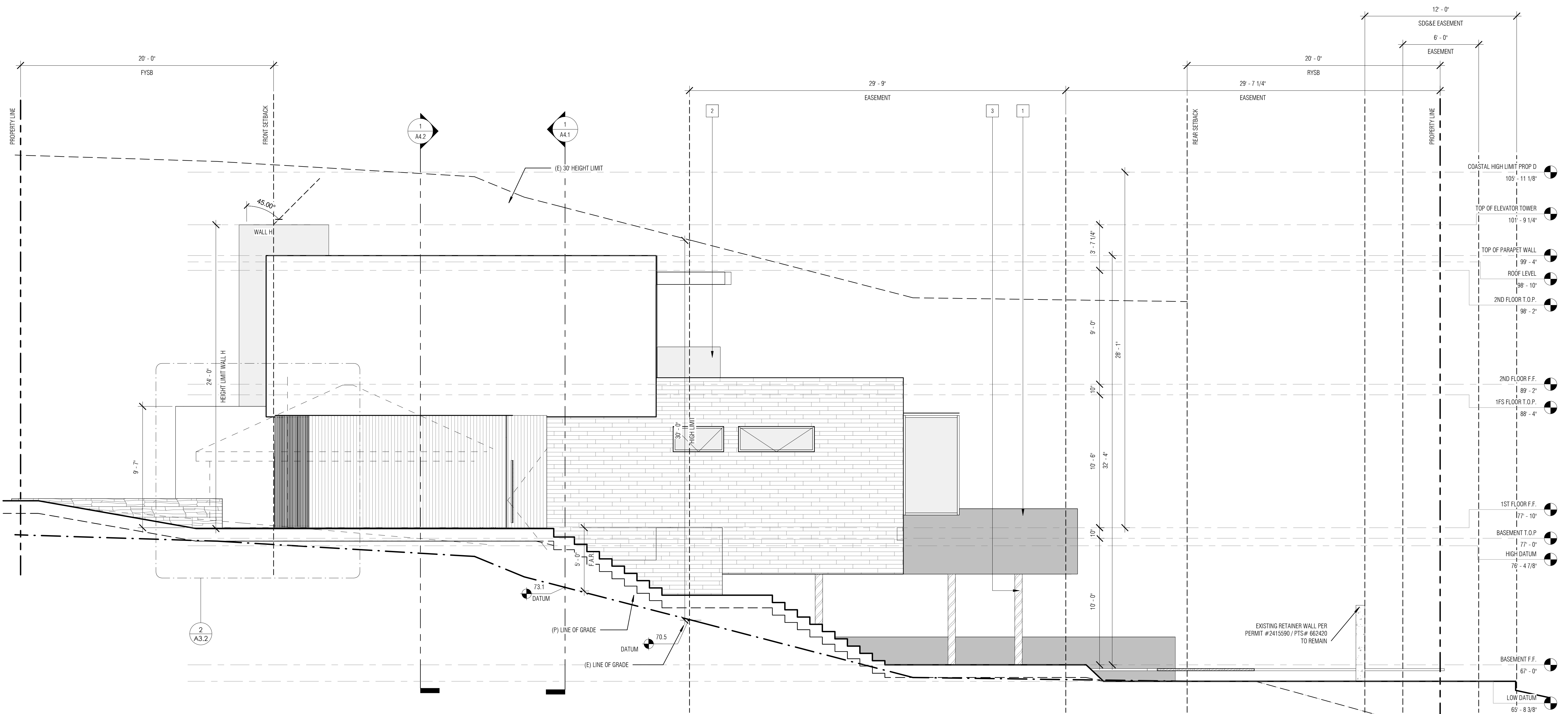
PROPOSED ELEVATIONS

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL



1 WEST ELEVATION
1/4" = 1'-0"

GENERAL NOTES

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ELEVATION KEYNOTES

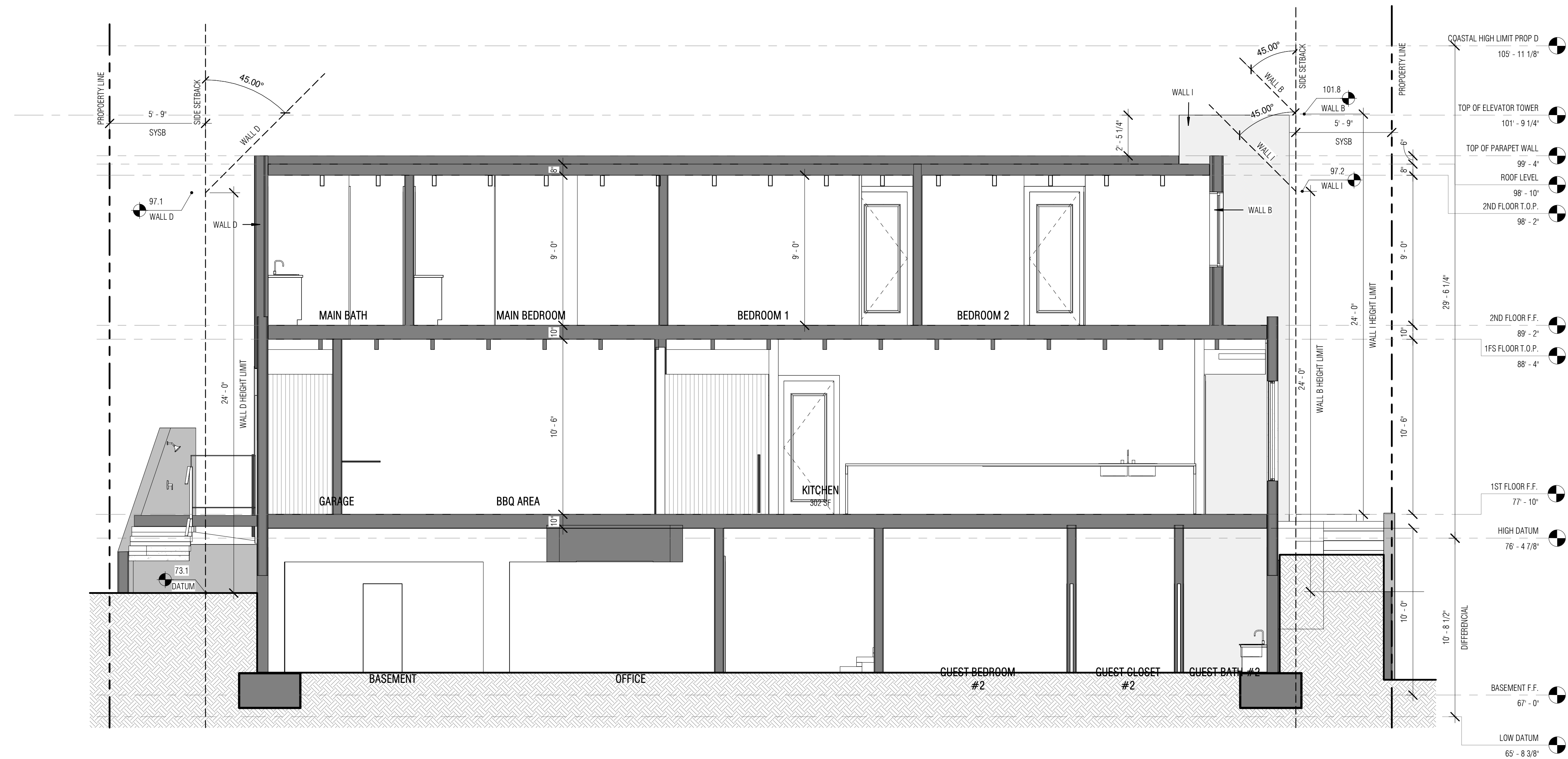
- 1 PROPOSED INFINITY POOL
- 2 PROPOSED GLASS RAILING
- 3 PROPOSED COLUMNS PER STRUCTURAL

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT:

DESIGN SIGNATURE REQUIRED _____ DATE _____

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RESIDENCE**

COASTAL SET
COASTAL DEVELOPMENT
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1 SECTION 1
1/4" = 1'-0"

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PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

BUILDING SECTIONS

REVISION:

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RV.01 - 03/21/2023 - LJCPA

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VERIFY DIMENSIONS IN FIELD. PLEASE NOTIFY ENGINEER ANY DISCREPANCY IMMEDIATELY.

THE CONTRACTOR WILL VERIFY THESE PLANS WITH THE EXISTING BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY PRIOR TO PERFORMING ANY WD

SECTION NOTES
1. ELEVATIONS CALL-OUTS SHOWN ARE FROM TOP OF STRUCTURAL SLAB (TOS) OR TOP OF STRUCTURAL SHEATHING DIAPHRAGM (FF).
2. SEE SHEET A-3.3 AND A-3.4 FOR EXTERIOR ELEVATIONS AND EXTERIOR FINISH NOTES.

INSULATION

FLOORS	R-19
CEILLINGS	R-30
INT. WALLS	R-19
EXT. WALLS	R-21

SECTION KEYNOTES

I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT.

DESIGN SIGNATURE REQUIRED _____ DATE _____

**CARVALHO DE MENDONÇA
RESIDENCE**

COASTAL SET
COASTAL DEVELOPMENT
6208 AVENIDA CRESTA,
LA JOLLA - CA 92037-6510
PROJECT NUMBER: 1702

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DRAWN BY:

Author

DATE:

09/05/2023

PHASE:

COASTAL DEVELOPMENT

DISCRPTION:

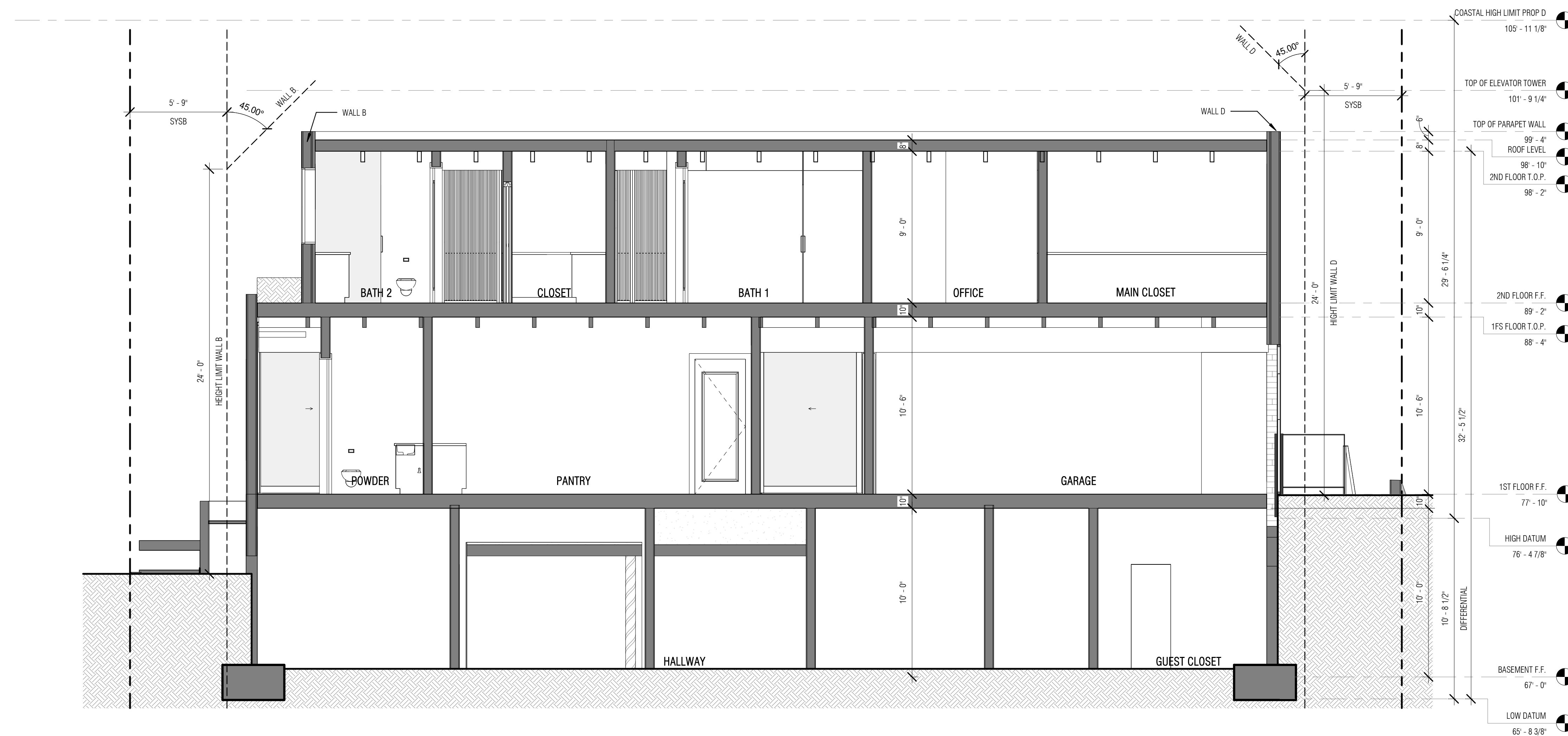
BUILDING SECTIONS

REVISION:

RV.00 - 10/27/2022 - COASTAL

RV.01 - 03/21/2023 - LJCPA

RV.02 - 09/05/2023 - COASTAL



1 SECTION 2
1/4" = 1'-0"

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INSULATION

FLOORS	R-19
CEILLINGS	R-30
INT. WALLS	R-19
EXT. WALLS	R-21

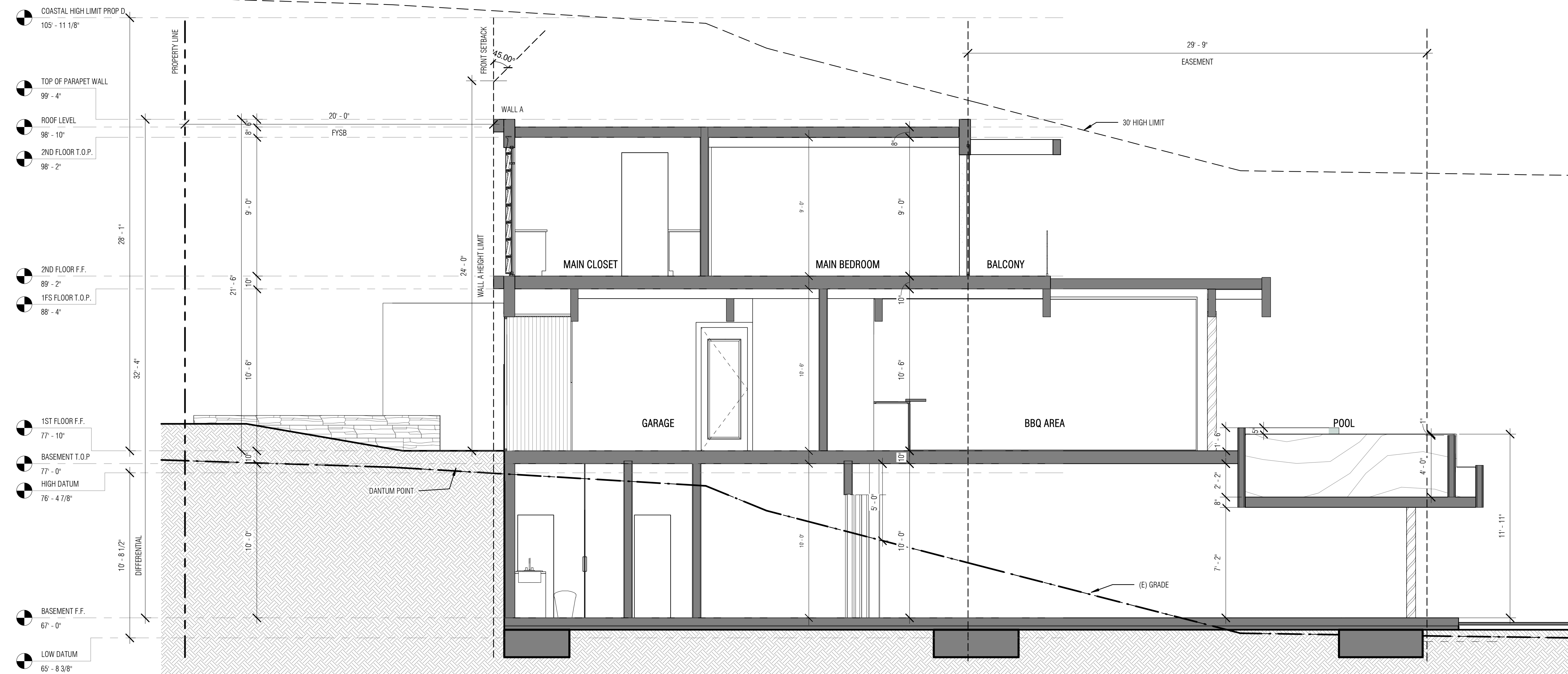
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1 SECTION 3
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INSULATION

FLOORS	R-19
CEILLINGS	R-30
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EXT. WALLS	R-21

SECTION KEYNOTES

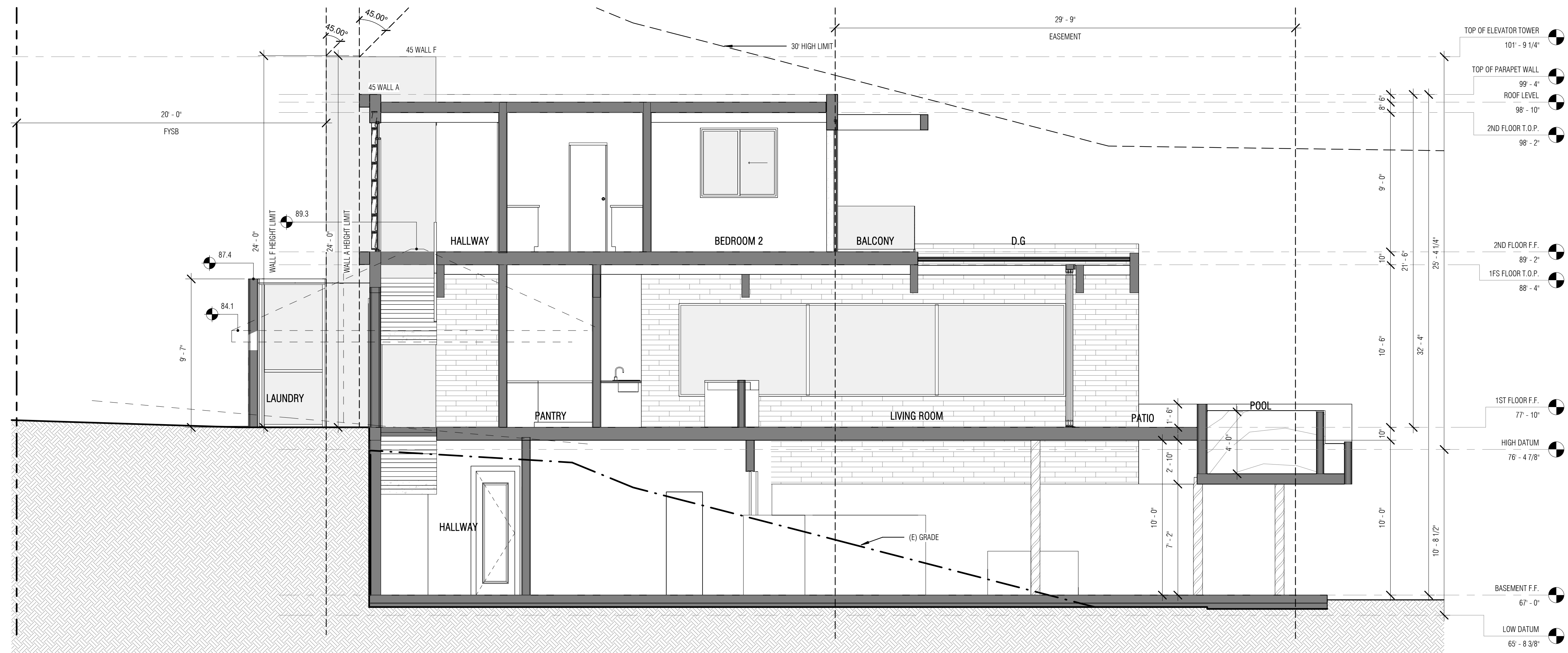
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1 SECTION 4
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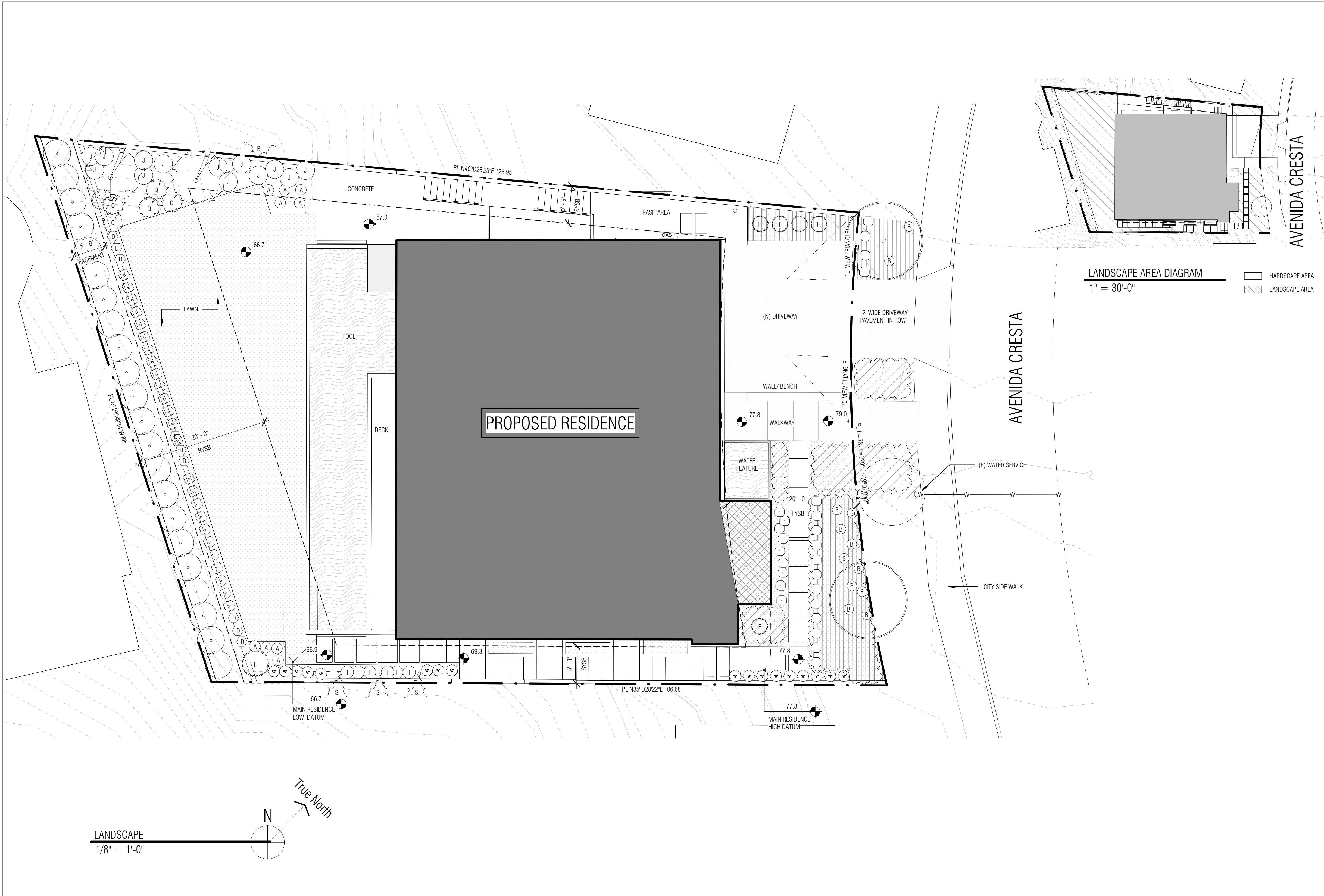
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DESIGN SIGNATURE REQUIRED

DATE



PLANT LEGEND - Front Yard Only

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WUCOLS
EXISTING STREET TREE - to remain					
[Tree Symbol]	Washingtonia robusta	Mexican Fan Palm	1	30' ht x 10' spd	
TREE					
[Tree Symbol]	Metrosideros excelsus	New Zealand Christmas Tree	2	24' Box (min)	Low
SHRUBS					
[Shrub Symbol]	Agave attenuata 'Blue Flame'	Blue Flame Agave	10	15 Gal.	Low
[Shrub Symbol]	Chondropetalum tectorum	Dwarf Cape Rush	13	5 Gal.	Low
[Shrub Symbol]	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	11	5 Gal.	Low
[Shrub Symbol]	Phormium 'Dark Delight'	Dark Delight Flax	4	15 Gal.	Low
GROUND COVERS					
[Ground Cover Symbol]	Marathon II or Festuca glauca 'Elijah Blue'	Turf / Elijah Blue Fescue	as shown	12' OC	Sod / Low
[Ground Cover Symbol]	Senecio serpens	Blue Chalk Fingers	18' OC	Flats	Low

PLANT LEGEND

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WUCOLS
EXISTING STREET TREE - to remain					
[Tree Symbol]	Washingtonia robusta	Mexican Fan Palm	1	30' ht x 10' spd	
TREE					
[Tree Symbol]	Citrus	Lemon & Lime	2	24' Box (min)	Med
[Tree Symbol]	Metrosideros excelsus	New Zealand Christmas Tree	2	24' Box (min)	Low
SHRUBS					
[Shrub Symbol]	Agave attenuata 'Blue Flame'	Blue Flame Agave	10	15 Gal.	Low
[Shrub Symbol]	Aloe striata	Coral Aloe	10	1 Gal.	Low
[Shrub Symbol]	Chondropetalum tectorum	Dwarf Cape Rush	13	5 Gal.	Low
[Shrub Symbol]	Coprosma repens 'Marble Queen'	Marble Queen Mirror Plant	6	5 Gal.	Medium
[Shrub Symbol]	Dianella tasmanica 'Destiny'	Destiny Variegated Flax Lily	6	5 Gal.	Medium
[Shrub Symbol]	Diets grandiflora 'Variegata'	Variegated Fournight Lily	9	1 Gal.	Low
[Shrub Symbol]	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	19	5 Gal.	Low
[Shrub Symbol]	Phormium 'Dark Delight'	Dark Delight Flax	5	15 Gal.	Low
[Shrub Symbol]	Pittosporum crassifolium 'Nana'	Dwarf Karo	12	5 Gal.	Medium
[Shrub Symbol]	Rhaphiolepis umbellata 'Minor'	Indian Hawthorn	13	5 Gal.	Low
VINES/ESPALIER					
[Vine Symbol]	Bougainvillea 'Double Delight'	Bougainvillea - espalier	1	5 Gal.	Low
[Vine Symbol]	Trachelospermum jasminoides	Star Jasmine	3	5 Gal.	Medium

GROUND COVERS

[Ground Cover Symbol]	Festuca glauca 'Elijah Blue' or Marathon II or Turf	Elijah Blue Fescue or Turf	as shown	12' OC	Sod / Low
[Ground Cover Symbol]	Marathon II or Paspalum	Turf	as shown	12' OC	Sod / Low
[Ground Cover Symbol]	Senecio serpens	Blue Chalk Fingers	18' OC	Flats	Low

PLANTING NOTES

- PREPARE ALL PLANTING AREAS AS FOLLOWS. ALL QUANTITIES ARE BASED ON 1000 SQ. FT. SCARIFY EXISTING SOIL TO A DEPTH OF 8"; REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPSUM, 10 LBS. IRON SULPHATE, 50 LBS. TRIC-HUMATE AND 15 LBS. 6-20-20 FERTILIZER (EXCLUDING SLOPES TO BE HYDROSEDED OR SLOPES EQUAL TO OR GREATER THAN 2:1). ROTOTILL IN TWO DIRECTIONS ALL AMENDMENTS INTO THE TOP 8" OF EXISTING SOIL. RAKE TO GRADE AND IRRIGATE THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. CONTRACTOR SHALL OBTAIN A SOILS ANALYSIS TEST WITH AT LEAST TWO SOILS SAMPLES OF FINAL FINISH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TEST KITS ARE AVAILABLE BY CALLING 1-800-927-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION BID TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ ROUND-UP. WAIT TWO WEEKS MIN. AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED ERADICATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE-OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- ALL NEWLY INSTALLED TREES SHALL BE RESTAKED WITH 2" DIA. LODGE POLE(S) OUTSIDE OF THE ROOTBALL. 15 GAL. TREES SHALL BE STAKED WITH (1) LODGE POLE ON THE WINDWARD SIDE OF THE TREE. 74" BOX TREES SHALL HAVE (2) LODGE POLES OPPOSITE OF EACH OTHER. TREES LARGER THAN 24" BOX SHALL BE GUYED. INSTALL (2) PLASTIC CINCH TIES PER STAKE WITH ONE TWIST BETWEEN STAKE AND TRUNK.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTOR'S COST.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE 1 1/2" MINUS FOREST FINES FROM AGRISERVICE, 760-295-6255.
- ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR, INCLUDING GROUND COVER.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS, THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM ONCE A WEEK MAINTENANCE SERVICE FOR A PERIOD OF 90 DAYS (MINIMUM 12 SERVICE DAYS OVERALL) BEGINNING THE FIRST DAY AFTER FINAL APPROVAL OF JOB COMPLETION BY CLIENT AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- OWNER TO LOCATE AND STAKE PROPERTY LINES. NO DEMOLITION, CONSTRUCTION OR PLANTING SHALL OCCUR OUTSIDE OF PROPERTY LINE WITHOUT PROPERTY OWNERS CONSENT.
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ANY AND ALL WORK WITHIN THE RIGHT OF WAY (OUTSIDE THE PROPERTY LINES) AS WELL AS WITHIN THE BOUNDS OF THE PROPERTY.
- OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING. PLANT MATERIAL SHALL BE WATERED PERIODICALLY AT SUCH TIME JUST PRIOR TO LEAF WILTING. ADJUST WATERING TO ACCOMMODATE FOR VARIATIONS IN RAIN FALL, TEMPERATURE, SOLAR EXPOSURE AND SEASONAL CHANGES FOR EACH PLANT.
- OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS TOWARDS SUBSURFACE DRAINAGE OR OFF SITE STORM DRAIN SYSTEMS AT A MINIMUM OF 2% SLOPE.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- ALL PLANTING AREAS PREVIOUSLY COVERED WITH CONCRETE, ASPHALT OR ANY OTHER IMPERVIOUS MATERIAL SHALL BE RIPPED TO AND DEPTH OF 12", AMENDED AS PER APPROVED SOILS REPORT AND TREATED WITH SARVON SOIL TREATMENT PER MANUFACTURERS SPECIFICATIONS.
- POST FERTILIZATION FOR ALL PLANTING AREAS (16-6-8) SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- MINIMUM TREES SEPARATION DISTANCE:
TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
UNDERGROUND UTILITIES LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTION (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. WICHMANN LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL TAG AND PHOTOGRAPHY ALL SELECTED TREES AND SPECIMEN PLANTS AT THE NURSERY. PHOTOGRAPHS OF TAGGED TREES AND SPECIMEN PLANTS SHALL BE SUPPLIED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANT MATERIAL BEING SHIPPED AND OR PICKED-UP FROM NURSERY.
- NOTICE TO GENERAL CONTRACTOR: GENERAL CONTRACTOR SHALL COORDINATE PRIOR TO CONSTRUCTION ALL 110 ELECTRICAL SERVICE SHOWN OR NOT SHOWN ON LANDSCAPE PLAN, IRRIGATION PLAN OR LOW-VOLTAGE LIGHTING PLAN INCLUDING BUT NOT LIMITED TO SWITCHED AND UNSWITCHED OUTLETS IN THE LANDSCAPE. POWER SUPPLY TO LOW-VOLTAGE LIGHTING TRANSFORMERS, IRRIGATION CONTROLLERS, ETC.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES.
- ROOT TREE BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMC 142.0411
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

LANDSCAPE AREA CALCULATIONS

Lot Size	8,746 sq. ft.
Planting Area Required	2,187 sq. ft.
Planting Area Provided	3,157 sq. ft.
Percent of Landscape Area (MIN 25%)	36.1%

PREPARED BY:

NAME: WICHMANN LANDSCAPE ARCHITECTURE
 ADDRESS: 405 VIA DEL NORTE LA JOLLA, CA 92037
 PHONE #: 858-459-9220

REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: _____
 REVISION 3: _____
 REVISION 2: _____
 REVISION 1: _____



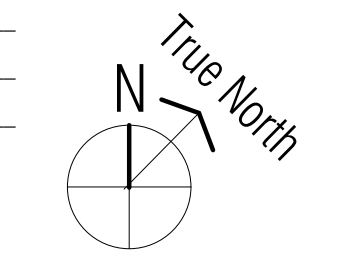
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 LA JOLLA, CA 92037

SHEET TITLE:

PLANTING PLAN

ORIGINAL DATE: 03/02/2021
 SHEET: 5 OF 17
 PTS#: 0690811



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 LA JOLLA - CA 92037-6510

WICHMANN
 LANDSCAPE ARCHITECTURE
 405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6751
 858-459-9220

JOB # B2102

DATE	DRAWN BY	REVISIONS
4/28/21	SW	2/28/22 AS PER CITY REVIEW

L1.1
 RV.02

**CARVALHO DE MENDONÇA
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