



THE CITY OF SAN DIEGO

Report to the Historical Resources Board

DATE ISSUED: November 2,, 2022 REPORT NO. HRB-22-050

HEARING DATE: November 17, 2022

SUBJECT: **ITEM #03 – Air Rights Tower Site Development Permit/Coastal Development Permit (HRB #283 – Andrew Cassidy Home)**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\) link](#)

APPLICANT: Jman Investments, Inc. / Jman at the Barrio, LLC

LOCATIONS: 1620 Union Street (west side of Union Street between West Date and West Cedar streets in the Little Italy neighborhood of the Downtown Community Plan area, Council District 3, APN 533-353-11-00)

2642-2648 Newton Avenue (north side of Newton Avenue between South 26th and South 27th streets in the Barrio Logan Community Plan area, Council District 8, APN 538-751-21-00, -22-00, and -23-00)

DESCRIPTION: Recommend to the Planning Commission adoption of the mitigation measures and findings associated with the Site Development Permit (SDP) as presented or recommend inclusion of additional permit conditions related to a designated historical resource.

STAFF RECOMMENDATION

Recommend to the Planning Commission approval of the findings and mitigation measures associated with the SDP related to the designated historical resource currently located at 1620 Union Street (HRB Site No. 283, Andrew Cassidy Home) as presented.

BACKGROUND

San Diego Municipal Code (SDMC) Section 126.0503(b)(2) requires a recommendation from the Historical Resources Board (HRB) prior to the Planning Commission decision on a SDP when a historical district or designated historical resource is present. The HRB has adopted the following procedure for making recommendations to decision-makers (Historical Resources Board Procedures, Section II.B):

When the HRB is taking action on a recommendation to a decision- maker, the Board shall make a recommendation on only those aspects of the matter that relate to the historical

aspects of the project. The Board's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the SDP findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the Board desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

Designated in 1990, the Andrew Cassidy Home is currently listed in the City of San Diego Register of Historical Resources as HRB Site No. 283 (Resolution R-90082213) ("Resource"). The Resource was constructed in 1888 in the Queen Anne Cottage architectural style. It is a one-story building constructed by Mr. Andrew Cassidy that is considered an example of the type of residence built to accommodate the influx of people moving to San Diego in the 1880's population boom that followed the completion of the transcontinental railroad connection. The historical designation resolution states that the Resource is architecturally significant because it reflects Victorian era craftsmanship and ornamentation and part of an intact collection of Victorian houses still on their original sites that reflect the early development of Downtown at the turn of the century. Over the years, however, many of the original Victorian homes in the vicinity of the Resource have been demolished, relocated, or substantially altered. The Resource was leased to various residential tenants and most recently used as office space.

The Resource is located within the Little Italy neighborhood of the Downtown Community Plan (DCP) area. The Little Italy neighborhood is envisioned in the DCP to continue to evolve as a cohesive, mixed use waterfront neighborhood. Redevelopment efforts in Little Italy will underscore the neighborhood's historic and contemporary qualities, with strategic intensification to accomplish housing goals and increase neighborhood vitality. The Resource is proposed to be relocated to a site within the Barrio Logan Community Plan (BLCP) area, which recommends that redevelopment of the neighborhood expands the population to increase the economic viability of the community. The BLCP also recommends the addition of new housing in established housing areas and infilling underutilized lots.

The Project was previously presented to the HRB on March 24, 2022 as part of a two-site project that also included a development at 2642-2648 Newton Avenue for the construction of a three-story, 33'-9" tall mixed-use development with 14 dwelling units (DU) (including two affordable DU) and 7,964 square feet (SF) of warehouse space. Following the HRB meeting, the relocation of the Resource and the development at 1620 Union Street was withdrawn. The development at 2642-2648 Newton Avenue was considered separately and approved by the City of San Diego on July 8, 2022 through Coastal Development Permit (CDP) No. 694291. An application for the current Project as described below was submitted on July 25, 2022.

PROJECT DESCRIPTION

The Project consists of a SDP for the relocation of the Resource from 1620 Union Street in the DCP area (Council District 3) ("Little Italy site") to 2642-2648 Newton Avenue in the Barrio Logan Community Plan (BLCP) area (Council District 8) and within the Coastal Overlay Zone ("Barrio Logan site"). Once the Resource is relocated, the 5,013 SF Little Italy site is proposed to contain new construction of 24-story, 250-foot tall residential development with 73 dwelling units (DU) (including

eight affordable DU) and 70 parking spaces in an automated mechanical parking garage (Attachment 3). The Resource is proposed to be placed along the street frontage of the Barrio Logan site and contain two DU (Attachment 4). The Barrio Logan site is within the Coastal Overlay Zone, within which a CDP is required for any new construction, including the placement of the relocated Resource.

The Project on the Little Italy site is utilizing the Complete Communities Housing Solutions Regulations (CCHSR) (Chapter 14, Article 3, Division 10 of the SDMC) by providing 15% of the total DU in the Base FAR (20 DU) for rent by low income households at a cost that does not exceed 30% of 50% of the area median income (AMI) (3 DU), 15% for rent by moderate income households at a cost that does not exceed 30% of 120% of AMI (3 DU), and 10% for rent by low income households at a cost that does not exceed 30% of 60% of AMI (2 DU). A Project proposing development that is consistent with the requirements of the CCHSR is entitled to unlimited FAR per SDMC Section 143.1010(a)(1) and unlimited waivers from development regulations per SDMC Section 143.1010(j)(4). The Project on the Little Italy site proposes a FAR of 21.91 and the ten waivers, as listed on the Project Data Sheet (Attachment 1).

ANALYSIS

The Project proposes to relocate the Resource from the Little Italy site to the Barrio Logan site and proposes new construction the Little Italy site and the reuse of the Resource as residential DU on the Barrio Logan site. The development plans for the Little Italy site are included as Attachment 3 and the relocation plans for the Barrio Logan site are includes as Attachment 4.

The proposed relocation of the Resource is not consistent with the Secretary of Interior Standards for the treatment of historical properties which is, by definition, a substantial alteration requiring an SDP, consistent with SDMC Section 143.0250(a)(3). Specific SDP Supplemental Findings are required for projects proposing substantial alterations (including relocation) to a designated historical resource or within a historical district, including findings that require analysis of alternatives that could minimize the potential adverse effects on the Resource.

The required SDP Supplemental Findings regarding the Project's proposed substantial alteration to the Andrew Cassidy Home and supporting information are below. The Applicant-submitted Draft SDP findings are included as Attachment 9.

1. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.

The historical resource, the Andrew Cassidy Home, HRB Site No. 283 ("Resource"), was designated based on its architectural significance as a good example of the Queen Anne cottage design and as part of a significant, intact collection of Victorian houses still on their original sites which reflect the early development of Downtown at the turn of the century.

The Project proposes the relocation of the existing Resource, rehabilitating the structure at the receiver site in Barrio Logan and constructing a new 24-story residential tower with eight levels of fully automated mechanical parking, 73 residential dwelling units, of which eight are deed-restricted low and moderate income per the Complete Communities Housing Solutions

Regulations (CCHSR) on the Little Italy site. The relocation of the Resource to a currently empty lot in Barrio Logan is not consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties due to the loss of integrity of location, setting, and association.

The Applicant retained London Moeder Advisors (LMA) to conduct an economic analysis of the proposed Project (“Base Project”) and two alternative designs. The designs were previously reviewed and approved by Historical Resources staff and the Historical Resources Board’s Design Assistance Subcommittee. A summary of the analyzed projects is located in the table below:

Alternative	Description
BASE	Relocate the Resource, rehabilitate the historic structure on the new Barrio Logan site and construct a 24-level, 73-unit new development at Little Italy site
1	Rehabilitate and maintain the existing 1,470 SF historic structure on the current site as a single-family residence
2	Rehabilitate and integrate the existing 1,470 SF historic residence into new development on the current site by partially demolishing the existing structure and constructing a 46-unit building

As demonstrated by the LMA analysis, the Base Project, which proposes relocation of the Resource and the construction of 73 dwelling units, was the only economically feasible option because both the Yield on Cost (YOC) and Internal Rate of Return (IRR) exceed the thresholds as identified in the LMA analysis required to make a project financially feasible. In contrast, the LMA analysis concluded that the two alternatives that included retaining the Resource on site (and thus had less impact on the Resource) are not economically feasible due to the reduced amount of revenue-producing residential dwelling units. Integrating the Resource into the new development (Alternative 2) was found to not be economically feasible in the LMA analysis and would also result in significant impacts to the Resource. The confined nature of the project site is physically challenging and integrating the Resource into the new development would result in an increase of construction costs as well as a decrease in the number of residential units when compared to the Base Project. This alternative does not achieve the required minimum yield on cost or internal rate of return which demonstrates that it is not economically feasible. Additionally, Alternative 2 would result in the loss of approximately 51% of the existing historic structure due to the construction of an eight-story tower to accommodate an additional 46 dwelling units. Alternative 1 has the least impact on the historic integrity of the Resource but is not economically feasible due to the high cost of land and the relatively low income produced by renting a single-family dwelling. Additionally, this alternative would not provide additional units because it is infeasible to construct any additional residential units on site and maintain the integrity of the historic resource due to the small lot size. In this scenario, the reduction of revenue producing units is unable to support the total project costs consisting of purchasing the land and renovating the historic structure. Alternative 1 does not achieve the required minimum

yield on cost or internal rate of return, which demonstrates that Alternative 1 is not economically feasible. The Base Project, while not the project that has the least adverse impacts to the integrity of the Resource, is the only economically feasible alternative and provides a balance between development of the site and preservation of the historic structure. Therefore, there are no feasible measures, including maintaining the Resource on site, that can further minimize the potential adverse effects on the Resource.

2. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The Project proposes to relocate the existing Resource, the Andrew Cassidy Home, to a currently vacant lot in Barrio Logan on Newton Avenue. that was approved by the City of San Diego on July 8, 2022 (CDP No. 694291) to contain a three-story, 33'-9" tall mixed-use development with 14 dwelling units (DU) (including two affordable DU) and 7,964 square feet (SF) of warehouse space constructed along the rear of the property. The new structure will be at the rear of the receiver site and will not have a significant impact on the relocated Resource's integrity of feeling, setting or association. The proposed relocation site is located primarily in the vicinity of single-family residential structures from the early twentieth century. The sizing and massing of the houses surrounding the Barrio Logan site is comparable to the historic structure and the location provides an appropriate setting for the Queen Anne style resource originally constructed in 1888.

In order to mitigate for the impacts to the Resource the applicant will be required to submit Historic American Building Survey (HABS) documentation, a Treatment Plan and Monitoring Plan. A set of HABS drawings and photos documenting the historic resource will be created prior to relocation to document the architecturally significant building in its current condition. The Treatment Plan and accompanying drawings specifies the methodology behind relocation of the structure and its treatment at the new location. During relocation, the resource will be transported in two pieces because it is necessary to remove eight feet of roof to avoid interference with the overhead MTS Trolley lines encountered on the route from Little Italy to Barrio Logan. Once at the new location, the resource will be restored consistent with the Secretary of the Interior's Standards and non-original features will be removed. A Monitoring Plan will be established that requires a Historical Monitor to document the relocation of the historic structure and submit reports to City staff for review. Preconstruction meetings will also be held at both sites prior to the relocation. The Treatment and Monitoring plans outline the steps necessary to relocate the historic structure and monitor progress of this project. Therefore, the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The Resource was designated based on its architectural significance as a good example of the Queen Anne cottage design and as part of a significant, intact collection of Victorian houses still on their original sites which reflect the early development of downtown at the turn of the century. Through the HABS documentation, and implementation of the Treatment and Monitoring Plans, the proposed relocation will not destroy the Resource's significance as a Queen Anne cottage. At the time of designation, the Resource was located

on the west side of the 1600 block of Union Street, which contained five consecutive intact Victorian residences from the 1880s and 1890s. All five structures were designated by the HRB. The integrity of this row of residences has been significantly impaired by the demolition of the Oscar M. Millard Residence at 1610 Union Street (HRB No. 282), approved by City Council in 2017 under Centre City Development Permit, Centre City Planned Development Permit, Site Development Permit No. 2016-39, and the alteration of the residence at 1632 Union Street (HRB No. 123). In its current location, the Andrew Cassidy Home is no longer a part of an intact collection of Victorian residences; therefore, relocation would not destroy the historical, cultural or architectural values of the designated historical resource.

3. There are special circumstances or conditions apart from the existence of historical resources, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.

The Project includes relocation of the Resource from the Little Italy site to the Barrio Logan site, and construction on the Little Italy site of a high-density residential development on a 5,000 SF lot that, despite its small lot size, proposes 73 DU, which equates to approximately 663 units per acre. The relatively small lot size for a Downtown property is a development constraint that is compounded by the presence of the Resource on-site. Historically, each block in the Downtown area was subdivided into twelve 5,000 SF parcels. However, over the years, as allowable densities have increased and construction types have modernized, larger developments were accommodated by combining lots into larger parcels that provided more buildable area, making 5,000 SF lots less common.

The goals and policies of the DCP also generally stipulate that historical resources should be retained on-site and integrated into the Downtown fabric in a way that contributes to the achievement of the goals for significant development and population intensification (DCP, 9.2-G-1); however, one of the guiding principles of the DCP is to create an intense yet always livable community with a substantial and diverse Downtown population. An intense downtown is central to not only fostering vibrancy, but also to curtailing regional sprawl and minimizing growth pressures in mature neighborhoods. Increased residential population will contribute to Downtown's vitality, improve economic success, and allow people to live close to work, transit, and culture (DCP, Sec. 1.1). In pursuit of this, the goals and policies of the DCP target a residential population of approximately 90,000, and downtown employment of over 165,000 by 2030 (DCP, 3.2-G-1), which is accomplished by maintaining high overall intensities across Downtown to use land efficiently (DCP, 3.2-G-2).

Strict application of the Historical Resources Regulations and maintaining the Resource on-site would limit the buildable area for any new development, as the Resource currently occupies approximately 36% of the lot area. The resulting development on the remainder of the already-constrained site is estimated in the LMA analysis to yield a total of 46 DU, which is 27 DU less than the proposed Project. In contrast, the relocation of the Resource allows the amount of available buildable land on the small lot to be maximized, thereby using the land efficiently to advance the goal of achieving the target population by providing 73 new DU, while also avoiding total demolition of the Resource by relocating it to a compatible

neighborhood. The Project on the Little Italy site is further optimizing the use of the site by utilizing the CCHSR, which allows for unlimited FAR on this site and throughout Downtown and waivers from the development regulations of the Centre City Planned District Ordinance. Due to the small lot size, with strict application of the Historical Resources Regulations, the Project would not be able to fully take advantage of the housing and development tools provided by the SDMC, while also accommodating retention of the Resource and maintaining a financially feasible project.

To demonstrate the financial feasibility of the Project on the Little Italy site, the Applicant retained London Moeder Advisors (LMA) to conduct an economic analysis of the proposed Project (“Base Project”) and two alternative designs for potential feasible measures to avoid the relocation of the Resource. The LMA analysis used the Yield on Cost (YOC) and Internal Rate of Return (IRR) as measures to determine the economic feasibility of each alternative. As stated in the LMA analysis, for a rental residential project to be economically feasible, it must achieve a minimum YOC of 1.5% and an IRR of 13% to 15% or higher; anything less would be unlikely to attract investors and achieve project financing. The table below summarizes the conclusions of the LMA analysis for each alternative.

Alternative	YOC Min: 1.5%	IRR Min: 13%
Base	5.6%	18.4%
1	1.4%	None
2	4.2%	8.9%

Alternative 1 proposed a full rehabilitation of the Resource and reuse as a single-family home rental. As demonstrated, due to the cost of rehabilitation and the land, Alternative 1 ultimately produces no financial return for the property owner, rather it results in a loss of approximately \$1.2 million. Alternative 2 maintained the Resource on-site and incorporated it into a new development on the site. Although maintaining most of the Resource on-site, Alternative 2 limits the buildable area of the site and results in a smaller project that would otherwise be achieved, producing 46 DU instead of the proposed Project’s 73 DU, which results in a YOC and IRR below the threshold of financing threshold. The LMA analysis shows that the Base Project is the only financially feasible project and each alternative that strictly applies the provisions of the Historical Resources Regulations to maintain the Resource on-site would result in a financial loss and therefore deprive the owner of a reasonable use of the land.

Therefore, the small lot size is a special circumstance apart of the existence of the Resource that applies to the land that is peculiar and not of the applicant’s making, whereby strict application of the provisions of the Historical Resource Regulations and retention of the Resource on-site would prevent the development of a financially feasible project, thereby depriving the property owner of reasonable use of the land.

The Resource on the Little Italy site is currently a Mills Act property. The disposition of the contract is not a part of the action in front of the Historical Resources Board.

The Project on the Little Italy site was presented to the Downtown Community Planning Council on September 15, 2021 and they voted 10-0 with one abstention to recommend approval. The Project on the Barrio Logan site was presented to the Barrio Logan Community Planning Group on October 20, 2021 and they voted 11-0 to recommend approval.

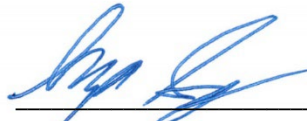
City Staff from the Urban Division and Historic Resources Division believe that there is sufficient evidence to support the SDP Supplemental Findings related to the Resource. In addition, Staff believes that the proposed mitigation measures of the Mitigation Monitoring and Reporting Plan (MMRP) (Attachment 7) and draft permit conditions (Attachment 5 and 6) are sufficient to mitigate to below a level of significance of impacts of the relocation of the Andrew Cassidy Home.

CONCLUSION

Staff recommends that the HRB recommend to the Planning Commission adoption of the mitigation measures and findings associated with the SDP related to the designated historical resource.



James Alexander
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Urban Division, DSD



Suzanne Segur
Senior Planner
Historical Resources Section, DSD

Attachments:

1. Project Data Sheet
2. Project Location Map
3. Development Plans (Little Italy site)
4. Relocation Plans (Barrio Logan site)
5. Draft Permit (Little Italy site)
6. Draft Permit (Barrio Logan site)
7. Downtown FEIR Consistency Evaluation
8. London-Moeder Advisors Economic Analysis of Alternatives
9. Applicant-submitted Draft SDP Findings
10. Historical Resource Technical Report
11. Historic American Building Survey (HABS) documents
12. Historical Resource Treatment Plan with drawings
13. Historical Resource Monitoring Plan
14. Community Planning Group Recommendation

**PROJECT DATA SHEET
PROJECT NO. 1066848**

Project Address	1620 Union Street										
Assessor's Parcel No.	533-353-11-00										
Site Area	5,013 SF										
Community Plan Area	Downtown										
Land Use District	Centre City Planned District—Residential Emphasis										
Min. FAR	3.5										
Base Max. FAR	6.0										
Max. FAR w/CCPDO Bonuses	8.0										
Max. FAR w/Complete Communities	Unlimited*										
Proposed FAR	21.91										
FAR Bonuses Proposed	+15.91 – Complete Communities										
Total Above-Grade Gross Floor Area	109,546 SF										
Stories/Height	24 stories / 250 feet										
Number of Dwelling Units	73										
Amount of Non-Residential Space	None										
Housing Units Summary	<table> <tr> <td>Total</td> <td>73</td> </tr> <tr> <td>Studios</td> <td>10</td> </tr> <tr> <td>1 Bedroom</td> <td>47</td> </tr> <tr> <td>2 Bedroom</td> <td>15</td> </tr> <tr> <td>3 Bedroom</td> <td>1</td> </tr> </table>	Total	73	Studios	10	1 Bedroom	47	2 Bedroom	15	3 Bedroom	1
Total	73										
Studios	10										
1 Bedroom	47										
2 Bedroom	15										
3 Bedroom	1										
Number of Buildings over 45 Years Old	1 – Andrew Cassidy Home, HRB Site No. 283 (constructed in 1888); relocated to 2642-2648 Newton Avenue										
Inclusionary Affordable Housing Compliance	Compliance with the Inclusionary Housing Ordinance will be provided on-site with 8 affordable units.										
On-Site Parking	<table> <tr> <td>Automobile</td> <td>70</td> </tr> <tr> <td>Motorcycle</td> <td>0**</td> </tr> <tr> <td>Bicycle</td> <td>16</td> </tr> </table>	Automobile	70	Motorcycle	0**	Bicycle	16				
Automobile	70										
Motorcycle	0**										
Bicycle	16										
Adjacent Properties	North – Multi-family residential (3 stories) South – Multi-family residential (8 stories) East – Hotel (20 stories) West – Surface parking lot										
Deviations	See below**										
Community Planning Group Recommendation	Presented to Downtown Community Planning Council on September 15, 2021 and voted 10-0 with one abstention to recommend approval.										

* A Project proposing development that is consistent with the requirements of the Complete Communities Housing Solutions Regulations (CCHSR) is entitled to unlimited FAR per Sec. 143.1010(a)(1) of the San Diego Municipal Code (SDMC).

** A Project proposing development that is consistent with the requirements of the CCHSR is entitled to unlimited waivers from development regulations per Sec. 143.1010(j)(4) of the SDMC. The Project on the Little Italy site proposes the following waivers:

1. Driveway Width (Sec. 142.0560(j)(1)) – Reduce the minimum driveway width from 14 feet to 10 feet.
2. Refuse and Recycling (Sec. 142.0820(b)) – Reduce the minimum refuse and recycling storage area from 288 SF to 145 SF.
3. Tower Setbacks (Sec. 156.0310(d)(3)(E)) – Reduce the tower setback from interior property lines from ten feet to three feet on both the north and west tower elevations.

ATTACHMENT 1

4. Common Indoor Space (Sec. 156.0310(g)(2)) – Reduce the minimum area of common indoor space from 500 SF to zero SF.
5. Private Open Space (Sec. 156.0310(g)(3)) – Reduce the minimum area of private open space from 40 SF to 36 SF.
6. Pet Open Space (Sec. 156.0310(g)(5)) – Reduce the required pet open space from 100 SF to zero SF.
7. Transparency (Sec. 156.0311(d)(1)) – Reduce the minimum ground level transparency from 60% of the building façade to 28%.
8. Oriel Windows (Sec. 156.0311(h)(2)) – Increase the maximum width of oriel windows from 12 feet to 19'-4" and increase the maximum façade coverage of oriel windows from 30% to 76.3%
9. Electric Vehicle Parking (Sec. 156.0313(a)(2)(C)) – Reduce the number of required electric vehicle parking spaces from seven to six.
10. Motorcycle Parking (Sec. 156.0313(a)(2)(D)) – Reduce the number of required motorcycle parking spaces from seven to zero.

PROJECT LOCATION MAP
PROJECT NO. 1066848



PROJECT LOCATION MAP
PROJECT NO. 1066848





AIR RIGHTS TOWER
 1620 Union Street San Diego Ca, 92101
 JONATHAN SEGAL / FAIA
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # _____

SHEET TITLE _____

TITLE SHEET _____

SCALE _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

REVISION 5: _____

REVISION 6: _____

SHEET _____ OF _____

SHEET NAME _____

T1.0

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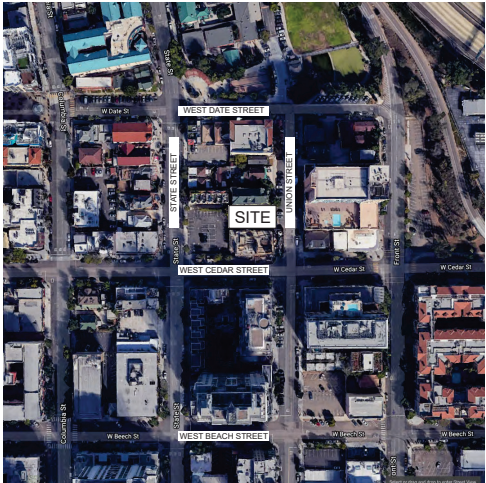
PROJECT DATA

REQUESTED WAIVERS:	
PERSONAL STORAGE	REQUIRED: EACH UNIT REQ'D TO HAVE 240. C.F. PROPOSED: 26 TOTAL STORAGE UNITS APPROXIMATELY 10,000 C.F.
DRIVEWAY CURB CUTS:	142.50V REQUIRED: 20 FEET (20 PARKING SPACES) 14 FEET (6+ UNITS) PROPOSED: 10FT CURB CUT W/ 10 FT DRIVEWAY
MOTORCYCLE PARKING:	156.0313(a)(2)(D) REQUIRED: 7 PROPOSED: NONE PROVIDED
EV PARKING:	REQUIRED: 7 PROVIDED: 6 LOCATIONS W/ AUTOMATIC GANTRY ONSITE 1 LOCATION AT 320 WEST CEDAR STREET ADJACENT PER SHARED AGREEMENT
NORTH SETBACK:	156.0310(3)(E)(I) REQUIRED: 10 FEET PROPOSED: 3'-0" FROM PL @ GRND LEVEL TO ROOF FOR 100 FEET LINEAR FT
WEST SETBACK:	156.0310(3)(E)(I) REQUIRED: 10 FEET PROPOSED: 3'-0" FROM PL @ GROUND LEVEL TO 70'-0" FOR 46'-0" LINEAR FT 3'-0" FROM PL @ 70'-1" TO ROOF FOR 26'-0" LINEAR FEET 15'-8" FROM PL @ 70'-1"
EAST ORIEL WINDOWS:	153.0311(h) REQUIRED: MAXIMUM WIDTH 12'-0" SEPARATED BY 6'-0" NO MORE THAN 30% OF BUILDING FACADE PROPOSED: (1) 16'-4" WIDE FROM 16'-0" FT ABOVE GROUND TO ROOF (2) 15'-3" WIDE FROM 92'-0" FT ABOVE GROUND TO ROOF 78.3% OF ELEVATION
COMMON OUTDOOR SPACE:	156.0310(g)(1) REQUIRED: MINIMUM DIMENSION 30 FT BOTH DIRECTIONS ONE DIMENSION TO BE MINIMUM OF 30 FT PROPOSED: ONE DIMENSION TO VARY FROM 8'-0" FT TO 15'-0" MIN
PET OPEN SPACE:	REQUIRED: 100 SQ FT PROPOSED: NONE PROPOSED
PRIVATE OUTDOOR SPACE:	REQUIRED: 50% OF UNITS, MIN 40 SF PROPOSED: 90% OF UNITS HAVE PATIOS W/ MINIMUM 36 SQ FT PATIO
INDOOR COMMON AREA SPACE:	REQUIRED: 500 SQ FT PROPOSED: NONE PROPOSED
GROUND FLOOR TRANSPARENCY:	156.0311(f)(1) REQUIRED: 60% BETWEEN 3-12 FT ABOVE SIDEWALK 9'-0" x 49'-6" = 331.86 SQFT REQ'D 202.72 PROPOSED: 92.97 SF & 28.01%
REFUSE AND RECYCLING AREA:	142.062 REQUIRED: REFUSE: 144 SQ FT RECYCLING: 144 SQ FT PROPOSED: REFUSE/ RECYCLING AREA 1: 145 SQ FT
LOADING ZONE:	142.0625 & 142.108 REQUIRED: 1 LOADING ZONE IN EXCESS OF 100,000 GROSS SF PROPOSED: NO LOADING ZONE
AUTOMATIC WAIVERS PER CCHSR 143.1010(c)(1):	
HEIGHT LIMIT (LISA)	156.0310(c)(1) REQUIRED: BUILDING BASE MIN: 30 BUILDING BASE MAX: 50 PER FIGURE 'F' MAX OVERALL HEIGHT 150' PROPOSED: NONE PROPOSED
UNLIMITED FAR	Figure L REQUIRED: BASE MAX 6.0 PROPOSED: 21.9 FAR
TOWER LOT COVERAGE	Table 156-0310-A REQUIRED: BASE MAX 50% PROPOSED: 85.50%
STREET WALL HEIGHT	156.0310(c)(1)(A) REQUIRED: MIN: 40 FT MAX: 85 FT PROPOSED: 250 FT
LISA TOWER SETBACKS	156.0310(d)(3)(D) REQUIRED: FROM ROW: 15 FT FROM INTERIOR PROPERTY LINE: 20FT
SCALED DIF FEES	REQUIRED: DIF FEES PER UNIT PROPOSED: SCALED PER UNIT SIZE

PROJECT DATA

PROJECT ADDRESS:	
1620 UNION STREET, SAN DIEGO, CA 92101	
LEGAL DESCRIPTION:	
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, LOT 8 IN BLOCK 33 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARTITION MAP THEREOF MADE BY J.E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SAID SAN DIEGO COUNTY	
APN:	
533-353-10-11	
USE / STRUCTURES ON SITE:	
EXISTING:	SINGLE FAMILY RESIDENCE USED AS A HOSTEL TO BE MOVED
PROPOSED USE:	RESIDENTIAL DEVELOPMENT
ZONE:	
COMPLETE COMMUNITIES HOUSING TIER 1 CENTRE CITY DEVELOPMENT DISTRICT RESIDENTIAL EMPHASIS LITTLE ITALY SUN ACCESS (LISA) AIRPORT APPROACH OVERLAY (AAOZ) TRANSIT PRIORITY AREA RESIDENTIAL TANDEN PARKING FINE GRAIN OVERLAY FAA PART 77 NOTICING AREA SAN DIEGO INTERNATIONAL REVIEW AREA 2 GEOLOGIC HAZARD CATEGORY 13	
TYPE OF CONSTRUCTION:	
TYPE 1	
LOT SIZE:	
5013.44 SQ FT	
F.A.R	
ALLOWED:	UNLIMITED
PROPOSED:	21.91 (CCHSR)
BUILDING AREA:	
ALLOWED:	UNLIMITED
TOTAL GROSS BLDG AREA:	113923 (CCHSR)
TOTAL ABOVE GRADE:	109546
TOTAL BELOW GRADE:	4377
HEIGHT:	
PROPOSED:	250'-0"
PARKING:	
REQUIRED:	NO PARKING REQUIRED
MAXIMUM ALLOWED:	1 PER DWELLING UNIT
PROPOSED:	70 PARKING SPACES (FULLY AUTOMATED PARKING)
ADA SPACES:	4 VAN ACCESSIBLE ADA SPACE (FULLY AUTOMATED)
EV PARKING:	70 x 10% = 7 PROVIDED: 6 LOCATIONS ON SITE (AUTOMATED GANTRY) 1 LOCATION @ 320 WEST CEDAR STREET
MOTORCYCLE:	70/10 = 7 PROVIDED: NONE
BICYCLE (RES):	73/5 = 14.6 REQUIRED: 15 PROVIDED: 16
COMMON OUTDOOR SPACE:	
REQUIRED:	5014 x 10% = 501 SF
PROPOSED:	550 SF
PET OPEN SPACE:	
REQUIRED:	100 SF
PROPOSED:	NONE
COMMON INDOOR SPACE:	
REQUIRED:	500 SF
PROPOSED:	NONE
PRIVATE OUTDOOR SPACE:	
REQUIRED:	50% OF UNITS, MIN 40 SF
PROPOSED:	90% OF UNITS HAVE PATIOS 9 UNITS 40 SQ FT 9 UNITS 37 SQ FT 22 UNITS 39 SQ FT 22 UNITS 39 SQ FT 2 UNITS 100 SQ FT 1 UNIT 50 SQ FT 1 UNIT 250 SQ FT 1 UNIT 137 SQ FT
STORAGE: (156.0310(g)(4))	
REQUIRED:	EACH UNIT REQ'D TO HAVE 240. C.F. 73 x 340' = 25020
PROPOSED:	26 STORAGE UNITS OF VARYING SIZES = 10,000CF.
REFUSE AND RECYCLING AREA:	
REQUIRED:	REFUSE: 144 SQ FT RECYCLING: 144 SQ FT
PROPOSED:	REFUSE/ RECYCLING TOTAL AREA: 145 SQ FT

VICINITY MAP

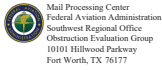


PROJECT DESCRIPTION

AIR RIGHTS TOWER IS LOCATED ON A 5,000 SQ. FT LOT AT 1620 UNION STREET BETWEEN CEDAR AND DATE STREETS IN LITTLE ITALY SAN DIEGO. THE EXISTING HISTORIC RESIDENCE WILL BE RELOCATED TO THE VACANT LOT AT 2642, 2646, 2648 NEWTON AVE, SAN DIEGO, 92113. THE NEW CONSTRUCTION PROPOSED 24-STORY PROJECT, WITH A SINGLE LEVEL UNDERGROUND PROVIDES 73 RESIDENTIAL UNITS OF WHICH 9 ARE AFFORDABLE UNITS. THE 111,795 GROSS SQ FOOT PROJECT WILL PROVIDE A VARIETY OF UNIT TYPES INCLUDING STUDIOS, ONE BEDROOM AND TWO BEDROOMS AND A 3 BEDROOM. THE PROJECT HAS A 50 FOOT STREET FRONTAGE ON UNION STREET AND IS A MID BLOCK SITE. THE PROJECT UTILIZES THE AIR RIGHTS OF THE EXISTING CORNER MICRO HOUSING DEVELOPMENT TO HAVE FULL OPENINGS ON THE INTERIOR LOT LINE ELEVATION ENABLING WINDOWS ON THE 24-STORY BUILDING ABOVE THE ADJACENT STRUCTURE. THE GROUND LEVEL IS SPLIT BETWEEN BUILDING THE RESIDENTIAL LOBBY, FIRE CONTROL ROOM AND THE AUTOMATED PARKING SYSTEM. PARKING IS PROVIDED THROUGH A SINGLE POINT OF ENTRY INTO A FULLY AUTOMATED ROBOTIC PARKING SYSTEM. THIS SYSTEM PROVIDES 70 PARKING SPACES AND FILLS THE AREA SOUTH OF THE BUILDING CORE ON LEVELS GROUND THROUGH 6, WHICH WOULD OTHERWISE BE USELESS AND DARK ADJACENT TO THE EXISTING NEIGHBORING BUILDING TO THE SOUTH. THE RESIDENTIAL UNITS BEGIN AT LEVEL TWO AND CONTINUE THROUGH THE 23RD LEVEL OF THE BUILDING. LEVEL 24 IS COMPRISED OF A SMALL PRIVATE ROOF DECK AND A 600 SQ FOOT COMMON ROOF DECK AND FACES EAST, SOUTH AND WEST.

PROJECT TEAM

OWNER:	GEOTECHNICAL ENGINEER
UNION STREET CREATIVE HOUSE LLC 989 W. KALAMIA STREET SAN DIEGO, CA 92101 952-240-2602 CONTACT: DOUGLAS HAMM EMAIL: DOUGLAS@URBANCA.COM	GECON INCORPORATED 6980 FLANDERS DRIVE SAN DIEGO, CA 92121 858-558-6900 CONTACT: SHAWN WEEDON EMAIL: WEEDON@GECONINC.COM
APPLICANT DEVELOPER:	CIVIL ENGINEER:
UMAN INVESTMENTS INC. 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 CONTACT: MATTHEW SEGAL EMAIL: MRMATTHEWSEGAL@GMAIL.COM	PASCO LARET SUITER 535 N HWY 101 SOLANA BEACH, CA 92075 858-259-8212 CONTACT: WILL MACK EMAIL: WMACK@PLSAENGINEERING.COM
ARCHITECT:	ELECTRICAL ENGINEER:
JONATHAN SEGAL FAIA 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 CONTACT: MATTHEW SEGAL EMAIL: MRMATTHEWSEGAL@GMAIL.COM	NEDC, INC 3103 FALCON STREET SUITE J SAN DIEGO, CA 92103 619-278-0076 CONTACT: DAVID NUTTER EMAIL: DAVID@NEDC.NET
STRUCTURAL ENGINEER	
DCI ENGINEERS 101 W. BROADWAY STE 1280 SAN DIEGO, CALIFORNIA 92101 619-400-1704 CONTACT: JON DECK EMAIL: JDECK@DCI-ENGINEERS.COM	



Aeronautical Study No. 2020-AWP-13014-OE

Jonathan Segal
Jman Investments Inc
3000 Lpas Street
suite 101
san diego, CA 92104

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building U-TOWER
Location: SAN DIEGO, CA
Latitude: 32-43-19.25N NAD 83
Longitude: 117-09-56.50W
Height: 71 feet site elevation (SE)
250 feet above ground level (AGL)
321 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is/are met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 707460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-0867 as a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

Page 1 of 8

This determination expires on 08/26/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by the issuing office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before March 28, 2021. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager of the Rules and Regulations Group. Petitions can be submitted via mail to Federal Aviation Administration, 800 Independence Ave, SW, Washington, DC 20591, via email at OEPetitions@faa.gov, or via facsimile (202) 267-9328.

This determination becomes final on April 07, 2021 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone - 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Cole Voad Clause Condition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does not include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall height as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative

Page 2 of 8

impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections following by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Vivian Vilars, at (847) 294-7575, or vivian.vilars@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2020-AWP-13014-OE.

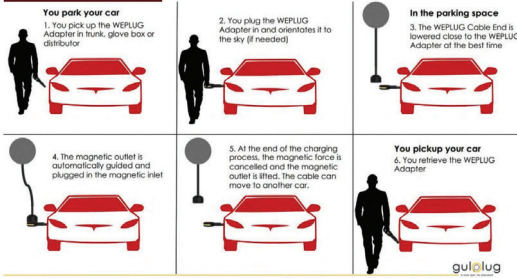
Signature Control No: 457127699-478807388 (DN1)
Mike Hevey
Manager, Obstruction Evaluation Group

Attachment(s)
Additional Information
Map(s)

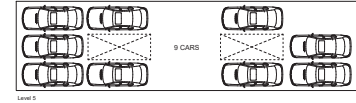
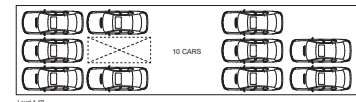
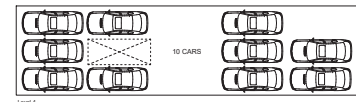
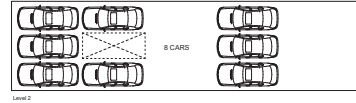
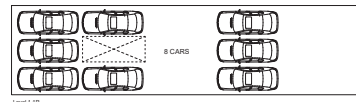
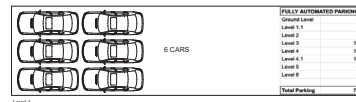
SDLofts, LLC
QUO-01228-C5K4P9 Rev 0



Typical process for the WEPLUG® system from a user's perspective



EV CHARGING GANTRY SYSTEM
SCALE: 1:1.11 T1.1



PARKING LEVEL DIAGRAM
SCALE: 1/16" = 1'-0" T1.1

Complete Communities Calculation Exhibit

Floor	Gross Area	exceeds 15 ft	Net Leasable
Phantom Floor	498 sq ft	exceeds 15 ft	0
24	4074 sq ft		0
23	3978 sq ft		2883
22	4285 sq ft		2971
21	4208 sq ft		2990
20	4262 sq ft		2897
19	4262 sq ft		2863
18	4262 sq ft		2863
17	4262 sq ft		2863
16	4262 sq ft		2863
15	4262 sq ft		2863
14	4262 sq ft		2863
13	4262 sq ft		2863
12	4262 sq ft		2863
11	4262 sq ft		2863
10	4262 sq ft		2863
9	4098 sq ft		2827
8	4119 sq ft		2863
7	4172 sq ft		2700
6	4431 sq ft		789
5	4530 sq ft		789
4	4530 sq ft		789
3.1-Parking	2508 sq ft		0
3	4520 sq ft		789
2	4258 sq ft		745
1.1-Parking	2340 sq ft		0
Phantom Floor	1821 sq ft	exceeds 15 ft	0
Ground	4308 sq ft		0
Basement		4377 sq ft	
Gross building area	100546 sq ft	Net Rentable:	52462
Base Site Area	5014 sq ft		
Base FAR	6.0		
Base Calc	30084 sq ft allowed		
Proposed Unit	73	total units (including affordable)	
Proposed FAR	21.9092		
Base unit count calc:	19.9916017		

Type	Figure	Round Up	Round Down	Percent
Low Income 30% of 50% AMI	2,999	3	2	15%
Moderate Income 30% of 125% AMI	2,999	3	2	15%
Low Income 30% of 60% AMI	1,999	2	1	10%

Total Studio	10	14%
Total 1 Bed	47	64%
Total 2 Bed	15	21%
Total 3 Bed	1	1%
Total Units	73	86%

Unit List	Unit Type	Net Rentable
Level 2	201 Studio	342
	202 Studio	403
Level 3	301 Studio	322
	302 Studio	467
Level 4	401 Studio	322
	402 Studio	467
Level 5	501 Studio	322
	502 Studio	467
Level 6	601 Studio	322
	602 Studio	467
Level 7	701 1 Bed	707
	702 1 Bed	520
	703 1 Bed	620
	704 2 Bed	653
Level 8	801 1 Bed	717
	802 1 Bed	527
	803 1 Bed	612
	804 2 Bed	1007
Level 9	901 1 Bed	717
	902 1 Bed	527
	903 1 Bed	578
	904 2 Bed	1006
Level 10	1001 1 Bed	717
	1002 1 Bed	527
	1003 1 Bed	612
	1004 2 Bed	1007
Level 11	1101 1 Bed	717
	1102 1 Bed	527
	1103 1 Bed	612
	1104 2 Bed	1007
Level 12	1201 1 Bed	717
	1202 1 Bed	527
	1203 1 Bed	612
	1204 2 Bed	1007
Level 13	1301 1 Bed	717
	1302 1 Bed	527
	1303 1 Bed	612
	1304 2 Bed	1007
Level 14	1401 1 Bed	717
	1402 1 Bed	527
	1403 1 Bed	612
	1404 2 Bed	1007
Level 15	1501 1 Bed	717
	1502 1 Bed	527
	1503 1 Bed	612
	1504 2 Bed	1007
Level 16	1601 1 Bed	717
	1602 1 Bed	527
	1603 1 Bed	612
	1604 2 Bed	1007
Level 17	1701 1 Bed	717
	1702 1 Bed	527
	1703 1 Bed	612
	1704 2 Bed	1007
Level 18	1801 1 Bed	717
	1802 1 Bed	527
	1803 1 Bed	612
	1804 2 Bed	1007
Level 19	1901 1 Bed	717
	1902 1 Bed	527
	1903 1 Bed	612
	1904 2 Bed	1007
Level 20	2001 1 Bed	527
	2002 1 Bed	685
	2003 1 Bed	361
	2004 2 Bed	1324
Level 21	2101 1 Bed	527
	2102 1 Bed	527
	2103 1 Bed	612
	2104 2 Bed	1324
Level 22	2201 1 Bed	527
	2202 1 Bed	533
	2301 LOWER 3 Bed	1911
Level 23	2301 UPPER 3 Bed	2683
Total Net Rentable		62462



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Lpas Street Suite 101 San Diego, CA 92104



PROJECT #
SHEET TITLE
PROJECT STATISTICS
SCALE:
DATE: 9/1/21
REVISION 1: 10/12/21
REVISION 2: 11/23/21
REVISION 3: 12/21/21
REVISION 4:
REVISION 5:
REVISION 6:
SHEET: OF
SHEET NAME:

T1.1



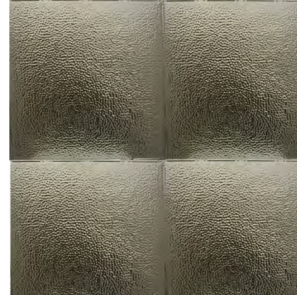
GARGE DOOR CORRUGATED METAL > 80% SOLID

1



DARK BRONZE ANNODIZED SHEETMETAL

2



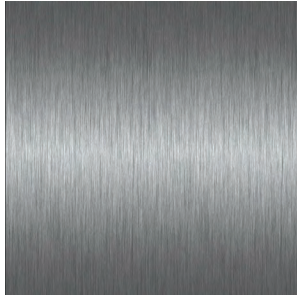
TEXTURED METALLIC SHEETING

3



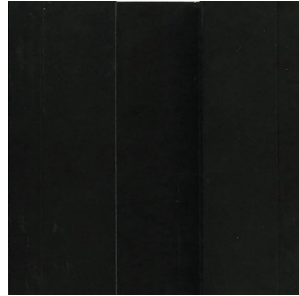
SOLAR BAN 70 GLASS OFFSET GLAZING

4



METAL PANEL

5



DARK BRONZE POWDER COATED METAL

6



DUAL GLAZED SOLAR BAN 70 CENTER SET

7



CLEAR LAMINATED GUARDRAIL GLASS

8



CAST IN PLACE CONCRETE BOARD FORM

9



BLACK ANNODIZED SHEETMETAL

10



STUCCO PAINTED DARK BRONZE

11



FROSTED GLASS

12



WHITE/CREAM STUCCO SAND FINISH

13

AIR RIGHTS TOWER

1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	
MATERIALS BOARD	
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	
OF	
SHEET NAME	



12



11



10



9



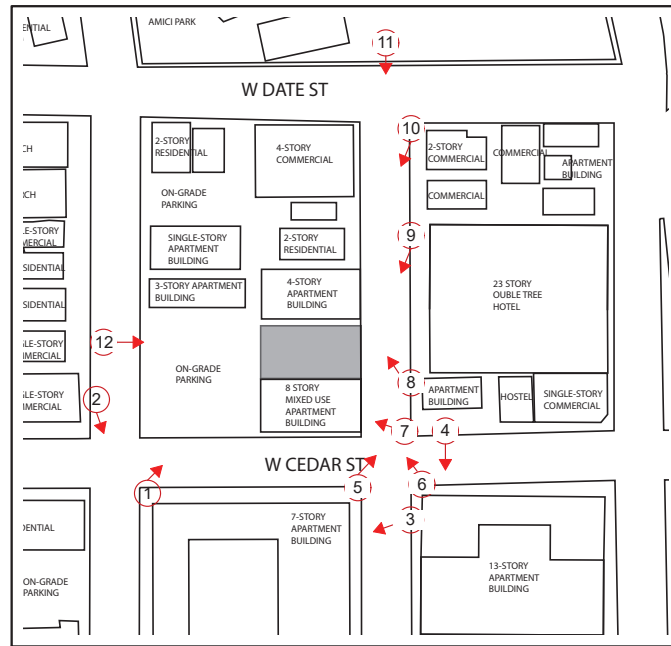
8



1



7



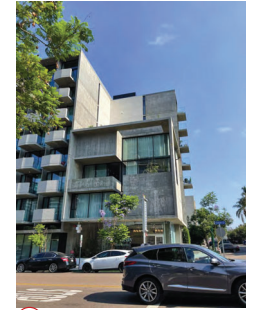
2



5



3



6



4

AIR RIGHTS TOWER
 1620 Union Street San Diego Ca, 92101
 JONATHAN SEGAL / FAIA
 3000 Lippas Street Suite 101 San Diego, CA 92104



PROJECT #	
EXISTING SITE	
CONDITIONS & PHOTOGRAPHIC STUDY	
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	OF
SHEET NAME:	



AERIAL VIEW FROM SOUTH EAST LOOKING NORTH WEST



AIR RIGHTS TOWER

1620 Union Street San Diego Ca, 92101

JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # _____

SHEET TITLE: PERSPECTIVE VIEWS

SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

REVISION 5: _____

REVISION 6: _____

SHEET: _____ OF _____

SHEET NAME: _____



VIEW FROM WEST CEDAR STREET LOOKING EAST



AIR RIGHTS TOWER
 1620 Union Street San Diego Ca, 92101
 JONATHAN SEGAL / FAIA
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	PERSPECTIVE VIEWS
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	



VIEW FROM WEST CEDAR STREET LOOKING WEST



AIR RIGHTS TOWER

1620 Union Street San Diego Ca, 92101

JONATHAN SEGAL / FAIA

3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	PERSPECTIVE VIEWS
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	



AIR RIGHTS TOWER

1620 Union Street San Diego Ca. 92101
 JONATHAN SEGAL / FAIA
 3000 Uppas Street Suite 101 San Diego, CA 92104

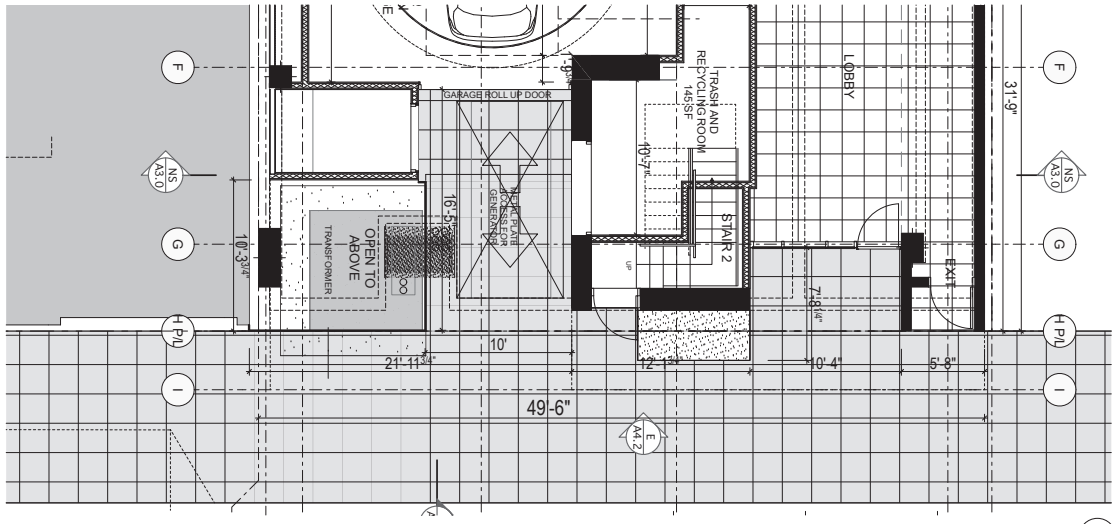


PROJECT #	
SHEET TITLE	PERSPECTIVE VIEWS
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	

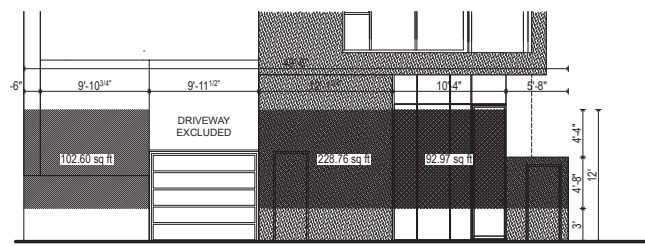
AERIAL VIEW TO THE WEST



NORHT ELEVATION T1.9



Ground Level
SCALE: 1/4" = 1'-0" T1.9



TOTAL AREA BETWEEN 3FT AND 12FT = 331.86 SQ FT
 TOTAL TRANSPARENCY = 92.97 SQ FT
 TOTAL TRANSPARENCY = 92.97/331.86 = 28.01%

TRANSPARENCY DIAGRAM
SCALE: 3/16" = 1'-0" T1.9



AIR RIGHTS TOWER
 1620 Union Street San Diego Ca, 92101
 JONATHAN SEGAL / FAIA
 3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT # _____

SHEET TITLE: PERSPECTIVE VIEWS

SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

REVISION 5: _____

REVISION 6: _____

SHEET: _____ OF _____

SHEET NAME: _____

T1.9



NORHT ELEVATION T1.9A

AIR RIGHTS TOWER

1620 Union Street San Diego Ca. 92101
JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	PERSPECTIVE VIEWS
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
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REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	

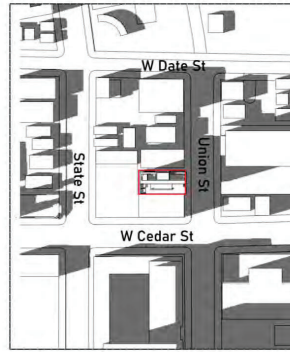
T1.9A



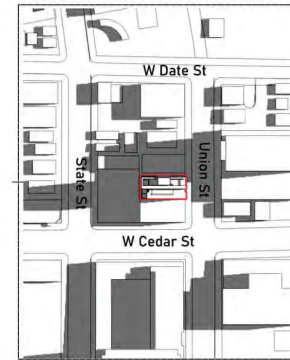
1:0.67 Sun_Spring_8am



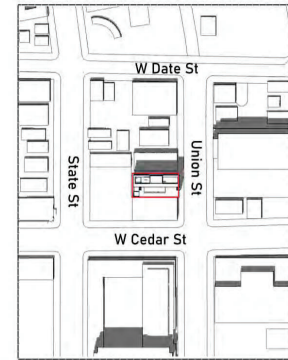
1:0.67 Sun_Spring_12pm



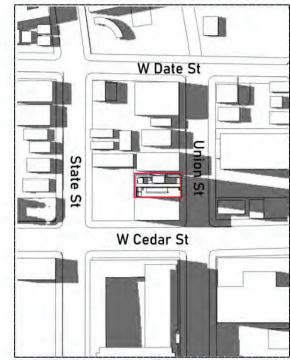
1:0.67 Sun_Spring_4pm



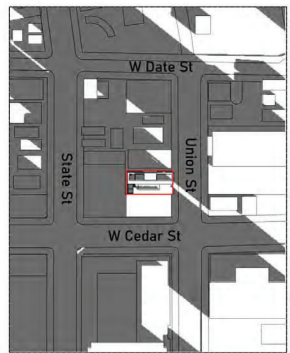
1:0.67 Sun_Summer_8am



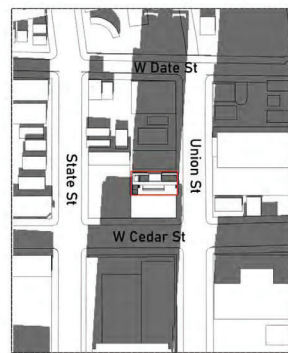
1:0.67 Sun_Summer_12pm



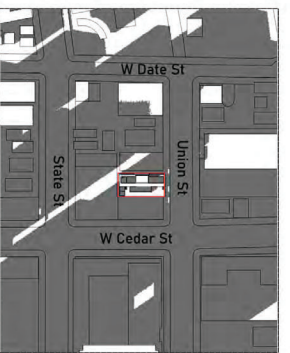
1:0.67 Sun_Summer_4pm



1:0.67 Sun_Winter_8am



1:0.67 Sun_Winter_12pm



1:0.67 Sun_Winter_4pm



1:0.28

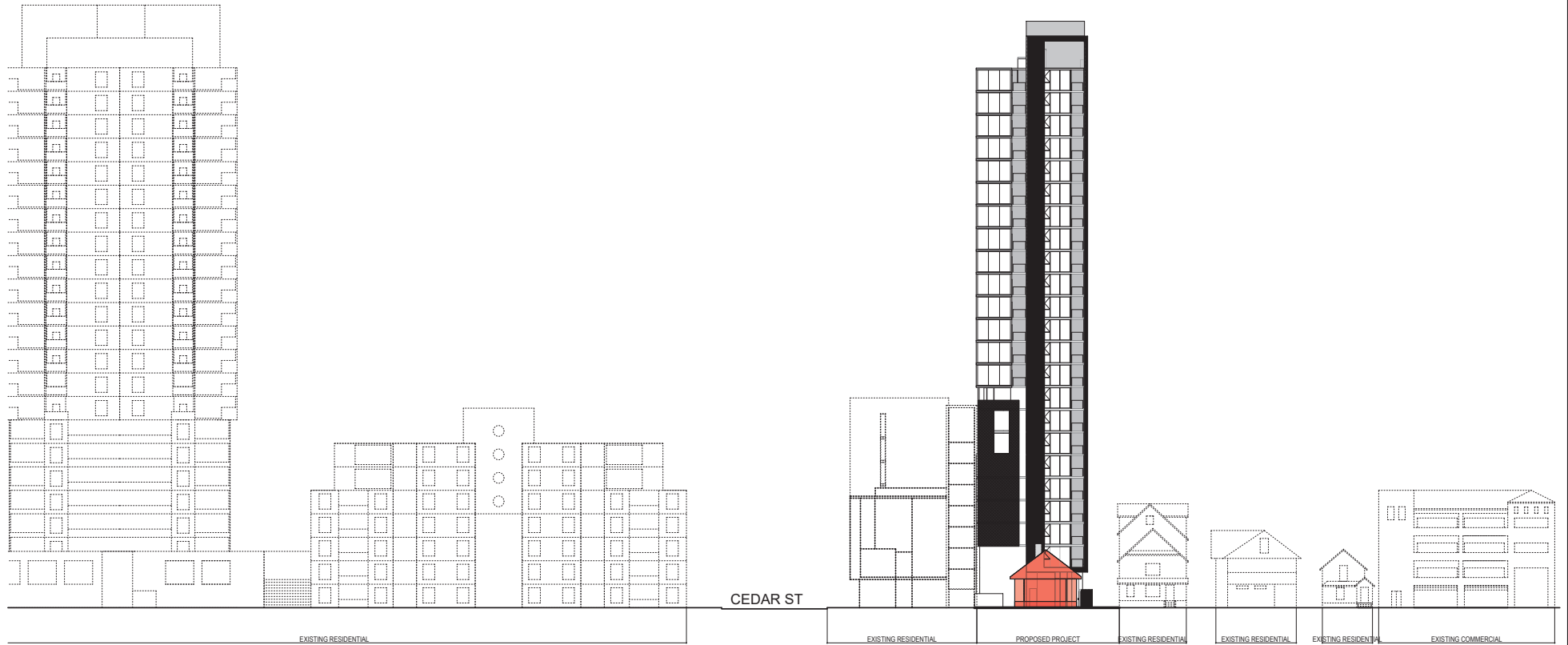
Tower_Vicinity_Map

AIR RIGHTS TOWER

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PROJECT #	
SHEET TITLE / SOLAR STUDY / VICINITY SITE PLAN	
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	



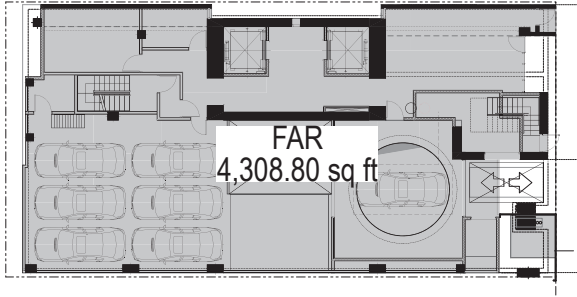
EAST VICINITY ELEVATION ELEV T2.1
 SCALE: 1" = 20'

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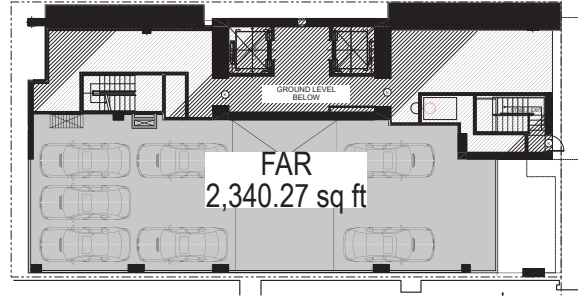


PROJECT #	
SHEET TITLE	VICINITY ELEVATIONS
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	OF
SHEET NAME:	

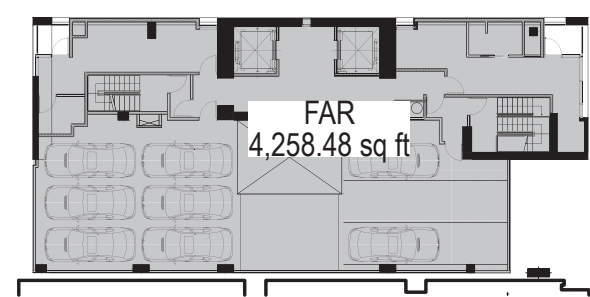
T2.1



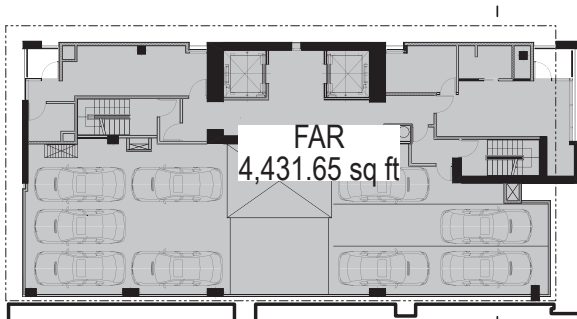
Ground Level FAR
SCALE: 3/32" = 1'-0" 1



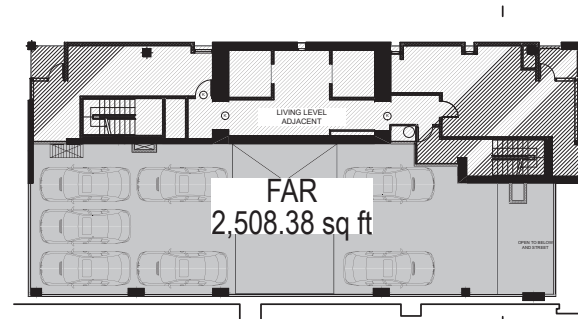
Level 1.1P FAR
SCALE: 3/32" = 1'-0" 1.1



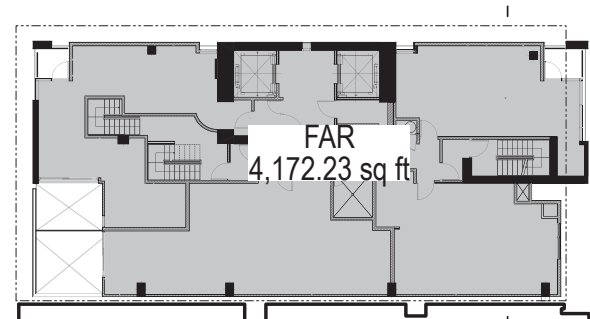
Level 2 FAR
SCALE: 3/32" = 1'-0" 2



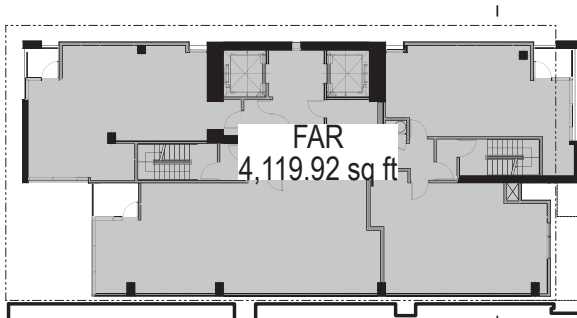
Level 3-6 FAR
SCALE: 3/32" = 1'-0" 3-6



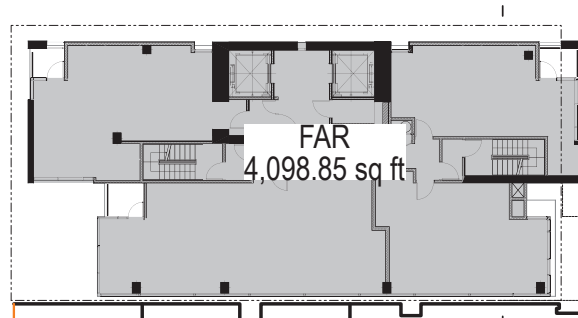
Level 4.1P FAR
SCALE: 3/32" = 1'-0" 4.1



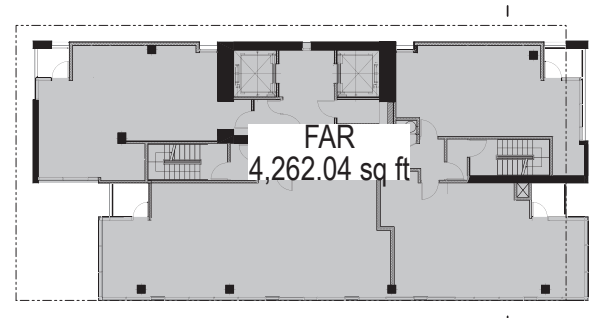
Level 7 FAR
SCALE: 3/32" = 1'-0" 7



Level 8 FAR
SCALE: 3/32" = 1'-0" 8



Level 9 FAR
SCALE: 3/32" = 1'-0" 9



Level 10-19 TYP FAR
SCALE: 3/32" = 1'-0" 10-19

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PROJECT # _____

SHEET TITLE: _____

FAR DIAGRAMS

SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

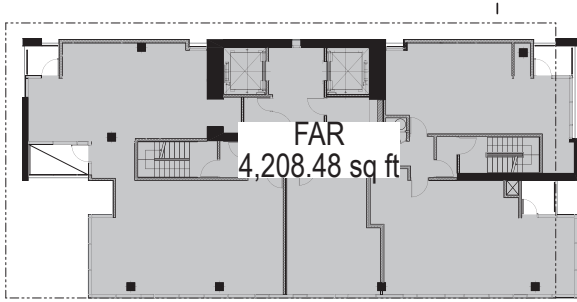
REVISION 4: _____

REVISION 5: _____

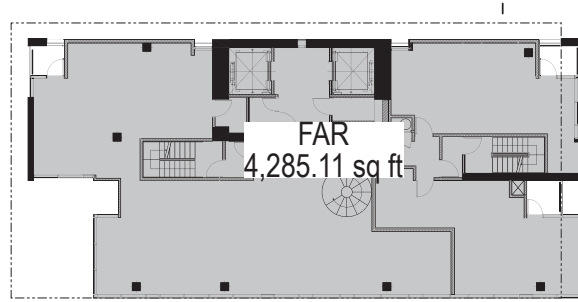
REVISION 6: _____

SHEET: _____ OF _____

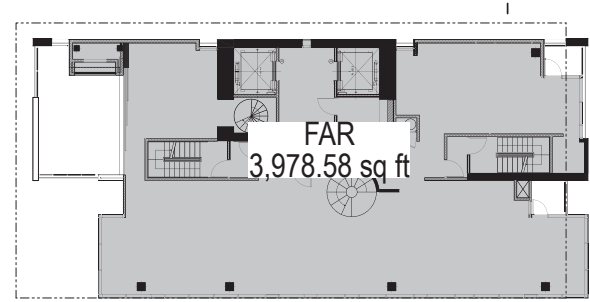
SHEET NAME: _____



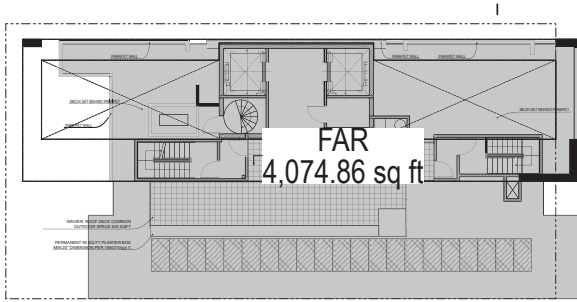
Level 20-21 FAR
SCALE: 3/32" = 1'-0" 20-21



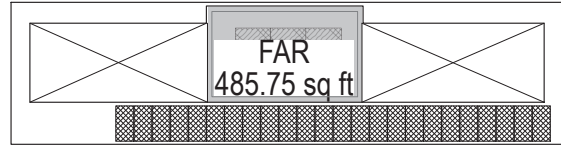
Level 22 Penthouse L1 FAR
SCALE: 3/32" = 1'-0" 22



Level 23 Penthouse L2 FAR
SCALE: 3/32" = 1'-0" 23



Roof FAR
SCALE: 3/32" = 1'-0" 24

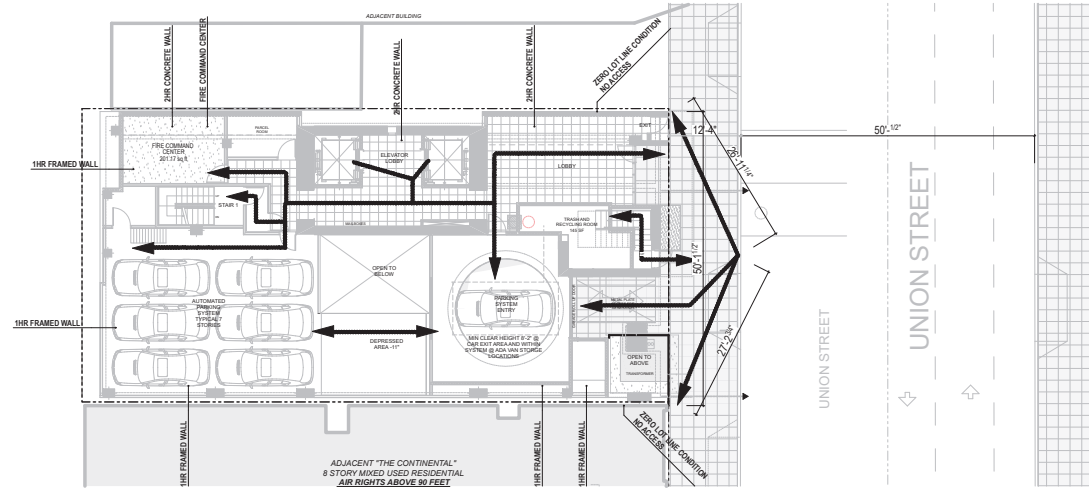


Upper Arch Roof FAR
SCALE: 3/32" = 1'-0" 25

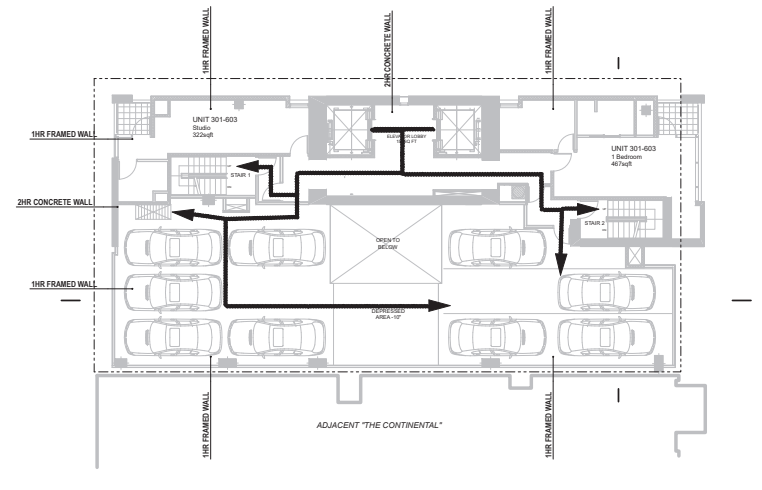
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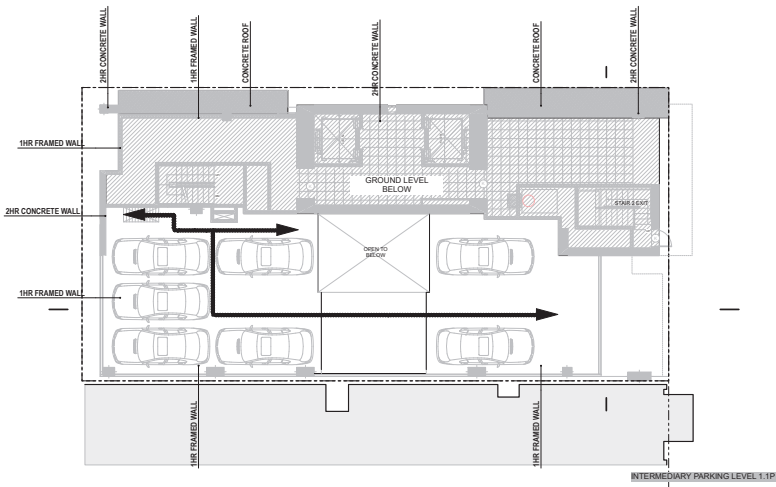
PROJECT #	
SHEET TITLE:	FAR DIAGRAMS
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	OF
SHEET NAME:	



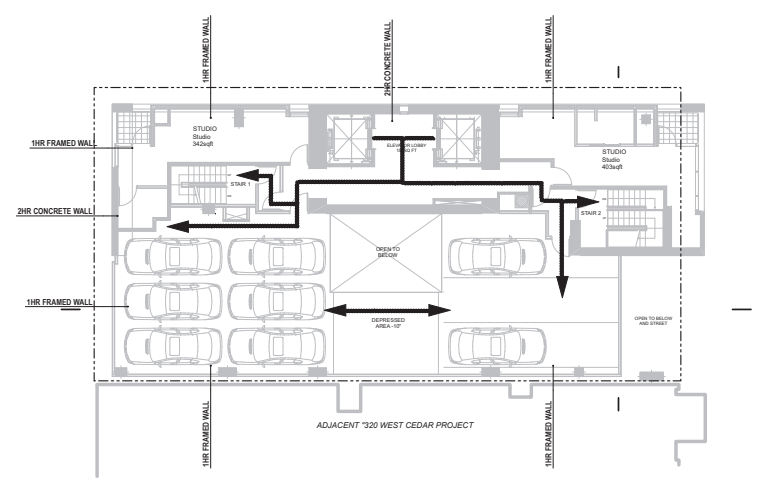
FIRE ACCESS PLAN
SCALE: 1" = 10'



FIRE ACCESS LEVEL 3-6
SCALE: 1" = 10'



FIRE ACCESS LEVEL 1.1P
SCALE: 1" = 10'



FIRE ACCESS L3
SCALE: 1" = 10'

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PROJECT # _____

SHEET TITLE:
FIRE ACCESS PLAN

SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

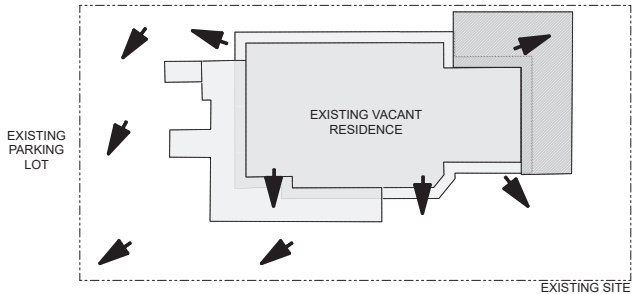
REVISION 4: _____

REVISION 5: _____

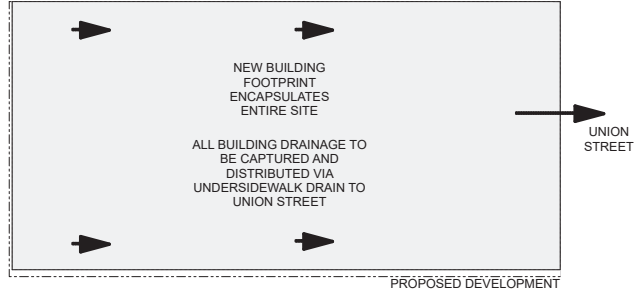
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SHEET: _____ OF _____

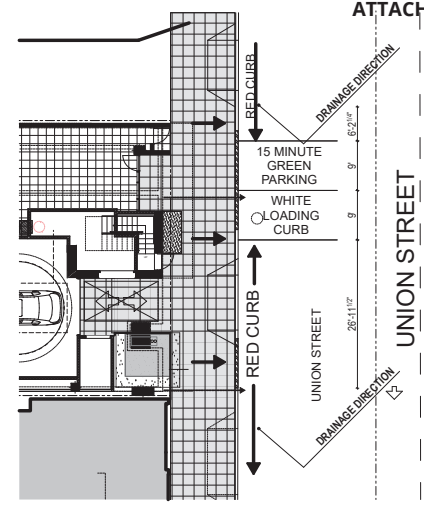
SHEET NAME: _____



Drainage Plan C1.0
SCALE: 3/32" = 1'-0"



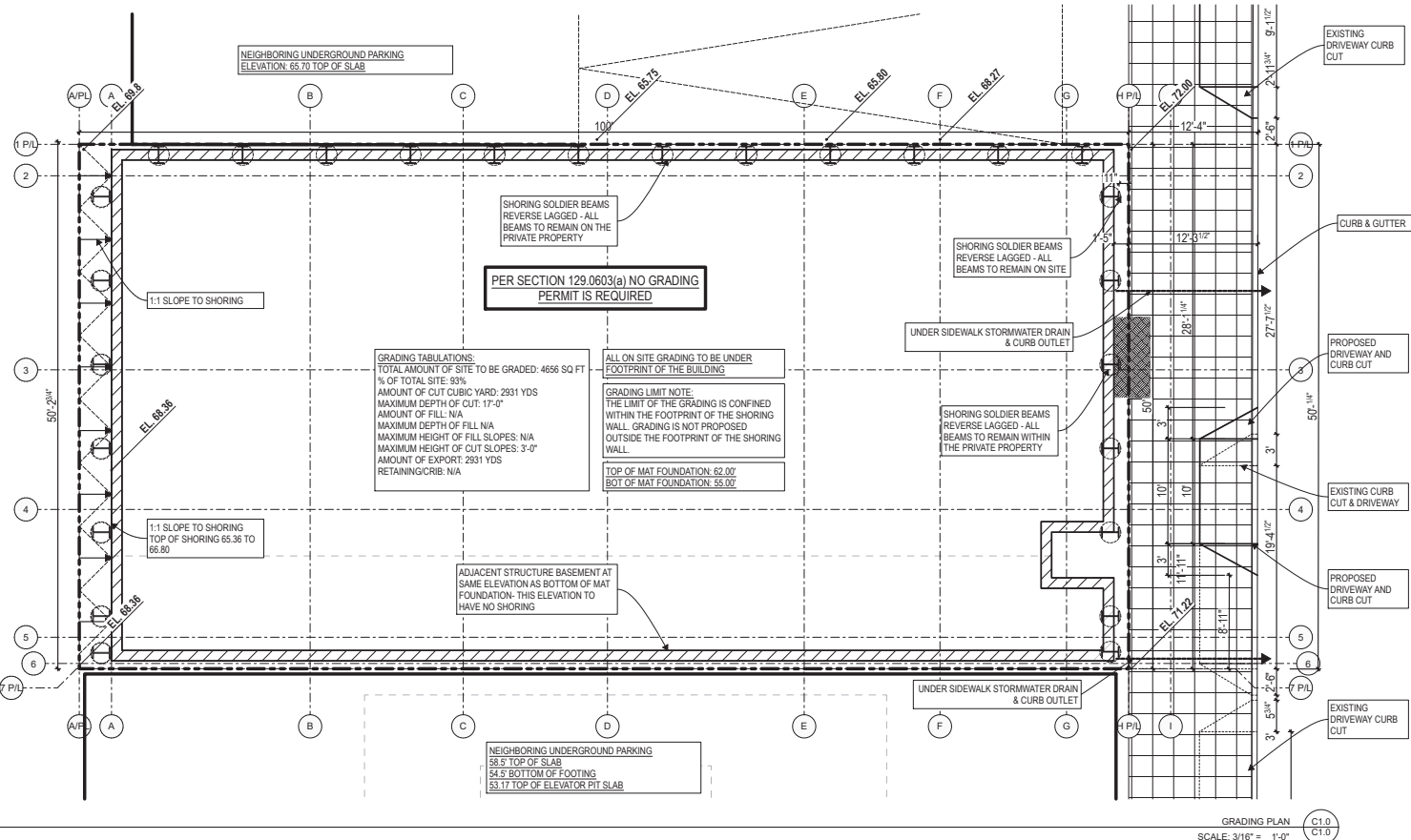
Drainage Plan C1.0
SCALE: 3/32" = 1'-0"



Curbs Utilization Plan C1.0
SCALE: 3/32" = 1'-0"

EXISTING PARKING (2) 30 MINUTE GREEN PARKING SPACES IN SAME LOCATION AS PROPOSED PERPENDICULAR PARKING WITH NEW TYPES

NET LOSS OF ONE 30 MINUTE GREEN PARKING SPACE REPLACED BY ONE WHITE LOADING ZONE



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PROJECT #

GRADING PLAN & CURB UTILIZATION PLAN

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

REVISION 6:

SHEET: OF

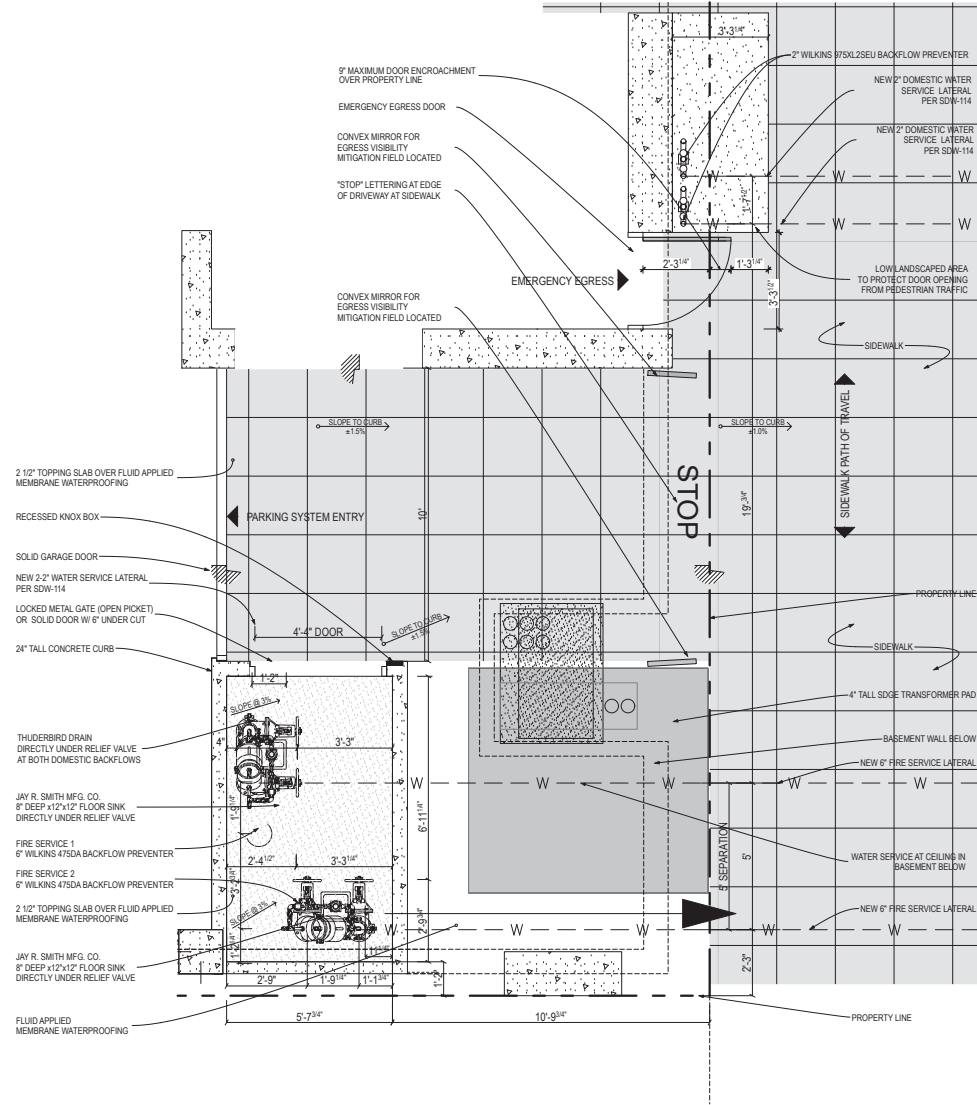
SHEET NAME:

NOTE:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WILL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS SUCH AS A PLANTER BOX, NON STANDARD DRIVEWAY UNDER SIDEWALK DRAIN & CURB OUTLET, AND ENHANCED SIDEWALK WITHIN PRW.

C1.0



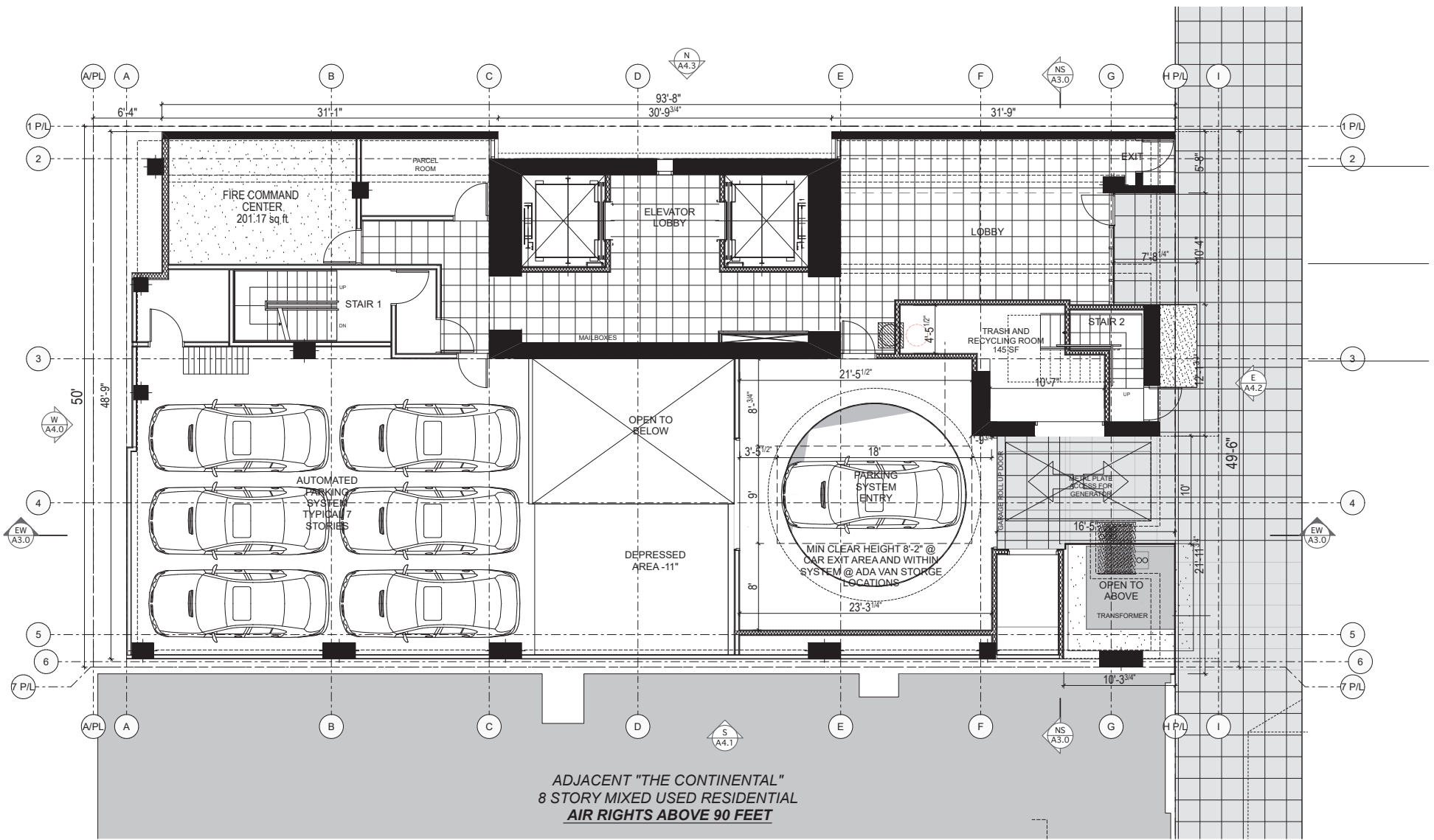
NOTE:
 ALL PROPOSED PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PUBLIC UTILITIES APPROVED WATER METER DATA CARD.

ENLARGED WET UTILITY ROOM + SIDEWALK PLAN 1
 SCALE: 1/2" = 1'-0" C1.1

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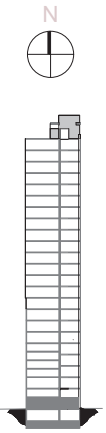


PROJECT #	
SHEET TITLE + SIDEWALK ENLARGED	
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET: _____ OF _____	
SHEET NAME:	



ADJACENT "THE CONTINENTAL"
8 STORY MIXED USED RESIDENTIAL
AIR RIGHTS ABOVE 90 FEET

GROUND LEVEL
SCALE: 1/4" = 1'-0" 1



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PROJECT # _____

SHEET TITLE: _____

GROUND LEVEL
SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

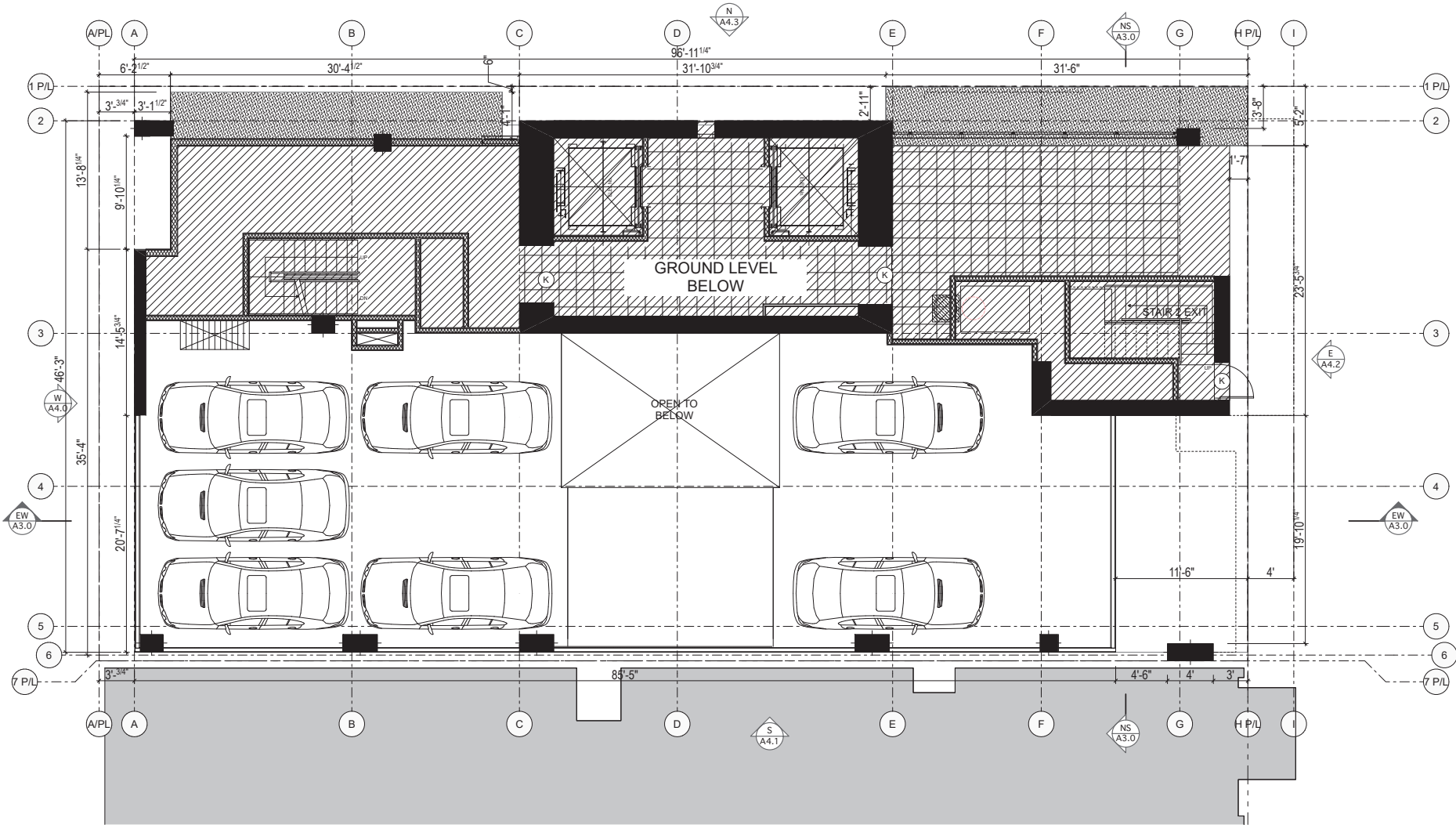
REVISION 5: _____

REVISION 6: _____

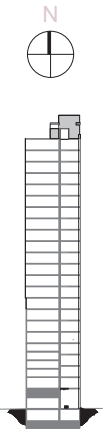
SHEET: _____ OF _____

SHEET NAME: _____

A1.1



INTERMEDIARY PARKING LEVEL 1P
SCALE: 1/4" = 1'-0" 1.1



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PROJECT # _____

SHEET TITLE:
PARKING LEVEL 1P
SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

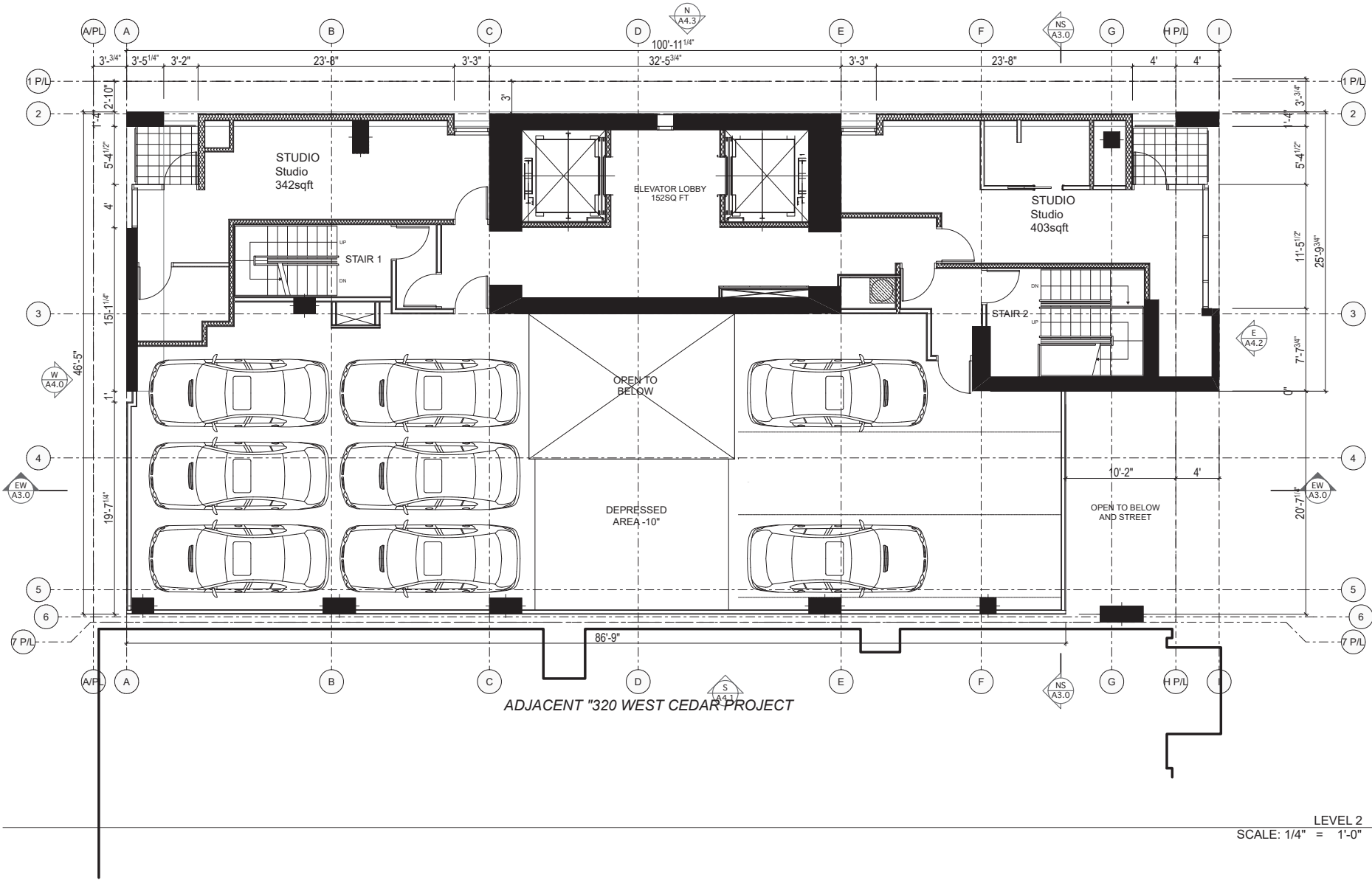
REVISION 5: _____

REVISION 6: _____

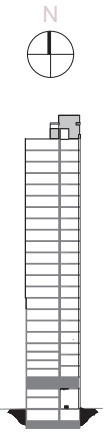
SHEET: _____ OF _____

SHEET NAME: _____

A1.1P



LEVEL 2
SCALE: 1/4" = 1'-0" 2.



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PROJECT #

SHEET TITLE:
LEVEL 2

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

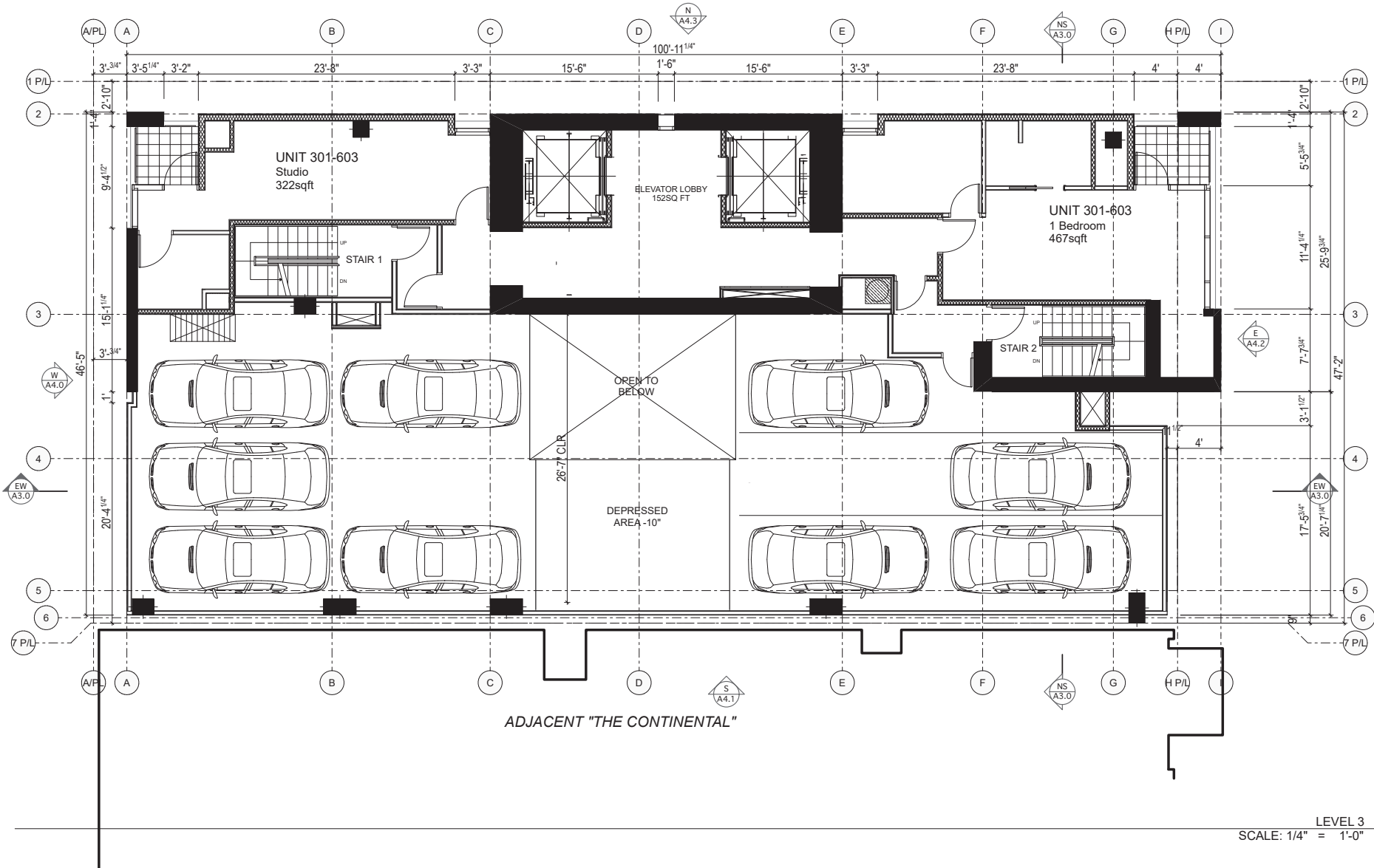
REVISION 4:

REVISION 5:

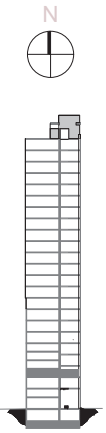
REVISION 6:

SHEET: _____ OF _____

SHEET NAME:



LEVEL 3
SCALE: 1/4" = 1'-0" 3-6



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PROJECT # _____

SHEET TITLE:
LEVEL 3

SCALE:
SCALE:

DATE:
9/1/21

REVISION 1:
10/12/21

REVISION 2:
11/23/21

REVISION 3:
12/21/21

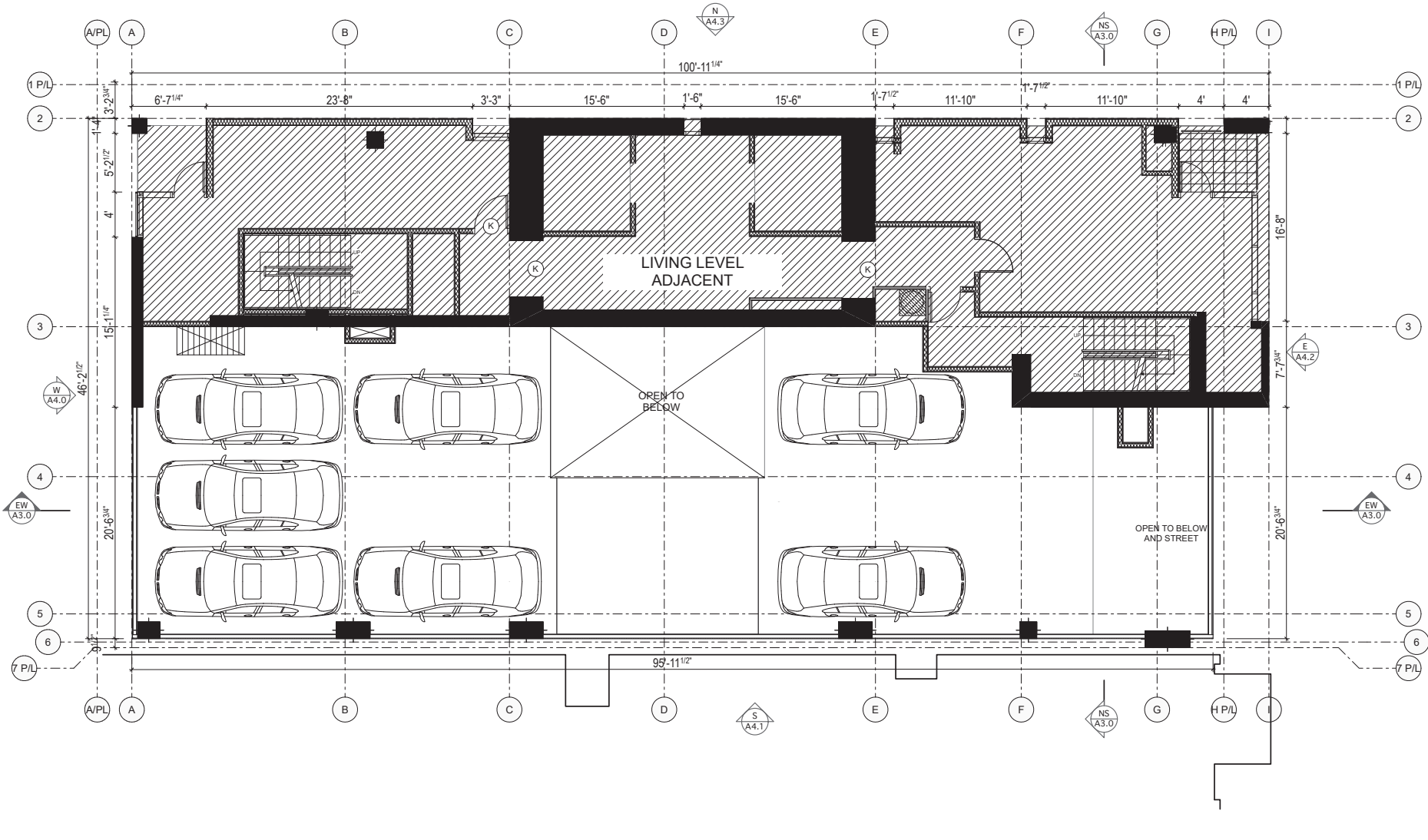
REVISION 4:

REVISION 5:

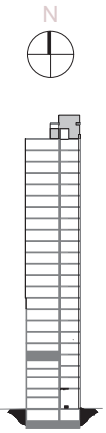
REVISION 6:

SHEET: _____ OF _____

SHEET NAME:



INTERMEDIARY L LEVEL 4.1P
SCALE: 1/4" = 1'-0" 4.1



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PROJECT #

SHEET TITLE:
PARKING LEVEL 4.1P
SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

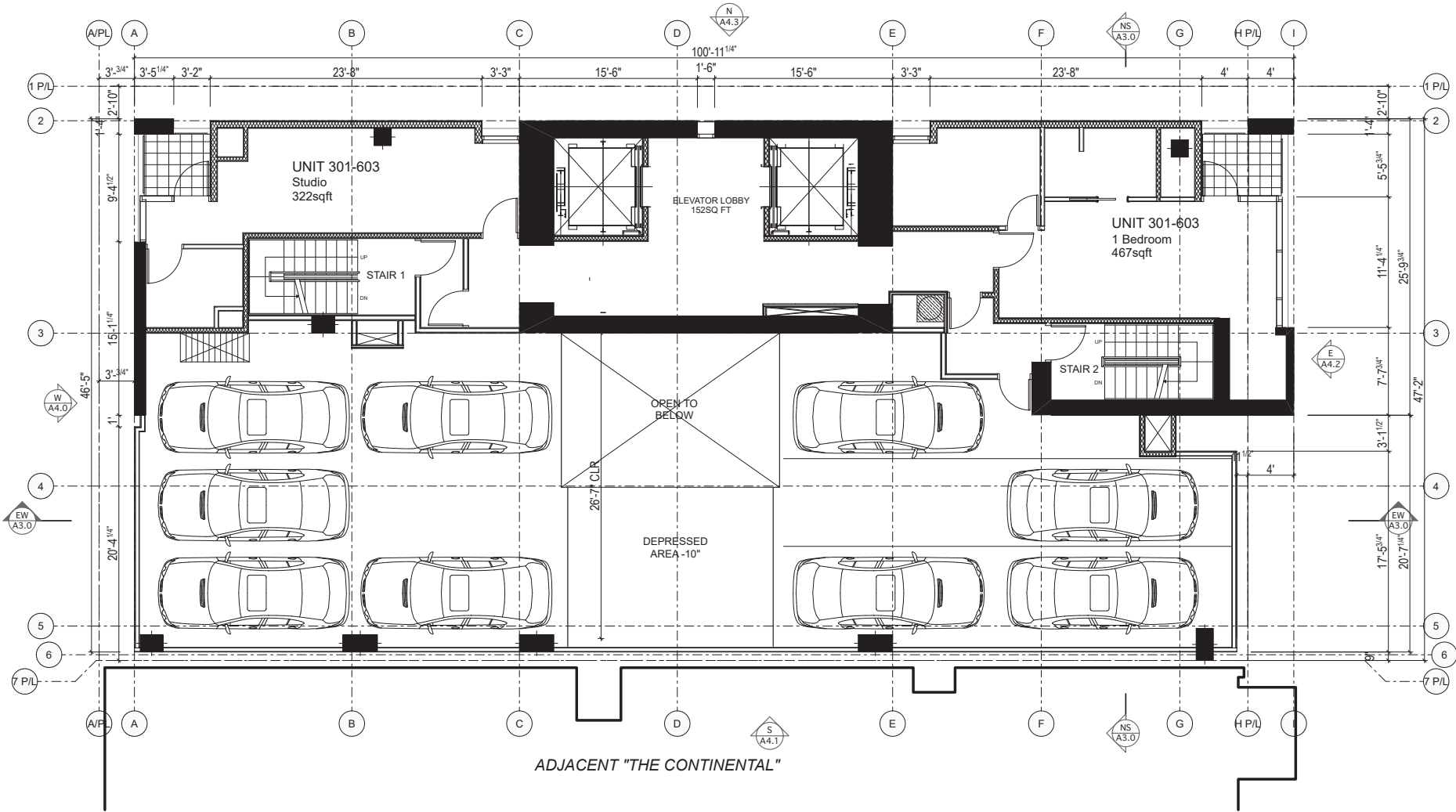
REVISION 5:

REVISION 6:

SHEET: OF

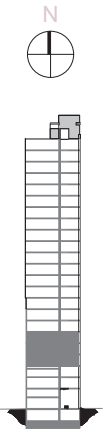
SHEET NAME:

A1.3P



ADJACENT "THE CONTINENTAL"

LEVELS 4-6
SCALE: 1/4" = 1'-0" 3-6



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PROJECT #

SHEET TITLE:
LEVEL 4-6

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

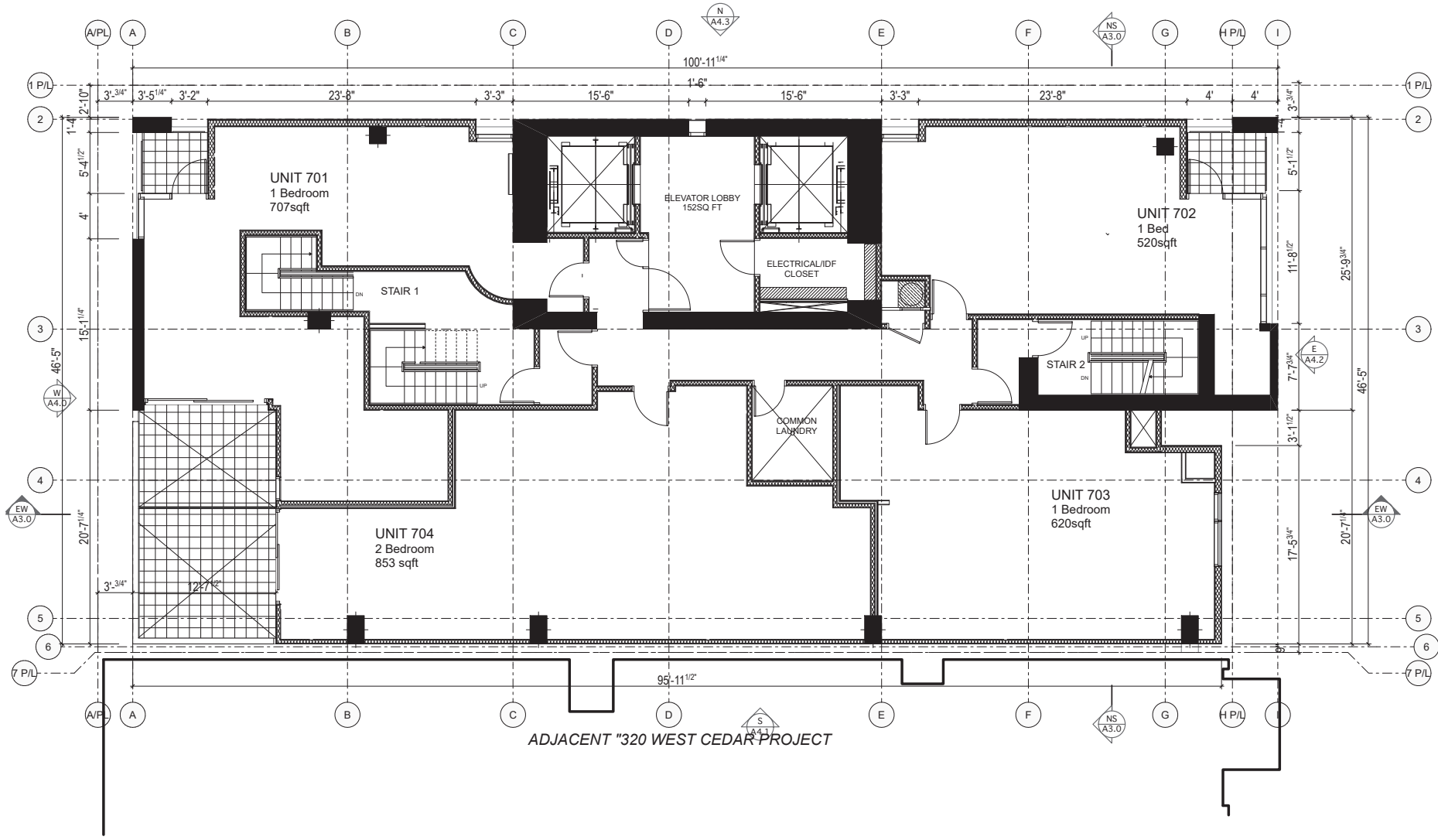
REVISION 4:

REVISION 5:

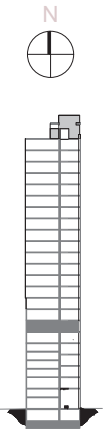
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SHEET: OF

SHEET NAME:



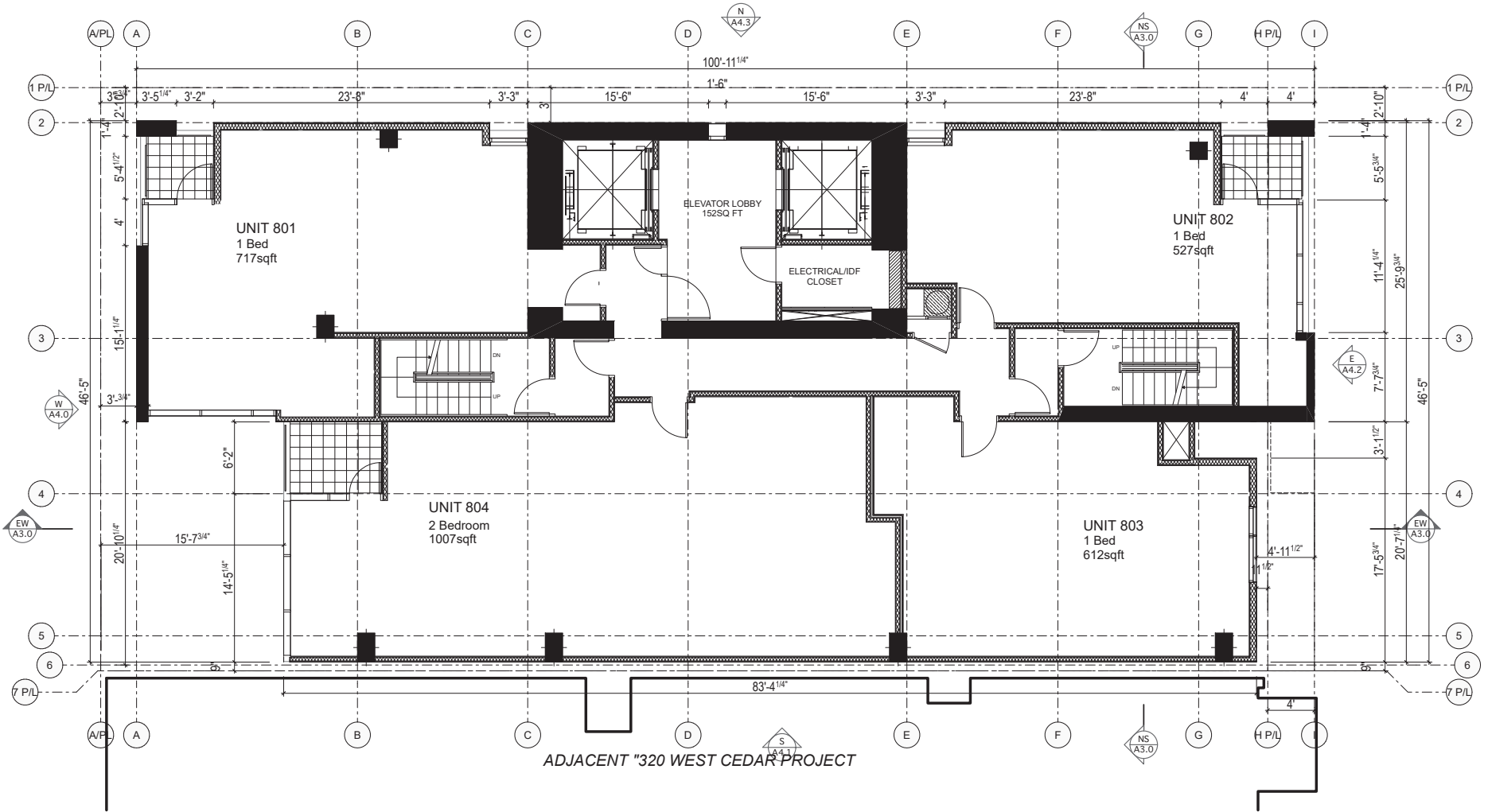
LEVEL 7
SCALE: 1/4" = 1'-0" 7



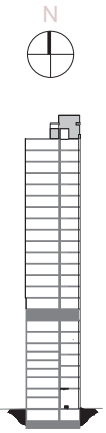
AIR RIGHTS TOWER
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PROJECT #	
SHEET TITLE	LEVEL 7
SCALE	1/4" = 1'-0"
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	



LEVEL 8
SCALE: 1/4" = 1'-0" 8



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PROJECT #

SHEET TITLE:
Level 8

SCALE:

DATE:
9/1/21

REVISION 1:
10/12/21

REVISION 2:
11/23/21

REVISION 3:
12/21/21

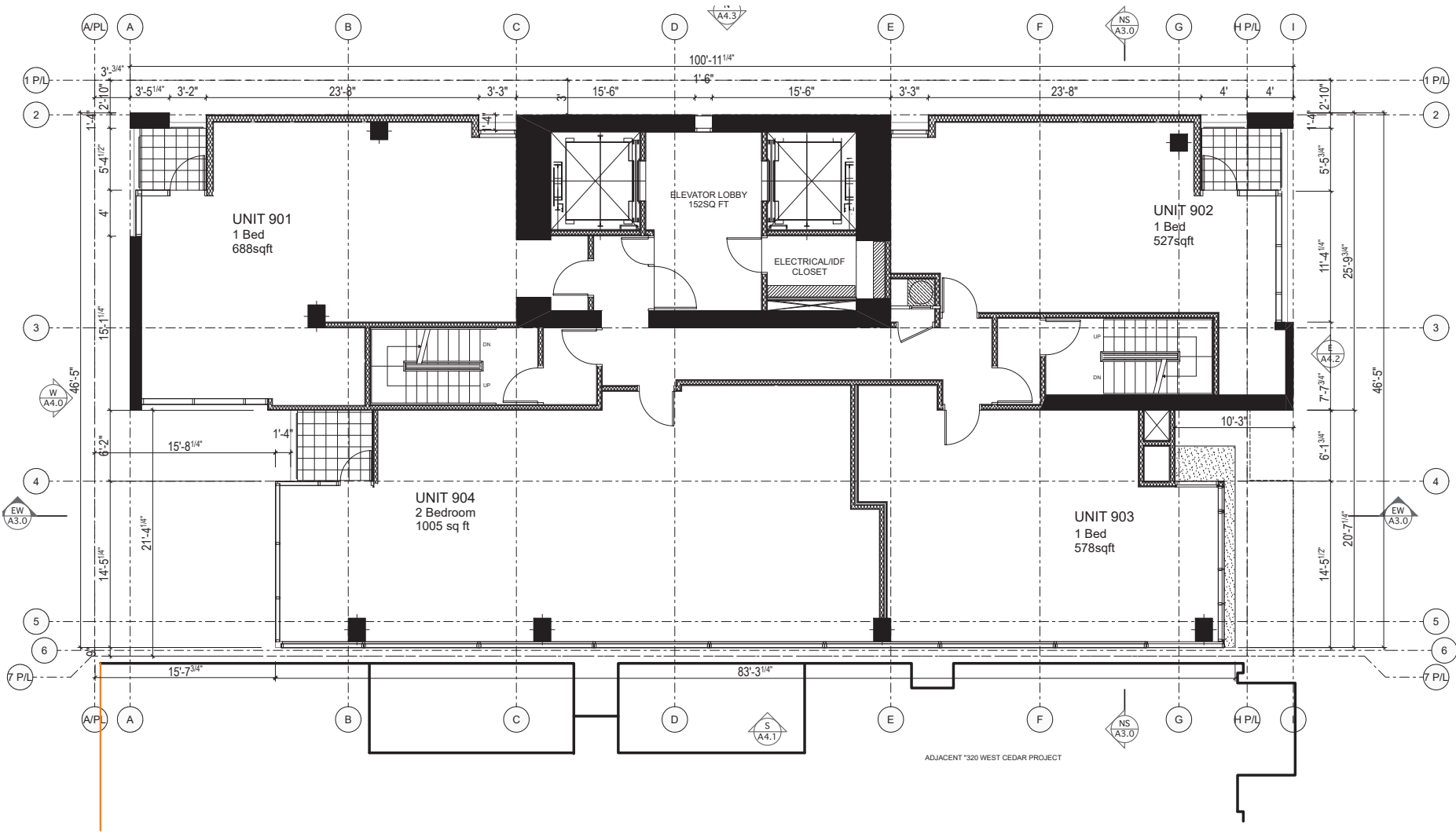
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REVISION 5:

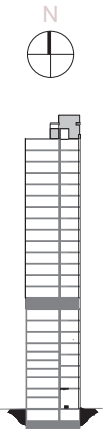
REVISION 6:

SHEET: _____ OF _____

SHEET NAME:



LEVEL 9
SCALE: 1/4" = 1'-0" 9



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PROJECT #

SHEET TITLE: Level 9

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

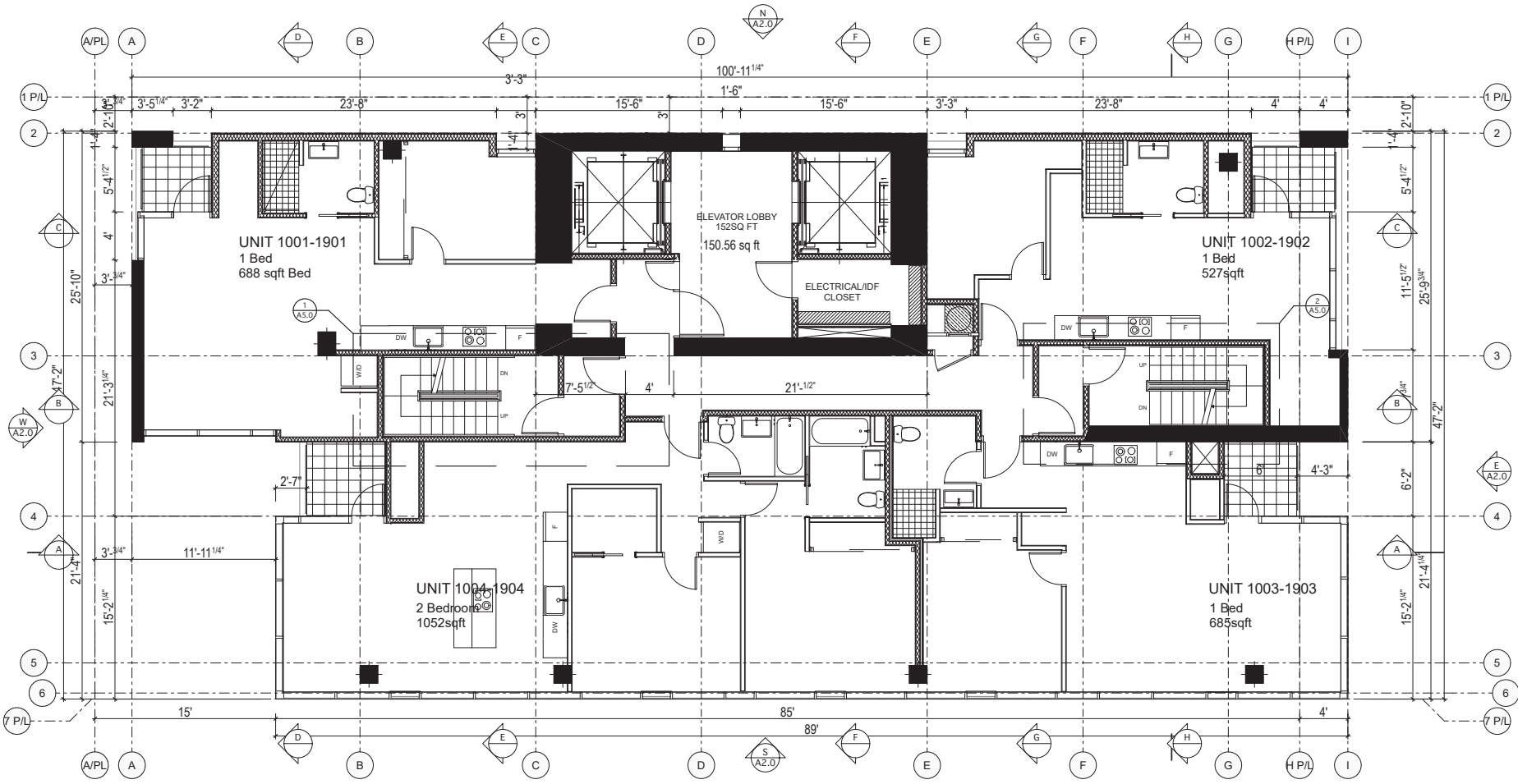
REVISION 4:

REVISION 5:

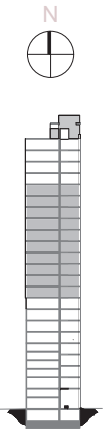
REVISION 6:

SHEET: OF

SHEET NAME:



LEVEL 10-19 TYPICAL
SCALE: 1/4" = 1'-0"



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:
Level 10-19 TYP

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

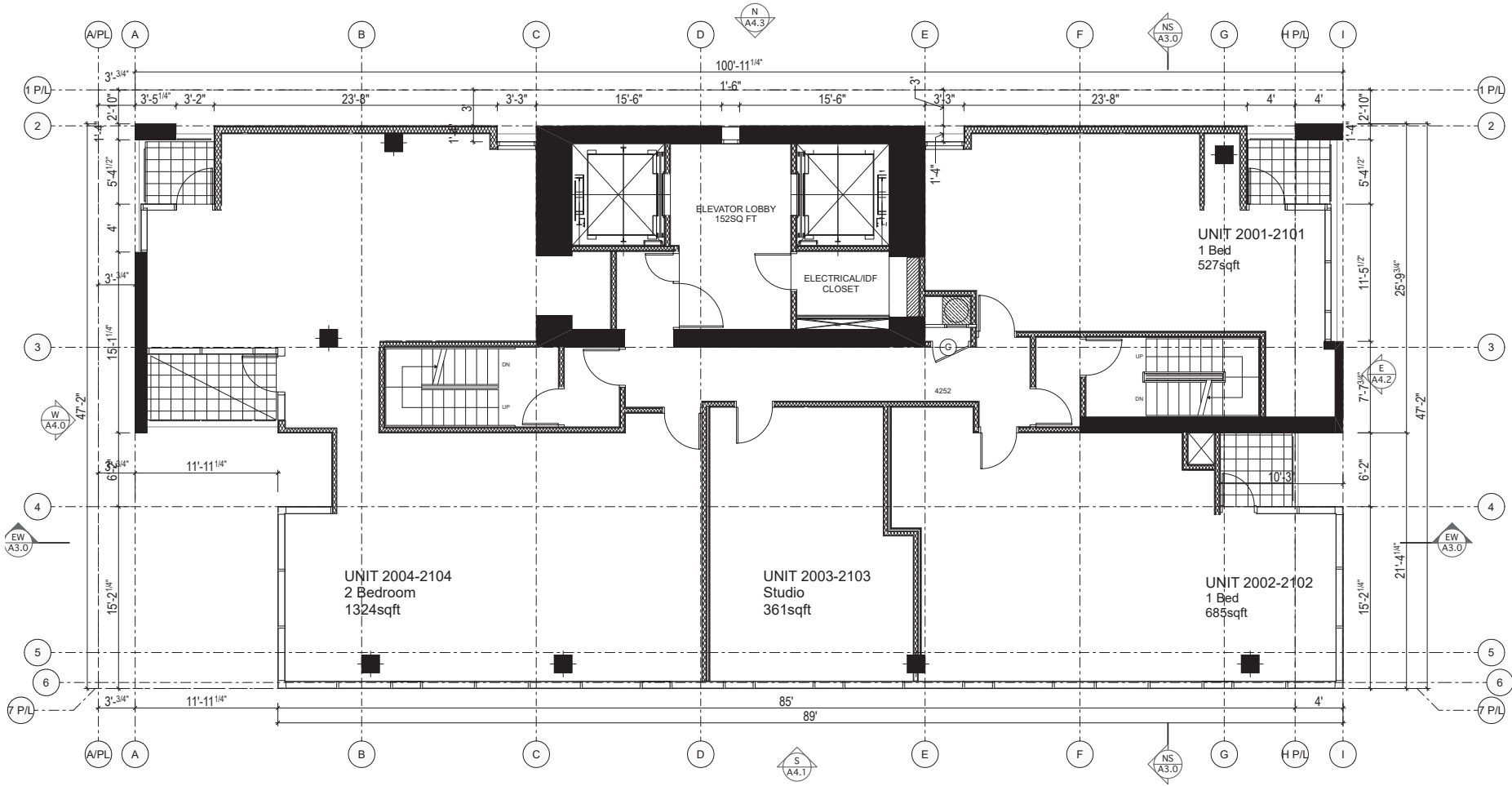
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REVISION 5:

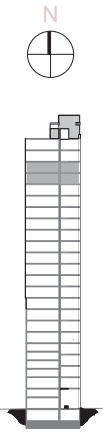
REVISION 6:

SHEET: _____ OF _____

SHEET NAME:



LEVEL 20-21
SCALE: 1/4" = 1'-0"



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:
Level 20-21

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

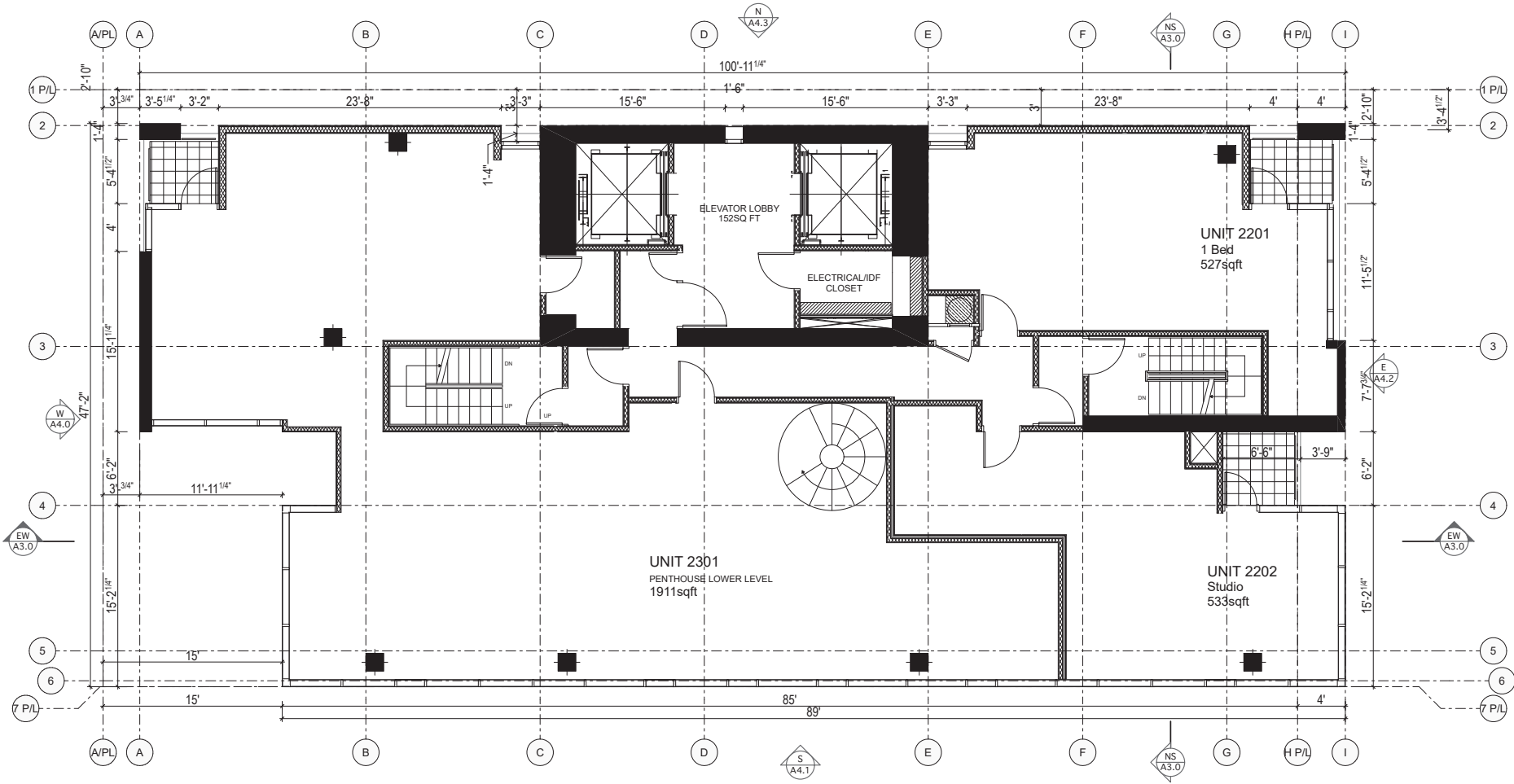
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REVISION 5:

REVISION 6:

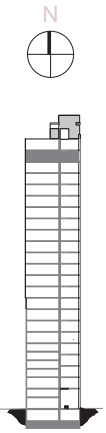
SHEET: _____ OF _____

SHEET NAME:



PENTHOUSE LOWER LEVEL PLAN

LEVEL 22
SCALE: 1/4" = 1'-0" 22



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT # _____

SHEET TITLE:
Level 22 P1

SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

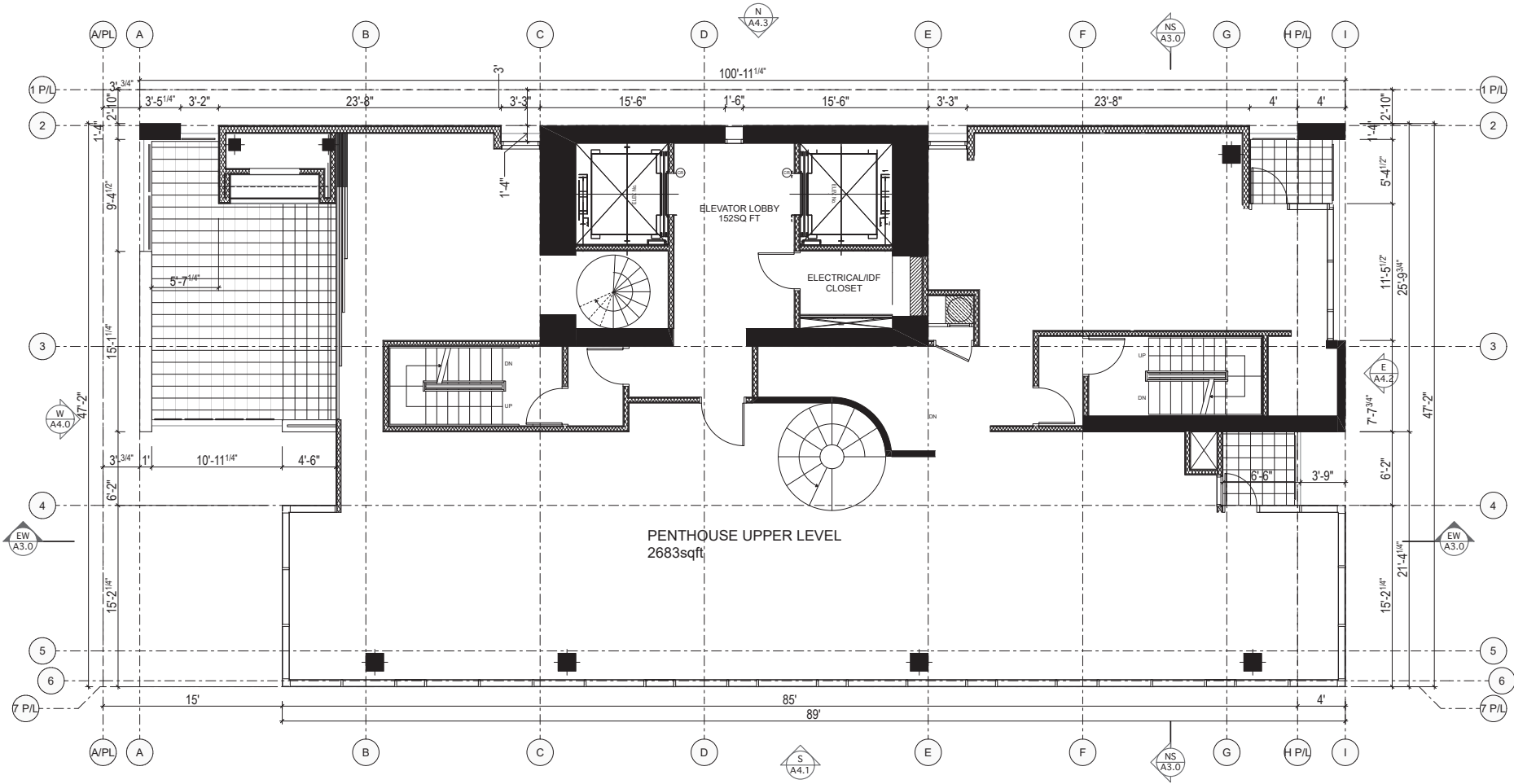
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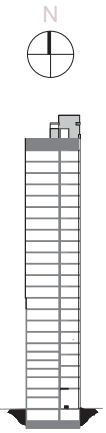
SHEET: _____ OF _____

SHEET NAME: _____

A1.10



LEVEL 23
SCALE: 1/4" = 1'-0" 23



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:
Level 23 P2

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

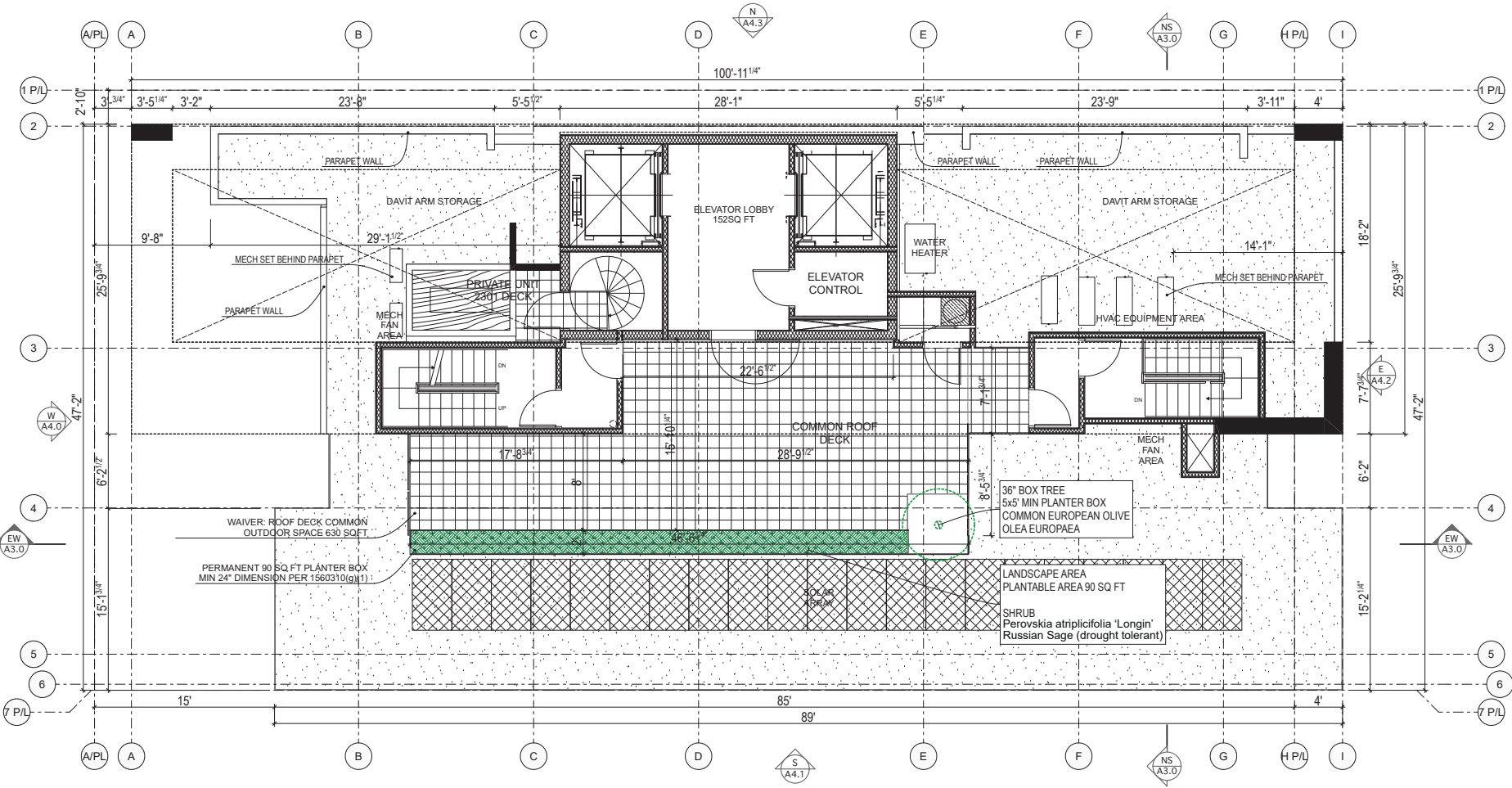
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REVISION 6:

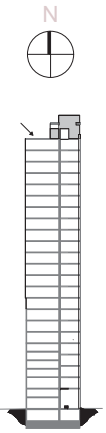
SHEET: _____ OF _____

SHEET NAME:

A1.11



LEVEL 24 ROOF
SCALE: 1/4" = 1'-0" 24



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT # _____

SHEET TITLE: _____

Roof
SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

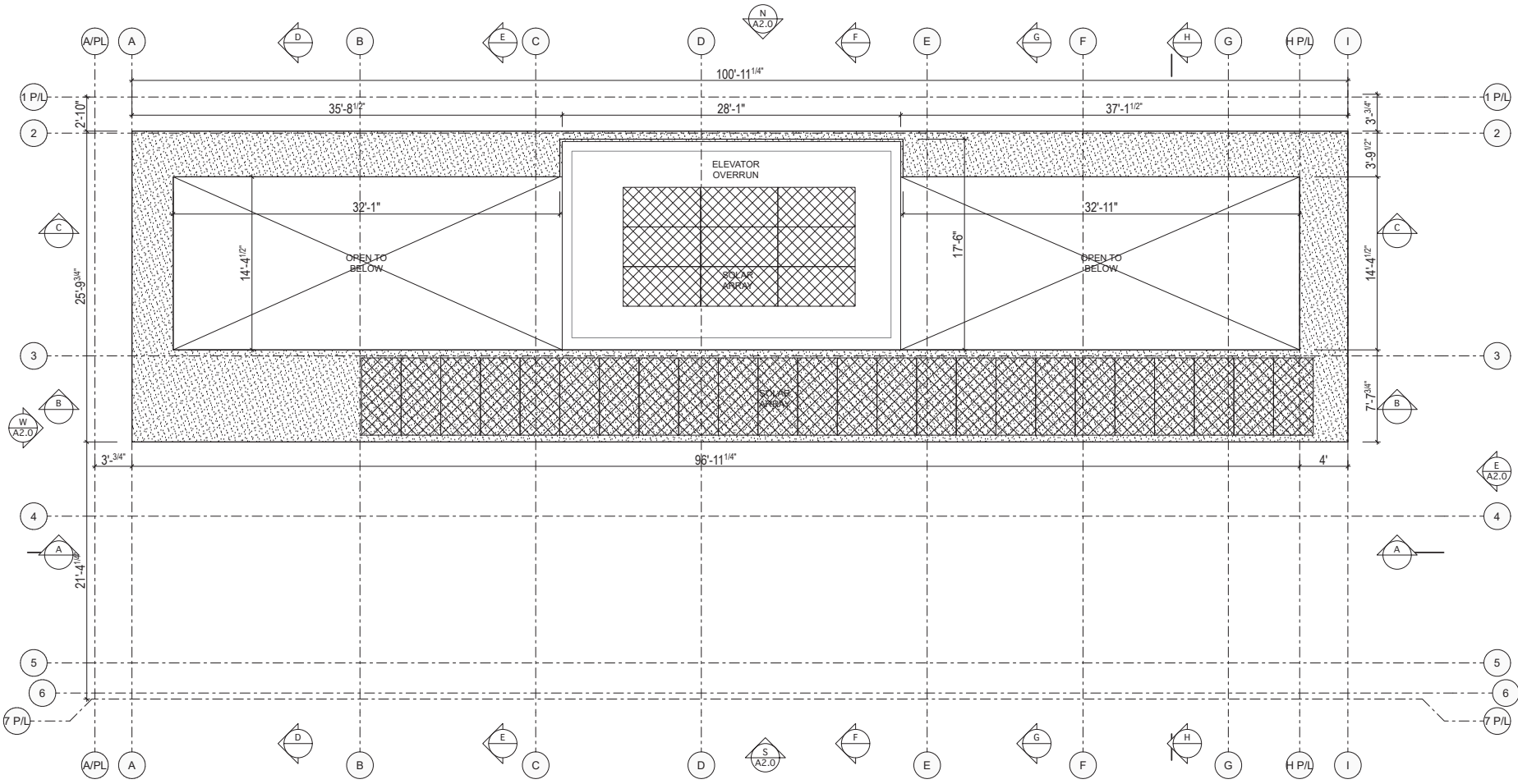
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REVISION 6: _____

SHEET: _____ OF _____

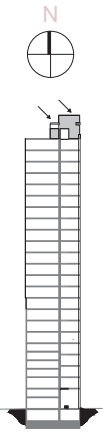
SHEET NAME: _____

A1.12



NOTE: NO MECHANICAL EQUIPMENT ON THIS UPPER ROOF

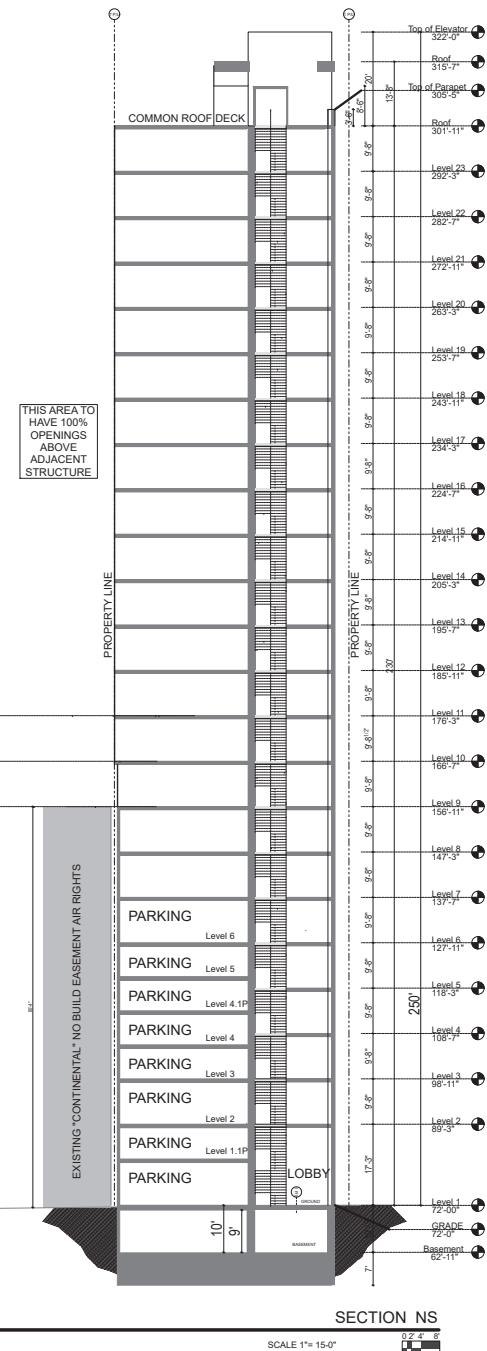
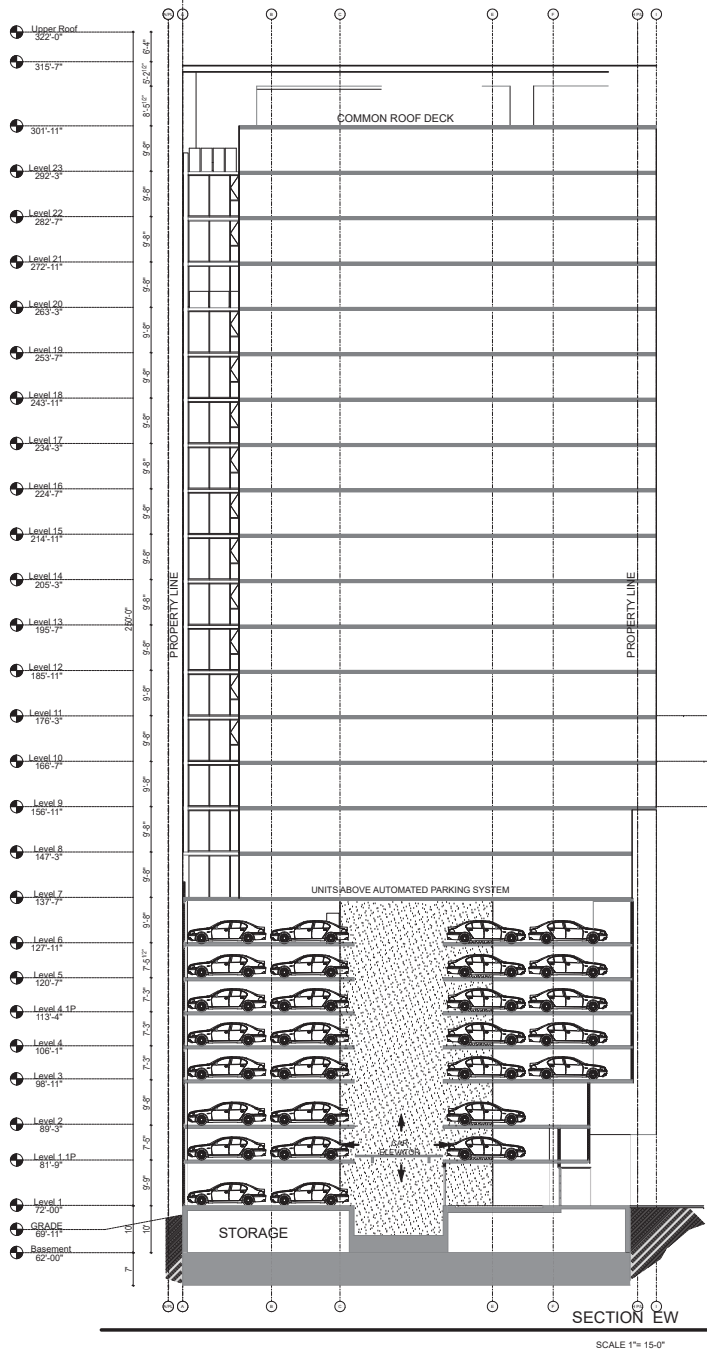
UPPER ARCHITECTURAL TRELLIS ROOF
SCALE: 1/4" = 1'-0" 25



AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	Upper Roof
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	



AIR RIGHTS TOWER
 1620 Union Street San Diego Ca, 92101
 JONATHAN SEGAL / FAIA
 3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT # _____

SHEET TITLE: _____

BUILDING SECTION _____

SCALE: _____

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: _____

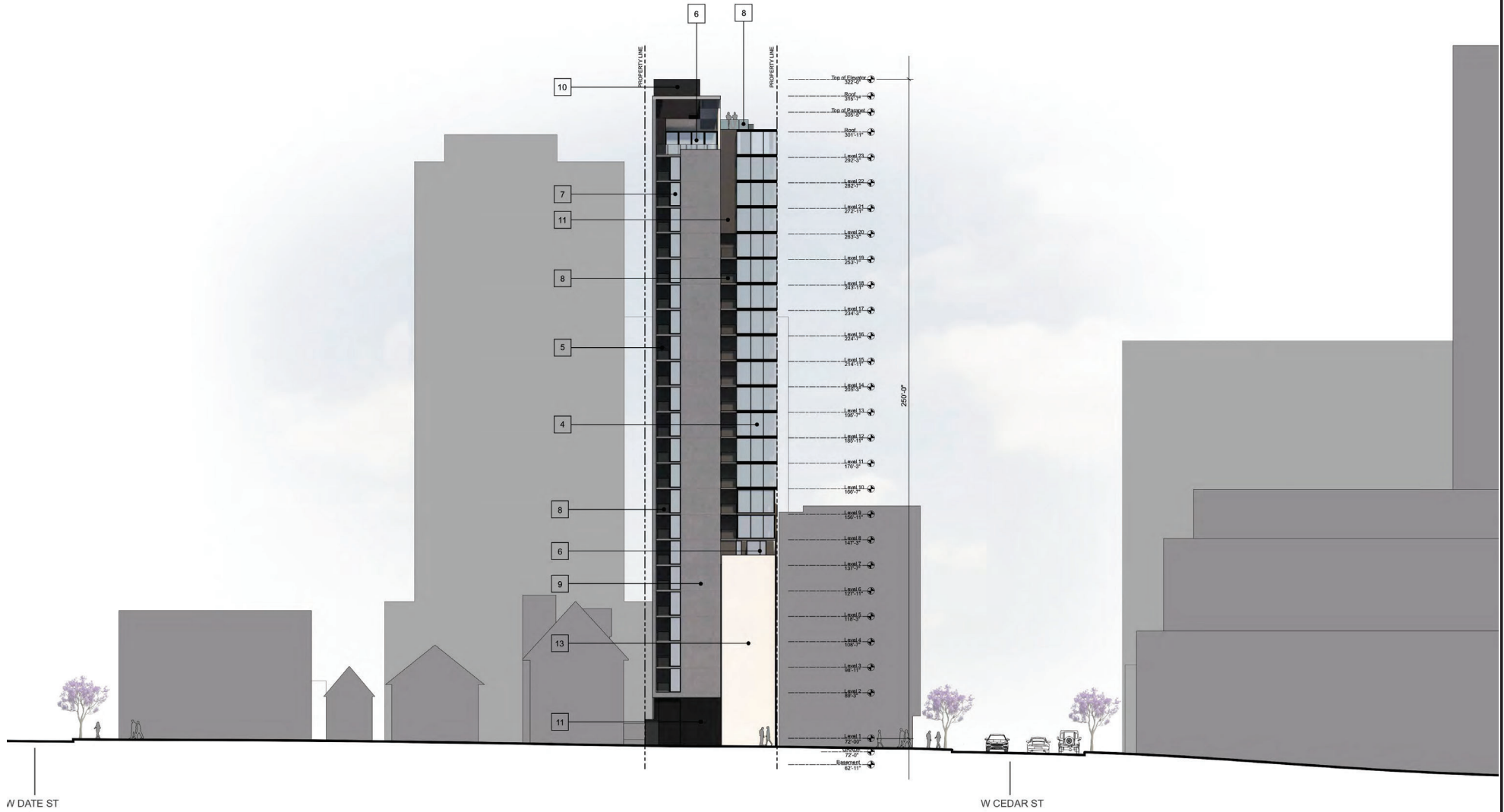
REVISION 5: _____

REVISION 6: _____

SHEET _____ OF _____

SHEET NAME: _____

A3.0



W DATE ST

W CEDAR ST

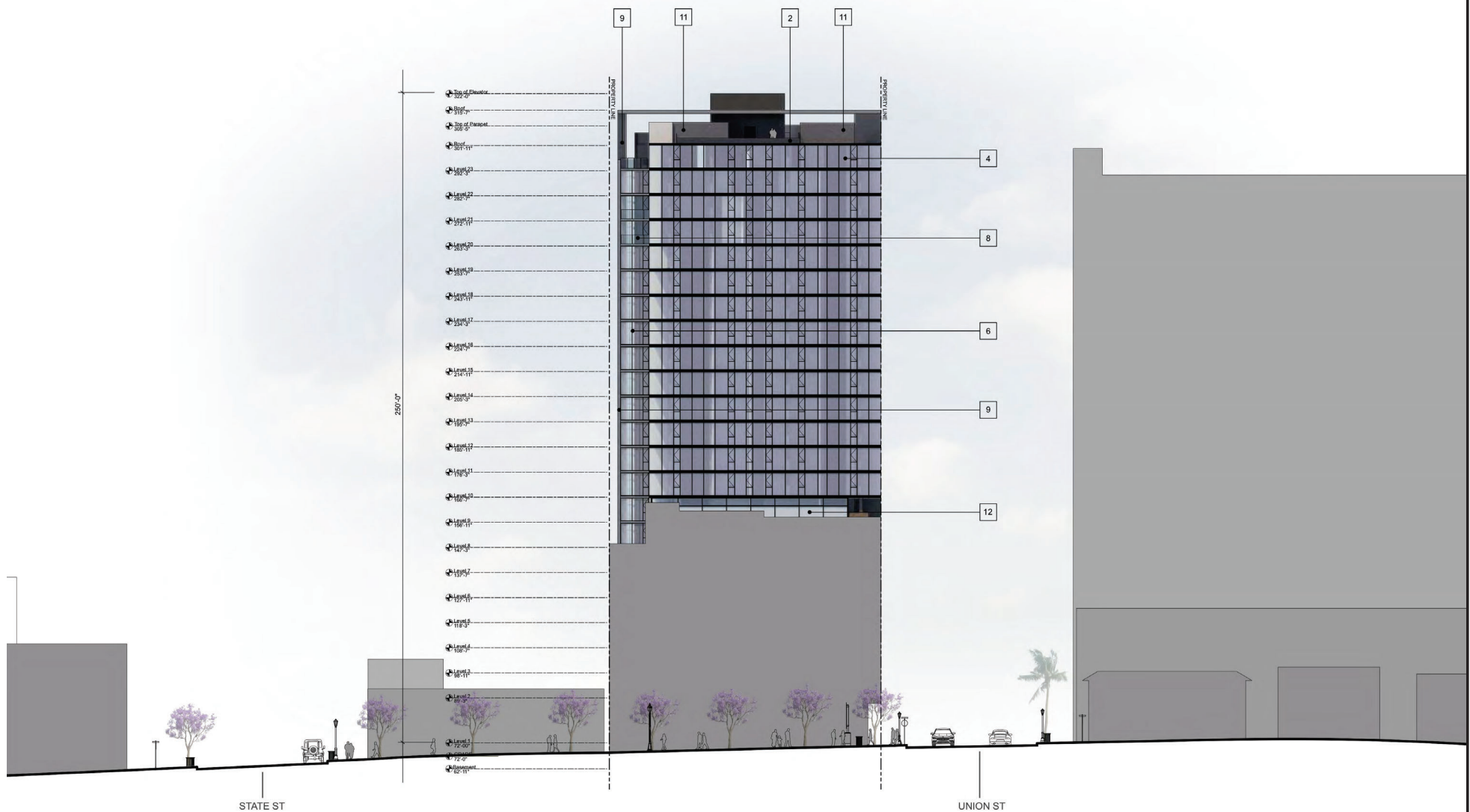
WEST BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

AIR RIGHTS TOWER
1620 Union Street San Diego Ca, 92101
JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	WEST ELEVATION
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	

A4.0



AIR RIGHTS TOWER
1620 Union Street San Diego Ca. 92101
JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	SOUTH ELEVATION
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	

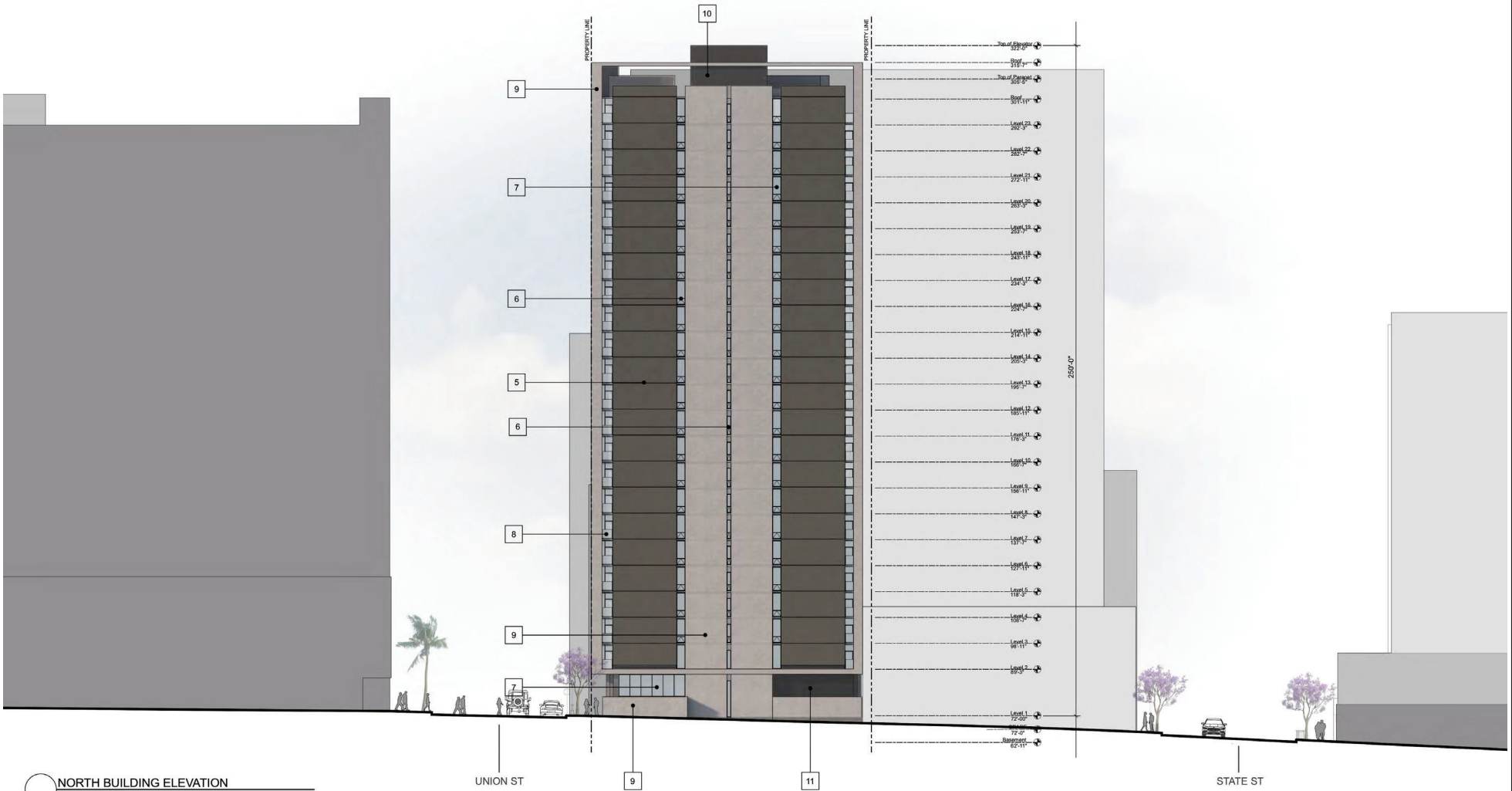


EAST BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

AIR RIGHTS TOWER
1620 Union Street San Diego Ca. 92101
JONATHAN SEGAL / FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	EAST ELEVATION
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/2/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	

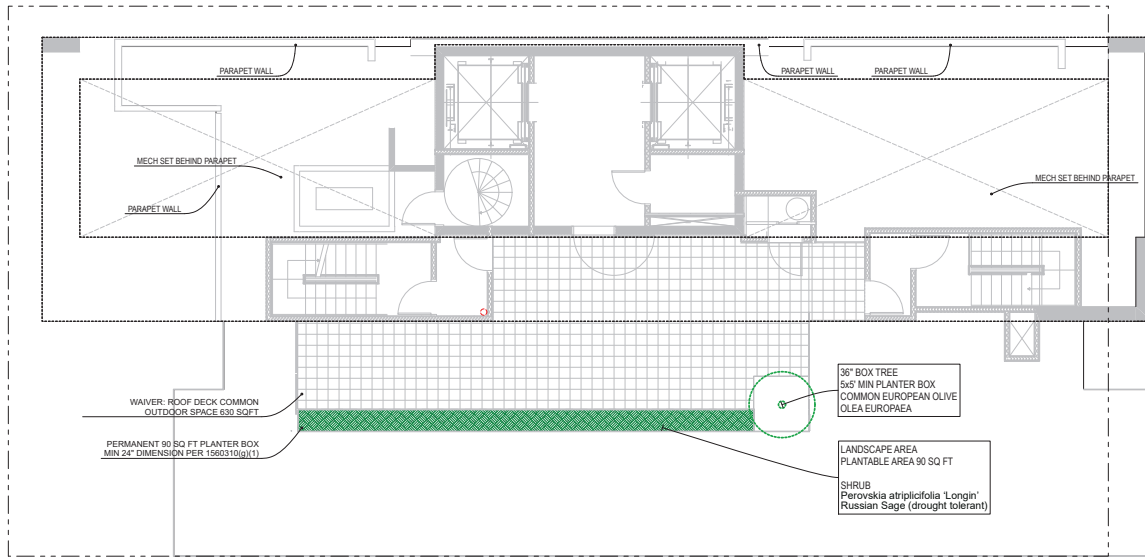


NORTH BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

AIR RIGHTS TOWER
1620 Union Street San Diego Ca. 92101
JONATHAN SEGAL / FAIA
3000 Lippas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	NORTH ELEVATION
SCALE	
DATE	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/2/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME	



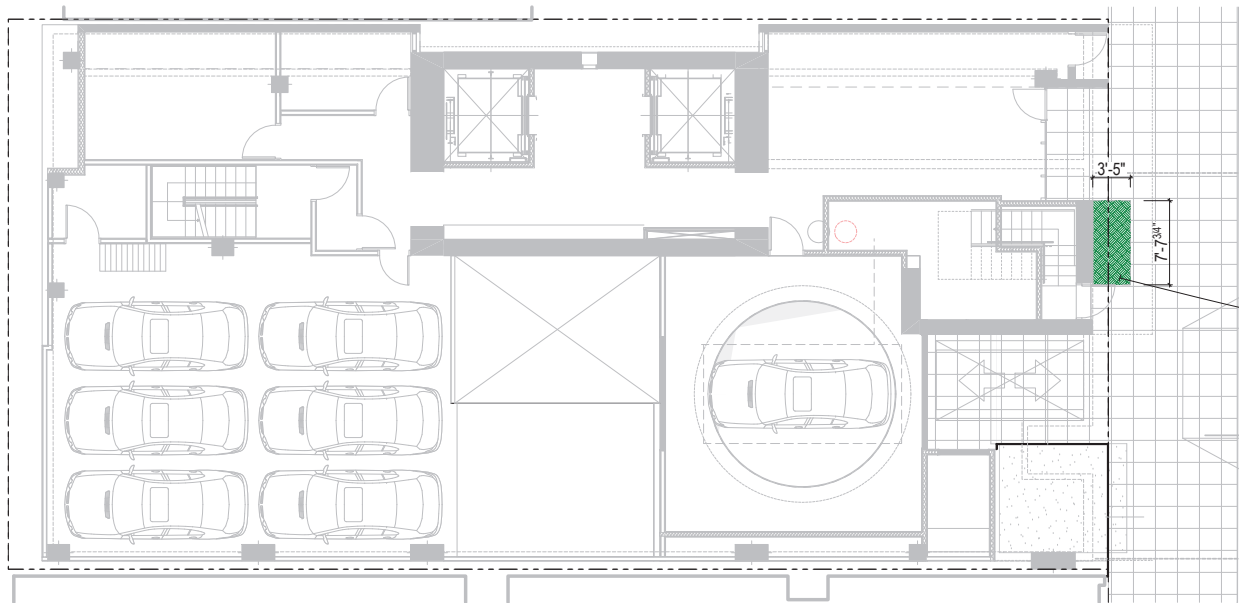
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

36" BOX TREE
5x5' MIN PLANTER BOX
COMMON EUROPEAN OLIVE
OLEA EUROPAEA

LANDSCAPE AREA
PLANTABLE AREA 90 SQ FT

SHRUB
Perovskia atriplicifolia 'Longin'
Russian Sage (drought tolerant)

LANDSCAPE PLAN ROOF DECK
SCALE: 3/16" = 1'-0" L1.0 L1.0



LANDSCAPE AREA
PLANTABLE AREA 26 SQ FT

SHRUB
Perovskia atriplicifolia 'Longin'
Russian Sage (drought tolerant)

UNION STREET

LANDSCAPE PLAN
SCALE: 3/16" = 1'-0" L1.0 L1.0

AIR RIGHTS TOWER
1620 Union Street San Diego Ca. 92101
JONATHAN SEGAL / FAIA
3000 Uppas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:
LANDSCAPE PLAN

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

REVISION 6:

SHEET: OF

SHEET NAME:

L1.0

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS:
2642-2646 Newton Ave San Diego, CA 92113

EXISTING PERMITS NOT PART OF THIS APPLICATION
COP # 2581703
PROJECT # 694291

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, LOTS 33 THROUGH 38, INCLUSIVE IN BLOCK 12 OF REED AND HUBBELL'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 327 FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO, JUNE 30, 1886

APN:
538-751-21, 538-751-22, 538-751-23

USE / STRUCTURES ON SITE:
EXISTING: LIGHT INDUSTRIAL WAREHOUSE, STORAGE LOT AND 14 MULTI FAMILY HOUSING UNITS, OF WHICH 1 IS VERY LOW INCOME DEED RESTRICTED COP # 2581703
PROPOSED USE: RELOCATED ANDREW CASSIDY RESIDENCE TO BE MULTI MULTIFAMILY HOUSING UNITS

ZONE:
BLFD-SUBD-A
BARRO LOGAN COMMUNITY PLAN AREA SUBDISTRICT A
COASTAL OVERLAY ZONE (COZ) NAPP-2
TRANSIT AREA OVERLAY ZONE (TAOZ)
AIRPORT INFLUENCE AREA (AIA) - REVIEW 2
TRANSIT PRIORITY AREA (TPA)
PARKING STANDARDS TRANSIT PRIORITY AREA (PSTPA)
FAA PART 77 NOTICING AREA
GEOLOGIC HAZARD CATEGORY 13

TYPE OF CONSTRUCTION:
TYPE 5 NON RATED

LOT SIZE:
21,042 SQ FT
0.483 ACRES

BASE ZONING DENSITY:
1 DU PER 1500 SQ FT = 14
UNITS PROVIDED: 14

INCLUSIONARY HOUSING:
UNITS PROVIDED: 2 / 14 = 14.3%

UNITS TO BE RENT CONTROLLED VERY LOW INCOME UNITS PER INCLUSIONARY HOUSING REGULATIONS OF SAN DIEGO MUNICIPAL CODE CHAPTER 14, ARTICLE 2, DIVISION 13.

E.A.S.
ALLOWED RESIDENTIAL: INTERIOR LOT COVERAGE 40%
ALLOWED COMMERCIAL: MAXIMUM FAR OF 2.0

COMMERCIAL	
EXISTING GROUND LEVEL:	7964
TOTAL AREA:	7964
TOTAL COMMERCIAL FAR:	39

RESIDENTIAL	
RELOCATED ANDREW CASSIDY HOME	1470
EXISTING RESIDENTIAL	5373
TOTAL AREA:	6843
TOTAL RESIDENTIAL FAR:	32
TOTAL RESIDENTIAL SITE COVERAGE:	3774 = 17.9% < 40%

SETBACKS:
FRONT REQUIRED: 5 FT
PROPOSED: 5 FT
SIDE REQUIRED: 3 FT ABOVE LEVEL 1 ADDITIONAL 3 FT
PROPOSED: 3 FT WEST, 3 FT AT EAST

BUILDING AREA:
ALLOWED: UNLIMITED
TOTAL NET BLDG AREA: 13337 SQ FT

HEIGHT:
PROPOSED MAX: 33'-9"
MAX HEIGHT ALLOWED: 35 FT

PARKING:	
REQUIRED RESIDENTIAL:	NO PARKING REQUIRED
REQUIRED COMMERCIAL:	2.1/1000 + 19 (12,052)
PROVIDED PER 152.046(2)(2)	5 1 ALONG NEWTON AVE - PUBLIC ROW
EV PARKING:	14 x 10% + 1.4 PROVIDED: NO ON SITE PARKING PROVIDED NO EV PARKING PROVIDED OR REQUIRED
MOTORCYCLE:	RESIDENTIAL REQUIRED (TABLE 142-205C) (8 STUDIO + 0.05% + 8% - 1.00% (0.1) + (1.00% + 0.1) = 1 REQUIRED PROVIDED: 1 MOTORCYCLE PARKING PROVIDED (RES) COMMERCIAL REQ'D + 2 PROVIDED: 2 PARKING INSIDE WAREHOUSE
LONG TERM BICYCLE (COM)	19 x .05 = 0.95 + MIN OF 1 REQUIRED: 1 INTERIOR PROVIDED: 3 INSIDE WAREHOUSE
SHORT TERM BICYCLE PARKING (COM)	15,431 x .1/1000 + 1.5 + MIN OF 1 REQUIRED: 1.5 PROVIDED: 3 @ WALKWAY
BICYCLE STORAGE (RES)	STUDIO 8 x 3 2.4 1BED 6 x 4 2 2BED 1 x 5 0.5 TOTAL: 4.9 REQUIRED RESIDENTIAL PROVIDED: 6 WITHIN BICYCLE STORAGE ROOM

AS PERMITTED BY EXISTING COP # 2581703 PROJECT # 694291

WAVERS, EXISTING
SIDEYARD SETBACK: REQUEST REDUCTION OF WESTERN SIDEYARD SETBACK AT ALL LEVELS ABOVE GROUND LEVEL TO 5'-0" MAX AND AT HISTORIC HOUSE 3'-0"

INCENTIVES, EXISTING
PARKING: REQUEST PARKING REDUCTION FOR COMMERCIAL PARKING TO 5 TOTAL SPACES ALL OF WHICH WILL BE PROVIDED ON STREET ONLY IN PUBLIC ROW AND NO ONSITE PARKING

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE RELOCATION OF THE HISTORIC ANDREW CASSIDY RESIDENCE FROM 1620 UNION STREET IN LITTLE ITALY TO AN EXISTING SITE IN THE BARRIO LOGAN DISTRICT OF SAN DIEGO

HRB # 283

PROJECT DATA

Andrew Cassidy Residence 1470 SQ FT NET RENTABLE
(1) 2 BEDROOM
(1) STUDIO

SHEET INDEX

GENERAL	
T1.0	PROJECT DATA AND DESCRIPTION
T1.1	ALTA SURVEY
T1.2	EXISTING SITE CONDITIONS & PHOTOGRAPHIC STUDY
T1.3	FIRE ACCESS PLAN
ARCHITECTURAL	
A0.0	SITE PLAN
A1.1	GROUND LEVEL PLAN
A1.2	LEVEL 2
A1.3	LEVEL 3
A1.4	ROOF PLAN
A3.0	BUILDING SECTIONS
A4.0	ELEVATIONS
LANDSCAPE	
L1.0	LANDSCAPE DRAWINGS
CIVIL	
C1.0	PRELIMINARY GRADING / CURB UTILIZATION PLAN

PROJECT TEAM

OWNER:
JMAN AT THE BARRIO LLC
3000 UPAS STREET SUITE 101
SAN DIEGO, CA 92104
619-993-6269
CONTACT: MATTHEW SEGAL
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

GEOTECHNICAL ENGINEER:
GEOCON INCORPORATED
6960 FLANDERS DRIVE
SAN DIEGO, CA 92121
858-558-6900
CONTACT: SHAWN WEE DON
EMAIL: WEE DON@GEOCONINC.COM

APPLICANT DEVELOPER:
JMAN AT THE BARRIO LLC
3000 UPAS STREET SUITE 101
SAN DIEGO, CA 92104
619-993-6269
CONTACT: MATTHEW SEGAL
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

CIVIL ENGINEER:
PASCO LARET SUITER
535 N HWY 101
SOLANA BEACH, CA 92075
858-259-9212
CONTACT: WILL MACK
EMAIL: WMACK@FLSAENGINEERING.COM

ARCHITECT:
JONATHAN SEGAL FAIA
3000 UPAS STREET SUITE 101
SAN DIEGO, CA 92104
619-993-6269
CONTACT: MATTHEW SEGAL
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

ELECTRICAL ENGINEER:
NEDC, INC
3103 FALCON STREET SUITE J
SAN DIEGO, CA 92103
619-278-8075
CONTACT: DAVID NUTTER
EMAIL: DAVID@NEDC.NET

STRUCTURAL ENGINEER:
DCI ENGINEERS
101 W. BROADWAY STE 1260
SAN DIEGO, CALIFORNIA 92101
619-400-1704
CONTACT: JON DECK
EMAIL: JDECK@DCIENGINEERS.COM

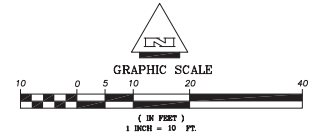
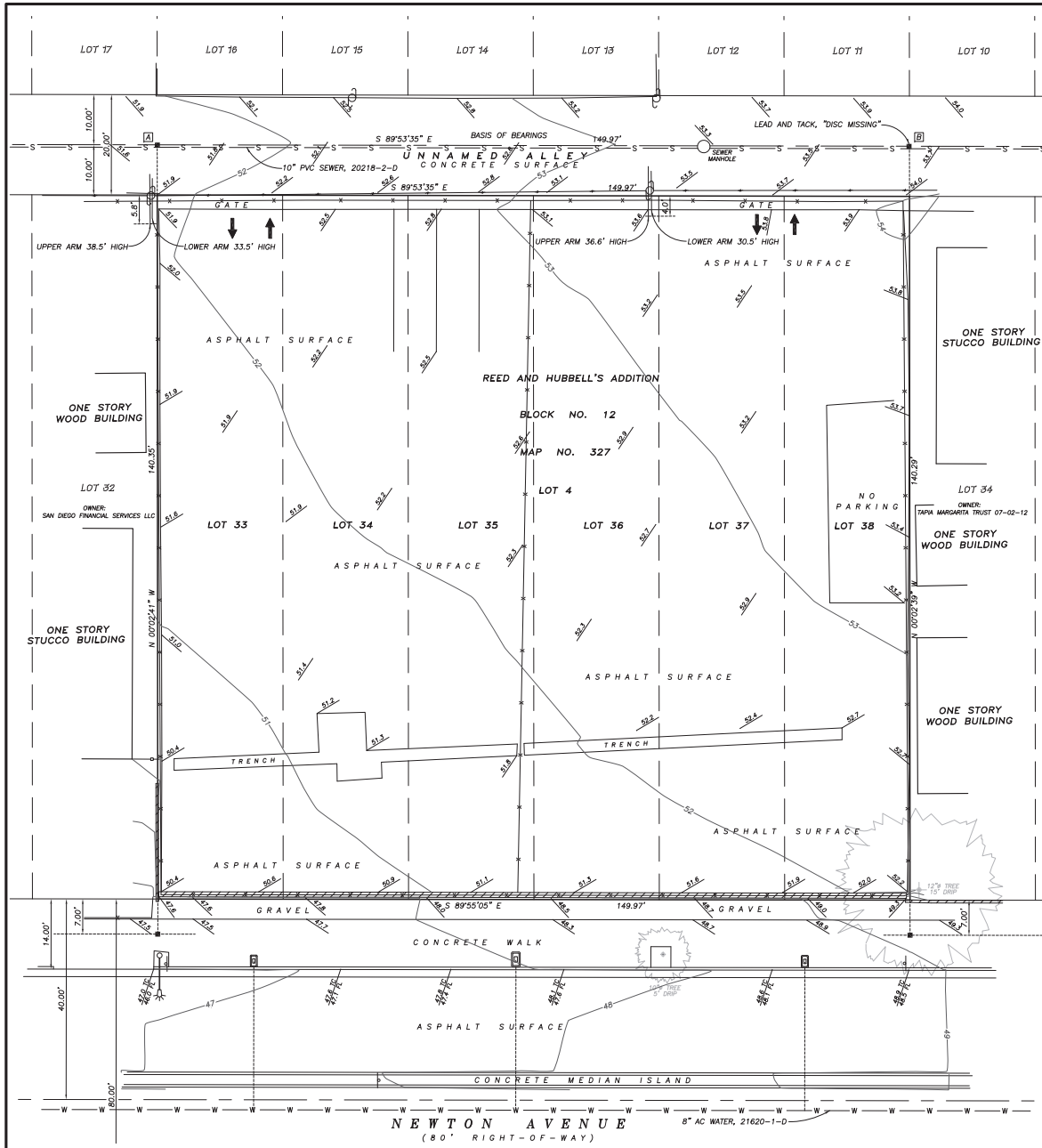


NEWTON
2642, 2646, 2648 Newton Ave
San Diego, CA 92113
JONATHAN SEGAL FAIA
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # 1066848
SHEET TITLE: TITLE SHEET
SCALE:
DATE: 9/1/2022
REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:
SHEET ____ OF ____
SHEET NAME:

T1.0



- LEGEND:**
- FOUND LEAD AND DISC STAMPED "L.S. 5845", EXCEPT AS NOTED
 - ⊕ WATER METER
 - TRAFFIC FLOW
 - ⊙ STREET LIGHT
 - UTILITY POLE
 - BLOCK WALL
 - ▨ WOOD FENCE
 - CHAIN LINK FENCE
 - OVERHEAD WIRES
 - PROPERTY LINE

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 LOTS 33 THROUGH 38, INCLUSIVE IN BLOCK 12 OF REED AND HUBBELL'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 327 FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, JUNE 30, 1886.
 APN: 538-751-21, 538-751-22, 538-751-23

NOTES REGARDING PRELIMINARY REPORT:

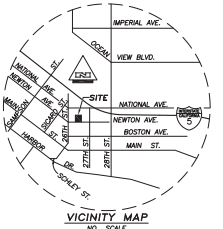
THIS A.L.T.A./N.S.P.S. LAND TITLE SURVEY IS BASED ON INFORMATION FURNISHED IN THE CHICAGO TITLE COMPANY PRELIMINARY REPORT, DATED JULY 2, 2021 ORDER NO. 00154401-993-302-C7U.
 NO EXCEPTIONS TO PLOT.

PROPERTY NOTES:

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CGS 83, ZONE 6 EPOCH 1981.55 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN IN JULY OF 2021 AT POINTS [A] AND [B] AS SHOWN HEREON. POINTS [A] AND [B] WERE ESTABLISHED FROM GPS STATION 173 AND GPS STATION 174 PER RECORD OF SURVEY 14492. THE BEARING FROM POINT [A] TO POINT [B] IS S 89°53'35" E AS SHOWN.
2. THE BASIS OF ELEVATION FOR THIS SURVEY IS THE SOUTHEAST BRASS PLUG AT THE INTERSECTION OF 26TH STREET AND BOSTON AVENUE. ELEVATION = 35.052 M.S.L. NODD 1929. CITY OF SAN DIEGO VERTICAL CONTROL.
3. THE NUMBER OF STRIPPED PARKING SPACES WITHIN THE BOUNDARY OF THE PROPERTY IS 3.
4. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" (NON-SPECIAL FLOOD HAZARD AREA) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 66073C1884H WITH A DATE OF IDENTIFICATION OF DECEMBER 20, 2019, FOR COMMUNITY NO. 0603395, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
5. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 21,042.94 SQUARE FEET / 0.483 ACRE.
7. THE PROPERTY HAS DIRECT ACCESS TO AND FROM A PUBLICLY USED AND MAINTAINED STREET OR HIGHWAY.
8. THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

SURVEYORS CERTIFICATE:

TO: JMAN INVESTMENTS, INC. AND CHICAGO TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 6(i), 7(c), 7(d)(1), 7(c), 8, 9, 13, 16, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 14, 2021.
 DATE OF PLAT: JULY 29, 2021
 Robert J. Bateman
 ROBERT J. BATEMAN
 PROFESSIONAL LAND SURVEYOR
 REGISTRATION NO. 7046
 EMAIL: rbateman@sdalme.com



PROPERTY ADDRESS: 2642-2348 NEWTON AVENUE
A.L.T.A./N.S.P.S. LAND TITLE SURVEY
 For the exclusive use of:
JMAN INVESTMENTS, INC.
 3000 UPAS ST., SUITE 101
 SAN DIEGO, CALIFORNIA 92104
San Diego Land Surveying & Engineering, Inc.
 7028 Convey Court, San Diego, CA 92111-1017
 Phone: (658) 565-8362 Fax: (658) 565-4354
 Date: 7-21-2021 Revised: 7-29-2021 Revised:
 Scale: 1"=10' Drawn by: R.J.B. Sheet 1 of 1 Sheet
 Drawing: Newton Ave 2642-2648 ALTA A.P.N. 538-751-21&22

ZONING AND SITE REQUIREMENTS WERE NOT PROVIDED AT THE TIME OF SURVEY.



NEWTON
 2642-2646, 2648 Newton Ave
 San Diego, CA 92113
 JONATHAN SEGAL / FPAIA
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	1066848
SHEET TITLE:	
SURVEY SCALE:	
DATE:	9/1/2022
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	

T1.1



1



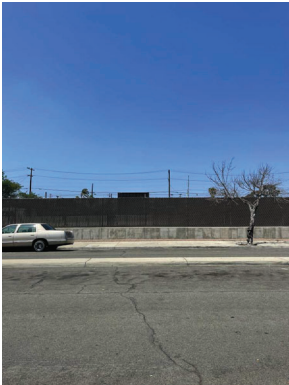
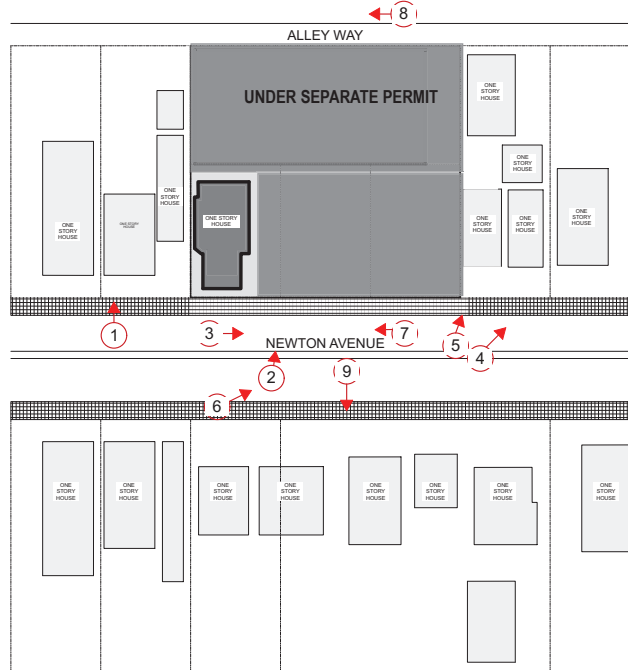
9



8



7



2



6



3



4

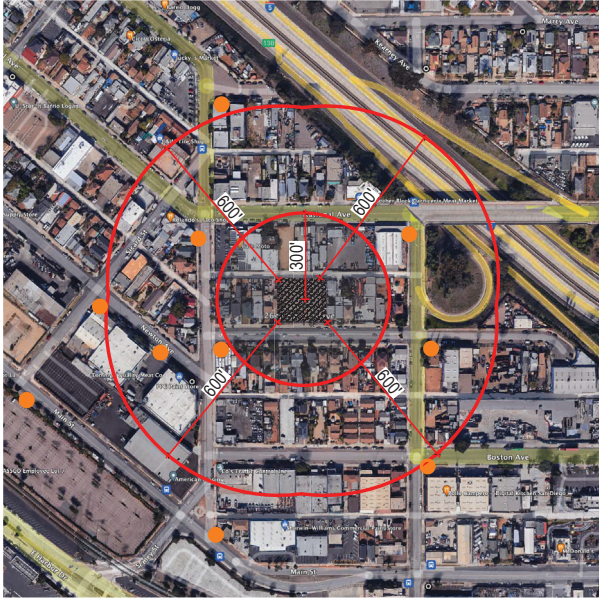


5

NEWTON
 2642, 2646, 2648 Newton Ave
 San Diego, CA 92113
 JONATHAN SEGAL / FAIA
 3000 Ujas Street Suite 101 San Diego, CA 92104



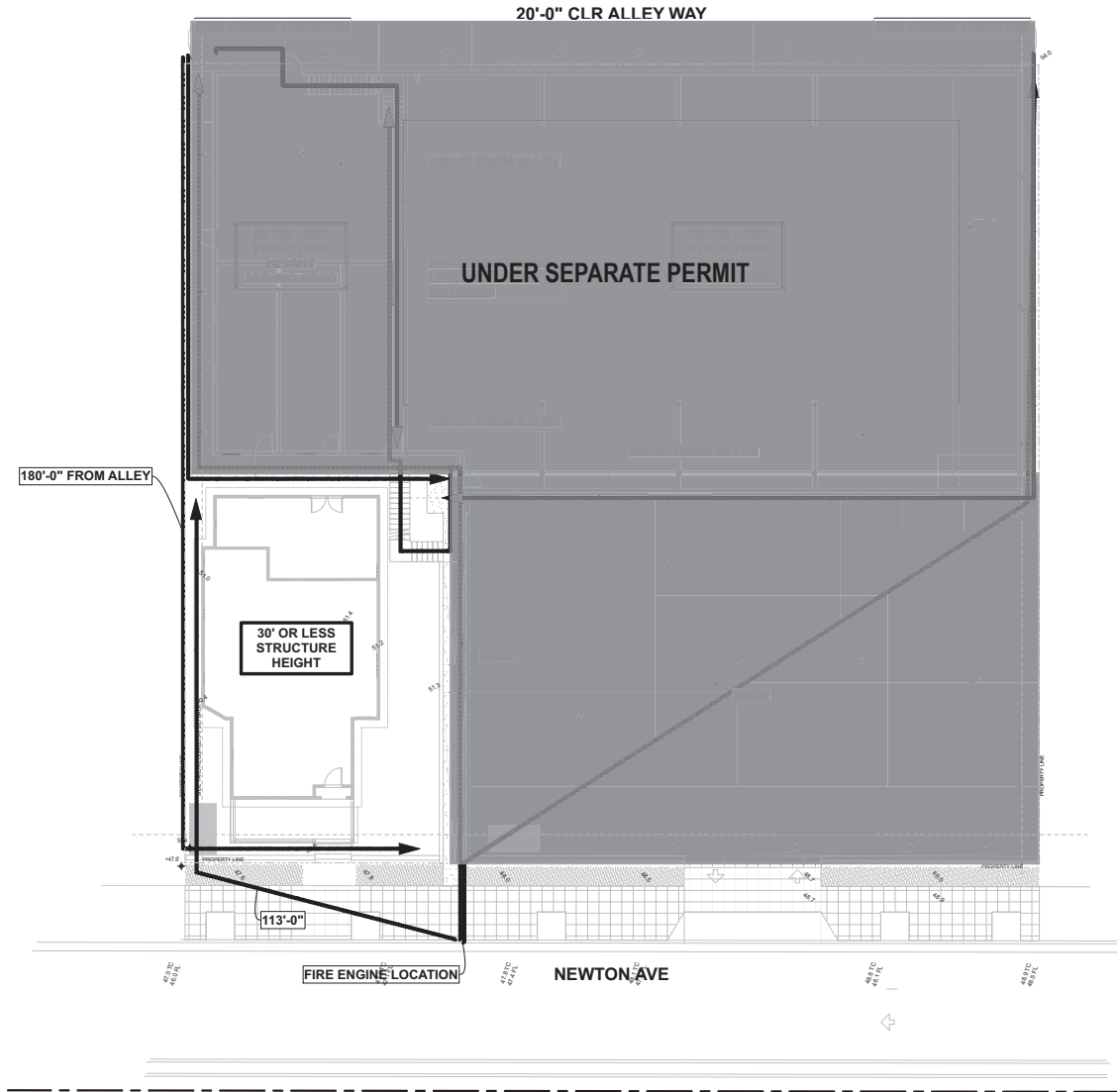
PROJECT # 1066848
 SIGNED: FRENDS & PHOTOGRAPHIC STUDY
 SCALE:
 DATE: 9/1/2022
 REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4:
 REVISION 5:
 REVISION 6:
 SHEET ____ OF ____
 SHEET NAME:



FIRE HYDRANT DIAGRAM
SCALE: 1" = 200'

NOTE:
ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF THE SUBMITTED PROJECT

ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING PER POLICY A-14-1. HOSE PULL IS MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S) THE MAXIMUM HOSE PULL IS 200'. FOR NON SPRINKLERED BUILDINGS THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.

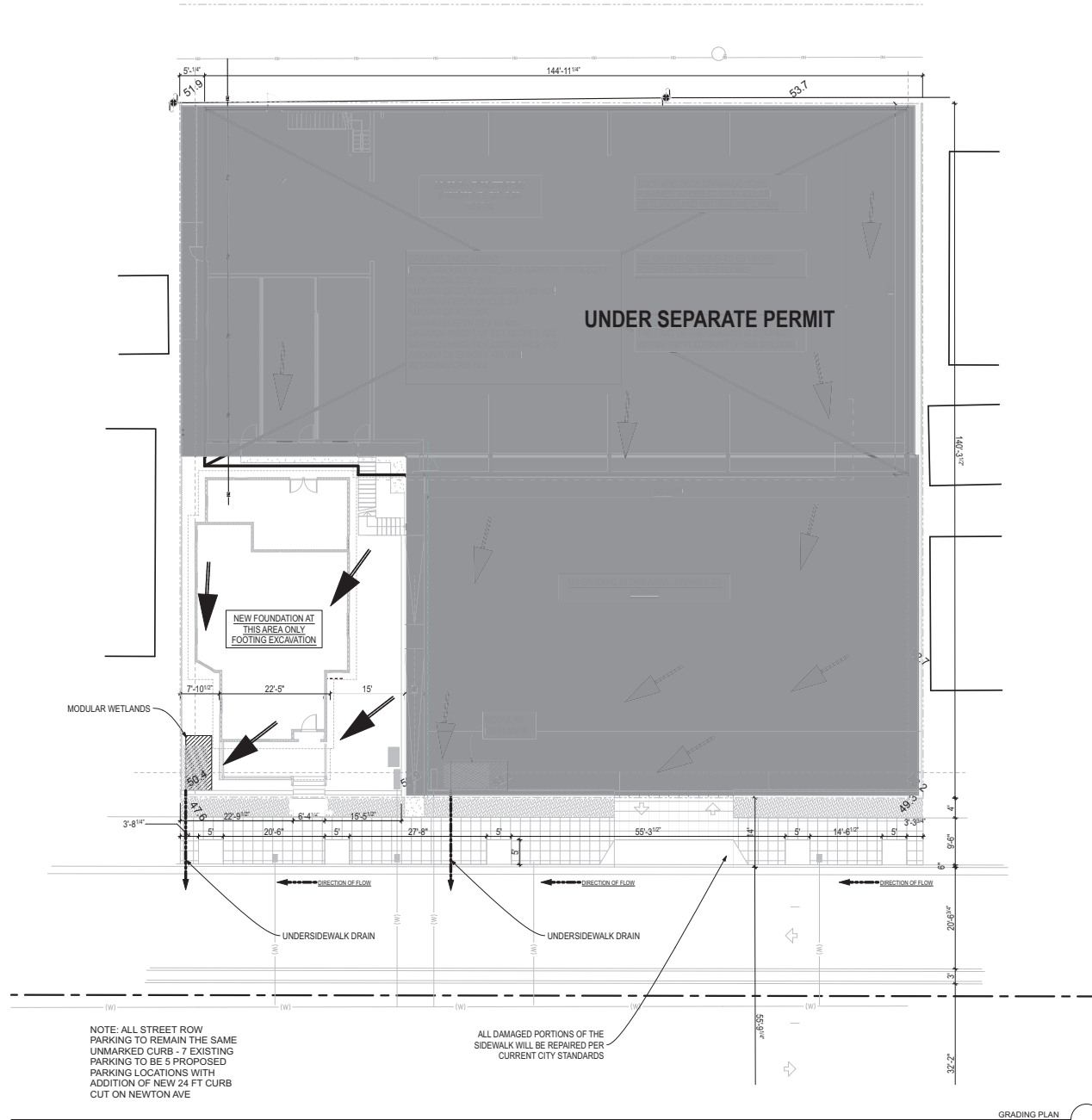


FIRE ACCESS PLAN
SCALE: 1" = 10'

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PROJECT # 1066848
SHEET TITLE: FIRE ACCESS PLAN
SCALE:
DATE: 9/1/2022
REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:
SHEET: ___ OF ___
SHEET NAME:



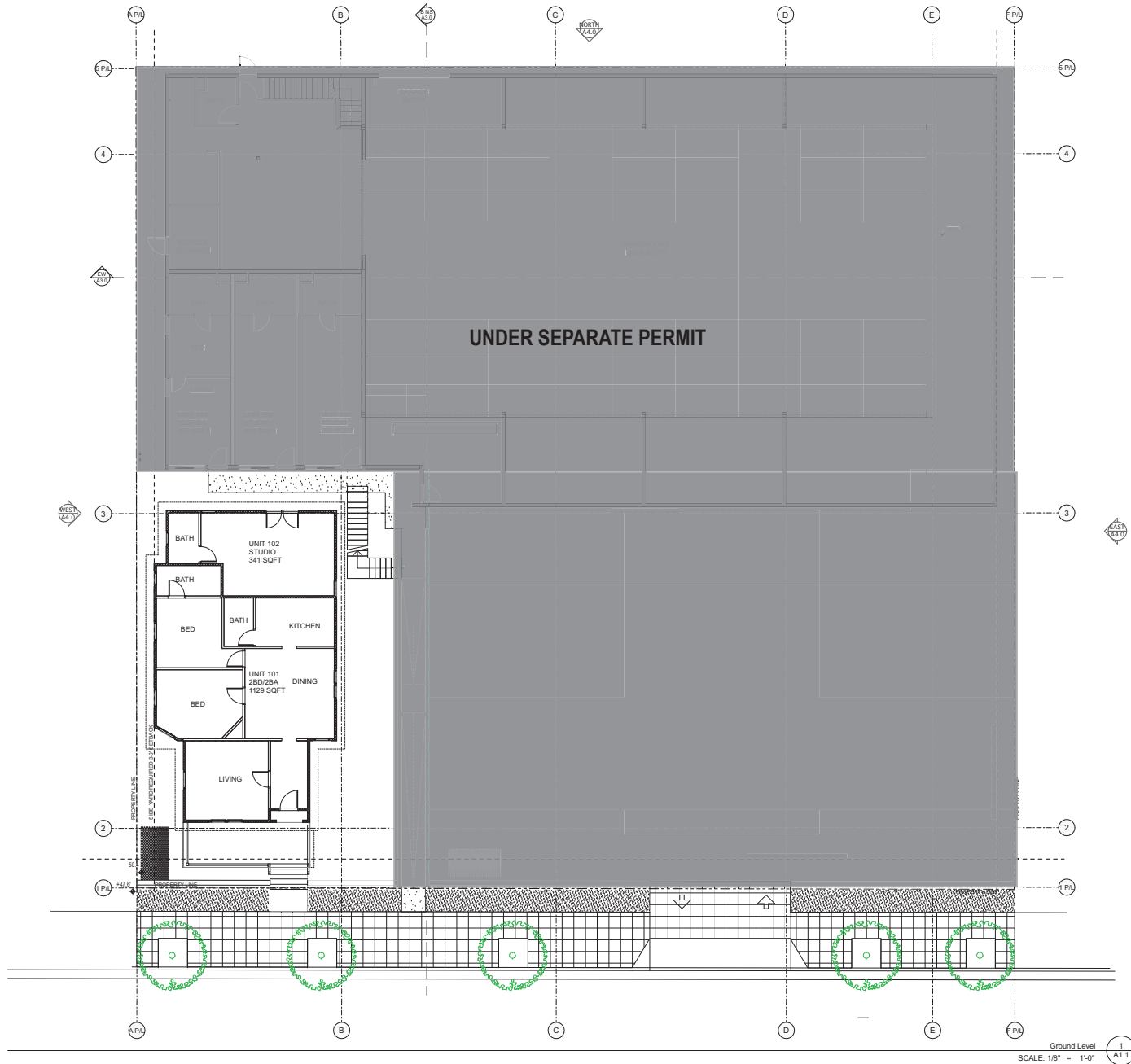
NEWTON
 2642, 2646, 2648 Newton Ave
 San Diego, CA 92113
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 3000 Ujass Street, Suite 101, San Diego, CA 92104



PROJECT # 1066848
 SHEET TITLE: GRADING PLAN
 SCALE:
 DATE: 9/1/2022
 REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4:
 REVISION 5:
 REVISION 6:
 SHEET: _____ OF _____
 SHEET NAME:

C1.0

GRADING PLAN
 SCALE: 1" = 10'



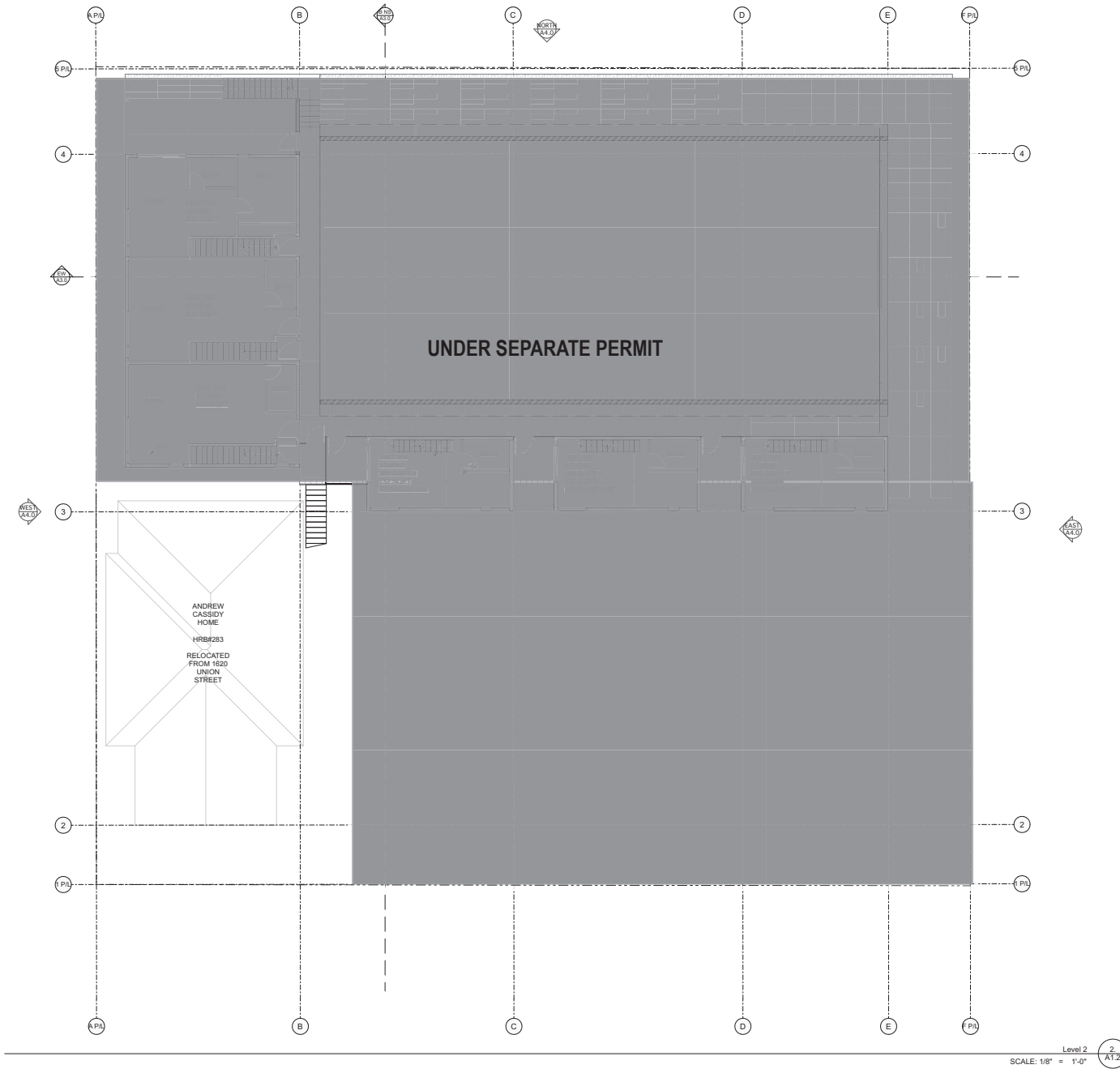
NEWTON
 2642, 2646, 2648 Newton Ave
 San Diego, CA 92113
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PROJECT #	1066848
SHEET TITLE	GROUND LEVEL
SCALE	
DATE	9/1/2022
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	

A1.1

Ground Level
 SCALE: 1/8" = 1'-0" 1 / A1.1

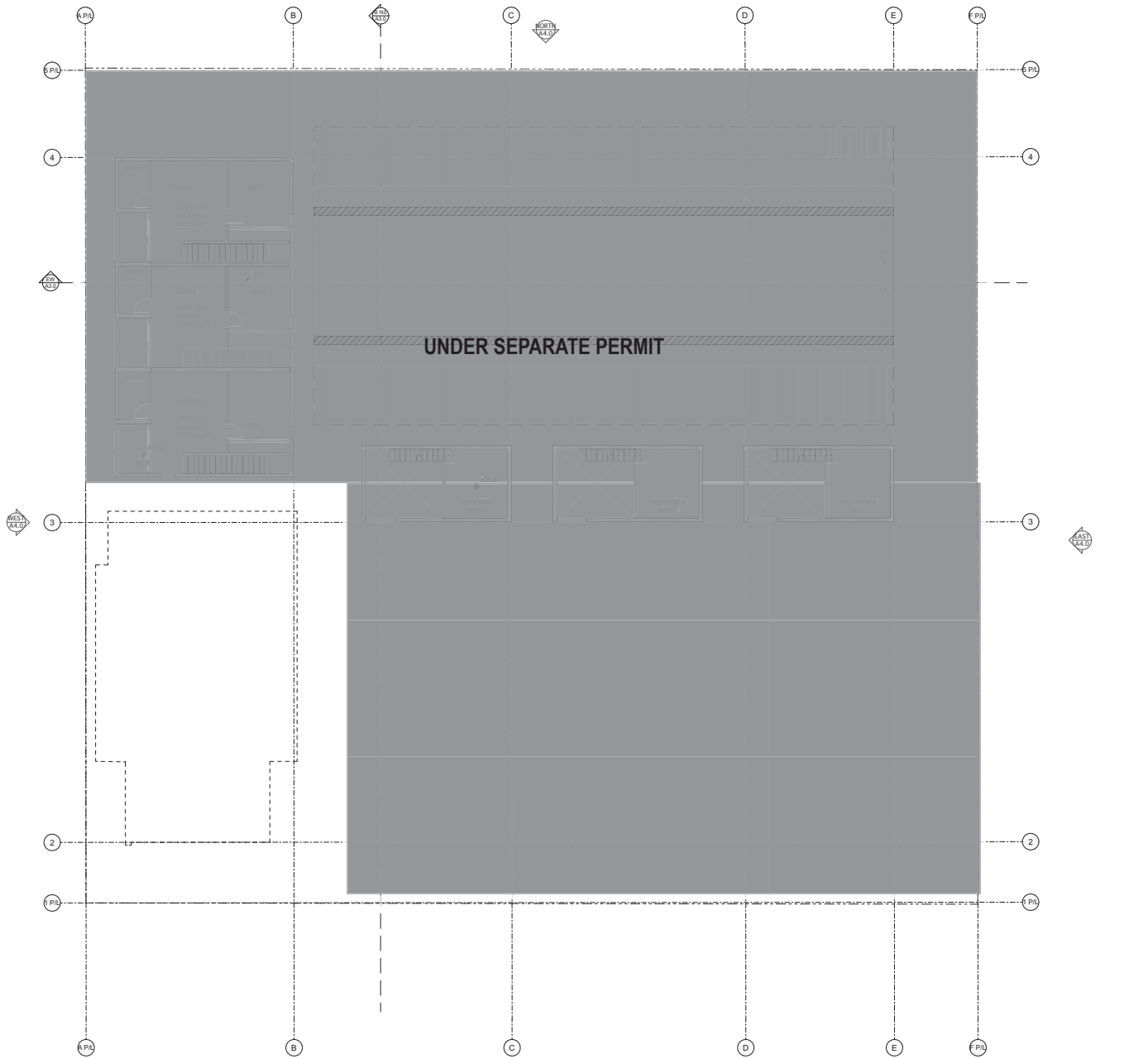


NEWTON
 2642, 2646, 2648 Newton Ave
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PROJECT #	1066848
SHEET TITLE:	LEVEL 2
SCALE:	
DATE:	9/1/2022
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	

A1.2



NEWTON
 2642, 2646, 2648 Newton Ave
 San Diego, CA 92113
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 3000 Upas Street, Suite 101 San Diego, CA 92104

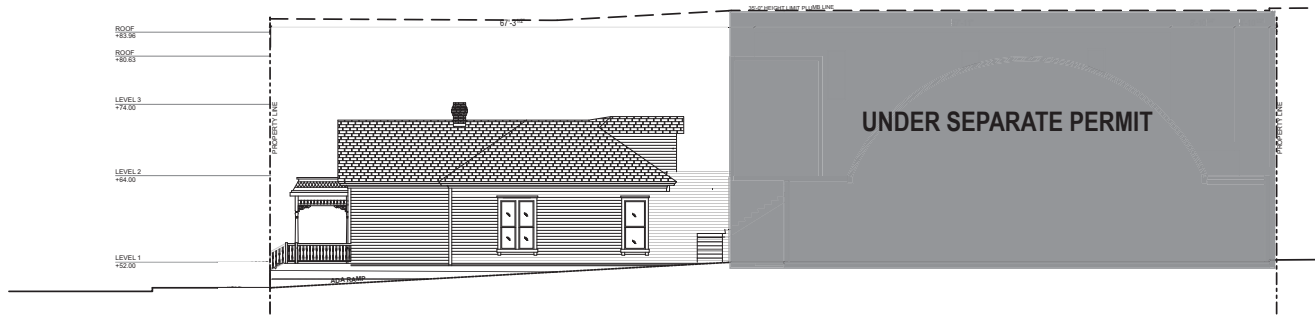


PROJECT #	1066848
SHEET TITLE:	LEVEL 3
SCALE:	
DATE:	9/1/2022
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	

A1.3



EW
A3.0



NORTH SOUTH SECTION
SCALE: 1/8" = 1'-0"

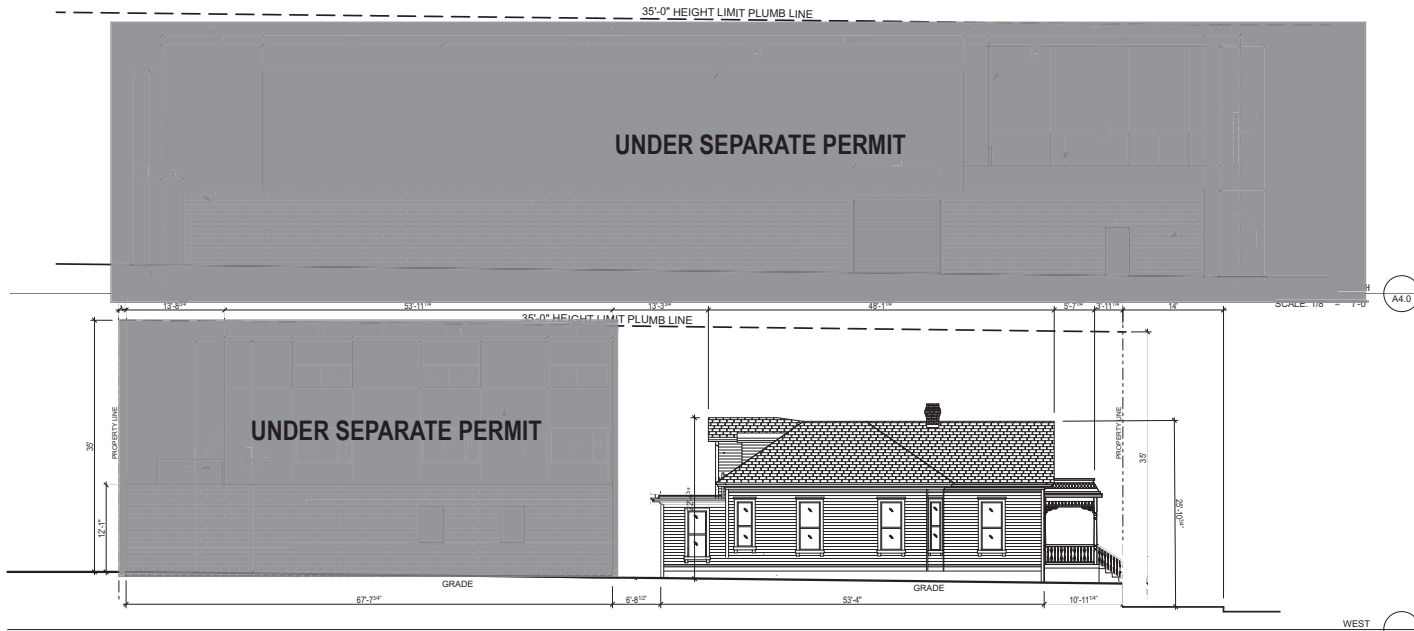
NS
A3.0

NEWTON
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3000 Upas Street, Suite 101 San Diego, CA 92104



PROJECT #	1066848
SHEET TITLE:	BUILDING SECTION
SCALE:	
DATE:	9/1/2022
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	

A3.0



WEST
SCALE: 1/8" = 1'-0"
A4.0



GARAGE DOOR CORRUGATED METAL

1



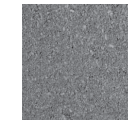
DARK BRONZE ANODIZED METAL

2



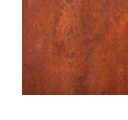
WHITE/CREAM STUCCO SAND FINISH

3



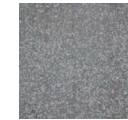
CONCRETE BLOCK

4



RUSTY METAL

5



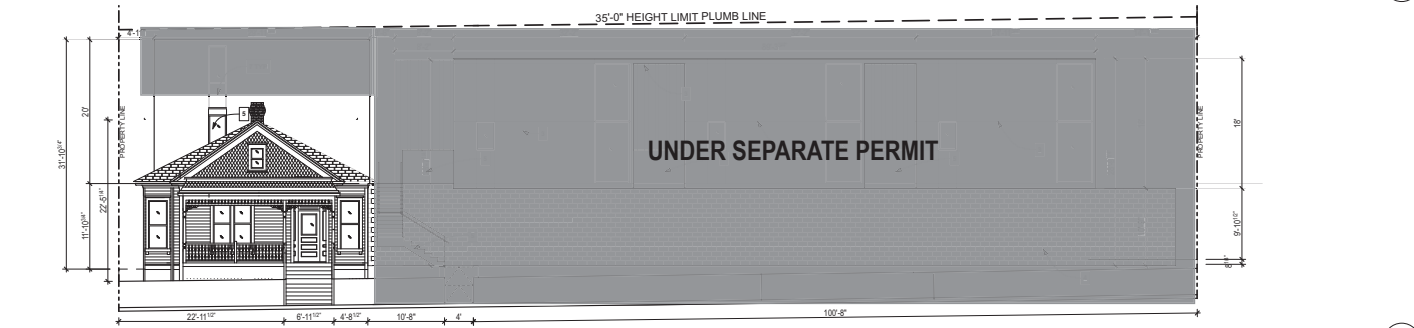
TEXTURED METALLIC SHEETING

6

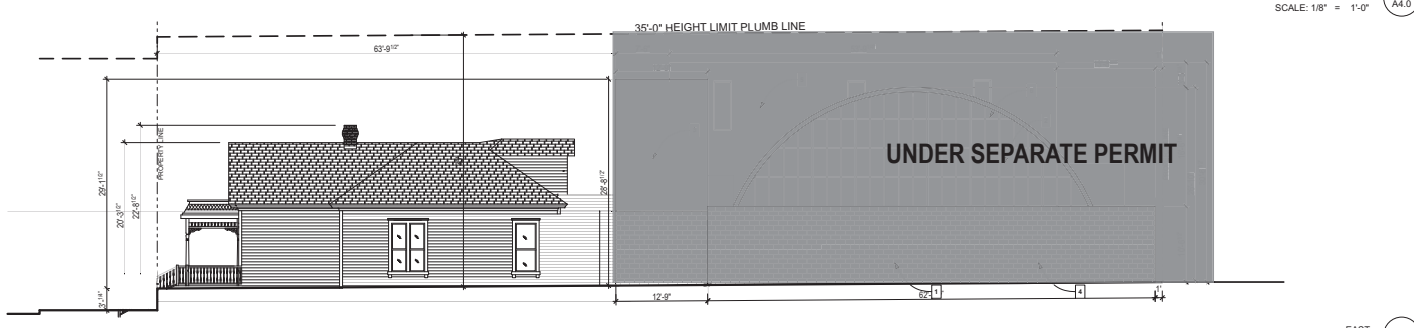


SOLAR BAN 70 GLASS CENTER SET GLAZING

7



SOUTH
SCALE: 1/8" = 1'-0"
A4.0



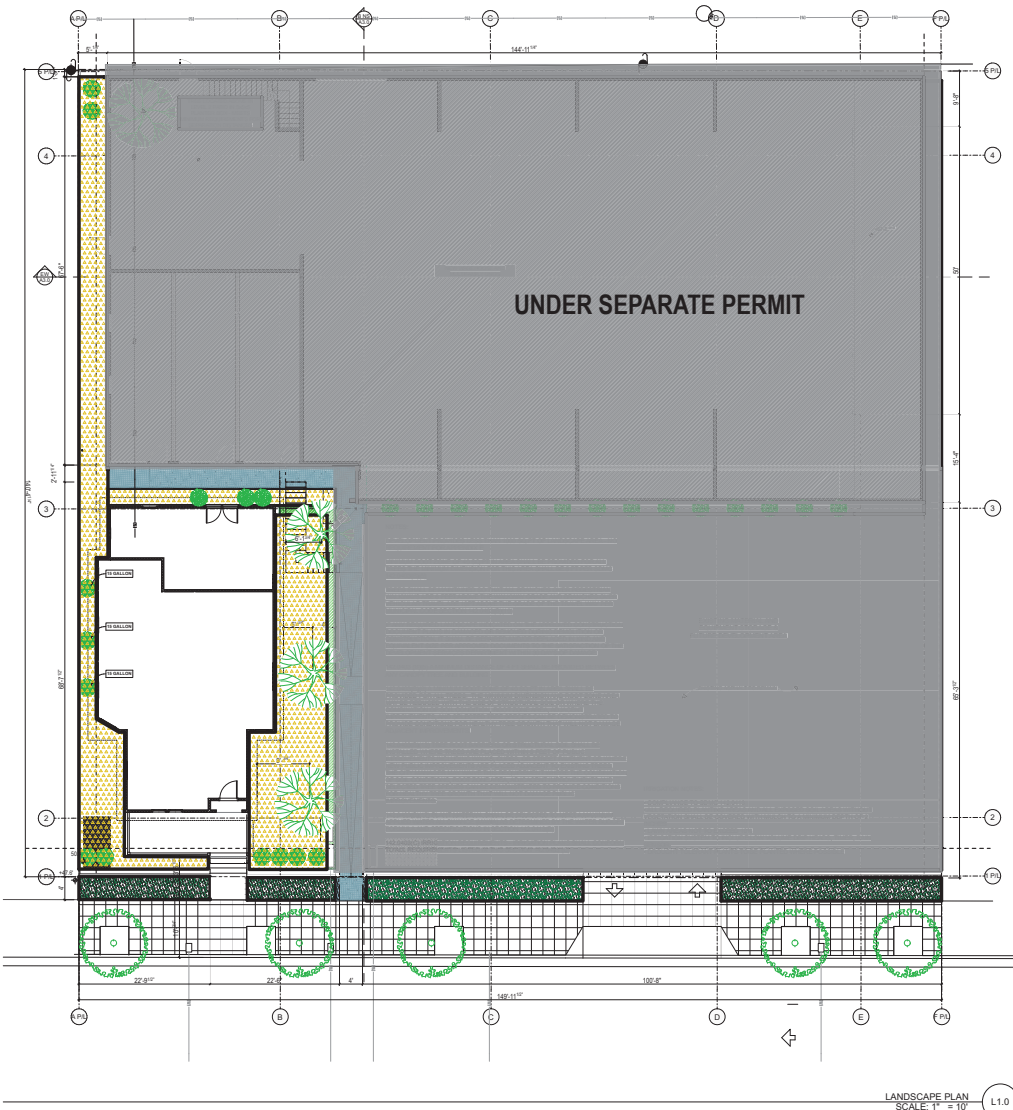
EAST
SCALE: 1/8" = 1'-0"
A4.0

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San Diego, CA 92113
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PROJECT #	1066848
SHEET TITLE	ELEVATIONS
SCALE:	
DATE:	9/1/2022
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET	OF
SHEET NAME:	

A4.0

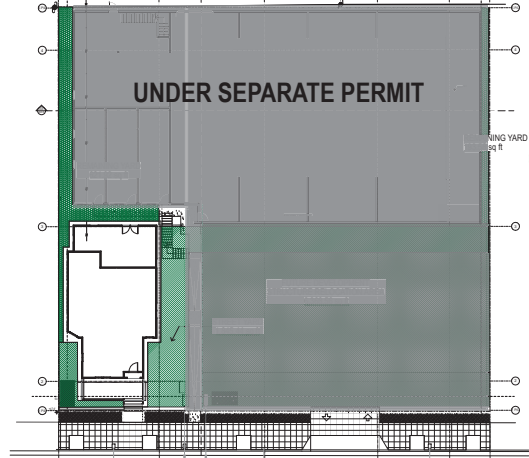


LANDSCAPE PLAN
SCALE: 1" = 10'

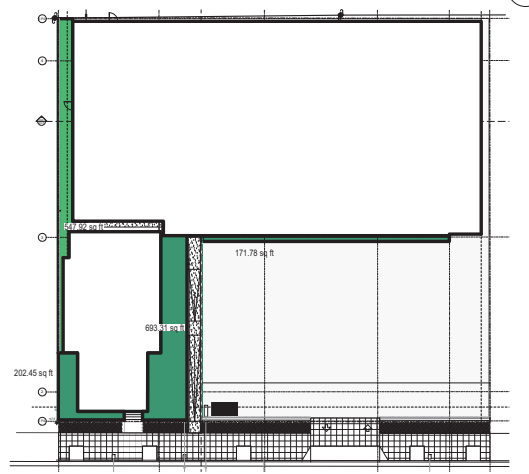
LANDSCAPE

SCIENTIFIC NAME	COMMON NAME	QTY	CONTAINER SIZE	MATURE SIZE	WATER NEEDS	EXPOSURE	POINTS
LAVANDULA ANGUSTIFOLIA	LAVENDER	PER PLAN	5 GALLON	LOW SPREADING	REGULAR	FULL SUN	18x2 = 36 STREET YARD 6x10 = 60 REMAINING YARD
KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	2	36" BOX	40H x 20W	REGULAR	FULL SUN	50x3 = 150
JACARANDA MIMOSIFOLIA	JACARANDA	5	24" BOX	20Hx30W	REGULAR	FULL SUN	STREET TREE
FICUS BENJAMINA	FICUS	38" OC = 25	5 GALLON	8Hx22W	REGULAR	FULL SUN	25x2 = 50

HARDSCAPE	QTY	Notes
10% Decomposed Granite Hardscape 90% plant Material (Bark)		
3/4" Under Gravel (Existing)		
Concrete Walkway		



LANDSCAPE CALC
SCALE: 1" = 20'



LANDSCAPE AREA
SCALE: 1" = 20'

STREET YARD [142.044 - 142.045] - All Multiple Dwelling Unit Residential Development
 * Planting area in the public right-of-way is not counted towards fulfillment of the required street yard planting area.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area, 1845 sq. ft. x 50% = 922 sq. ft.	1067 sq. ft.	145 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area, 1845 sq. ft. x 0.05 = 92 points	236 points	144 points
		Plant Points Achieved with Trees (50%)
		150 points

REMAINING YARD [142.044 - 142.045] - 5 Dwelling Units or More

Option 1:
 A minimum of 30 percent of the total area within a 10-foot offset from the structural envelope of each residential structure shall be planting area and shall be planted at a rate of 0.05 points per square foot of total area within the offset.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area, 815 sq. ft. x 30% = 245 sq. ft.	547 sq. ft.	409 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area, 815 sq. ft. x 0.05 = 41 points	110 points	28 points
		Plant Points Achieved with Trees (50%)
		50 points

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PROJECT #
1066848

SHEET TITLE:
LANDSCAPE PLAN

SCALE:

DATE:
9/1/2022

REVISION 1:

REVISION 2:

REVISION 3:

REVISION 4:

REVISION 5:

REVISION 6:

SHEET
OF

SHEET NAME:

L1.0

RECORDING REQUESTED BY
CITY OF SAN DIEGO
URBAN DIVISION
THIRD FLOOR

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009332

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 3170849
AIR RIGHTS TOWER (1620 UNION STREET) - PROJECT NO. 1066848
PLANNING COMMISSION

This Site Development Permit is granted by the Planning Commission of the City of San Diego ("City") to Jman Investments Inc., Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Section 126.0505 to allow 1) the relocation of a historical resource and 2) the construction of a 24-story, 250-foot tall residential development ("Project"). The approximately 5,013 square-foot (SF) site is located at 1620 Union Street (west side of Union Street between West Date and West Cedar streets) in the Little Italy neighborhood of the Downtown Community Plan (DCP) area and within the Centre City Planned District. The Project site is legally described as Lot 8 in Block 33 of Middletown in the City of San Diego, County of San Diego, State of California, according to partition map thereof, made by J.E. Jackson on file in the Office of the County Clerk of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to construct and operate a development and uses as described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated December 21, 2021, on file in the Development Services Department (DSD).

The Project shall include:

- Site Development Permit (SDP): Relocation of a designated Historical Resources Board (HRB) Site No. 238, the Andrew Cassidy Home, pursuant to SDMC Section 126.0502(d)(1)(E) from 1620 Union Street to 2642-2648 Newton Avenue.
- Construction of a 24-story, 250-foot tall residential development, totaling approximately 109,546 SF, and comprised of 73 residential dwelling units and 70 parking spaces within a fully-automated mechanical parking garage.
- Public and private accessory improvements determined by DSD to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 30, 2025.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to DSD; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

10. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.
12. Development Impact Fees: The development will be subject to Development Impact Fees. The fee shall be determined in accordance with the fee schedule in effect at the time of building permit issuance and with the SDMC. The Owner/Permittee shall provide all necessary documentation to the City's Planning Department.
13. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor(s) or new policies, financing mechanisms, phasing schedules, plans and ordinances adopted by the City.
14. No permit for construction, operation, or occupancy of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until this Permit is recorded in the Office of the San Diego County Recorder.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

15. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program (MMRP) shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

16. The mitigation measures specified in the MMRP and outlined in the 2006 Downtown Final Environmental Impact Report for the DCP and as amended by subsequent addenda (SCH No. 2003041001), shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
17. The Owner/Permittee shall comply with the MMRP as specified the 2006 Downtown Final Environmental Impact Report for the DCP and as amended by subsequent addenda (SCH No. 2003041001), to the satisfaction of DSD and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Air Quality (AQ-B.1-1), Historical Resources (HIST-A.1-1, HIST-A.1-2, HIST-A.1-3, HIST-B.1-1), Land Use (LU-B.1), Paleontology Resources (PAL-A.1-1).

CLIMATE ACTION PLAN REQUIREMENTS:

18. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of DSD, including:
 - a. Cool/Green Roofs: Roofing materials with a minimum three-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (CAL Green).
 - b. Plumbing Fixtures & Fittings:
 - i. Residential:
 1. Kitchen faucets: Maximum flow rate not to exceed 1.5 gallons per minute at 60 PSI;
 2. Standard dishwashers: 4.25 gallons per cycle;
 3. Compact dishwashers: 3.5 gallons per cycle;
 4. Clothes washers: Water factor of six gallons per cubic feet of drum capacity.
 - c. Electric Vehicle Charging: Of the total required listed cabinets, boxes, or enclosures, 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use.
 - d. Bicycle Parking Spaces: Project provides more short- and long-term bicycle parking spaces than required in the SDMC.

AFFORDABLE HOUSING REQUIREMENTS:

19. Prior to issuance of any building permit associated with this Project, the Owner/Permittee shall demonstrate compliance with the provisions of the Complete Communities Housing Solutions Regulations of SDMC Chapter 14, Article 3, Division 10 and Inclusionary Affordable Housing Regulations of SDMC Chapter 14, Article 2, Division 13. The Owner/Permittee shall enter into a written Agreement with the San Diego Housing Commission, which shall be drafted and

approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust which incorporates applicable affordability conditions consistent with the SDMC. The Agreement will specify that in exchange for the City's approval of the Project, which contains a new unlimited floor area ratio density bonus, alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide three affordable units with rents of no more than 30% of 50% of area median income (AMI), two affordable units with rents of no more than 30% of 60% of AMI, and three affordable units with rents of no more than 30% of 120% of AMI for no fewer than 55 years.

AIRPORT REQUIREMENTS:

20. The Owner/Permittee shall comply with conditions established by the City Airport Approach Overlay Zone (and any successor or amendment thereto) which were approved by the Airport Land Use Commission (ALUC) on October 1, 2021. The ALUC Board made the determination that the project is conditionally consistent with the San Diego International Airport Land Use Compatibility Plan (ALUCP). Owner/Permittee shall comply with the following ALUC conditions:
- a. The structure and temporary construction crane shall be marked and lighted in accordance with Federal Aviation Administration (FAA) procedures.
 - b. An aviation easement for airspace shall be recorded with the County Recorder prior to building permit issuance.
 - c. The ALUCP requires that a means of overflight notification be provided for new residential land uses. In instances when an aviation easement is required, the overflight notification requirement is satisfied.

ENGINEERING REQUIREMENTS:

21. Prior to the issuance of any building permits, the Owner/Permittee shall provide any right-of-way (ROW) dedication to meet minimum 12-foot curb to property line required along Union Street frontage to satisfaction of the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 10-foot driveway adjacent to the site on Union Street to satisfaction of the City Engineer.
23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to replace existing curb and sidewalk with standard curb/gutter and sidewalk per current City Standards along Union Street frontage.
24. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for non-standard driveway, enhanced sidewalk, landscaping /trees, out-swinging doors, and sidewalk underdrain/curb outlet in the Union Street ROW.

25. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Agreement, from the City Engineer, for above-ground encroachments in the Union Street ROW.
26. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
27. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
28. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

29. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
30. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

HISTORICAL RESOURCES REQUIREMENTS:

31. Prior to the issuance of any construction permits, the Owner/Permittee shall submit drawings that incorporate the Treatment Plan as approved by the Historical Resources Board (HRB) and City Historical Resources Staff.
32. Prior to the issuance of any construction permits, the Historic American Building Survey (HABS) documentation as approved by HRB and City Historical Resources Staff shall be submitted for archival storage with the City of San Diego HRB, South Coastal Information Center, the California Room of the City of San Diego Public Library, the San Diego Historical Society, and/or other historical society or group(s).
33. During construction of the Project, the Owner/Permittee shall implement the Monitoring Plan as approved by HRB and City Historical Resources staff. The Project's Principal Investigator shall send monitoring reports as described in the Monitoring Plan to the City's Mitigation Monitoring staff and Historical Resources staff. The Principal Investigator may submit a detailed letter to City staff prior to the start of work or during construction requesting a modification to the Monitoring Plan. This request shall be based on relevant information and site conditions.

34. Prior to the issuance of a building permit, the Owner/Permittee shall submit a plan showing the design and location of an interpretive plaque to be placed on the Union Street façade to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board, with subsequent staff approval. The plaque shall include information regarding the collection of five historic homes located or previously located on the west side of the 1600 block of Union Street (HRB #123, HRB #282, HRB #283, HRB #284 and HRB #285), as well as the address of the relocation site. The interpretive plaque shall be installed in the location identified on the previously approved plans for the Designated Historic Site prior to the issuance of a Certificate of Occupancy. The Owner/Permittee shall be responsible for funding and implementing the long-term management of the story board in perpetuity.
35. Prior to the issuance of a demolition permit for relocation, the requirements of the Mills Act contract shall be removed from the 1620 Union Street property and any required fees associated with the removal of the Mills Act contract shall be paid by the Owner/Permittee.

LANDSCAPE REQUIREMENTS:

36. Prior to issuance of any grading permit, if applicable, the Owner/Permittee shall submit construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City Landscape Standards, Storm Water Design Manual, and to the satisfaction of DSD. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file at DSD.
37. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit landscape construction documents for ROW improvements to DSD for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
38. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit landscape and irrigation construction documents, which are consistent with the Landscape Standards, to DSD for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in DSD. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section 142.0403(b)5.
39. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to DSD identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file at DSD. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
40. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the ROW, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by DSD. All required landscape

shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

41. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of DSD within 30 days of damage or Certificate of Occupancy.

PUBLIC UTILITIES REQUIREMENTS:

42. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
43. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a ROW permit for new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
44. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located outside of the ROW adjacent to the development's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the ROW.
45. The Owner/Permittee shall be responsible for any damage caused to City of San Diego water and sewer facilities within the vicinity of the Project site, due to the construction activities associated with this Project, in accordance with SDMC Sec. 142.0607. In the event that any such facility loses integrity, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.
46. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
47. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
48. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
49. The Owner/Permittee shall obtain approval from DSD-Fire Protection, prior to submission to PUD Water and Sewer ministerial review, then submit the final water study per the City's current Water Design Guide criteria prior to ministerial review approval.

PLANNING/DESIGN REQUIREMENTS:

50. Floor Area Ratio (FAR) Bonus: The Project achieves a FAR of **21.91** through the utilization of the Complete Community Housing Solutions Regulations (CCHSR), SDMC Chapter 14, Article 3, Division 10. A written agreement and a deed of trust securing the agreement shall be entered into by the Applicant and the President and Chief Executive Officer of the San Diego Housing Commission prior to the issuance of a building permit. Pursuant to Section 143.1010(j) of the CCHSR, the Project is granted the following waivers:
- a. Driveway Width (SDMC Section 142.0560(j)(1)) – Reduce the minimum driveway width from 14 feet to 10 feet.
 - b. Refuse and Recycling (SDMC Section 142.0820(b)) – Reduce the minimum refuse and recycling storage area from 288 SF to 145 SF.
 - c. Tower Setbacks (SDMC Section 156.0310(d)(3)(E)) – Reduce the tower setback from interior property lines from ten feet to three feet on both the north and west tower elevations.
 - d. Common Indoor Space (SDMC Section 156.0310(g)(2)) – Reduce the minimum area of common indoor space from 500 SF to zero SF.
 - e. Private Open Space (SDMC Section 156.0310(g)(3)) – Reduce the minimum area of private open space from 40 SF to 36 SF.
 - f. Pet Open Space (SDMC Section 156.0310(g)(5)) – Reduce the required pet open space from 100 SF to zero SF.
 - g. Transparency (SDMC Section 156.0311(d)(1)) – Reduce the minimum ground level transparency from 60% of the building façade to 28%.
 - h. Oriel Windows (SDMC Section 156.0311(h)(2)) – Increase the maximum width of oriel windows from 12 feet to 19'-4" and increase the maximum façade coverage of oriel windows from 30% to 76.3%
 - i. Electric Vehicle Parking (SDMC Section 156.0313(a)(2)(C)) – Reduce the number of required on-site electric vehicle parking spaces from seven to six.
 - j. Motorcycle Parking (SDMC Section 156.0313(a)(2)(D)) – Reduce the number of required motorcycle parking spaces from seven to zero.
51. Parking: No on-site vehicular parking is required for the residential DUs and the Project shall not provide more than 73 parking spaces for the residential DUs (one space per DU, excluding tandem spaces). The Project proposes 70 total parking spaces within a fully-automated mechanical parking garage.

52. **Bicycle Parking:** Secured bicycle storage shall be provided to accommodate a minimum of 16 bicycles. Bicycle storage areas shall be within a secured enclosure with access restricted to authorized persons and provide devices for the locking of individual bicycles.
53. **Urban Design Standards:** The Project, including its architectural design concepts and off-site improvements, shall be consistent with the Centre City Planned District Ordinance (CCPDO) and Centre City Streetscape Manual (CCSM). These standards, together with the following specific conditions, will be used as a basis for evaluating the development through all stages of the development process.
54. **Architectural Standards:** The architecture of the development shall establish a high quality of design and complement the design and character of the Little Italy neighborhood as shown in the approved Exhibit "A," on file at DSD. The development shall utilize a coordinated color scheme consistent with the approved Exhibit "A," on file at DSD.
55. **Form and Scale:** The development shall consist of a 24-story mixed-use development (approximately 250 feet tall) measured to the top of the roofline, with roof equipment enclosures, elevator penthouses, and mechanical screening above this height permitted per the CCPDO and the FAA. All building elements shall be complementary in form, scale, and architectural style.
56. **Building Materials:** All building materials shall be of a high quality as shown in Exhibit "A" on file at DSD and approved materials board or an approved equal. All materials and installation shall exhibit high-quality design, detailing, and construction execution to create a durable and high-quality finish. The base of the buildings shall be clad in upgraded materials and carry down to within one inch of finish sidewalk grade, as illustrated in the approved Exhibit "A," on file at DSD. Any graffiti coatings shall be extended the full height of the upgraded base materials or up to a natural design break such a cornice line. All downspouts, exhaust caps, and other additive elements shall be superior grade for urban locations, carefully composed to reinforce the architectural design. Reflectivity of the glass shall be the minimum reflectivity required by Title 24 of the California Code of Regulations (Title 24). All construction details shall be of the highest standard, as shown in the approved Exhibit "A," on file at DSD, and executed to minimize weathering, eliminate staining, and not cause deterioration of materials on adjacent properties or the ROW. No materials/colors substitutions shall be permitted without prior written City consent.
57. **Street Level Design:** Street level windows shall be clear glass and may be lightly tinted. Architectural features such as awnings and other design features which add human scale to the streetscape are encouraged where they are consistent with the design theme of the structure. Exit corridors including garage entrances shall provide a finished appearance to the street with street level exterior finishes wrapping into the openings a minimum of ten feet, or the garage door, whichever is deeper. All exhaust caps, lighting, sprinkler heads, and other elements on the undersides of all balconies and surfaces shall be logically composed and placed to minimize their visibility, while meeting code requirements. All soffit materials shall be high quality and consistent with adjacent elevation materials and incorporate drip edges and other details to minimize staining and ensure long-term durability.

58. Utilitarian Areas: Areas housing trash, storage, or other utility services shall be completely concealed from view of the ROW and adjoining developments, except for utilities required to be exposed by the City or utility company. The development shall provide trash and recyclable material storage areas per SDMC Section 142.0810 and 142.0820. Such areas shall be provided within an enclosed building area and kept clean and orderly at all times.
59. Mail and Delivery Locations: It is the Owner/Permittee's responsibility to coordinate mail service and mailbox locations with the United States Postal Service and to minimize curb spaces devoted to postal and loading use. The Owner/Permittee shall locate all mailboxes and parcel lockers outside of the ROW either within the building or recessed into a building wall.
60. Circulation and Parking: Owner/Permittee shall prepare a plan which identifies the location of curbside parking control zones, parking meters, fire hydrants, valet services if any, trees, street lights to the satisfaction of the City, and consistent with the performance standards in the CCPDO and CCSM. Such plan shall be submitted in conjunction with Construction Permits. All parking shall meet the requirements of the Building Department, Fire Department and City Engineer. All parking shall be mechanically ventilated. The exhaust system for mechanically ventilated structures shall be located to mitigate noise and exhaust impacts on the public ROW. The garage doors shall be a minimum 80% opaque to prevent views into the garage areas.
61. Open Space and Development Amenities: A landscape plan that illustrates the relationship of the proposed on and off-site improvements and the location of water, and electrical hookups to the satisfaction of the City and consistent with the performance standards in the CCPDO, shall be submitted with construction drawings.
62. Roof Tops: A rooftop equipment and appurtenance location and screening plan and consistent with the performance standards in the CCPDO shall be prepared and submitted to the satisfaction of the City with construction drawings. Any roof-top mechanical equipment shall be grouped, enclosed, and screened from surrounding views.
63. Lighting: A lighting plan which highlights the architectural qualities of the proposed development and also enhances the lighting of the public ROW shall be submitted with construction drawings. All lighting shall be designed to avoid illumination of, or glare to, adjoining properties, including those across any street.
64. Noise Control: All mechanical equipment, including but not limited to, air conditioning, heating and exhaust systems, shall comply with the City Noise Ordinance and California Noise Insulation Standards as set forth in Title 24. The Owner/Permittee shall provide evidence of compliance with construction drawings.
65. Street Address: Building address numbers shall be provided that are visible and legible from the ROW.

66. On-Site Improvements: All on-site improvements shall be designed as part of an integral site development. An on-site improvement plan shall be submitted to the satisfaction of the City with construction drawings.
67. Off-Site Improvements: Public improvements shall be installed in accordance with the Centre City Streetscape Manual (CCSM) and City Street Design Manual.
68. Sidewalk Paving: Paving in the ROW shall be Little Italy Paving, per the CCSM. The Little Italy Paving shall be a concrete sidewalk with scorelines creating a two (2) foot by two (2) foot grid, integrally colored French Gray (C-14) by Scofield or approved equal, and a medium broom finish with a light pressure wash. Any specialized paving materials shall be approved through the execution of an EMRA with the City.
69. Planters: Planters shall be permitted to encroach into the ROW a maximum of three feet. The planter encroachment shall be measured from the property line to the face of the curb/wall surrounding the planter. A minimum five-foot clear path shall be maintained between the face of the planter and the edge of any tree grate or other obstruction in the ROW.
70. Franchise Public Utilities: The Owner/Permittee shall be responsible for the installation or relocation of franchise utility connections including, but not limited to, gas, electric, telephone and cable, to the development and all extensions of those utilities in public streets. Existing franchised utilities located above grade serving the property and in the sidewalk ROW shall be removed and incorporated into the adjoining development. All franchise utilities shall be installed as identified in Exhibit A. Any above grade devices shall be screened from public view.
71. Construction Fence: Owner/Permittee shall install a construction fence pursuant to specifications of, and a permit from, the City Engineer. The fence shall be solid plywood with wood framing, painted a consistent color with the development's design, and shall contain a pedestrian passageway, signs, and lighting as required by the City Engineer. The fencing shall be maintained in good condition and free of graffiti at all times.
72. Development Identification Signs: Prior to commencement of construction on the site, the Owner and/or Permittee shall prepare and install, at its cost and expense, one sign on the barricade around the site which identifies the development. The sign shall be at least four feet by six feet and be visible to passing pedestrian and vehicular traffic. The signs shall at a minimum include: 1) Color rendering of the development, 2) Development name, 3) Developer, 4) Completion Date, 5) For information call _____. Additional development signs may be provided around the perimeter of the site. All signs shall be limited to a maximum of 160 sq. ft. per street frontage. Graphics may also be painted on any barricades surrounding the site. All signs and graphics shall be submitted to the City for approval prior to installation.

TRANSPORTATION REQUIREMENT:

73. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or

ATTACHMENT 5

utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

APPROVED by the Planning Commission of the City of San Diego on December 15, 2022 and Resolution No. ____-PC.

Approval No. SDP 31708049
Project No. 1066848
Date of Approval: December 15, 2022

AUTHENTICATED BY THE CITY OF SAN DIEGO URBAN DIVISION

James Alexander
Senior Planner, Urban Division
Development Services Department

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Matthew Segal
Jman Investments, Inc.

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

ATTACHMENT: Resolution No. ____-PC

RECORDING REQUESTED BY
CITY OF SAN DIEGO
URBAN DIVISION
THIRD FLOOR

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009332

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 3170849
COASTAL DEVELOPMENT PERMIT NO. 3170850

ANDREW CASSIDY HOME RELOCATION (2642-2648 NEWTON AVENUE) - PROJECT NO. 1066848
PLANNING COMMISSION

This Site Development Permit and Coastal Development Permit are granted by the Planning Commission of the City of San Diego ("City") to Jman at the Barrio LLC, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Sections 126.0505 and 126.0708 to allow the placement of a relocated historical resource, the Andrew Cassidy Home, Historical Resources Board (HRB) Site No. 238 ("Project") to the approximately 21,042 square-foot (SF) site located at 2642-2648 Newton Avenue (north side of Newton Avenue between South 26th and South 27th streets) in the Barrio Logan Community Plan (BLCP) area. The Project site is legally described as Lots 33 through 38, inclusive in Block 12 of Reed and Hubbel's addition in the City of San Diego, County of San Diego, State of California, according to partition map thereof No. 327, made by J.E. Jackson on file in the Office of the Recorder of San Diego County on June 30, 1886.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to construct and operate a development and uses as described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated December 21, 2021, on file in the Development Services Department (DSD).

The Project shall include:

- Site Development Permit (SDP) and Coastal Development Permit (CDP): Placement of a relocated designated HRB Site No. 238, the Andrew Cassidy Home, pursuant to SDMC Section 126.0502(d)(1)(E) at 2642-2648 Newton Avenue, within the Coastal Overlay Zone.
- Public and private accessory improvements determined by DSD to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 30, 2025.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to DSD; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

10. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.
12. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor(s) or new policies, financing mechanisms, phasing schedules, plans and ordinances adopted by the City.
13. No permit for construction, operation, or occupancy of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until this Permit is recorded in the Office of the San Diego County Recorder.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

14. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program (MMRP) shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
15. The mitigation measures specified in the MMRP and outlined in the Barrio Logan Community Plan Update Program Environmental Impact Report and as amended by subsequent addenda

(SCH No. 2009091021), shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

16. The Owner/Permittee shall comply with the MMRP as specified the Barrio Logan Community Plan Update Program Environmental Impact Report and as amended by subsequent addenda (SCH No. 2009091021), to the satisfaction of DSD and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Historical Resources

CLIMATE ACTION PLAN REQUIREMENTS:

17. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of DSD.

ENGINEERING REQUIREMENTS:

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Newton Avenue.
19. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private stairs, curb outlets, trees and hardscape within Newton Avenue public right-of-way (ROW).
20. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

23. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of DSD prior to issuance of any construction permits.

24. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology section of DSD prior to exoneration of the bond and close-out of any grading permit.

HISTORICAL RESOURCES REQUIREMENTS:

25. Prior to the issuance of any construction permits, the Owner/Permittee shall submit drawings that incorporate the Treatment Plan as approved by the Historical Resources Board (HRB) and City Historical Resources Staff.
26. Prior to the issuance of any construction permits, the Historic American Building Survey (HABS) documentation as approved by HRB and City Historical Resources Staff shall be submitted for archival storage with the City of San Diego HRB, South Coastal Information Center, the California Room of the City of San Diego Public Library, the San Diego Historical Society, and/or other historical society or group(s).
27. During construction of the Project, the Owner/Permittee shall implement the Monitoring Plan as approved by HRB and City Historical Resources staff. The Project's Principal Investigator shall send monitoring reports as described in the Monitoring Plan to the City's Mitigation Monitoring staff and Historical Resources staff. The Principal Investigator may submit a detailed letter to City staff prior to the start of work or during construction requesting a modification to the Monitoring Plan. This request shall be based on relevant information and site conditions.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any grading permit, if applicable, the Owner/Permittee shall submit construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City Landscape Standards, Storm Water Design Manual, and to the satisfaction of DSD. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file at DSD.
29. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit landscape construction documents for ROW improvements to DSD for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
30. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit landscape and irrigation construction documents, which are consistent with the Landscape Standards, to DSD for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in DSD. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per Sec. 142.0403(b)5.

31. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to DSD identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file at DSD. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the ROW, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by DSD. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of DSD within 30 days of damage or Certificate of Occupancy.

PUBLIC UTILITIES REQUIREMENTS:

34. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
35. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a ROW permit for new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
36. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located outside of the ROW adjacent to the development's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the ROW.
37. The Owner/Permittee shall be responsible for any damage caused to City of San Diego water and sewer facilities within the vicinity of the Project site, due to the construction activities associated with this Project, in accordance with SDMC Sec. 142.0607. In the event that any such facility loses integrity, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.
38. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
39. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

40. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

TRANSPORTATION REQUIREMENT:

41. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

APPROVED by the Planning Commission of the City of San Diego on December 15, 2022 and Resolution No. ____-PC.

Approval No. SDP 3170849, CDP 3170850
Project No. 1066848
Date of Approval: December 15, 2022

AUTHENTICATED BY THE CITY OF SAN DIEGO URBAN DIVISION

James Alexander
Senior Planner, Urban Division
Development Services Department

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Matthew Segal
Jman at the Barrio LLC

NOTE: Notary acknowledgments must be attached per Civil Code

section 1189 et seq.

ATTACHMENT: Resolution No. ____-PC

DRAFT

**CEQA CONSISTENCY EVALUATION
FOR THE AIR RIGHTS TOWER SDP/CDP
PRJ 1066848**

Prepared by: City of San Diego, Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

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LIST OF ACRONYMS AND ABBREVIATIONS

ADT	average daily trips
AHR	Affordable Housing Regulations
ALUCP	Airport Land Use Compatibility Plan
APN	Assessor's Parcel Number
BMP	Best Management Practice
CAP	Climate Action Plan
CAP FEIR	City of San Diego Final Environmental Impact Report for the Climate Action Plan
CBC	California Building Code
CCDC	Centre City Development Corporation
CCPDO	Centre City Planned District Ordinance
CEQA	California Environmental Quality Act
City	City of San Diego
CNEL	community noise equivalent level
dB(A)	A-weighted decibels
DCP	Downtown/Centre City Community Plan
DIF	Development Impact Fee
DOC	California Department of Conservation
DTSC	California Department of Toxic Substances
DU	dwelling unit
EIR	Environmental Impact Report
ESA	Environmental Site Assessment
EV	electric vehicle
FAA	Federal Aviation Administration
FAR	floor-to-area ratio
FEIR	Final Environmental Impact Report
GHG	greenhouse gas
I-5	Interstate 5
LOS	level of service
MMRP	Mitigation, Monitoring and Reporting Program
NDP	Neighborhood Development Permit
NS	Not Significant
PLWTP	Point Loma Water Treatment Plant
PRC	Public Resources Code
SANDAG	San Diego Association of Governments
SB	Senate Bill
SDAPCD	San Diego Air Pollution Control District
SDBL	State Density Bonus Law
SDIA	San Diego International Airport
SDMC	San Diego Municipal Code
SDP	Site Development Permit
SEIR	Final Supplemental Environmental Impact Report
sf	square feet
SM	Significant but Mitigated
SMP	Soil Management Plan

SNM	Significant and Not Mitigated
SWPPP	Storm Water Pollution Prevention Plan
SWQMP	Stormwater Quality Management Plan
SWRCB	State Water Resources Control Board
TPA	Transit Priority Area
WSA	water supply assessment

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CEQA CONSISTENCY EVALUATION

1. **PROJECT TITLE:** Air Rights Tower SDP/CDP
2. **APPLICANT:** JMAN TOWER, LLC
3. **PROJECT LOCATION:** The proposed project is located at 1620 Union Street in the Downtown Community Plan (DCP) area and 2642-2648 Newton Avenue in the Barrio Logan Community Plan (BLCP) area. The 1620 Union Street site is on the west side of Union Street between West Date and West Cedar streets 2642-2648 Newton Avenue on the north side of Newton Avenue between South 26th and South 27th streets.

The DCP area includes approximately 1,500 acres within the metropolitan core of the City, bounded by Laurel Street and Interstate 5 (I-5) on the north; I-5, Commercial Street, 16th Street, Sigsbee Street, Newton Avenue, Harbor Drive, and the extension of Beardsley Street on the east and southeast; and San Diego Bay on the south, west, and southwest. The major north-south access routes to downtown are I-5, State Route 163, and Pacific Highway. The major east-west access route to downtown is State Route 94. Surrounding areas include the community of Uptown and Balboa Park to the north, Greater Golden Hill and Sherman Heights to the east, Barrio Logan and Logan Heights to the South, and the City of Coronado to the west across San Diego Bay.

4. **PROJECT SETTING:** The Final Environmental Impact Report (FEIR) for the DCP, Centre City Planned District Ordinance (CCPDO), and 10th Amendment to the Centre City Redevelopment Plan, certified by the Redevelopment Agency (Former Agency) and City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively), and subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolutions R-04508 and R-04510), August 3, 2010 (Former Agency Resolution R-04544) and certified by City Council on February 12, 2014 (Resolution R-308724) and July 14, 2014 (Resolution R-309115) describe the setting of the DCP area including the East Village district. These descriptions are hereby incorporated by reference.

The zoning for the Union site is CCPD-R and the zoning for the Newton site is BLPD-SUBD-A. The Union site is situated amongst similar residential uses across the street from a hotel. The Newton site currently contains an asphalt storage lot.

5. **PROJECT DESCRIPTION:** The Project consists of a Site Development Permit (SDP) for the relocation of a designated historical resource, the Andrew Cassidy Home (Historical Resources Board No. 283), from 1620 Union Street in the DCP area (Council District 3) to 2642-2648 Newton Avenue in the BLCP area (Council District 8). The historic Andrew Cassidy Home was constructed in 1888 and was designated as a historic resource by the City of San Diego in 1990. The Victorian style building is wood framed and set on a cast-in-place concrete foundation stem wall. A crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall. The project proposes to relocate the Andrew Cassidy Home to the 21,042 square foot receiver site at 2642-2648 Newton Avenue. The receiver site is on the north

side of Newton Avenue between South 26th and South 27th streets, which currently contains an industrial storage asphalt lot.

Once the historical resource is moved from the 5,013 square foot donor site at 1620 Union Street the project would construct a 24-story, 250-foot-tall residential tower development containing 73 dwelling units (including eight affordable units) and 70 parking spaces within a fully-automated parking garage incorporated into levels 1 through 6. The ground level contains the residential lobby and the car elevator of the automated parking garage. Residential units are contained on levels 2 through 23 and would include ten studio units, 47 one-bedroom units, 15 two-bedroom units, and one three-bedroom unit. The tower is characterized primarily by glazing and board form concrete and accented by metal panels of various colors. Level 24 contains a 600 SF common area roof deck with a rooftop tree. At the ground level in the right-of-way, a ten-foot curb-cut is proposed for vehicular access off Union Street and the sidewalks will be upgraded to be consistent with the Centre City Streetscape Manual for sidewalks in the Little Italy neighborhood.

The Project on the Little Italy site is utilizing the Complete Communities Housing Solutions Regulations (CCHSR) (Chapter 14, Article 3, Division 10 of the SDMC) by providing 15% of the total DU in the Base FAR (20 DU) for rent by low income households at a cost that does not exceed 30% of 50% of the area median income (AMI) (3 DU), 15% for rent by moderate income households at a cost that does not exceed 30% of 120% of AMI (3 DU), and 10% for rent by low income households at a cost that does not exceed 30% of 60% of AMI (2 DU). Per Sec. 143.1010, a Project proposing development that is consistent with the requirements of the CCHSR is entitled to waivers from the maximum FAR (unlimited), the maximum structure height, street frontage requirements, and maximum lot coverage, which the Project is utilizing. The project does not propose development on the Barrio Logan site other than the placement of the historic home. The project is in conformance with adopted policies and regulations of the DCP, the BLCP, and SDMC.

- 6. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE:** CEQA encourages reliance on a program EIR or other EIR previously adopted for a project.¹The City has adopted several programmatic EIRs for its downtown planning documents, all with the goal of facilitating and streamlining downtown development. By analyzing the potential environmental impacts of buildout of the downtown land use plans, the City allows later development to streamline CEQA analysis if they comply with the project scope analyzed in those previous EIRs.

The following environmental documents and their appendices, which were prepared prior to this Consistency Evaluation, are hereby incorporated by reference:

1. FEIR for the DCP, CCPDO, and Tenth Amendment to the Redevelopment Plan for the Centre City Project (State Clearinghouse Number 2003041001, certified by the Redevelopment Agency (Resolution No. R-04001) and the City Council (Resolution No. R-301265), with date of final passage on March 14, 2006.

¹ Public Resources Code § 21003(f); CEQA Guidelines § 15152, 15168, 15183.

2. Addendum to the FEIR for the amendments to the Centre City Redevelopment Plan, DCP, and CCPDO certified by the Redevelopment Agency (Resolution No. R-04193) and by the City Council (Resolution No. R-302932), with date of final passage on July 31, 2007.
3. Second Addendum to the FEIR for amendments to the DCP, CCPDO, and Centre City Redevelopment Plan certified by the Redevelopment Agency (Resolution No. R-04508), with date of final passage on April 21, 2010.
4. Third Addendum to the FEIR for the Residential Emphasis District Amendments to the CCPDO certified by the Redevelopment Agency (Resolution No. R-04510), with date of final passage on April 21, 2010.
5. Fourth Addendum to the FEIR for the San Diego Civic Center Complex Project certified by the Redevelopment Agency (Resolution No. R-04544) with date of final passage on August 3, 2010.
6. Fifth Addendum to the FEIR for amendments to the CCPDO Establishing an Industrial Buffer Overlay Zone certified by the City Council (Resolution No. R-308724) with date of final passage on February 12, 2014.
7. Sixth Addendum to the FEIR for the India and Date Project certified by the City Council (Resolution No. R-309115) with date of final passage on July 14, 2014.
8. Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution No. R-310561).
9. City of San Diego FEIR for the Climate Action Plan (CAP FEIR) certified by the City Council on December 15, 2015, (Resolution No. R-310176), including the Addendum to the CAP FEIR certified by the City Council on July 12, 2016.
10. General Plan FEIR (GP FEIR) consisting of (i) Land Development Code FEIR No. 96-0333 (SCH 96081056) certified November 18, 1997 (Resolution No. R-289458) and associated environmental determinations; (ii) General Plan PEIR No. 104495 (SCH 2006091032) certified March 10, 2008 (Resolution No. R-2008-685) and associated addenda; (iii) Public Resources Code (PRC) Section 21166 analysis covering City Council's approval of the City's Affordable Housing Density Bonus Regulations (San Diego Municipal Code ["SDMC"] section 143.0710 et seq.) on March 6, 2018 and March 22, 2018 (City Council Resolution No. R-311593 and City Council Ordinance No. O-20916, respectively); and (iv) CEQA Guidelines Section 15378 not a project determination and CEQA Guidelines Section 15183 analysis covering City Council's approval of the City's Inclusionary Affordable Housing Regulations (SDMC section 142.1301 et seq.) on December 10, 2019 (City Council Resolution No. R-312784) and on January 14, 2020 (City Council Ordinance No. O-21167, respectively).
11. City of San Diego Final Program Environmental Impact Report No. 2019060003 for Complete Communities: Housing Solutions and Mobility Choices (Complete Communities FEIR) certified by the City Council on November 17, 2020 (Resolution No. R-313279); and associated resolutions amending the Land Development Manual to amend the City's CEQA Significance transportation thresholds, and adding the new Transportation Study

Manual and Mobility Choices Regulations Implementing Guidelines, all relating to the City's Complete Communities Mobility Choices Program (Resolution Number R-313280). The Mobility Choices Regulations were adopted by City Council Ordinance No, O-21274 on December 9, 2020.

12. Barrio Logan Community Plan Update Program Environmental Impact Report (PEIR) (Project No. 0680811/SCH No. 2009091021, certified by the City of San Diego City Council on October 2, 2013, via Resolution No. 308444) and as amended with the 2021 revised Barrio Logan Community Plan Update (BLCPU) PEIR Addendum (No. 240982/SCH No. 2009091021, adopted by the San Diego City Council on December 7, 2021, via Resolution No. 313812).

As used herein, the term "FEIR or Downtown FEIR" refers to the 2006 FEIR and all the addenda and supplemental environmental documentation referenced in 1 thru 8 above; the term "CAP FEIR" refers to the 2015 FEIR and the Addendum referenced in 9 above, the term "GP FEIR" refers to the 2008 FEIR and the EIRs, addenda, and CEQA Section 21166 analysis referenced in 10 above, the term "Complete Communities FEIR" refers to the 2020 FEIR and associated resolutions amending the Land Development Manual to amend the transportation threshold as well as adding the new Transportation Study Manual (TSM) and Mobility Choices Regulations as referenced in 11 above, and the term "Barrio Logan PEIR" refers to the 2013 PER and 2021 Addendum referenced in 12 above.

The FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR (the FEIRs), Barrio Logan PEIR and Addendum are Program EIRs prepared in compliance with CEQA Guidelines Section 15168. The aforementioned environmental documents are the most recent and comprehensive environmental documents pertaining to the project. The FEIR and GP FEIR and subsequent addenda are available for review at the offices of the City of San Diego Smart and Sustainability Communities, Urban Division located at 1222 1st Avenue, San Diego, CA 92101 and on the City's website at <https://www.sandiego.gov/development-services/news-programs/downtown-development/eirs> and <https://www.sandiego.gov/planning/genplan/documents/peir>. The CAP FEIR and Complete Communities FEIR is available at the offices of the City of San Diego Planning Department located at 9485 Aero Drive, San Diego, CA 92123 and on the City's website at <https://www.sandiego.gov/sustainability/climate-action-plan> and [final_peir_for_complete_communities_housing_solutions_and_mobility_choices.pdf](https://www.sandiego.gov/sustainability/climate-action-plan) ([sandiego.gov](https://www.sandiego.gov)). The Barrio Logan FEIR is available at the offices of the City of San Diego Planning Department located at 9485 Aero Drive, San Diego, CA 92123 and on the City's website at <https://www.sandiego.gov/ceqa/final>.

Under this process described in CEQA Guidelines Section 15168(c), a Consistency Evaluation is prepared for each subsequent proposed action as a written checklist to determine whether additional environmental documentation beyond the FEIRs must be prepared. No additional documentation is required for subsequent proposed actions if the Consistency Evaluation determines that the potential impacts were within the scope of the FEIRs and subsequent proposed actions implement appropriate feasible mitigation measures identified in the Mitigation Monitoring and Reporting Programs (MMRPs) that accompanies the FEIRs.

Through its CEQA Guidelines 15162 analysis, the Consistency Evaluation identifies whether additional environmental documentation is required. The form of this documentation depends upon the nature of the impacts of the subsequent proposed action being proposed. A

Subsequent or Supplemental Environmental Impact Report would be prepared in accordance with Sections 15162 or 15163 of the State CEQA Guidelines should the lead agency determine, on the basis of substantial evidence in the light of the whole record, one or more of the three triggers described in CEQA Guidelines Section 15162(a) exist.

Pursuant to CEQA Guidelines 15168(c)(2), if the lead agency under CEQA finds that, pursuant to Sections 15162, no subsequent EIR would be required, the lead agency can approve the subsequent proposed action to be within the scope of the project covered by the FEIRs, and no new environmental document is required. Whether a later activity is within the scope of a program EIR is a factual question that the lead agency determines based on substantial evidence in the record. Factors that a legal agency may consider in making that determination include, but are not limited to, consistency of the later activity with the type of allowable land use, overall planned density and building intensity, geographic area analyzed for environmental impacts and covered infrastructure as described in the program EIR. The Downtown FEIR is specific to the Downtown Community Plan Area where the project is located and the others are City-wide, which also includes where the project is located.

- 7. PROJECT-SPECIFIC ENVIRONMENTAL ANALYSIS:** See attached Environmental Checklist.
- 8. MITIGATION, MONITORING, AND REPORTING PROGRAM:** Mitigation may include, but is not limited to, the mitigation measures found in Volume 1B of the Downtown FEIR. Some of the mitigation measures found in Volume 1B of the Downtown FEIR are DCP-wide and implemented on an ongoing basis regardless of whether the project is enacted, e.g., transportation improvements. Other measures are to be specifically implemented by development projects as they come forward. Consistent with the significance determinations in the Downtown FEIR, the project is anticipated to result in impacts that would require mitigation to reduce the impact to a below a level of significance. Because of this, a project-specific MMRP is included as Appendix A that includes applicable Downtown FEIR mitigation measures. The project-specific MMRP incorporates applicable mitigation measures from the Downtown FEIR.
- 9. DETERMINATION:** In accordance with Sections 15168, 15162, and 15180 of the CEQA Guidelines, the potential impacts associated with future development within the DCP area are addressed in the FEIR prepared for the DCP, CCPDO, and the six subsequent addenda to the FEIR listed in Section 6 above, as well as the SEIR for the Downtown San Diego Mobility Plan, the CAP FEIR, GP FEIR, and the Complete Communities FEIR.

These documents address the potential environmental effects of future development within the DCP based on buildout forecasts projected from the land use designations, density bonus, and other policies and regulations governing development intensity and density.

The Downtown FEIR and its subsequent addenda and CAP FEIR, as listed in Section 6 above, conclude that development downtown would result in significant impacts related to the following issues (mitigation and type of impact shown in parentheses):

Significant but Mitigated Impacts

- Air Quality: Construction Emissions (AQ-B.1) (Direct [D])
- Land Use: Ballpark Noise (LU-B.1) (D)²

- Land Use: Ballpark Lighting (LU-B.5) (D)²
- Noise: Interior from Traffic Noise (NOI-B.1) (D)²
- Noise: Interior from Ballpark Noise (NOI-B.2) (D)²
- Historical Resources: Paleontological (PAL-A.1) (D)

Significant and Not Mitigated Impacts

- Aesthetics/Visual Quality: Views of Bay and Bay Bridge (VIS-B.1) (D)²
- Air Quality: Construction Emissions (AQ-B.1) (Cumulative [C])
- Air Quality: Mobile-source Emissions (C)
- Historical Resources: Historical (D/C)
- Historical Resources: Archaeological (D/C)
- Land Use: Traffic Noise (LU-B.2) (D)²
- Land Use: Aircraft Noise (LU-B.3) (D)²
- Land Use: Railroad Noise (LU-B.4) (D)²
- Land Use: Physical Changes Related to Transient Activity (LU-B.6) (D/C)
- Noise: Traffic Noise Level Increase on Grid Streets (NOI-A.1) (D/C)
- Noise: Exterior Traffic Noise in Residential Development (NOI-C.1) (D)
- Noise: Exterior Aircraft Noise in Residential Development (NOI-C.2) (D)²
- Noise: Exterior Traffic Noise in Public Parks and Plazas (NOI-D.1) (D)²
- Noise: Exterior Aircraft Noise in Public Parks and Plazas (NOI-D.2) (D)²
- Parking: Excessive Parking Demand (TRF-D.1) (D/C)²
- Traffic: Impact on Grid Streets (TRF-A.1.1) (D)²
- Traffic: Impact on Surrounding Streets (TRF-A.1.2) (D/C)²
- Traffic: Impact on Freeway Ramps and Segments (TRF-A.2.1) (D/C)²
- Traffic: Impact from Removal of Cedar Street Ramp (TRF-A.2.2) (D)²
- Water Quality: Urban Runoff (WQ-A.1) (C)

In certifying the FEIR and approving the DCP, the City Council and the Former Agency adopted a Statement of Overriding Considerations, which determined that the unmitigated impacts were acceptable in light of economic, legal, social, technological, or other factors including the following:

Overriding Considerations

- Develop Downtown as the primary urban center for the region.
- Maximize employment opportunities within the DCP area.
- Develop full-service, walkable neighborhoods linked to the assets the DCP area offers.
- Increase and improve park and public spaces.
- Maximize the advantages of Downtown's climate and waterfront setting.
- Implement a coordinated, efficient system of vehicular, transit, bicycle, and pedestrian traffic.
- Integrate historical resources into the DCP.
- Facilitate and improve the development of business and economic opportunities located in the DCP area.
- Integrate health and human services into neighborhoods within Downtown.

² Not applicable to the project

- Encourage a regular process of review to ensure the DCP and related activities are best meeting the vision and goals of the DCP.

10. SUMMARY OF FINDINGS: In accordance with PRC Section 21166 and CEQA Guidelines Sections 15168, 15162, and 15180(c) the following findings are derived from the environmental review documented by this Consistency Evaluation and the FEIRs:

1. No substantial changes are proposed in the Centre City Redevelopment Project or Barrio Logan Community Plan Update, or with respect to the circumstances under which the Centre City Redevelopment Project or Barrio Logan Community Plan is to be undertaken as a result of the development of the proposed project, which will require important or major revisions in the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, or Barrio Logan FEIR, due to the involvement of new significant environmental effects or substantial increase in the severity of previously identified significant effects;
2. No new information of substantial importance to the Centre City Redevelopment Project or Barrio Logan Community Plan Update, which was not known and could not have been known with the exercise of reasonable diligence at the time the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR or Barrio Logan FEIR, were certified as complete, has become available that shows the project will have any new significant and unmitigated effects not discussed previously in the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, or Barrio Logan FEIR; or that any significant effects previously examined will be substantially more severe than shown in the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities EIR, and Barrio Logan FEIR as mitigated; or that any mitigation measures or alternatives previously found not to be feasible are in fact feasible and would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt it; or that any mitigation measures or alternatives, which are considerable different from those analyzed in the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, or Barrio Logan FEIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt it;
3. The proposed project will have no significant effect on the environment, except as identified and considered in the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR that analyze the Centre City Redevelopment Project and Barrio Logan Community Plan Update and their geographic areas.
4. Because no Subsequent EIR would be required under CEQA Guidelines Section 15162, the City can approve the proposed project as being within the scope of the Centre City Redevelopment Project covered by the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR and no new environmental document is required.
5. The finding that the proposed project is within the scope of the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR is based on the Consistency Evaluation and all the substantial evidence in the record, including but not limited to the fact that the proposed project's land use (residential), overall planned intensity, and geographic location (Downtown San Diego outside the Employment Required Overlay) were analyzed in the Downtown FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR.

6. The City has incorporated feasible and applicable mitigation measure and alternatives into the proposed project.

Signature of Lead Agency Representative/Preparer

Date

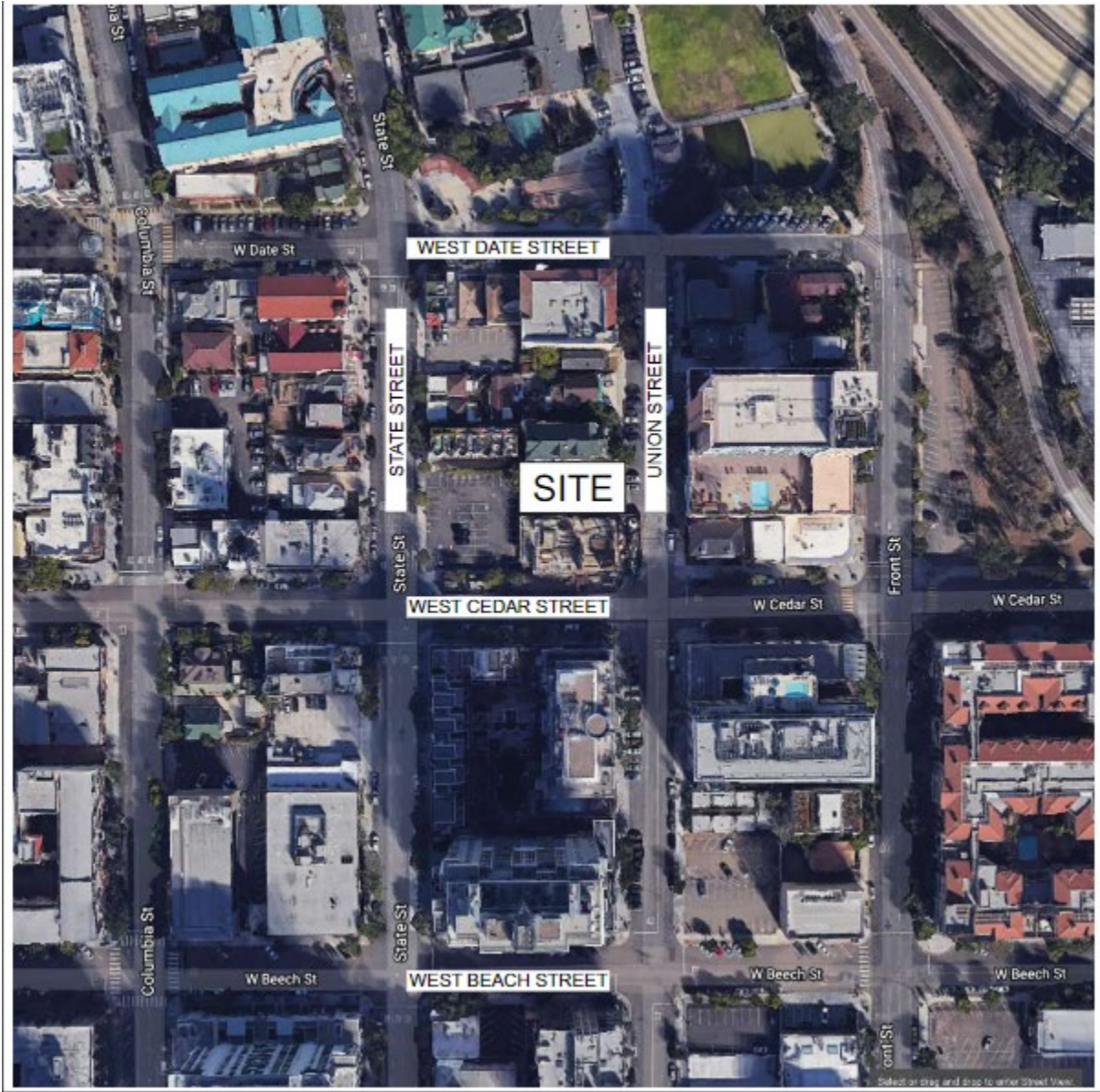


Figure 1 – Union Street Location



Figure 2 – Newton Ave Location

ENVIRONMENTAL CHECKLIST

The following Consistency Evaluation table is the written environmental checklist for evaluating the potential environmental effects of the project to determine if there are any new significant and unmitigated impacts compared to the impacts analyzed in the FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR to determine if an SEIR is required. As a result, the impacts are classified into one of the following categories:

- **Significant and Not Mitigated (SNM)** indicates that FEIR mitigation measures may be applicable that do not reduce the impact to below a level of significance, but the significant and unmitigated impact was already identified in the FEIR so no further environmental documentation is required beyond this Consistency Evaluation and project record. If the significant and unmitigated impact was not identified in the FEIR, or applicable sections of the GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR, then it is noted in the analysis as a significant and unmitigated impact that would trigger the need for a SEIR.
- **Significant but Mitigated (SM)** indicates that FEIR mitigation measures or other feasible mitigation measures would be applicable and are accepted so no further environmental documentation is required beyond this Consistency Evaluation and project record.
- **Not Significant (NS)** indicates that the project would not result in a significant impact and no further environmental documentation is required beyond this Consistency Evaluation and project record.

The checklist identifies each potential environmental effect and provides information supporting the conclusion drawn as to the degree of impact associated with the project when compared to applicable analyses in the FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and Barrio Logan FEIR. This Consistency Evaluation primarily analyzes the project's consistency with the Downtown FEIR, unless there has been a subsequent update to CEQA Guidelines such that a more recent environmental document's analysis applies to a specific impact area or threshold. Instances where consistency is evaluated with regards to a document besides the Downtown FEIR are noted in the evaluation below. An impact conclusion (in bold italic text) follows each threshold question that reflects the project impact conclusion as determined by this Consistency Evaluation. The project impact conclusion is followed by a summary of the FEIR, GP FEIR, CAP FEIR, Complete Communities FEIR, and/or Barrio Logan FEIR impacts, and a discussion of the project impacts based on the applicable analysis. The impact classifications checked in the columns to the right of the checklist reiterate the project impact conclusion.

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
1. Aesthetics/Visual Quality						
<p>(a) Substantially disturb a scenic resource, vista, or view from a public viewing area or substantially degrade a scenic resource? <i>Not Significant</i></p> <p><u>FEIR Summary:</u> There are no designated scenic resources within the downtown planning area, and thus no significant impacts regarding scenic resources would occur. The FEIR concludes that there would also be no significant impact to the skyline views from Balboa Park or to views of San Diego Bay along the north-south trending Sixth Avenue and Park Boulevard.</p> <p>However, implementation of the DCP would substantially block views of the San Diego Bay and the San Diego-Coronado Bay Bridge currently seen from Balboa Park and Highway 94 through the construction of taller buildings. The DCP and CCPDO would ensure buildings are not unattractive but would not be able to restrict building height without compromising the DCP's goals. Thus, the FEIR concludes that the impact on public views would be significant and not mitigated.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that the Housing Program would apply citywide within TPAs in zones that allow multi-family housing. In exchange for new development that provides affordable housing units and neighborhood-serving infrastructure improvements, the Housing Program would allow additional building square footage and height beyond what is otherwise allowed in the base zone, Planned District Ordinance (PDO), or applicable Community Plan. Height incentives would only apply outside the City's Coastal Zone. Within the Coastal Zone, the existing 30-foot height limit would continue to apply, which would limit the maximum height and densities that could be accommodated in coastal areas.</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Development associated with the Housing Program is not anticipated to affect scenic views or vista from designated scenic highways in the City. The only state-designated scenic highway in close proximity to the project areas is SR-163. However, the designated scenic portion of SR-163 is located within a canyon and due to topography, surrounding future development would not be visible from this scenic road. Thus, the proposed project would not adversely affect scenic views or vistas from a state-designated scenic highway.</p> <p><u>Barrio Logan PEIR:</u> The PEIR determined that the 2013 plan would not substantially alter or block public views from critical view corridors, designated open space areas, public roads, or public parks. Furthermore, the proposed land use plan would not significantly change the maximum height allowed within the area, with the exception of the Community Village. While some use types would result in greater maximum height limits, the policies of the plan and associated zoning would enhance public view corridors through the use of setbacks and design improvements along major roadways within the plan area. Therefore, the 2013 BLCPU PEIR determined that public view impacts would be less than significant, and no mitigation would be required.</p> <p><u>Project Summary:</u> The project sites are not located within, or adjacent to a designated scenic vista or view corridor that is identified in the DCP or the BLCP . Therefore, the project would not have a substantial adverse effect on a scenic vista. No impact would result.</p>						
<p>(b) Substantially incompatible with the bulk, scale, color, and/or design of surrounding development? <i>Not Significant.</i></p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concluded that there would be no significant impacts related to incompatible bulk, scale, color, or design associated with future development in the DCP. Additionally, Urban Design Standards contained in the CCPDO would ensure compatible building scales and styles.</p> <p><u>Complete Communities PEIR Summary:</u> The Complete Communities PEIR determined the Housing Program would allow for additional building square footage and height beyond the allowance in the applicable base zone, PDO, or applicable Community Plan. Height incentives would only apply outside of the City's Coastal Zone. Within the Coastal Zone, the existing 30-foot height limit would continue to apply, which would limit the maximum densities that could be accommodated in coastal areas and reduce the potential for adverse impacts to neighborhood character that could result from structure heights that are greater than what currently exists. Within the Coastal Zone, FAR incentives would still apply; however, the ability to achieve the highest FAR would be limited by the 30-foot height limit. While the 30-foot height limit would restrict building square footage, the FAR incentives within the Coastal Zone could result in development that is inconsistent with the existing neighborhood character. Outside of the Coastal Zone, height restrictions related to development in proximity to airports would continue to apply which could limit the height and intensity of development that could occur within areas proximate to airports. Furthermore, market and construction factors could contribute to height limitations.</p> <p>Under the Housing Program, development of a certain size would be required to provide public amenities as discussed in Section 3.5.1.3 of the PEIR. Future development would also be required to incorporate design features that enhance neighborhood character and minimize adverse impacts associated with increased bulk,</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>scale, and height. Building materials, style, and architectural features would be reviewed to ensure the character of development meets required development standards.</p> <p>Development would also be required to adhere to the City's landscape regulations which would support neighborhood compatibility. Nevertheless, implementation of the Housing Program could result in development at densities and heights that could substantially alter the existing neighborhood character. While the Housing Program is intended to create a more vibrant, pedestrian-oriented community with transit supportive development, implementation of the proposed ordinance could result in a substantial change to the existing character within the project areas. Thus, at this programmatic level of review, impacts associated with neighborhood character would be significant.</p> <p><u>Barrio Logan PEIR:</u> The PEIR determined that the BLCP would not be incompatible with the bulk, scale, color, and/or design of surrounding development. The land use plan, design guidelines, and planned mobility and infrastructure enhancements of the proposed CPU implementation of the LDC, would encourage residential development which forms neighborhood units and enhances community character while also providing appropriate transitions between residential and neighborhood-serving uses and industrial use areas. Therefore, neighborhood character impacts would be less than significant.</p> <p><u>Project Summary:</u> Both project sites are in fully developed urbanized areas and this type of development has been previously analyzed in the Complete Communities PEIR. The Project on the Little Italy site is utilizing the Complete Communities Housing Solutions Regulations (CCHSR) (Chapter 14, Article 3, Division 10 of the SDMC) by</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>providing 15% of the total DU in the Base FAR (20 DU) for rent by low income households at a cost that does not exceed 30% of 50% of the area median income (AMI) (3 DU), 15% for rent by moderate income households at a cost that does not exceed 30% of 120% of AMI (3 DU), and 10% for rent by low income households at a cost that does not exceed 30% of 60% of AMI (2 DU). Per Sec. 143.1010, a Project proposing development that is consistent with the requirements of the CCHSR is entitled to waivers from the maximum FAR (unlimited), the maximum structure height, street frontage requirements, and maximum lot coverage, which the Project is utilizing. There are similar high-rise towers within the immediate vicinity of the Union site. The architecture of the Newton site is in line with existing development in the neighborhood. There would not be a substantial adverse alteration to the existing or planned (adopted) character of the area. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review related to surrounding development, and no mitigation would be required.</p>						
<p>(c) Substantially affect daytime or nighttime views in the area due to lighting? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The Downtown FEIR concludes that no significant impacts related to lighting would occur with implementation of the DCP. The DCP and CCPDO include policies to prevent adverse effects due to lighting.</p> <p><u>Complete Communities PEIR Summary:</u> Sources of light within the project areas include those typical of an urban community, such as building lighting for residential and commercial land uses, roadway infrastructure lighting, and signage. Future development associated with the Housing Program would introduce new residential interior and exterior lighting, parking lot lighting, commercial signage</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>lighting, and lamps for streetscape and public recreational areas. Transportation infrastructure associated with the Mobility Choices Program could also include additional roadway lighting within or along public rights-of-way.</p> <p>Future development would be required to comply with the applicable outdoor lighting regulations of the SDMC (§142.0740 et seq.) which would require development to minimize negative impacts from light pollution including light trespass, glare, and urban sky glow. Compliance with these regulations would preserve enjoyment of the night sky and minimize conflict caused by unnecessary illumination. New outdoor lighting fixtures must minimize light trespass in accordance with the California Green Building Standards Code, where applicable, or otherwise shall direct, shield, and control light to keep it from falling onto surrounding properties.</p> <p>Future development associated with the Housing Program would also be required to comply with SDMC Section 142.0730 to limit the amount of reflective material on the exterior of a building that has a light reflectivity factor greater than 30 percent to a maximum of 50 percent. Additionally, per SDMC Section 142.0730(b), reflective building materials are not permitted where it is determined that their use would contribute to potential traffic hazards, diminish the quality of riparian habitat, or reduce enjoyment of public open space. Therefore, through regulatory compliance, the proposed project would not create substantial light or glare that would adversely affect daytime or nighttime views in the area, and impacts would be less than significant.</p> <p><u>Barrio Logan PEIR</u>: The Barrio Logan PEIR does not specifically address daytime or nighttime views due to lighting.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary:</u> The project The Air Rights Tower would comply with the outdoor lighting standards in Municipal Code Section 142.0740 (Outdoor Lighting Regulations) that require all outdoor lighting be installed, shielded, and adjusted so that the light is directed in a manner that minimizes negative impacts from light pollution, including trespass, glare, and to control light from falling onto surrounding properties. Therefore, lighting installed with the project would not adversely affect day or nighttime views in the area, resulting in a less than significant lighting impact. In regards to glare, the project would comply with Municipal Code Section 142.0730 (Glare Regulations) that require exterior materials utilized for proposed structures be limited to specific reflectivity ratings. The exterior is comprised of primarily cast in place board form concrete and glazing, but the frontage also contains a textured metallic sheeting spanning six levels. The project would have a less than significant glare impact. As such, the project would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area.</p> <p>The Andrew Cassidy Home would be relocated to a neighborhood of similar residential uses. Once relocated, the Resource is proposed to be set along the street frontage of the Barrio Logan site, restored, and proposed to contain two DU—one 341 SF studio and one 1,129 SF two-bedroom unit. These residential uses have typical residential lighting. Therefore, the relocation of a historic house would not introduce a new source of substantial light or glare that would adversely affect day or nighttime views in the area.</p> <p>Both project sites are in an urban area where light and glare already exist such that the project would not substantially affect daytime or nighttime views due to its lighting. Therefore, the project does not trigger any of the</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.						
2. Agricultural Resources						
<p>(a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural use? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that no impacts to farmland would occur with implementation of the DCP.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that the project areas do not contain land designated as Prime Farmland. Further, the PEIR did not include the development or redesignation of open space; therefore, there would be no impacts associated with the development or conversion of General Plan- or community plan-designated Open Space or Prime Farmland, and the impacts would, therefore, be less than significant.</p> <p><u>Barrio Logan PEIR:</u> The Barrio Logan PEIR determined that impacts to agricultural resources are not significant. There is no designated agriculture use mapped within the proposed CPU area</p> <p><u>Project Summary:</u> There is no land that contains soils that would be considered prime agricultural soils or land that would be designated as Farmland by the California Department of Conservation (DOC) in the DCP, Complete Communities PEIR, or Barrio Logan PEIR. Therefore, there would be no conversion of land of Farmland to a non-agricultural use. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>					X	X
(b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? <i>Not Significant.</i>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concludes that no impacts to agricultural zoning would occur with implementation of the DCP, as there are no Williamson Act contracts in the planning area or nearby.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that the project areas do not contain land designated as Prime Farmland. Further, the PEIR did not include the development or redesignation of open space; therefore, there would be no impacts associated with the development or conversion of General Plan- or community plan-designated Open Space or Prime Farmland, and the impacts would, therefore, be less than significant.</p> <p><u>Barrio Logan PEIR:</u> There are no mapped prime agricultural soils or farmlands as designated by the California Department of Conservation. No properties within the proposed CPU area are under a Williamson Act contract, nor are any Williamson Act parcels located in the vicinity.</p> <p><u>Project Summary:</u> As discussed in the DCP, the BLCP, both planning areas, and therefore the project sites, are not located on or near land zoned for agriculture or land that has a Williamson Act contract. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
3. Air Quality						
(a) Conflict with or obstruct implementation of an applicable air quality plan, including the County's Regional Air Quality Strategies or the State Implementation Plan? <i>Not Significant.</i>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concludes that, while implementation of the DCP would increase air emissions generated in the DCP area with respect to current levels, the DCP would not conflict with regional air quality planning as it would implement strategies and policies to reduce air pollution.</p> <p>As discussed in the FEIR, the mixed-use emphasis proposed in the DCP as well as the DCP area's proximity to a variety of transit opportunities would reduce mobile source emissions. The DCP also represents smart growth, which would be consistent with the goals and policies of the San Diego Air Pollution Control District (SDAPCD).</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that the California Clean Air Act (CCAA) requires air basins that are designated nonattainment of the California Ambient Air Quality Standards (CAAQs) for criteria pollutants prepare and implement plans to attain the standards by the earlier practicable dates. The two pollutants addressed in the San Diego SIP and RAQs are reactive organic gas (ROG) and oxides of nitrogen (NOx), which are precursors to the formation of ozone (O3). The SIP and the RAQS, which in conjunction with the TCMs were most recently dated in 2016, serve as the air quality plans of the SDAB.</p> <p>The basis for the SIP and RAQS is the distribution of population in the region as projected by SANDAG. The SDAPCD refers to approved general plans to forecast, inventory, and allocate regional emissions from land use and development-related sources. These emissions budgets are used in statewide air quality attainment planning efforts. As such, proposed development at an intensity equal to or less than the population growth projects and land use intensity described in their located land use plans are inherently consistent.</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>The Housing Program is intended to incentivize high-density multi-family residential development where affordable housing and community-serving amenities are provided within TPAs. The Housing Program could result in a redistribution of the density that was evaluated within recent community plan update (CPU) Environmental Impact Reports (EIRs). Densities could shift to focus more within TPAs, but it is not anticipated to exceed overall CPU densities that were evaluated in the respective CPU EIRs. However, in project areas within communities that have not undergone a recent comprehensive CPR, it is possible that the Housing Program could result in additional new development.</p> <p>Recent CPU EIRs recognized that as the community plans were updated, newly designated land uses would be forwarded to SANDAG for inclusion in future updates to the air quality plans for the SDAB. The current SUP and RAQs were last updated in 2016 and are intended to be updated on a three-year cycle. Therefore, densities with community plans adopted after 2016 would be reflected in the current air quality plans. Additional density allowed with communities without a recent comprehensive CPU would also not be reflected in the air quality plans. Thus, the implementation of the Housing Program could result in a significant impact due to conflicts with the land use assumptions used to develop current RAQs and SIP.</p> <p><u>Barrio Logan PEIR</u>: The 2013 BLCPU Final PEIR determined that the 2013 plan would result in fewer overall vehicle trips than were anticipated under the previously adopted Community Plan; however, the 2013 plan would result in an increase in residential units and land designated for commercial and industrial uses, which would be inconsistent with adopted air quality plans. Because these land use changes would result in greater emissions of pollutants when compared to the previously adopted Community Plan, the 2013 plan would conflict with the</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Regional Air Quality Standards, representing a significant impact.</p> <p><u>Project Summary:</u> The Union and Newton project sites are located in the San Diego Air Basin (SDAB) and are under the jurisdiction of the San Diego Air Pollution Control District (SDAPCD) and the California Air Resources Board (CARB). Both the State of California and the Federal government have established health-based Ambient Air Quality Standards (AAQS) for the following six criteria pollutants: carbon monoxide (CO); ozone (O3); nitrogen oxides (NOx); sulfur oxides (SOx); particulate matter up to 10 microns in diameter (PM10); and lead (Pb). O3 (smog) is formed by a photochemical reaction between NOx and reactive organic compounds (ROCs). Thus, impacts from O3 are assessed by evaluating impacts from NOx and ROCs. A new increase in pollutant emissions determines the impact on regional air quality as a result of a proposed project. The results also allow the local government to determine whether a proposed project would deter the region from achieving the goal of reducing pollutants in accordance with the Air Quality Management Plan (AQMP) in order to comply with Federal and State AAQS.</p> <p>The SDAPCD and San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the ambient air quality standards in the SDAB. The County Regional Air Quality Strategy (RAQS) was initially adopted in 1991 and is updated on a triennial basis (most recently in 2016). The RAQS outlines the SDAPCD's plans and control measures designed to attain the state air quality standards for ozone (O3). The RAQS relies on information from the CARB and SANDAG, including mobile and area source emissions, as well as information regarding projected growth in San Diego County and the cities in the county, to project future emissions and then determine the strategies necessary for the reduction of</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>emissions through regulatory controls. CARB mobile source emission projections and SANDAG growth projections are based on population, vehicle trends, and land use plans developed by San Diego County and the cities in the county as part of the development of their general plans.</p> <p>The RAQS relies on SANDAG growth projections based on population, vehicle trends, and land use plans developed by the cities and by the county as part of the development of their general plans. As such, projects that propose development that is consistent with the growth anticipated by local plans would be consistent with the RAQS. However, if a project proposes development that is greater than that anticipated in the local plan and SANDAG's growth projections, the project might be in conflict with the RAQS and may contribute to a potentially significant cumulative impact on air quality. The proposed project would not create a substantial increase in air pollutants. The proposed project would relocate an existing single-family home 4.5 miles south of its current location and provide exterior rehabilitation of the structure. The proposed project also would construct a 24-story residential tower with 73 dwelling units, a three-story, 33-foot-9-inch-tall mixed-use building containing 14 dwelling units.</p> <p>The Project on the Little Italy site is utilizing the Complete Communities Housing Solutions Regulations (CCHSR) (Chapter 14, Article 3, Division 10 of the SDMC) by providing 15% of the total DU in the Base FAR (20 DU) for rent by low income households at a cost that does not exceed 30% of 50% of the area median income (AMI) (3 DU), 15% for rent by moderate income households at a cost that does not exceed 30% of 120% of AMI (3 DU), and 10% for rent by low income households at a cost that does not exceed 30% of 60% of AMI (2 DU). Per Sec. 143.1010, a Project proposing development that is consistent with the</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
requirements of the CCHSR is entitled to waivers from the maximum FAR (unlimited), the maximum structure height, street frontage requirements, and maximum lot coverage, which the Project is utilizing. Other than the utilization of the CCHSR, the project is consistent with the General Plans, Community Plans, and the underlying zones. Therefore, the project would be consistent at a sub-regional level with the underlying growth forecasts in the RAQS and would not obstruct implementation of the RAQS. No impact would result.						
<p>(b) Expose sensitive receptors to substantial air contaminants including, but not limited to, criteria pollutants, smoke, soot, grime, toxic fumes and substances, particulate matter, or any other emissions that may endanger human health? <i>Significant but Mitigated.</i></p> <p><u>FEIR Summary:</u> The Downtown FEIR concludes that emissions generated during demolition and construction activities could exceed acceptable local standards and pose a health risk to nearby sensitive receptors. The FEIR identifies Mitigation Measure AQ-B.1-1, which requires dust control measures to be implemented during demolition and construction. With implementation of Mitigation Measure AQ-B.1-1 and compliance with the City of San Diego mandated dust controls within the City Land Development Manual, Appendix O, Storm Water Standards Manual, impacts would be reduced to below a significant level. The FEIR concludes that no significant impacts associated with mobile source, stationary, and hazardous materials emissions would occur with implementation of the DCP. However, mobile source emissions combined with other emissions in the San Diego Air Basin would result in a significant cumulative impact.</p>			X	X		

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Complete Communities FEIR</u>: In reviewing recent comprehensive CPU FEIR analysis related to operational emissions, generally, where CPUs would result in additional density beyond the prior plan, operational emission impacts were found to be significant and unavoidable. Where densities proposed were the same as or below the existing plan buildout densities, impacts were found to be less than significant.</p> <p>For purposes of analyzing potential operational emissions, it is assumed that development under the Housing Program could exceed emissions levels compared to existing plans as the Housing Program could increase multi-family residential densities within the Housing Program project areas.</p> <p>The primary source of operational emissions resulting from residential development is vehicle emissions. While the proposed project could increase multi-family residential densities within Housing Program project areas; the redistribution of density to focus within TPAs would provide a more efficient land use pattern that will support a reduction in vehicle miles traveled (VMT) and associated operational air emissions. Additionally, high density residential development generally would result in less area source emissions associated with fireplaces and landscape equipment.</p> <p>However, the Complete Communities project spans multiple community planning areas, including areas without recently adopted community plans. As the Housing Program could increase operational emissions within communities without recently adopted CPUs and would redistribute density within communities with recently adopted CPUs, it is possible that operational air emissions could be in excess of what was evaluated in the community plan EIRs completed for all of the project areas.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Thus, at this programmatic level of review, and without project-specific development plans, operational emissions impacts resulting from development under the Housing Program would be significant.</p> <p><u>Barrio Logan PEIR</u>: The 2021 BLCPU PEIR Addendum found that the total cancer risk from all sources evaluated for the 2021 BLCPU combined with the overall background risk would be similar to that discussed in the 2013 BLCPU Final PEIR and would exceed 10 in one million. Therefore, the Addendum found the 2021 BLCPU would result in significant impacts related to incremental and total cancer risks as detailed in the 2013 BLCPU Final PEIR. Total chronic risk would remain less than significant. Unlike the 2013 plan, the 2021 BLCPU would prohibit new uses that would require a permit from the San Diego APCD or emit hazardous pollutants. Therefore, the Addendum found that the 2021 BLCPU would lessen impacts associated with stationary sources of pollutants and toxic air contaminants. However, because many of the sources are mobile in nature and the health risk stems from the exposure to diesel particulate matter generated on area freeways and roads, the Addendum found that impacts associated with the incremental increase in cancer risk would not be substantially less than those identified in the 2013 BLCPU Final PEIR, and like the conclusions reached therein, no feasible mitigation measures would be available. Therefore, like the 2013 plan, the Addendum found the incremental and total cancer risks due to exposure to diesel particulate matter and other toxic emissions under the 2021 BLCPU would be considered significant and unmitigable. This finding was consistent with the 2013 BLCPU Final PEIR and the Addendum found the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary:</u></p> <p><u>Short Term (Construction) Emissions:</u> Project construction activities could potentially generate combustion emissions from on-site heavy-duty construction vehicles and motor vehicles transporting the construction crew, and necessary construction materials. Exhaust emissions generated by construction activities would generally result from the use of typical construction equipment that may include excavation equipment, forklift, skip loader, and/or dump truck. Variables that factor into the total construction emissions potentially generated include the level of activity, length of construction period, number of pieces and types of equipment in use, site characteristics, weather conditions, number of construction personnel, and the amount of materials to be transported on- or off-site. It is anticipated that construction equipment would be used on-site for four to eight hours per day; however, construction would be short-term (approximately five months from initiation of relocation efforts until the Andrew Cassidy Home is fully relocated, settled, and restored) and impacts to neighboring uses would be minimal and temporary. Excavation, grading, and relocation activities can cause fugitive dust emissions. Construction of the project would be subject to standard measures required by a City of San Diego grading permit to reduce potential air quality impacts to less than significant. These measures include, but are not limited to, compliance with SDMC section 142.0710, which prohibits airborne contaminants from emanating beyond the boundaries of the premises upon which the use emitting the contaminants is located. Some example measures are watering three times daily, reducing vehicle speeds to 15 miles per hour on unpaved or use architectural coatings that comply with San Diego Air Pollution Control District Rule 67.0 [i.e., architectural coatings that meet a volatile organic compounds (VOC) content of 100 grams per liter (g/l) for interior painting and 150 g/l for exterior painting]</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>would be used during construction. As discussed in the FEIR, implementation of Mitigation Measure AQ-B.1-1, compliance with the City's mandated dust control measures, pre-construction hazard assessment, and subsequent implementation of required remediation procedures would be required prior to and during demolition and construction activities (see Appendix A). Therefore, impacts associated with fugitive dust are considered less than significant and would not violate air quality standard and would not contribute substantially to an existing or projected air quality violation. No mitigation measures are required.</p> <p><u>Long-Term (Operational) Emissions</u> : There would be no new operational emissions associated with the proposed project not already discussed the previous environmental analysis. The project would not violate any air quality standard or contribute substantially to an existing or projected air quality violation. The DTEIR identified significant impacts from operational traffic emissions. While this project would add to that impact, no new operational impacts would result.</p> <p>The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review related to air quality impacts to sensitive receptors.</p>						
<p>(c) Generate substantial air contaminants including, but not limited to, criteria pollutants, smoke, soot, grime, toxic fumes and substances, PM, or any other emissions that may endanger human health? <i>Significant and Not Mitigated for cumulative impacts.</i> <i>Significant but Mitigated for direct impacts.</i></p> <p><u>FEIR & Complete Communities FEIR Summary</u>: The Downtown FEIR concludes that emissions generated during demolition and construction activities could exceed acceptable local standards result in significant impacts. As</p>		X	X			

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>discussed above in section 3(b), the FEIR identifies Mitigation Measure AQ-B.1-1, which requires dust control measures to be implemented during demolition and construction. With implementation of Mitigation Measure AQ-B.1-1 and compliance with the City of San Diego mandated dust controls within the City Land Development Manual, Appendix O, Storm Water Standards Manual, impacts would be reduced to below a significant level.</p> <p>Mobile source emissions combined with other emissions in the San Diego Air Basin would result in a significant cumulative impact.</p> <p>The Complete Communities FEIR's additional analysis of air quality impacts concluded that focusing residential development would support the reduction of mobile source emissions. The Complete Communities FEIR further notes that there are no additional feasible mitigation measures available to reduce air quality impacts beyond adherence to applicable regulations, which would reduce impacts but may not reduce cumulative impacts below significant levels.</p> <p><u>Barrio Logan PEIR</u>: The San Diego Air Basin (SDAB) is nonattainment for the eight-hour federal and state ozone standards, and nonattainment for the state 10-micron particulate matter (PM10) and 2.5-micron particulate matter (PM2.5) standards. Emissions due to construction of small individual projects were not expected to exceed the applicable thresholds. The information related to construction presented in Section 4.3.3.1.a of the 2013 BLCPU Final PEIR illustrated the potential scope of air impacts from future projects that could be implemented under the 2013 BLCPU. Based on the hypothetical construction model, it was concluded that direct construction impacts would be less than significant; however, the 2013 BLCPU Final PEIR concluded that if multiple projects were developed simultaneously,</p>						

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>construction of those projects could result in a cumulatively considerable increase in construction related emissions, which would be considered a significant impact. Likewise, long-term/operational emissions of air pollutants occurring from area and mobile sources would be greater under the 2013 plan than the existing condition resulting in a significant impact. While all future discretionary projects would be evaluated for consistency with City goals, policies, and recommendations related to air quality, it was determined that at the program level, without specific project development plans, it was not possible to conclude for certain that adherence to the regulations would adequately protect air quality, and no way to evaluate project specific mitigation measures that would be further employed to avoid or reduce significant air quality impacts. Therefore, impacts (construction and operations) associated with emissions of criteria pollutants would remain significant and unavoidable.</p> <p><u>Project Summary:</u> As identified in the Downtown FEIR, demolition and construction of the proposed project would create emissions that would be significant impacts without mitigation. Implementation of Mitigation Measure AQ-B.1-1 and compliance with the City's dust control measures and other standards would reduce project impacts to less than significant levels.</p> <p>Vehicle traffic associated with the project would not exceed air quality significance standards, however, in combination with dust generated during demolition and proposed construction of the project, it would contribute to the significant and unmitigated cumulative impact to air quality identified in the FEIR. Total daily trips would not be increased by more than 2,400 additional average daily trips (ADT), which is the threshold for significant trip generation identified in the FEIR. The proposed project forecasts 292ADT and would therefore be consistent with the analysis previously completed in the FEIR. While emissions</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>were cumulatively considerable in the FEIR, implementation of the DCP would ultimately decrease vehicle emissions as it concentrates development in an area that is well served by transit and offers a variety of opportunities to work and live in the same area. The project would add residential units to this area, which is close to employment opportunities and transit stations. The significant and unmitigated cumulative impacts related to air quality were previously identified in the FEIR and the project's contributions to these impacts do not require further environmental documentation related to the proposed project.</p> <p>The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review related to air contaminants. As discussed in the FEIR, implementation of Mitigation Measure AQ-B.1-1, compliance with the City's mandated dust control measures, pre-construction hazard assessment, and subsequent implementation of required remediation procedures would be required prior to and during demolition and construction activities (see Appendix A). As identified in the FEIR, cumulative impacts to the San Diego Air Basin cannot be mitigated.</p>						
4. Biological Resources						
<p>(a) Substantially effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive or special status species in local or regional plans, policies, or regulations, or by local, state, or federal agencies? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that no significant impacts to sensitive species would occur with implementation of the DCP.</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that proposed Housing Program is intended to facilitate and streamline multi-family development within the project areas by allowing such development to occur ministerially, subject to the requirements of the proposed ordinance and other applicable regulatory requirements. While the Housing Program would allow ministerial multi-family development within TPAs and incentivize housing within existing Mobility Zones 1, 2, and 32, some project areas may support sensitive species as shown in Figure 4.3-1, and summarized in Table 4.3-1. Of these sensitive habitats, approximately 605 acres are located within lands designated as ESL, including lands within the MHPA.</p> <p>Future ministerial development within the project areas would be reviewed by City staff as part of the intake process to determine the presence of ESL, which would include sensitive habitats that may support sensitive species (LDM, Project Submittal Requirements, Section 1). If the presence of ESL is unclear, City staff would request evidence to confirm the presence or absence of ESL. If ESL is present and would be impacted by the proposed project, the project would no longer be processed ministerially and would be required to obtain a discretionary permit as detailed in SDMC Table 143- 01A, Applicability of Environmentally Sensitive Lands Regulations. This process would ensure that potentially sensitive habitats would be reviewed in accordance with ESL Regulations, the City's Biology Guidelines, and the provisions of the MSCP. Development under the Housing Program on sites with ESL that are processed with a Site Development Permit could result in significant impacts to sensitive species. While the discretionary review process would generally ensure impacts would be mitigated to less than significant, it cannot be ensured at this program level of review whether all impacts could be fully mitigated. Thus, impacts</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>associated with potential future discretionary development under the Housing Program would be significant.</p> <p><u>Barrio Logan PEIR:</u> Biological resources are discussed in Section 4.14 of the 2013 BLCPU PEIR and in the 2021 BLCPU PEIR Addendum. The 2021 BLCPU PEIR Addendum found that changes proposed in the 2021 BLCPU did not affect the underlying biological conditions throughout the planning area. Thus, the Addendum found that all conclusions related to biological resources would remain the same as under the 2013 plan and impacts would be less than significant. This finding was consistent with the 2013 BLCPU PEIR. Thus, the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary:</u> Both project sites are fully developed within an urbanized area. No native habitat is located on or adjacent to either site. As such, the proposed project would not directly or through habitat modification affect any species identified as a candidate, sensitive, or special statues species in local or regional plans, policies, or regulations, or by CDFW or USFW. Additionally, the project sites are located outside the City's Multi-Habitat Preservation Area (MHPA). No impacts would occur. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations by local, state, or federal agencies? <i>Not Significant.</i></p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concludes that no significant impacts to riparian habitat or other sensitive natural communities would occur with implementation of the DCP.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that implementation of the project could impact sensitive habitats. Pursuant to the ESL Regulations, ministerial projects would be reviewed for the presence of ESL. If the development area is determined to support ESL, the project would not be processed ministerially and would instead be required to undergo a discretionary permit process in accordance with ESL Regulations, the City's Biology Guidelines, and the provisions of the MSCP and VPHCP. Thus, with implementation of existing regulatory protections for biological resources, impacts to sensitive habitats resulting from future ministerial development within the project areas would be less than significant. However, at this program level of review, impacts associated with potential future discretionary development under the proposed project would be significant.</p> <p><u>Barrio Logan:</u> No wetlands are identified within the community plan area; therefore, the 2013 BLCPU Final PEIR determined that no impacts to wetland vegetation would occur as a result of buildout under the 2013 plan. Furthermore, the 2013 BLCPU Final PEIR determined that future development under the 2013 plan would not impact wetland or riparian vegetation habitat downstream because future development would be required to comply with storm water regulation and the implementation of required BMPs. Impacts to wetlands would be less than significant, and no mitigation would be required.</p> <p><u>Project Summary:</u> The DCP covers a highly urbanized area with little to no native habitat. There have been no sensitive communities identified in the planning area or in plans covering the area. The project site currently is developed with a storage facility and does not contain</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
riparian or other natural communities. As applicable, the project would comply with local, state, and federal plans and policies. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.						
5. Historical Resources						
<p>(a) Substantially impact a significant historical resource, as defined in § 15064.5? <i>Significant and Mitigated.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that significant impacts to historical resources have the potential to occur with implementation of the DCP and cannot be presumed to be mitigated below a significant level with implementation of the identified mitigation measures. Mitigation Measures HIST-A.1-1, HIST-A.1-2, and HIST-A.1-3 outline measures for identifying historic resources, permitting and constructing projects proposed to impact historic resources, submitting monitoring verifications, and issuance of demolition permits. Due to Mitigation Measure HIST-A.1-3 allowing pursuit of a demolition permit through the documentation program, impacts cannot be considered less than significant for the DCP. Impacts to San Diego Register Listed resources are considered potentially significant and unmitigated.</p> <p><u>Complete Communities FEIR:</u> The FEIR anticipated that development under the proposed ordinances may result in the proposed demolition or alteration of a structure older than 45 years old. Development on parcels containing individually significant historical resources would need to comply with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties or obtain a Site Development Permit with deviation findings and site-specific mitigation would be required. The FEIR determined the project could result in direct impacts including the</p>			X	X		

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>substantial alteration, relocation, or demolition of historic buildings or structures. Impacts were determined to be significant.</p> <p>The FEIR also determined that it would be impossible to ensure the successful preservation of all archaeological resources. Therefore, potential impacts to archaeological resources and human remains are considered significant.</p> <p><u>Barrio Logan FEIR:</u> The Barrio Logan FEIR found that because the degree of future impacts and applicability, feasibility, and success of future mitigation measures cannot be adequately known for each specific future project at the program level of analysis, impacts related to effects on a prehistoric or historic building, structure, object, or site remained significant and unavoidable.</p> <p><u>Project Summary:</u> The Andrew Cassidy Home is listed in the City of San Diego Register of Historical Resources (HRB #283) but the property is not eligible for listing under National Register or the California Register.</p> <p>The Andrew Cassidy Home (HRB Resource #283) is located on a rectangular lot, approximately 50' by 100', at 1620 Union Street. The building is wood framed and set on a cast-in-place concrete foundation stem wall. A crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall.</p> <p>The proposed project would result in a significant direct impact to the historical resource, the Andrew Cassidy</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Home, because of its relocation. Mitigation measures (HIST 1 and HIST 2) would reduce impacts to the historical resource to less than significant since the new location is situated within a similar residential block in the Barrio Logan community that is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. Adherence to The Secretary of the Interior's Standards for the Treatment of Historic Properties will be conducted on the relocated resource which will enable the building to continue to convey its architecture, retaining a high degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.</p> <p>Therefore, a Mitigation Monitoring Reporting Program, would be implemented. With implementation of the historical resources monitoring program, potential impacts on historical resources would be reduced to below a level of significance.</p>						
<p>(b) Substantially impact a significant archaeological resource pursuant to § 15064.5, including the disturbance of human remains interred outside of formal cemeteries? <i>Significant and Not Mitigated.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that significant archaeological resources may be impacted by implementation of the DCP. Mitigation Measure HIST-B.1-1 lists steps required prior to, during, and after construction for projects with potential to impact archaeological resources. It further details steps to follow if remains are discovered during project activity. Due to the unknown nature of archaeological resources, specifically at undisturbed sites, there is potential for significant impacts to occur.</p>	X	X				

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Complete Communities FEIR:</u> The Complete Communities FEIR acknowledges that while existing regulations and the LDC would provide for the regulation and protection of archaeological resources and human remains, it is impossible to ensure the successful preservation of all archaeological resources. Therefore, potential impacts to archaeological resources and human remains are considered significant.</p> <p><u>Barrio Logan PEIR:</u> Implementation of the 2021 BLCPU was not expected to disturb human remains; however, as determined in the 2013 BLCPU Final PEIR, there remains the potential for human remains to be present. Future development proposals would be required to incorporate feasible mitigation measures adopted in conjunction with the certification of the 2013 BLCPU PEIR. However, because the degree of future impacts and the applicability, feasibility, and success of future mitigation measures cannot be adequately known for each specific future project at this program level of analysis, the 2021 BLCPU PEIR Addendum found that the program-level impact related to effects on human remains would be significant and unmitigable. This finding was consistent with the 2013 BLCPU Final PEIR. However, the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary:</u> Many areas of San Diego County, including mesas and the coast, are known for intense and diverse prehistoric occupation and important archaeological and historical resources. The region has been inhabited by various cultural groups spanning 10,000 years or more. The project area is located within an area identified as sensitive on the City of San Diego Historical Resources Sensitivity Maps. Qualified City staff conducted a records search of the California Historic Resources</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Information System (CHRIS) digital database; the search identified several previously recorded historic and prehistoric sites in the project vicinity but none within either the Union or the Newton site. Based on this information, there is a potential for buried cultural resources to be impacted through implementation of the project. There are no formal cemeteries or known burials in the immediate vicinity of either project site. In the unlikely event of a discovery of human remains, the project would be handled in accordance with procedures of the California Public Resources Code (§5097.98), State Health and Safety Code (§7050.5), and California Government Code (§27491). These regulations detail specific procedures to follow in the event of a discovery of human remains, i.e. work would be required to halt and no soil would be exported off-site until a determination could be made via the County Coroner and other authorities as required. In addition, for the Union Street site, to reduce potential archaeological resource impacts to below a level of significance, all excavation within previously undisturbed soil would be monitored by a qualified archaeologist or archaeological monitor and Native American monitor. This monitoring would ensure that any remains are identified and handled in compliance with these regulations. As no known burials exist within the project site, it is not anticipated that human remains would be encountered during construction.</p> <p>The only development on the Newton site is the relocation of the historic resource. There is limited ground disturbance on an already developed site. Therefore, no impact would occur. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review.</p>						
<p>(c) Substantially impact a unique paleontological resource or site or unique geologic feature? <i>Significant but Mitigated</i></p>			X	X		

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary</u>: The Downtown FEIR concludes that significant impacts to paleontological resources have the potential to occur with implementation of the DCP. The FEIR states that any grading or excavation outside of the artificial fill zone, measuring beyond 1 to 3 feet deep, of surficial fills for foundations, subterranean parking, or below-grade features such as utilities has the potential to expose fossil-bearing formations and impact resources. Mitigation Measure PAL-A.1-1 would require construction monitoring and would reduce impacts below a significant level.</p> <p><u>Complete Communities FEIR</u>: The Complete Communities PEIR determined that implementation of the General Grading Guidelines for Paleontological Resources, as required by the SDMC and applicable to all new development, would require paleontological monitoring to ensure that potential paleontological resources impacts resulting from future grading activities would be less than significant. If paleontological resources, as defined in the General Grading Guidelines for Paleontological Resources, are discovered during grading, notwithstanding Section 142.0151(a), all grading in the area of discovery shall cease until a qualified paleontological monitor has observed the discovery, and the discovery has been recovered in accordance with the General Grading Guidelines for Paleontological Resources.</p> <p><u>Barrio Logan PEIR</u>: Since the certification of the 2013 BLCPU Final EIR, the City updated the LDC to address potential impacts to paleontological resources for all types of development throughout the City. The City's LDC now provides detailed development regulations related to grading and paleontological monitoring. Through compliance with the LDC, the 2021 BLCPU PEIR Addendum found that impacts to paleontological resources would be less than significant.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary:</u> The project site is not located on artificial fill and thus is in an area with potential for paleontological resources to occur. Construction of subterranean parking will require excavation beyond 3 feet deep, which presents the potential for paleontological resources to be encountered. Mitigation Measure PAL-A.1-1 would be implemented to reduce impacts below a significant level by requiring monitoring during ground disturbance and outlining procedures for before, during, and after construction. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review. Mitigation Measure PAL-A.1-1 would be required for ground-disturbing activities and would reduce impacts to less than significant levels.</p>						
6. Geology and Soils						
<p>(a) Substantial health and safety risk associated with seismic or geologic hazards? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes there would be no significant impact to health or safety related to seismic or geologic hazards with implementation of the DCP. The planning area is subject to earthquakes and liquefaction, however impacts would not be significant with implementation of Health and Safety policies in the FEIR and conformance with design policies, such as the California Building Code (CBC; California Code of Regulations Title 24).</p> <p><u>Complete Communities Summary FEIR:</u> The FEIR determined that implementation of Housing Solutions program would not have direct or indirect significant environmental impacts in regard to seismic hazards because future development would be required to comply with the SDMC and CBC. This regulatory framework includes a requirement for site-specific geotechnical</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>investigations to identify potential geologic hazards or concerns that would need to be addressed during grading and/or construction of a specific development project. Adherence to the SDMC grading regulations and construction requirements and implementation of recommendations contained within required site-specific geotechnical studies would preclude significant impacts related to seismic hazards. Thus, impacts would be less than significant.</p> <p><u>Barrio Logan PEIR</u>: The 2021 BLCPU PER Addendum found that the 2021 BLCPU would not result in a potential for increased impacts related to geology and soils. Like the 2013 plan, all future development within the community plan area would be required to comply with federal, state, and local building standards and regulations, as well as geotechnical reconnaissance reports and investigations, where required. All construction activities would be required to comply with the CBC and SDMC, both of which would ensure implementation of appropriate measures during grading and construction activities, as well as structural and treatment BMPs ensure impacts associated with geologic hazards, soils erosion, and geologic stability are less than significant. This finding was consistent with the 2013 BLCPU PEIR. The 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary</u>: The proposed project sites could be affected by seismic activity as a result of earthquakes on major active faults located throughout the Southern California area. The following geotechnical reports were prepared for the proposed project:</p> <p>Geotechnical and Fault Investigation, Air Rights Tower, 1620 Union Street, San Diego, California prepared by Geocon Incorporated, July 29, 2021</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Additional Foundation Recommendations, Air Rights Tower, 1620 Union Street, San Diego, California, prepared by Geocon Incorporated, October 15, 2021</p> <p>Preliminary Geotechnical Investigation, 2642, 2646, and 2648 Newton Avenue, San Diego, California, prepared by Geocon Incorporated, August 13, 2021</p> <p>Surface Fault Rupture Evaluation, 2632, 2646, and 2648 Newton Avenue, San Diego, California, prepared by GDS Inc., July 28, 2021</p> <p>Based upon these investigations, it was determined that the proposed project would not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault, strong seismic ground shaking, seismic related ground failure, including liquefaction, or landslides. No active or potentially active faults were identified on either project site. The project would utilize proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, in order to ensure that potential impacts from regional geologic hazards would remain less than significant and mitigation is not required. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
7. Greenhouse Gas Emissions						
<p>(a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? <i>Not Significant.</i></p> <p><u>CAP FEIR & Complete Communities FEIR Summary:</u></p> <p>GHG Emissions (CAP FEIR)</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Impacts related to greenhouse gas (GHG) emissions are identified in the Climate Action Plan (CAP) FEIR. The CAP FEIR analysis included impacts related to anticipated growth, inclusive of the DCP growth projections. The City adopted its CAP Consistency Checklist to provide streamlined review of project level consistency with the CAP. The CAP FEIR concludes that GHG emissions from a project that complies with the CAP are not a significant impact and are not cumulatively considerable.</p> <p>The City's CAP outlines measures that would support substantial progress towards the City's 2035 GHG emissions reduction targets, which are intended to keep the City making substantial progress toward achieving its share of the state's 2050 GHG reductions targets that Executive Order B-30-15 found would "attain a level of emissions necessary to avoid dangerous climate change" because it limits global warming to 2 degrees Celsius by 2050. The CAP Consistency Checklist was adopted on July 12, 2016, to uniformly implement the CAP for project-specific analyses of GHG emission impacts.</p> <p>Energy (Complete Communities FEIR)</p> <p>Energy was added as a separate issue under CEQA after the certification of the CAP FEIR and is contained in the Complete Communities FEIR. Impacts related to this issue area are analyzed related to wasteful energy consumption or conflicts with energy efficiency plans. The Complete Communities FEIR concludes that development under the Housing Program would not result in significant impacts to energy resources or create conflicts with energy plans or policies, as projects would be required to comply with energy requirements in the state and local regulations.</p> <p><u>Barro Logan FEIR:</u> Future development projects would incorporate the 2021 BLCPU policies and strategies to reduce VMT and promote energy-efficient building design.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Additionally, the updated transportation modeling for the 2021 BLCPU Addendum showed an overall decrease in vehicle traffic as compared to the 2013 BLCPU, therefore resulting in less mobile-source GHG emissions compared to the previous plan. Further, each future development project would be required to demonstrate consistency with the CAP through completion of a CAP Consistency Checklist.</p> <p><u>Project Summary: GHG Emissions (CAP FEIR)</u></p> <p>The project's CAP Checklist demonstrates the project's consistency with the City's CAP through features such as a cool/green roof, low-flow fixtures/appliances, and electric vehicle (EV) charging spaces. Overall, implementation of residential units in proximity to transit corridors would result in a net decrease of GHG emissions over time. The project would contribute to Action 3.6 of the CAP FEIR by implementing development within a TPA. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p> <p>Energy (Complete Communities FEIR)</p> <p>The project would be constructed in compliance with the energy efficiency requirements contained in the CBC and City's CAP. No inefficient construction practices would be used. Energy use related to transportation would be efficient, as residences would be constructed in a TPA. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(b) Conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gas? <i>Not Significant.</i></p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>CAP FEIR Summary:</u> The CAP FEIR concludes that it would not conflict with GHG reduction plans and policies, such as Executive Order S-3-05, Executive Order B-30-15, AB 32, or the CARB Scoping Plan. The CAP would result in the City attaining its share of statewide GHG emission reductions and would otherwise reduce future GHG emissions.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that future development under the proposed project would be consistent with state plans, SANDAG's San Diego Forward, the City's General Plan, and the City's CAP. Future housing development implemented under the proposed project will require compliance with the State Building Code energy efficiency and applicable green building standards and therefore would be compliant with state plans. The PEIR determined that the Housing Program would require provision of infrastructure amenities such as bicycle lanes, transit amenities, or public open spaces and would implement SANDAG's Regional Plan goals and land use strategies. Regarding compliance with the City's General Plan by allowing qualifying multi-family housing to proceed with a ministerial approval process under the Housing Program and allowing for increased height and square footage for projects processed under the proposed ordinances, the proposed project would support and incentivize future development envisioned by the City of Villages strategy. Based upon this analysis, impacts associated with applicable GHG emission reduction plans would be less than significant.</p> <p><u>Barrio Logan PEIR:</u> The PEIR found that future development would be required to demonstrate consistency with the City's CAP which is a qualified GHG reduction plans that outlines how the City would achieve the necessary GHG emissions reductions needed to be consistent with state goals. Through implementation of the City's CAP and CAP regulations, future development</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>implemented under the 2021 BLCPU would not conflict with implementation of adopted plans, policies, or regulations aimed at reducing GHG emissions. Thus, the 2021 BLCPU PEIR Addendum found that impacts would be less than significant, which was consistent with the 2013 BLCPU Final PEIR and did not represent a new significant, or more severe impact, than previously identified.</p> <p><u>Project Summary:</u> As discussed further in section 7(a) above, the project would be consistent with the CAP, as demonstrated by the CAP Checklist and verified by City staff. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
8. Hazards and Hazardous Materials						
<p>(a) Substantial health and safety risk related to on-site hazardous materials? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that no significant impacts related to on-site hazardous materials would occur with implementation of the DCP. Compliance with regulations related to hazardous materials would be sufficient to reduce impacts and no mitigation would be required.</p> <p><u>Complete Communities PEIR:</u> The Complete Communities PEIR determined that although construction activities associated with the proposed project could involve the transport, use, or disposal of hazardous materials, compliance with applicable federal, state, and local regulations would ensure that regulated hazardous materials are handled and disposed of properly. Operation of future development could use small amounts of hazardous materials for cleaning and maintenance; however, hazardous materials and waste would be managed and used in accordance with all applicable</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>federal, state, and local laws and regulations, which would ensure that no hazards would result during long-term operation of the project. Therefore, the project would not create a significant hazard to the public or environment. Impacts would be less than significant.</p> <p><u>Barrio Logan PEIR</u>: Like the 2013 plan, the 2021 BLCPU PEIR Addendum found that future development under the 2021BLCPU, would be required to comply with all applicable federal, state, and local regulations related to human health, public safety, and hazardous materials. The proposed changes to land uses within the CPIOZ would not result in changes to any requirements relating to DEH processes or clearance of development within known hazardous sites. Therefore, the Addendum found that impacts would be less than significant. This finding is consistent with the 2013 BLCPU PEIR. Thus, the Addendum found the project would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary</u>: Construction activities for the project would involve the use of potentially hazardous materials including vehicle fuels, oils, transmission fluids, paint, adhesives, surface coatings and other finishing materials, cleaning solvents, and pesticides for landscaping purposes. However, the use of these hazardous materials would be temporary, and all potentially hazardous materials would be stored, used, and disposed of in accordance with manufacturers' specifications, and applicable federal, state, and local health and safety regulations. As such, impacts associated with the transport, use, or disposal of hazardous materials would be less than significant during construction.</p> <p>The operational phase of the project would occur after construction is completed. The project includes residential</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>and commercial uses that are compatible with surrounding uses. These types of uses do not routinely transport, use, or dispose of hazardous materials, or present a reasonably foreseeable release of hazardous materials, with the potential exception of common commercial grade hazardous materials such as household and commercial cleaners, paint, etc. The project would not create a significant hazard through the routine transport, use, or disposal of hazardous materials, nor would a significant hazard to the public or to the environment through the reasonably foreseeable upset and accidental conditions involving the likely release of hazardous materials into the environment occur. Therefore, the proposed project would not create a significant hazard to the public or the environment and any impacts would be less than significant.</p>						
<p>(b) Be located on or within 2,000 feet of a site that is included on a list of hazardous materials sites compiled pursuant to Government Code § 65962.5 and, as a result, would it create a significant hazard to the public or the environment? <i>Not Significant.</i></p> <p><u>Downtown FEIR Summary:</u> The FEIR concludes that projects within the planning area have a high likelihood of being located on or near sites compiled pursuant to Government Code Section 65962.5. Compliance with the applicable regulations would avoid significant impacts to human health and the environment. Implementation of the DCP would not create significant hazards related to hazardous materials sites and no mitigation would be required.</p> <p><u>Complete Communities PEIR:</u> The Complete Communities PEIR determined that implementation of the proposed project would be in accordance with City, county, state, and</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>federal requirements, and any new development that involves contaminated property would necessitate the clean-up and/or remediation of the property in accordance with applicable requirements and regulations. No construction would be permitted at such locations until a “no further action” clearance letter from the County’s DEH, or a similar determination is issued by the SDFD, DTSC, RWQCB, or other responsible agency. Therefore, impacts related to hazardous materials sites and health hazards would be less than significant.</p> <p><u>Project Summary:</u> As discussed in the FEIR, project sites are likely to be located on or near sites listed as hazardous materials sites. However, this would not create a significant hazard given compliance with appropriate regulations.</p> <p>As indicated in the FEIR, the project’s proximity to hazardous waste sites would not cause a significant impact given compliance with the applicable federal, state, and local regulations. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(c) Substantially impair implementation of an adopted emergency response plan or emergency evacuation plan? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that there would not be significant impacts to emergency preparedness with implementation of the DCP. The City would continue to participate in the Unified San Diego County Emergency Services Organization and implement its Emergency Operations Plan.</p> <p><u>Complete Communities FEIR:</u> The San Diego County Emergency Operations Plan (County of San Diego 2018)</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>identifies a broad range of potential hazards and a response plan for public protection, and identifies major interstates and highways within San Diego County that could be used as primary routes for evacuation. Additionally, the County of San Diego MJHMP provides methods to help minimize damage caused by natural and man-made disasters. The City and the OES of San Diego County continue to coordinate to update the MJHMP as hazards, threats, population, and land use, or other factors change to ensure that impacts to emergency response plans are less than significant. Therefore, impacts related to emergency evacuation and response plans would be less than significant.</p> <p><u>Barrio Logan PEIR</u>: The 2021 BLCPU PEIR Addendum found that impacts would be less than significant, and no mitigation would be required. This finding is consistent with the 2013 BLCPU Final PEIR. The project would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary</u>: The ongoing implementation of the City's Emergency Operations Plan would provide adequate emergency response throughout the City. The project would not prevent or impair implementation of this plan and no significant impact would occur. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
9. Hydrology and Water Quality						
<p>(a) Substantially degrade groundwater or surface water quality? <i>Not Significant.</i></p> <p><u>Downtown FEIR Summary</u>: The FEIR concludes that no significant impacts related to degradation of groundwater</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>or surface water quality would occur. Adherence to state and local water quality controls, such as the City Jurisdictional Runoff Management Plan, Storm Water Pollution Prevention Plan (SWPPP), City Stormwater Standards, and Hazardous Materials Release Response and Inventory Plan, would reduce potential water quality impacts generated by new development.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that storm water regulations that encourage infiltration of storm water runoff and protection of water quality would protect the quality of groundwater resources and support infiltration where appropriate. Impacts would be less than significant.</p> <p><u>Barrio Logan PEIR:</u> Since certification of the 2013 BLCPU Final PEIR, there has been a change in circumstances regarding municipal stormwater regulations. The San Diego Regional Water Quality Control Board (Regional Board) issued a new Municipal Stormwater Permit under the NPDES on discharges from MS4. The new MS4 Permit was adopted by the Regional Board on May 8, 2013 and amended on November 18, 2015. Any application for development would be required to comply with the storm water regulations in affect at the time of permit application. The application of the new permit requirements throughout the community plan area would ensure that impacts related to water quality would be less than significant. Therefore, notwithstanding the updated MS4 permit since the 2013 plan which provides additional water quality regulations to ensure protection of downstream water resources, the 2021 BLCPU PEIR Addendum found a less than significant finding consistent with the 2013 BLCPU PEIR. The Addendum found that the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary:</u> The proposed project has the potential to result in short-term, temporary water quality impacts during construction activities. Water quality control measures would reduce the potential impacts through compliance with (1) the San Diego Regional Water Quality Control Board under a National Pollutant Discharge Elimination System general permit for construction dewatering (if dewatering is discharged to surface waters); (2) the City of San Diego Metropolitan Wastewater Department (if dewatering is discharged into the City's sanitary sewer system under the Industrial Waste Pretreatment Program); or (3) the mandatory requirements controlling the treatment and disposal of contaminated dewatered groundwater would ensure that potential impacts associated with construction dewatering and the handling of contaminated groundwater are not significant. A Storm Water Quality Management Plan (SWQMP) has been prepared for the project and identified the Best Management Practices (BMPs) that would be implemented to prevent project impacts to water quality. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(b) Substantially increase impervious surfaces and associated runoff flow rates or volumes? <i>Not Significant.</i></p> <p><u>Downtown FEIR Summary:</u> The FEIR concludes that there would not be significant impacts to impervious surface increase or associated runoff flow rates or volumes. The DCP area is composed of mostly impervious surfaces that may be decreased with implementation of the DCP. The hydrology of the DCP area would not be significantly altered, as it is already highly urbanized and the DCP does not propose topographic changes such that runoff patterns would be altered.</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Complete Communities FEIR</u>: The Complete Communities FEIR determined that storm water regulations that encourage infiltration of storm water runoff and protection of water quality would protect the quality of groundwater resources and support infiltration where appropriate. Impacts would be less than significant.</p> <p><u>Barrio Logan PEIR</u>: Like the 2013 plan, future development under the 2021 BLCPU would be required to adhere to applicable regulations, policies and planning guidance related to storm water run-off. Future projects would be required to include BMPs and LIDs as necessary to ensure that runoff volumes and rates are maintained. Project design features would also be required to ensure the reduction of surface flows that contain pollutants of concern that affect local tributaries and water bodies. Therefore, 2021 BLCPU PEIR Addendum found that impacts associated with runoff and pollutant discharge would be less than significant. This finding is consistent with the 2013 BLCPU Final PEIR. The Addendum found the project would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p> <p><u>Project Summary</u>: The project site is currently developed and covered with impervious surfaces. The proposed project would decrease impervious surface area at the site by 10.87 percent and would replace the rest of the existing impervious area thereby maintaining a similar level of runoff. The project would be required to comply with City BMPs, as identified in the SWQMP. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>(c) Substantially impede or redirect flows within a 100-year flood hazard area? <i>Not Significant.</i></p> <p><u>Downtown FEIR Summary:</u> The FEIR concludes that there would be no impacts to flood flows with implementation of the DCP.</p> <p><u>Complete Communities PEIR:</u> The Complete Communities PEIR concludes that there would be no impacts to flood flows with implementation of the project.</p> <p><u>Barrio Logan PEIR:</u> While the 2013 plan includes land designated for industrial development within the 100-year flood hazard areas of Las Chollas Creek, and industrial development within the 100-year flood hazard area for Switzer Creek, compliance with the City's floodplain regulations would require any future development projects to conduct project-specific studies and implement design measures to ensure flooding impacts are avoided or reduced to below a level of significance. Therefore, impacts would be less than significant, and no mitigation would be required.</p> <p><u>Project Summary:</u> There are no 100-year flood hazard areas in the DCP area and therefore the project site is not within a 100-year flood hazard area. The project would not impede or redirect flows associated with a 100-year flood hazard area. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>					X	X
<p>(d) Substantially increase erosion and sedimentation? <i>Not Significant.</i></p> <p><u>Downtown FEIR Summary:</u> The FEIR discusses the potential for erosion and sedimentation in the short-term during site preparation and other construction activities. However,</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>compliance with state and local water quality controls would ensure that impacts are not significant. The FEIR concludes that no significant impacts associated with an increase in erosion or sedimentation would occur with implementation of the DCP.</p> <p><u>Complete Communities PEIR</u>: Implementation of the proposed project would result in less than significant impacts related to erosion and loss of topsoil. SDMC regulations prohibit sediment and pollutants from leaving the worksite and require the property owner to implement and maintain temporary and permanent erosion, sedimentation, and water pollution control measures. Conformance to mandated City grading requirements would ensure that proposed grading and construction operations would avoid significant soil erosion impacts. Thus, impacts would be less than significant.</p> <p><u>Barrio Logan PEIR</u>: Like the 2013 plan, all future development within the community plan area would be required to comply with federal, state, and local building standards and regulations, as well as geotechnical reconnaissance reports and investigations, where required. All construction activities would be required to comply with the CBC and SDMC, both of which would ensure implementation of appropriate measures during grading and construction activities, as well as structural and treatment BMPs ensure impacts associated with geologic hazards, soils erosion, and geologic stability are less than significant. This finding was consistent with the 2013 BLCPU PEIR. The 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary</u>: The project has the potential to result in erosion and sedimentation temporarily during construction. As discussed in the SWQMP, implementation</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
of BMPs and a Water Pollution Control Plan would be required. These measures would reduce potential impacts to less than significant levels. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.						
10. Land Use and Planning						
<p>(a) Physically divide an established community? <i>Not Significant.</i></p> <p><u>Downtown FEIR Summary:</u> The FEIRs conclude that implementation of the DCP would not result in dividing established communities. The DCP should create integrated neighborhoods with strengthened community identity. Projects spanning more than one block would be subject to additional review, as they have the potential to divide an established community.</p> <p><u>Complete Communities PEIR:</u> The PEIR conclude that implementation of Complete Communities would not result in dividing established communities.</p> <p><u>Barrio Logan PEIR:</u> The Barrio Logan PEIR found that the proposed CPU under both scenarios would not physically divide an established community, and associated land use impacts would not be significant. Community connectivity would be enhanced by provisions in the proposed CPU that establish a Community Village and improve pedestrian and transit amenities. No significant impacts were identified.</p> <p><u>Project Summary:</u> The proposed project is a residential, mixed-use facility, which complies with the use permitted for the site in the DCP. The project would no span more than one block and would therefore not be considered a large facility that may divide a community. The project</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>footprint would be limited to the footprint of the existing facility. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(b) Substantially conflict with the City's General Plan and Progress Guide, Downtown Community Plan, Centre City PDO or other applicable land use plan, policy, or regulation? <i>Not Significant.</i></p> <p><u>Downtown FEIR & GP FEIR Summary:</u> The Downtown FEIR concludes that implementation of the DCP would not result in significant impacts related to conflicts with applicable land use plans. The DCP further details policies for the development of the downtown area as intended in the City's General Plan and Progress Guide.</p> <p>The GP FEIR includes the Land Development Code FEIR, General Plan PEIR and associated addenda, and PRC Section 21166 analysis covering City Council's approval of the City's Affordable Housing Density Bonus Regulations, which concludes there are no new significant and unmitigated impacts from implementation of the City's Affordable Housing Density Bonus Regulations, which permits floor area ratio bonuses in excess of maximum zoning density for project sites downtown.</p> <p><u>Complete Communities FEIR:</u> The FEIR determined land use designations and policies associated with the Complete Communities Housing Solutions and Mobility Choices Program are consistent with the City's overarching policy and regulatory documents including the General Plan and SDMC. The FEIR analyzed compliance with San Diego Forward: The Regional Plan and determined that the Housing Solutions and Mobility Choices Program facilitates the implementation of existing land use plans across multiple planning areas throughout the City consistent</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>with the goals of the Regional Plan. Therefore, the adoption and implementation of the proposed project would not generate any conflict with smart growth strategies. The FEIR also analyzed compliance with the City of San Diego General Plan and found that the Housing Program would allow multi-family development with an affordable component to occur with TPAs at densities and heights beyond what is specifically identified in the applicable community plan. Thus, the Housing Program implements the General Plan City of Villages strategy, by allowing increased densities for multi-family residential development to occur in TPAs. Therefore, the FEIR is consistent with applicable goals objectives, or guidelines of the General Plan and other applicable plans and regulations and impacts would be less than significant.</p> <p><u>Barrio Logan PEIR:</u> The historic structure would be relocated to a site within the Barrio Logan FEIR. The 2021 BLCPU implements the City’s General Plan and the BLCPU, which are policy documents applicable to the geographic area within which the Air Rights Tower relocation site is located. The Air Rights Tower would also be consistent with all other applicable policy documents for the Air Rights Tower. Accordingly, the Air Rights Tower Project would have a less-than-significant impact due to conflicts with other planning documents and no mitigation.</p> <p><u>Project Summary:</u> The proposed project complies with the employment/residential mixed-use category through the creation of residential units and a retail space. Compliance with the assumed land use in the DCP and CCPDO ensures the Downtown FEIR adequately covered project impacts.</p>						
(c) Substantial incompatibility with surrounding land uses? Significant and Not Mitigated.	X	X				

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Downtown FEIR Summary</u>: The FEIR concludes that significant land use incompatibility impacts related to noise and lighting would occur with implementation of the DCP. Even with implementation of the mitigation measures, impacts related to traffic, aircraft, and railroad noise would be significant and not mitigated.</p> <p><u>Complete Communities FEIR</u>: The FEIR determined land use designations and policies associated with the Complete Communities Housing Solutions and Mobility Choices Program are consistent with the City's overarching policy and regulatory documents including the General Plan and SDMC.</p> <p><u>Project Summary</u>: The Downtown Community Plan identifies the donor site for residential uses and the receiving site as residential. Relocating the Andrew Cassidy Home from the donor site to the receiving site is consistent with both Community Plans. The General Plan identifies both sites as residential, and the relocation of a single-family home and the development of 87 dwelling units is consistent with that designation.</p>						
<p>(d) Substantially impact surrounding communities due to sanitation and litter problems generated by transients displaced by Downtown development? <i>Significant and Not Mitigated for cumulative impacts. Not Significant for direct impacts.</i></p> <p><u>FEIR Summary</u>: The Downtown FEIR concludes that impacts related to sanitation and litter generated by individuals experiencing homelessness would be significant and unmitigated with implementation of the DCP. The City would continue to support social services and other programs that aim to support people experiencing homelessness as a mitigation effort but would not be able to reduce impacts below a significant level. Specifically</p>		X			X	

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>identified in the FEIR is support for the Homeless Outreach Team that was created through mitigation in the Ballpark EIR.</p> <p><u>Project Summary:</u> The project site is currently developed and does not provide spaces that are used by people experiencing homelessness. As such, construction of the project would not cause displacement of any individuals.</p> <p>As identified in the FEIR, development of the DCP would overall have a significant cumulative impact on surrounding communities due to displacement of individuals who are experiencing homelessness. The appropriate mitigation for these impacts outlined in the FEIR is the City's continued support of local social service providers and government programs. This mitigation effort would not be implemented at the project level and as such is not included in Appendix A. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
11. Mineral Resources						
<p>(a) Substantially reduce the availability of important mineral resources? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that there would be no impacts to mineral resources with implementation of the DCP as there is limited potential for mineral resources to occur and be extracted in the area.</p> <p><u>Project Summary:</u> As discussed in the FEIR, there are not known mineral deposits in the DCP area. Furthermore, the urban nature of the area prevents viable extraction. Therefore, the project would not substantially reduce the availability of important mineral resources. The project does not trigger any of the CEQA Guidelines Section 15162</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
circumstances requiring additional review, and no mitigation would be required.						
12. Noise						
<p>(a) Substantial noise generation? <i>Significant but Mitigated.</i></p> <p><u>Downtown FEIR Summary:</u> The FEIR concludes development within the DCP area could generate temporary noise impacts caused by construction activities. However, short-term construction noise impacts would be avoided by adherence to construction noise limitations imposed by the City's Noise Abatement and Control Ordinance. The FEIR also concludes that significant impacts associated with traffic, aircraft, and ballpark noise increases would occur with implementation of the DCP. No feasible mitigation measures are available to reduce the significant traffic and aircraft noise increase.</p> <p><u>Barrio Logan PEIR:</u> Buildout of the 2021 BLCPU would include new stationary sources associated with commercial and industrial land uses. Noise associated with these land uses would be expected from sources such as mechanical equipment, loading docks, and other operations. The 2021 BLCPU included changes in land uses within the CPIOZ to further reduce land use incompatibilities and a reduction in noise conflict. However, as with the 2013 plan, the 2021 BLCPU PEIR Addendum found that noise levels generated by activities associated with future development under the 2021 BLCPU cannot be anticipated at the program level. Enforcement of the SDMC and implementation of policies of the Noise Element would assist in reducing noise impacts; however, because residential uses could still be located in close proximity to stationary sources of noise, exposure of noise-sensitive land uses to future noise levels which exceed established standards may still occur and would be considered significant and unavoidable. This finding was consistent with the 2013 BLCPU Final PEIR.</p>			X	X		

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Thus, the Addendum found that the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary:</u> Short-term noise impacts would occur from the demolition, grading, and construction activities from the project. Construction-related short-term noise levels would be higher than existing ambient noise levels in the project area but would be temporary and would no longer occur once construction is completed. Sensitive receptors (e.g. residential uses) occur in the immediate area and may be temporarily affected by construction noise; however, construction activities would be required to comply with the construction hours specified in City's Municipal Code, (Section 59.5.0404, Construction Noise), which are intended to reduce potential adverse effects resulting from construction noise. With compliance to the City's construction noise requirements, project construction noise levels would be reduced to less than significant, and no mitigation measures are required.</p> <p>For the long-term, typical noise levels associated with the existing residential uses are anticipated, and the project would not increase in the existing ambient noise level. The project would not result in noise levels in excess of the standards established in the City of San Diego General Plan or Noise Ordinance. No significant long-term impacts would occur, and no mitigation measures are required.</p>						
<p>(b) Substantial exposure of required outdoor residential open spaces or public parks and plazas to noise levels (e.g., exposure to levels exceeding 65 dBA CNEL)? Significant and Not Mitigated.</p>	X	X				

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concludes that outdoor residential open spaces or public parks and plazas may be subject to noise levels exceeding 65 dB(A) CNEL. Impacts would be significant and unmitigated.</p> <p>The FEIR identifies Mitigation Measure NOI-C.1-1, which would require a project-specific noise study prior to approval of a development permit for any residential development within 475 feet of the centerline of I-5 or adjacent to a roadway carrying more than 7,000 ADT. Even with implementation of Mitigation Measure NOI-C.1-1, without knowing the exact spatial relationship of the open space areas to the traffic noise for each future development, it is impossible to know whether every future development would be able to maintain noise levels below 65 dB(A) CNEL. Full attenuation of noise may be contrary to the goal of creating outdoor open space and parks, so impacts are considered unmitigated.</p> <p><u>Project Summary:</u> The project would not include public parks or plazas, so no impact would occur in relation to these land uses. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(c) Substantial interior noise within habitable rooms (e.g., levels in excess of 45 dBA CNEL)? <i>Significant but Mitigated.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that significant impacts to interior noise as a result of traffic, railroad, and ballpark noise would occur with implementation of the DCP. The FEIR identifies Mitigation Measure NOI-B.1-1, which would require a project-specific noise study prior to approval of a building permit for any residential, hospital, or hotel development within 475 feet of the centerline of I-5 or adjacent to a roadway carrying more than 7,000 ADT or that has the potential to expose habitable rooms to</p>			X	X		

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>disruptive railroad noise. The FEIR also identifies Mitigation Measure NOI-B.2-1, which would require a project- specific noise study prior to approval of a building permit for any noise-sensitive land uses, including hotels within four blocks of the ballpark. Implementation of these mitigation measures and compliance with Title 24 and CBC requirements would reduce interior noise impacts to below a level of significance by requiring noise levels in habitable rooms to not exceed 45 dB(A) CNEL.</p> <p><u>Project Summary:</u> Short-term noise impacts would occur from the demolition, grading, and construction activities from the project. Construction-related short-term noise levels would be higher than existing ambient noise levels in the project area but would be temporary and would no longer occur once construction is completed. Sensitive receptors (e.g. residential uses) occur in the immediate area and may be temporarily affected by construction noise; however, construction activities would be required to comply with the construction hours specified in City’s Municipal Code, (Section 59.5.0404, Construction Noise), which are intended to reduce potential adverse effects resulting from construction noise. With compliance to the City’s construction noise requirements, project construction noise levels would be reduced to less than significant, and no mitigation measures are required.</p> <p>For the long-term, typical noise levels associated with the existing residential uses are anticipated, and the project would not increase in the existing ambient noise level. The project would not result in noise levels in excess of the standards established in the City of San Diego General Plan or Noise Ordinance. No significant long-term impacts would occur, and no mitigation measures are required.</p>						
13. Population and Housing						
(a) Substantially induce population growth in an area? <i>Not Significant.</i>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary</u>: The FEIR concludes that no significant adverse impacts associated with inducing population growth would occur with implementation of the DCP.</p> <p><u>Complete Communities FEIR</u>: The FEIR found that Housing Program would incentivize and is reasonably anticipated to result in development of multi-family residential units within areas already suitable for growth because they are within Transit Priority Areas (TPAs). As the Housing Program is intended as an implementation strategy for the City to realize its existing housing goals, and because it would be consistent with the City's strategy for growth by focusing development within areas accessible to transit, the Housing Program would not be growth inducing. The Housing Program would instead redirect planned growth into TPAs where the needed infrastructure exists, to help achieve the existing RHNA targets in an environmentally sensitive manner.</p> <p><u>Barrio Logan PEIR</u>: The PEIR found that the BLCPU was growth accommodating, rather than growth inducing, because it provides comprehensive planning for the management of population growth and necessary economic expansion to support the development efforts.</p> <p><u>Project Summary</u>: The project would construct 443 dwelling units, which would be expected to induce population growth. However, the creation of housing would be consistent with the growth assumptions contained in the FEIR and would not lead to additional adverse physical changes. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
(b) Substantial displacement of existing housing units or people? <i>Not Significant.</i>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concludes that no significant adverse impacts would occur to housing units as a result of the DCP. Implementation of the DCP would result in a beneficial increase in housing supply by contributing additional residential units beyond those projected by SANDAG in an area that is experiencing housing deficiencies.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities FEIR concludes that no adverse impacts to population or housing are anticipated from implementation of the proposed Housing Solutions program. It is anticipated that most of the new housing units would be absorbed by existing residents of the San Diego area and would assist in accommodating projected population growth that would occur without the proposed ordinances. The number of additional housing units and the corresponding forecasted number of new residents is not substantial and would contribute to the housing provision goals of the City's Housing Element by helping to accommodate regional growth projected for the project areas, the City, and the region as a whole. Therefore, the proposed project is not anticipated to result in overall regional population growth, and there would be no population and housing related impacts.</p> <p><u>Barrio Logan PEIR:</u> The projected increase in the total number of multiple-family housing units would ensure that some of the projected population growth could be accommodated within the proposed CPU, although not to the same degree as the proposed CPU. Any displacement of residents from future development under the proposed CPU would be temporary in nature. Therefore, similar to the proposed CPU, impacts related to population growth and the potential displacement of residents would not be a significant impact under CEQA and would be less than significant.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary:</u> As discussed in the FEIR, the San Diego region has housing deficiencies that would be improved by the implementation of the DCP. The proposed project would contribute 73 new dwelling units to the area and would not result in the displacement of any existing housing, as there are no residents of the existing storage facility. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
14. Public Services and Utilities						
<p>(a) Substantial adverse physical impacts associated with the provision of new schools? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that implementation of the DCP would generate residential units that increase the number of school-age children, therefore requiring additional schools. Specifically, the need for a new elementary school and possibly a new high school are identified. Impacts related to these facilities would be speculative, as there is no proposed location, and therefore the impacts are not required to be addressed in the FEIR.</p> <p><u>Complete Communities FEIR:</u> The FIER found that Implementation of the Complete Communities project could result in construction of schools. Additionally, transportation infrastructure and amenities constructed under the Mobility Choices program could result in environmental impacts. As the location and need for potential future facilities cannot be determined at this time, it is unknown what specific impacts may occur associated with the future construction and operation of such facilities. Thus, as it cannot be ensured all impacts associated with the construction and operation of potential</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>future facilities would be mitigated to less than significant, impacts would be significant and unavoidable.</p> <p><u>Barro Logan FEIR</u>: The FEIR found that program level of analysis, impacts related to the construction of new school facilities would be less than significant.</p> <p><u>Project Summary</u>: The project would construct 73 residential units, which would be expected to generate new school-age residents. The project would be consistent with the increase in students identified in the FEIR and would not cause the need for an additional school facility. The payment of impact fees to the San Diego Unified School District would be required prior to issuance of a building permit and would reduce potential impacts related to school facilities. The movement of the historic house would not generate new school age residents. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(b) Substantial adverse physical impacts associated with the provision of new libraries? <i>Not Significant.</i></p> <p><u>FEIR Summary</u>: The FEIR concludes that implementation of the DCP would result in the need for a new Main Library. The impacts of the Main Library were addressed in a Secondary Study, which concluded the library would have no impacts that could not be reduced below significant levels. Smaller libraries could be constructed to serve the downtown population; however, their location and impacts would be speculative and thus are not included in the FEIR.</p> <p><u>Complete Communities FEIR</u>: The FIER found that Implementation of the Complete Communities project could result in the construction of new library facilities. Additionally, transportation infrastructure and amenities</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>constructed under the Mobility Choices program could result in environmental impacts. As the location and need for potential future facilities cannot be determined at this time, it is unknown what specific impacts may occur associated with the future construction and operation of such facilities. Thus, as it cannot be ensured all impacts associated with the construction and operation of potential future facilities would be mitigated to less than significant, impacts would be significant and unavoidable.</p> <p><u>Barro Logan FEIR</u>: The FEIR found that program level of analysis, impacts related to the construction of new school facilities would be less than significant.</p> <p><u>Project Summary</u>: The project would introduce new people to the downtown area through construction of 73 residential units, however this growth was anticipated in the Downtown FEIR and therefore included in assumptions regarding the need for library facilities. The project would not generate the need for any additional library facilities; however, the project's Development Impact Fees (DIFs) would contribute to funding any future library facilities that are proposed. In addition, the Downtown Main Library has already been constructed. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(c) Substantial adverse physical impacts associated with the provision of new fire protection/emergency facilities? <i>Not Significant.</i></p> <p><u>FEIR & Complete Communities FEIR Summary</u>:</p> <p>Fire Protection Facilities (Downtown FEIR)</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>The FEIR concludes that implementation of the DCP would result in the need for additional fire protection and emergency facilities. The impacts associated with new facilities proposed at the time of the FEIR's certification would have been speculative and were not included in the FEIR. Since the FEIR was certified, the City opened Station 2 at 875 West Cedar Street to serve Little Italy and the downtown area west of the train and trolley tracks. Any future facilities would be analyzed individually for impacts, as analysis provided in the FEIR would be speculative.</p> <p>Fire Hazards (Complete Communities FEIR)</p> <p>Further updates to CEQA Guidelines have resulted in the addition of a "Wildfire" section to ensure projects do not result in increased hazards associated with wildfires. Adherence to CBC, the City's Fire Code, and Brush Management Regulations would be required, but may not fully reduce impacts related to wildfire. The Complete Communities FEIR concludes that impacts related to wildfire would be significant and unavoidable, as there are places in the citywide planning area that may develop residences in an area with wildfire risks.</p> <p><u>Complete Communities FEIR:</u> The FIER found that Implementation of the Complete Communities fire facilities. Additionally, transportation infrastructure and amenities constructed under the Mobility Choices program could result in environmental impacts. As the location and need for potential future facilities cannot be determined at this time, it is unknown what specific impacts may occur associated with the future construction and operation of such facilities. Thus, as it cannot be ensured all impacts associated with the construction and operation of potential future facilities would be mitigated to less than significant, impacts would be significant and unavoidable.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Barro Logan FEIR</u>: The FEIR found that program level of analysis, impacts related to the construction of new public facilities but impacts would be less than significant.</p> <p><u>Project Summary</u>:</p> <p>Fire Protection Facilities (Downtown FEIR)</p> <p>The growth assumptions in the DCP include the project's introduction of additional housing and therefore construction of the project would not necessitate additional fire protection or emergency facilities beyond those identified in the FEIR. The collection of DIFs was the policy identified to mitigate future impacts associated with provision of fire protection and emergency facilities. The project would pay the applicable DIFs to minimize such impacts. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p> <p>Fire Hazards (Complete Communities FEIR)</p> <p>As identified in the Complete Communities FEIR, the project site is not located within a Fire Hazard Severity Zone and is located within the moderate fire threat level of the Downtown area. Urban areas, such as the project site, are unlikely to experience wildfires. The project would be constructed in accordance with state and local Fire Codes and Building Codes, such that impacts related to wildfire would not be significant. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(d) Substantial adverse physical impacts associated with the provision of new law enforcement facilities? <i>Not Significant.</i></p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>FEIR Summary:</u> The FEIR concludes that implementation of the DCP would result in the need for additional law enforcement, which may include the need for additional facilities. However, the growth impacts associated with the DCP most directly require additional officers and not the provision of additional facilities. Any future substation addition would pursue its own analysis of environmental impacts associated with its physical construction.</p> <p><u>Complete Communities FEIR:</u> The FIER found that Implementation of the Complete Communities project could result in construction of additional law enforcement facilities. Additionally, transportation infrastructure and amenities constructed under the Mobility Choices program could result in environmental impacts. As the location and need for potential future facilities cannot be determined at this time, it is unknown what specific impacts may occur associated with the future construction and operation of such facilities. Thus, as it cannot be ensured all impacts associated with the construction and operation of potential future facilities would be mitigated to less than significant, impacts would be significant and unavoidable.</p> <p><u>Barro Logan FEIR:</u> The FEIR found that program level of analysis, impacts related to the construction of new fire facilities would be less than significant.</p> <p><u>Project Summary:</u> The project would add population to the DCP area, consistent with the analysis provided in the FEIR. The additional population would not require the provision of additional law enforcement facilities but would be part of the population increase that would require additional officers. The addition of personnel would not result in environmental impacts under CEQA, and any future facility development would undergo a separate CEQA process. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>(e) Substantial adverse physical impacts associated with the provision of new water transmission or treatment facilities? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that implementation of the DCP would result in additional growth, which would increase the demand for treated water. However, the Alvarado Water Treatment Plant has the capacity to support the additional DCP population. Further, the San Diego Water Department routinely replaces and upsizes deteriorating and under-sized pipes through its Capital Improvement Project program, which is categorically exempt from environmental review pursuant to CEQA. There would be no significant impacts associate with provision of water transmission or treatment as a result of DCP implementation.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities determined that mandatory compliance with City standards for the design, construction, and operation of storm water, water distribution, wastewater, and communications systems infrastructure would likely minimize significant environmental impacts associated with the future construction of and/or improvements to utility infrastructure. However, at this programmatic level of review and without the benefit of project specific development plans, both direct and cumulative impacts associated with the construction of storm water, water distribution, wastewater, and communication systems would be significant.</p> <p><u>Barrio Logan PEIR:</u> The 2021 BLCPU PEIR Addendum found that through policy adherence and regulatory compliance, impacts related to public utilities would be less than significant. This finding is consistent with the 2013 BLCPU Final PEIR. Thus, the Addendum found the 2021 BLCPU</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p> <p><u>Project Summary:</u> As identified in the FEIR, the growth proposed in the DCP would not require the provision of new water facilities. The growth associated with the proposed project would be consistent with the assumptions included in the FEIR analysis and would not require new water facilities to be constructed. Future facilities would be assessed in accordance with CEQA as they are proposed. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(f) Substantial adverse physical impacts associated with the provision of new storm water facilities? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that implementation of the DCP would not substantially alter stormwater runoff, and therefore would not require the provision of new stormwater facilities.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities determined that mandatory compliance with City standards for the design, construction, and operation of storm water, water distribution, wastewater, and communications systems infrastructure would likely minimize significant environmental impacts associated with the future construction of and/or improvements to utility infrastructure. However, at this programmatic level of review and without the benefit of project specific development plans, both direct and cumulative impacts associated with the construction of storm water, water</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>distribution, wastewater, and communication systems would be significant.</p> <p><u>Barrio Logan PEIR</u>: The 2021 BLCPU PEIR Addendum found that through policy adherence and regulatory compliance, impacts related to public utilities would be less than significant. This finding is consistent with the 2013 BLCPU Final PEIR. Thus, the Addendum found the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p> <p><u>Project Summary</u>: Similar to the majority of the DCP area, the project site would consist mainly of impervious surfaces. The project would result in a small decrease in impervious surfaces compared to existing conditions, but no significant change would occur regarding runoff. Any future changes to the offsite stormwater system would be assessed in accordance with CEQA as they are proposed. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(g) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? <i>Not Significant.</i></p> <p><u>FEIR Summary</u>: The FEIR concludes that implementation of the DCP would result in additional growth, which would increase the demand for treated water. The San Diego County Water Authority indicated that it would have a local water supply sufficient to support the increase in water use. Additionally, SB 610 and SB 221 require a water supply assessment (WSA) for any development that would construct 500 or more dwelling units, 500 or more hotel rooms, or a project that would demand an amount of</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>water equivalent to, or greater than, the amount of water required by a 500-dwelling unit project. Pipe replacements in East Village were included in the FEIR to accommodate more intense development associated with the DCP.</p> <p><u>Complete Communities PEIR</u>: The Complete Communities PEIR determined that according to Water Supply Assessments prepared for recent CPUs, water demand would not increase within project areas located in communities with a recent CPU. Within project areas that do not have a recent comprehensive CPU, it is possible that densities could be authorized in excess of what would have been considered in the latest water supply planning document. Thus, at this programmatic level of review, direct and cumulative impacts related to the availability of water supplies based on existing projections would be significant.</p> <p><u>Barrio Logan PEIR</u>: Based on the findings of the Water Supply Assessment (WSA) prepared for the 2013 plan, the 2013 BLCPU Final PEIR determined that there would be sufficient water supply to serve existing and projected demands of the plan, and future water demands within the Public Utilities' Department (PUD) service area in normal and dry year forecasts during a 20-year projection. Therefore, impacts would be less than significant impacts, no mitigation would be required. The Addendum found the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p> <p><u>Project Summary</u>: The project proposes 73 units and would not require the preparation of a WSA. The increased population was included in assumptions of the DCP, and impacts were analyzed in the FEIR. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>(h) Substantial adverse physical impacts associated with the provision of new wastewater transmission or treatment facilities? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that the Point Loma Wastewater Treatment Plant (PLWTP) would have sufficient capacity to accommodate increased wastewater through 2025, by which point the South Bay Wastewater Treatment Plant would be available and able to accommodate excess wastewater. There would not be significant environmental impacts related to the provision of new wastewater transmission or treatment facilities given the implementation of the DCP.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities FEIR determined that mandatory compliance with City standards for the design, construction, and operation of storm water, water distribution, wastewater, and communications systems infrastructure would likely minimize significant environmental impacts associated with the future construction of and/or improvements to utility infrastructure. However, at this programmatic level of review and without the benefit of project specific development plans, both direct and cumulative impacts associated with the construction of storm water, water distribution, wastewater, and communication systems would be significant.</p> <p><u>Barrio Logan PEIR:</u> The 2021 BLCPU PEIR Addendum found that through policy adherence and regulatory compliance, impacts related to public utilities would be less than significant. This finding is consistent with the 2013 BLCPU Final PEIR. Thus the Addendum found the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU Final PEIR.</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary:</u> The increased wastewater associated with construction of the project would be consistent with the growth assumed in the FEIR and would not directly warrant construction of a new wastewater treatment facility. The project's wastewater would be treated at the PLWTP. Future new or updated facilities will address their impacts pursuant to CEQA as they are proposed. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(i) Substantial adverse physical impacts associated with the provision of new landfill facilities? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that solid waste would increase and be disposed of at the Miramar Landfill until it reaches capacity, however impacts related to a new landfill would be speculative and are not considered in the FEIR. Projects proposing at least 50 residential units are required to prepare a waste management plan.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that future development within the project areas would generate solid waste through demolition/construction and ongoing operations, which would increase the amount of solid waste generated within the region. However, future projects would be required to comply with City regulations regarding solid waste that are intended to divert solid waste from the Miramar Landfill to preserve capacity. Compliance with existing regulations requiring waste diversion would help preserve solid waste capacity. Therefore, impacts associated with solid waste would be less than significant.</p> <p><u>Barrio Logan PEIR:</u> The PEIR found that Adherence to the policies in the General Plan and proposed CPU,</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>implementation of waste management plans as required by the Department of Environmental Services, and compliance with the SDMC and the Recycling Ordinance, would continue to reduce solid waste. Therefore, there would be no cumulatively significant impact to solid waste disposal.</p> <p><u>Project Summary:</u> Adequate services are available to serve the site, and the project would not require the construction or expansion of existing facilities. The project would be served by a landfill with sufficient permitted capacity to accommodate the project's disposal needs. Construction debris and waste would be generated from the construction of the new residential and commercial units. All construction waste from the project site would be transported to an appropriate facility, which would have adequate capacity to accept the limited amount of waste that would be generated by the project. Long-term operation of the project would be anticipated to generate typical amounts of solid waste associated with residential and commercial use. Furthermore, the project would be required to comply with the City's Municipal Code (including the Refuse and Recyclable Materials Storage Regulations (Municipal Code Chapter 14, Article 2, Division 8), Recycling Ordinance (Municipal Code Chapter 6, Article 6, Division 7), and the Construction and Demolition (C&D) Debris Deposit Ordinance (Municipal Code Chapter 6, Article 6, Division 6)) for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts would be less than significant.</p>						
15. Parks and Recreational Facilities						
(a) Substantial increase in the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>of the facility would occur or be accelerated? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that there would be no significant impacts contributing to the physical deterioration of park facilities with implementation of the DCP. The DCP intends to provide increased park and recreational space to the downtown area through a Transfer of Development Rights program. Implementation of the DCP would accommodate an increased downtown population with park facilities and would not create significant impacts related to deterioration of these facilities.</p> <p><u>Complete Communities FEIR:</u> Implementation of the Complete Communities project could result in the need for additional police, fire-rescue, school, library, and parks and recreation facilities. Additionally, transportation infrastructure and amenities constructed under the Mobility Choices program could result in environmental impacts. As the location and need for potential future facilities cannot be determined at this time, it is unknown what specific impacts may occur associated with the future construction and operation of such facilities. Thus, as it cannot be ensured all impacts associated with the construction and operation of potential future facilities would be mitigated to less than significant, impacts would be significant and unavoidable.</p> <p><u>Barrio Logan PEIR:</u> The 2021 BLCPU proposed additional parkland above that included in the 2013 plan. Specifically, in addition to the parkland located within the Community Village Area, the 2021 BLCPU increased both parkland and open space in the Boston Avenue/Main Street Area to further enhance access to Chollas Creek through a linear park, and provide enhanced amenities associated with the adjacent proposed Neighborhood Village land use. Like the 2013 plan, future development projects under the</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>2021BLCPU would be reviewed on a case-by-case basis at the project-level to ensure that adequate parkland area is provided, either through dedication of park facilities, or payment of in lieu fees. However, the 2021BLCPU additionally incorporates regulations through the CPIOZ to require dedication of park land to support the Boston Avenue linear park. The 2021 BLCPU additionally incorporated updates to reflect the recently adopted Parks Master Plan. Potential environmental effects associated with the development of future parkland and/or recreational facilities would be analyzed at that time they are proposed, consistent with the analysis in the 2013 BLCPU Final PEIR. Therefore, the 2021 BLCPU PEIR Addendum found that impacts associated with parks would be less than significant. This finding is consistent with the 2013 BLCPU Final PEIR. The Addendum found that the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary:</u> Both project sites are located in an urbanized and developed area where City-operated parks are available. The project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists and is not anticipated to result in a significant increase in demand for parks or other offsite recreational facilities.</p> <p>The project sites are located in an urbanized and developed area where City services are already available. The project would not adversely affect existing levels of other public facilities and not require the construction or expansion of an existing governmental facility.</p> <p><u>Additionally, a condition of the project includes the requirement for both Development Impact Fees (DIF) and Neighborhood Enhancement Fee (NEF) payments for the</u></p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>funding of future public improvements to the surrounding areas of the project per Municipal Code Chapter 9, Article 6 Division 4 (Development of Park and Recreational Facilities) and Municipal Code Ch 14m Article 3, Division 10 (Complete Housing Solutions Regulations). The DIF is determined by the type, size and location of the development for the building permit being issued. Monies collected are placed in a City special fund by community, to be used solely for those public facilities specifically defined or generally described in the Development Impact Fee Plan for each community. The NEF is to be used solely to fund recreation amenities, active transportation, and transit infrastructure projects that are not vehicular accommodating in Transit Priority Areas. In tandem, these fee payments would be used to address library, park and recreational other public facilities needs associated with increased population in the community.</u></p> <p>The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
16. Transportation/Traffic						
<p>(a) Cause the level of service (LOS) on a roadway segment or intersection to drop below LOS E? <i>Not Significant.</i></p> <p><u>FEIR & Complete Communities FEIR Summary:</u></p> <p>LOS Analysis (Downtown FEIR)</p> <p>The FEIR concludes that significant traffic impacts on 62 intersections in the DCP area would occur with implementation of the DCP. The FEIR identifies improvements at 50 of the impacted intersections that would maintain an acceptable LOS. Due to constraints imposed by adjacent land use, up to 12 intersections</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>would not be within acceptable LOS and the impact would be significant and not mitigated.</p> <p>The FEIR also concludes that significant traffic impacts to roadway segments in the DCP area would occur with implementation of the DCP. The FEIR identifies Mitigation Measures TRF-A.1.1-1 and TRF-A.1.1-2, which would require subsequent monitoring and project-specific traffic studies to determine appropriate future improvements. Even with implementation of Mitigation Measures TRF-A.1.1-1 and TRF-A.1.1-2, the impact may be significant and not mitigated.</p> <p>VMT Analysis (Complete Communities FEIR)</p> <p>Since certification of the Downtown FEIR, California enacted SB 743 to modernize transportation analysis and transition lead agencies from analyzing traffic impacts under CEQA from a congestion-based LOS threshold to a VMT threshold designed to assist the state in meeting its greenhouse gas emissions targets. SB 743, as codified in PRC 21099(b), provides that upon certification of the new VMT CEQA Guidelines by the Secretary of Natural Resources Agency in December 2018, automobile delay, as described <i>solely</i> by level of service or similar measures of vehicular capacity or traffic congestion, shall not be considered a significant impact on the environment, except for transportation projects.</p> <p>The City of San Diego subsequently adopted the Complete Communities FEIR, which incorporated updates to CEQA significance thresholds by utilizing VMT analysis, as directed by SB 743. The Complete Communities FEIR concludes that development in areas with VMT at or below 85 percent of the base year regional average would have less than significant impacts. Future development of similar types would be expected to have similar levels of VMT to the existing development in that area.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Barrio Logan PEIR:</u> Since certification of the 2013 BLCPU PEIR, the CEQA Guidelines were revised to evaluate potential transportation impact using a VMT metric instead of LOS. Therefore, the addendum analyzed the 2021 BLCPU's transportation impacts based on VMT. The Addendum's analysis concluded that the 2021 BLCPU's transportation VMT impact would be less than significant, and no mitigation would be required. This finding was different than the 2013 BLCPU Final PEIR conclusion; however, it did not represent a new significant, or more severe impact, than previously identified.</p> <p><u>Project Summary:</u> The proposed project locations are in two separate census tracts, 4.5 miles apart. The Union Street portion of the project is presumed to have a less than significant Vehicle Miles Traveled (VMT) impact due to its estimated trip generation of 292 ADT, which is under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). The Newton Ave portion of the project is presumed to have a less than significant VMT impact due to its estimated trip generation of 113 ADT, which is also under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). Therefore, impacts would be less than significant and the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(b) Cause the LOS on a freeway segment to drop below LOS E or cause a ramp delay in excess of 15 minutes? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that significant traffic impacts on nine freeway segments and 14 freeway ramps would occur with implementation of the DCP. The FEIR</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>identifies Mitigation Measure TRF-A.2.1-1, which would require initiation of a multi-jurisdictional effort to develop a detailed, enforceable plan to identify improvements to reduce congestion on I-5 through the DCP area and identify funding sources. Even with implementation of Mitigation Measure TRF-A.2.1-1, as the City of San Diego do not have jurisdiction to improve the freeway system, the impact would be significant and not mitigated.</p> <p><u>Complete Communities FEIR</u>: The Complete Communities FEIR relied on a VMT metric and not a LOS service metric.</p> <p><u>Barrio Logan PEIR</u>: The 2013 BLCPU PEIR determined that implementation of the 2013 plan would result in significant impacts to five freeway segments. The impacts at these freeway segments would occur because the LOS would degrade to an unacceptable E or F, or because the v/c ratio increase would exceed the then allowable threshold at a location already operating at LOS E or F. The SANDAG 2050 RTP at the time included freeway improvements along I-5 between I-15 and I-8, and an addition of one main lane and one managed lane in each direction between I-15 and State Route 54 (SR-54). The improvements included in the previous RTP were recommended to enhance the regional connectivity and accommodate the forecasted growth of the San Diego region. It was noted that the 2013 BLCPU would generate less traffic than the adopted 1978 Community Plan; however, the BLCPU would not eliminate cumulative freeway traffic impacts. In addition to the proposed freeway improvements listed in the approved SANDAG 2050 RTP, freeway access improvements detailed in Table 4.2-18 of the PEIR were recommended. Several of the proposed improvements would be the responsibility of other agencies (Caltrans, the Port, the Navy). While implementation of identified improvements would reduce impacts, until funding was identified and assured, impacts associated with freeway segments would remain significant and unavoidable. Therefore, without feasible</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>mitigation, impacts associated with freeway segments would remain significant and unavoidable.</p> <p><u>Project Summary:</u> As discussed above in section 16(a), if LOS was still the applicable threshold to analyze transportation, the project itself would not generate significant impacts related to traffic. It would contribute to the cumulative traffic increases identified in the FEIR that would cause traffic impacts to freeway segments and ramps but would not exceed the project-level significance threshold. The FEIR identified Mitigation Measure TRF-A.2.1-1 to address freeway impacts, however implementation of the measure would not be the responsibility of the project applicant to implement. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
<p>(c) Create an average demand for parking that would exceed the average available supply? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that impacts to demand for parking would be significant, as demand may exceed supply with implementation of the DCP. The CCPDO would identify specific parking ratios for new development that would provide some of the supply but would not be adequate to cover the full demand. Mitigation Measure TRF-D.1-1 was identified to provide reviews of parking supply and demand every five years and identify necessary corrective action. The specific supply and demand for parking upon DCP implementation was not considered fully identified in the FEIR, and thus the impacts were considered significant, even with implementation of TRF-D.1-1.</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Complete Communities FEIR:</u> The Complete Communities FEIR relied on a VMT metric and not a LOS service metric; parking was not addressed.</p> <p><u>Barrio Logan PEIR:</u> Since certification of the 2013 BLCPU PEIR, the CEQA Guidelines were revised to evaluate potential transportation impact using a VMT metric instead of LOS. Therefore, the addendum analyzed the 2021 BLCPU's transportation impacts based on VMT. The Addendum's analysis concluded that the 2021 BLCPU's transportation VMT impact would be less than significant, and no mitigation would be required. This finding was different than the 2013 BLCPU Final PEIR conclusion; however, it did not represent a new significant, or more severe impact, than previously identified.</p> <p><u>Project Summary:</u> The DCP requires projects to meet their individual project-generated parking demands through ratios established in the CCPDO. According to the CCPDO, residential developments may provide between zero and one parking space per dwelling unit and commercial developments of less than 30,000 sf are exempt from parking development requirements. The project would comply with these parking requirements through the creation of 70 total spaces within a fully-automated parking garage incorporated into levels 1 through 6. The ground level contains the residential lobby and the car elevator of the automated parking garage. The project would provide sufficient parking for its generated demand and would not be responsible for implementation of Mitigation Measure TRF-D.1-1. Therefore, the project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>(d) Substantially discourage the use of alternative modes of transportation or cause transit service capacity to be exceeded? <i>Not Significant.</i></p> <p><u>FEIR Summary:</u> The FEIR concludes that implementation of the DCP would not result in significant impacts related to discouraging the use of alternative transportation or causing the transit service capacity to be exceeded.</p> <p>As discussed in the FEIR, the DCP contains policies to develop a pedestrian and bicycle network. Additionally, although development under the DCP would increase the demand for transit service, the San Diego Association of Governments indicates that existing and planned transit services would have the capacity to meet the increased demand.</p> <p><u>Complete Communities FEIR:</u> Overall, the proposed project would support improved pedestrian, bicycle, and transit facilities and foster increased safety for all alternative modes by facilitating the development of high-density multi-family residential land uses close to existing transit areas. Additionally, the Mobility Choices Program would further support multi-modal opportunities within Mobility Zones 1, 2, and 3 consistent with City policies. Thus, impacts related to conflicts with adopted policies, plans, or programs supporting transportation would be less than significant. SB 743 requires the Governor’s OPR to identify new metrics for identifying and mitigating transportation impacts within CEQA. Consistent with the intent of SB 743, the City’s new CEQA significance threshold are required to be adopted by July 1, 2020.</p> <p><u>Barrio Logan PEIR:</u> The 2021 BLCPU PEIR Addendum determined that the revised BLCPU would be consistent with the Mobility Element of the General Plan and other adopted policies, plans, or programs supporting the transportation system, as it strives to improve pedestrian,</p>					X	X

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>bicycle, transit, and roadway facilities. Elements of the 2021 BLCPU were found to support each of the transportation modes. The Addendum also determined the 2021 BLCPU additionally supports implementation of mobility hubs to support future planned transit infrastructure, consistent with SANDAG's Regional Plan (2021). Additionally, the bicycle and pedestrian network is designed to provide improved connections and access to transit. Roadway improvements are also included in the plan that would support alternative transportation modes including but not limited to, repurposing vehicle travel lanes to provide dedicated bicycle facilities, signal operational improvements, reserving right-of-way to construct multi-use paths, and providing bicycle and pedestrian signal enhancements. Therefore, like the 2013 plan, the 2021 BLCPU PEIR Addendum found that no impacts related to alternative transportation modes would occur under the 2021 BLCPU. This finding was consistent with the 2013 BLCPU Final PEIR and did not represent a new significant, or more severe impact, than previously identified.</p> <p><u>Project Summary:</u> The project would not discourage the use of alternative transportation, as it provides housing in a TPA. The housing would also be in proximity to existing commercial, entertainment, and retail services, which ultimately encourages the use of alternative transportation. The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review, and no mitigation would be required.</p>						
17. Mandatory Findings of Significance						
(a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community,	X	X				

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory? <i>Significant and Not Mitigated.</i></p> <p><u>FEIR Summary:</u> The Downtown FEIR concludes that significant impacts to biological resources would not occur with implementation of the DCP. However, significant impacts to historical resources have the potential to occur with implementation of the DCP.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that the Housing Solutions and Mobility Choices would result in significant and unavoidable impacts related to air quality; biological resources; historical, archaeological, and tribal cultural resources; hydrology/water quality; noise; public services and facilities; transportation; public utilities and infrastructure; wildfire; and visual effects and neighborhood character.</p> <p><u>Barrio Logan PEIR:</u> The 2021 BLCPU PEIR Addendum found that changes proposed in the 2021 BLCPU did not affect the underlying biological conditions throughout the planning area. Thus, the Addendum found that all conclusions related to biological resources would remain the same as under the 2013 plan and impacts would be less than significant. This finding was consistent with the 2013 BLCPU PEIR. Thus, the 2021 BLCPU would not result in a new significant impact, nor would there be a substantial increase in the severity of impacts from that described in the 2013 BLCPU PEIR.</p> <p><u>Project Summary:</u> As discussed in section 4 of this Consistency Evaluation, pursuant to CEQA Guidelines Section 15162, the project does not trigger any of the circumstances requiring additional review related to biological resources, and no mitigation would be required.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>As discussed further in section 5 of this Consistency Evaluation, the project would relocate a locally significant historical resource. Mitigation Measures HIST-A.1-1, HIST-A.1-2, and HIST-A.1-3 would be required prior to and during demolition and construction activities to mitigate impacts to historic resources (see Appendix A). The project will receive a City SDP and comply with City regulations and mitigation to ensure no impacts remain.</p> <p>The project also has the potential to impact unknown archaeological and paleontological resources during demolition and construction activities. Implementation of Mitigation Measures HIST-B.1-1 and PAL-A.1-1 would be required (see Appendix A).</p> <p>The project does not trigger any of the CEQA Guidelines Section 15162 circumstances requiring additional review related to historical, archaeological, or paleontological resources.</p>						
<p>(b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? <i>Significant and Not Mitigated</i></p> <p><u>FEIR Summary:</u> As discussed in the FEIR, implementation of the DCP would result in cumulative impacts associated with air quality, historical resources, land use, noise, traffic and circulation, and water quality. Even with implementation of applicable mitigation measures, cumulative impacts would be significant and not mitigated (see FEIR Table 1.4-1).</p>		X				

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><u>Project Summary</u>: CEQA Guidelines Section 15064(i) states that a Lead Agency shall consider whether the cumulative impact of a project is significant and whether the effects of the project are cumulatively considerable. The assessment of the significance of the cumulative effects of a project must, therefore, be conducted in connection with the effects of past projects, other current projects, and probable future projects. Cumulative environmental impacts are those impacts that by themselves are not significant, but when considered with impacts occurring from other projects in the vicinity would result in a cumulative impact. Related projects considered to have the potential of creating cumulative impacts in association with the project consist of projects that are reasonably foreseeable and that would be constructed or operated during the life of the project. The project would be located in a developed area that is largely built out. No other construction projects are anticipated in the immediate area of the project.</p> <p>As documented in this Initial Study, the project may have the potential to degrade the environment as a result of Cultural Resources (Archaeology), and Tribal Cultural Resources impacts, which may have cumulatively considerable impacts when viewed in connection with the effects of other potential projects in the area. As such, mitigation measures have been identified to fully mitigate and reduce impacts to a less than significant level. Other future projects within the surrounding area would be required to comply with applicable local, State, and Federal regulations to reduce potential impacts to less than significant, or to the extent possible. As such, the project is not anticipated to contribute to potentially significant cumulative environmental impacts. Project impacts would be less than significant. The project would be required to implement applicable mitigation measures as discussed above and included in Appendix A.</p>						

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>(c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly? <i>Significant and Not Mitigated.</i></p> <p><u>FEIR Summary:</u> Impacts associated with air quality, noise, and geology and soils have the potential to cause substantial adverse effects on human beings. The FEIR concludes that no significant impacts associated with geology and soils would occur with implementation of the DCP. Implementation of Mitigation Measure AQ-B.1-1 would reduce direct impacts related to construction to less than significant levels. Implementation of Mitigation Measures LU-B.4-1, NOI-B.1-1, and NOI-B.2-1 would reduce impacts associated with interior noise levels. Mitigation Measure NOI-C.1-1 would reduce impacts related to exterior noise levels, but full attenuation of these impacts would conflict with the goal of creating outdoor spaces for gathering and/or enjoyment.</p> <p><u>Complete Communities FEIR:</u> The Complete Communities PEIR determined that the Housing Solutions and Mobility Choices would result in significant and unavoidable impacts related to air quality; biological resources; historical, archaeological, and tribal cultural resources; hydrology/water quality; noise; public services and facilities; transportation; public utilities and infrastructure; wildfire; and visual effects and neighborhood character.</p> <p><u>Barrio Logan PEIR:</u> The cumulative impacts assessment in the PEIR primarily relies on the cumulative impact determinations in the General Plan PEIR. The following issues were identified as cumulatively significant in the General Plan PEIR: air quality, biological resources, geologic conditions, health and safety, historic resources, hydrology, land use, mineral resources, noise, paleontological resources, population and housing, public services and facilities, public utilities, traffic, visual effects</p>	X	X				

Issues and Supporting Information	Significant and Not Mitigated (SNM)		Significant but Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>and neighborhood character, and water quality. Consistent with Section 15130(e), where significance of cumulative impacts was previously identified for the General Plan PEIR, and the CPU is consistent, those impacts do not need to be analyzed further.</p> <p><u>Project Summary:</u> As discussed throughout this document, it is not anticipated that the construction and operation of the project would cause environmental effects that would significantly directly or indirectly impact human beings. All impacts identified as being significant have been mitigated to below a level of significance. For this reason, all environmental effects fall below the thresholds established by the City of San Diego. Impacts would be less than significant.</p>						

REFERENCES

- City of San Diego. 2015. Downtown San Diego Mobility Plan Technical Report. December. Available at <http://civicsd.com/wp-content/uploads/2015/02/DSDMP-Technical-Report.pdf>, accessed March 12, 2020.
- Federal Aviation Administration (FAA). 2021a. Aeronautical Study No. 2021-AWP-3108-OE. May 14.
- Federal Aviation Administration (FAA). 2021b. Aeronautical Study No. 2021-AWP-3109-OE. May 14.
- Federal Aviation Administration (FAA). 2021c. Aeronautical Study No. 2021-AWP-3110-OE. May 14.
- Federal Aviation Administration (FAA). 2021d. Aeronautical Study No. 2021-AWP-3111-OE. May 14.
- San Diego County Regional Airport Authority. 2014. San Diego International Airport Land Use Compatibility Plan, as amended. April. Available at <https://www.san.org/Airport-Projects/Land-Use-Compatibility#7121296-alucps>, accessed February 8, 2022.
- State Water Resources Control Board (SWRCB). 2020. GeoTracker database search. Available at <https://geotracker.waterboards.ca.gov/>, accessed February 7, 2022.

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APPENDIX A
MITIGATION, MONITORING AND REPORTING PROGRAM
AIR RIGHTS TOWER
PTS No. 0694291

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance or Notice to Proceed)

1. Prior to the issuance Bid Opening/Bid Award or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements have been incorporated.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/information/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: **LIST APPROPRIATE MONITORS HERE**

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) 694291, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's ED, MMC and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof,

etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.)

Note: Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence that any other agency requirements or permits have been obtained or are in process shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency. *Not Applicable for this project OR IDENTIFY APPROPRIATE AGENCY PERMITS NEEDED .*

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/ Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC ISSUE AREA CONDITIONS/REQUIREMENTS:
CULTURAL RESOURCES (ARCHITECTURAL RESOURCES)**

HIST-1 MONITORING

1. Preconstruction Meeting [City Historic Resources staff, Developer/Construction Manager (D/CM), Project Architect (PA), Historic Architect & Monitor (HA), Relocation Contractor (RC), General Contractor (GC), Building Inspector (BI)]

- a. Overview of Treatment Plan and Monitoring Plan as related to the historic resource on Site A
- b. Overview of architectural, landscape, and engineering documents as related to Site B. Also visit Site B.
- c. Review work required to prepare the site for arrival of the building.
- 2. Preparation of structure for moving (D/CM, HA)
 - a. Architect/Monitor to be present to observe removal of the masonry foundation, chimneys, and front steps. Other items, including disconnection/capping of utility connection, removal of exterior plumbing and electrical lines, removal non- historic porch enclosure, which are required for the relocation, shall be complete prior to the Preconstruction Meeting.
- 3. Pre-Move (D/CM, HA, RC, GC)
 - a. Observe temporary shoring and protection.
 - b. Review storage of salvaged building materials.
 - c. Approve structure as ready for relocation.
 - d. Review preparation work at Site B prior to relocation of building for new footings, foundation, utilities, and site preparation.
- 4. Move to Site B (D/CM, HA, RC, BI)
 - a. Review building relocation. Review overall Treatment Plan for rehabilitation of building as well as architectural, landscape, and engineering documents prior to commencement of relocation.
- 5. Continued Monitoring During Rehabilitation (D/CM, PA, HA, GC)
 - a. Monitoring to occur as required during rehabilitation.
 - b. Complete Consultant Site Visit Record forms, as needed.
 - c. Observe rehabilitation of the building in accordance with the Treatment Plan and approved architectural, landscape, and engineering documents.
- 6. Final Monitoring (D/CM, PA, HA)
 - a. Prepare final punch list of items to complete according to the Treatment Plan and architectural, landscape, and engineering documents.
- 7. Draft Monitoring Report (HA, BI)
 - a. Draft report of monitoring process to be submitted to the BI for review following completion of rehabilitation.
- 8. Final Monitoring Report (D/CM, HA, BI)
 - a. Final Monitoring Report, review relevant documents with the BI to confirm compliance with the Site Development Permit following review and acceptance of the Draft Monitoring Report.

HIST-2 PREPARATION, RELOCATION, & REHABILITATION REQUIREMENTS

RELOCATION/RESTORATION STRATEGY: Prior to the development of the 1620 Union site the Andrew Cassidy home will be relocated to its new location at 2642 Newton Ave. The main structure will be transported in two pieces. Approximately 8 feet of roof will be removed and transported separately to accommodate overhead MTS trolley lines.

The future tenant of the restored home has not yet been identified however the proposed future use of the building will not change its occupancy classification from residential. The proposed site improvements include the addition of landscaping and new front stoops.

Modifications to the Andrew Cassidy Residence shall be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (The Standards), specifically *The Standards for Restoration*.

PREPARATION, RELOCATION, & RESTORATION REQUIREMENTS:

1. Preparation of the Structure Prior to Relocation:

Coordination Meeting & Monitoring: Prior to the start of any work the Project Architect and Historic Architect / Monitor shall meet on site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring and relocation. Through the course of all work, the moving contractor shall notify the Historic Architect / Monitor of discovery of any architectural elements on site. The Historic Architect / Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Restoration*.

Construction monitoring shall be provided prior to preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur after review by the Project Architect. The mover shall outline any proposed points of entry and attachment for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled and securely stored in a weathertight lockable container pending reinstallation at the final site.

Roof: Roofing shingles will be removed and roof 2x4s will be cut approximately 18" above the interior attic floor. The material above 18" will be disposed of. Below the 18" cut line all roofing and structure will remain in tact. The front gable will be disconnected from the attic 2x8 joists and plywood, braced and laid down flat onto the attic floor and secured horizontally for transport.

Windows: All windows shall be protected by ¾" exterior grade plywood prior to relocation installed without causing damage to the existing historic windows, frames, and trim.

Doors: The single existing historic exterior door at the front façade of the building shall be protected in place.

Cast in Place Concrete Foundation: The existing cast in place concrete foundation is non-original and will be demolished after the building relocation.

Chimneys: Prior to Relocation, the historic brick chimney located at the ridge of the gabled roof shall be disassembled above the roofline. Prior to disassembly the chimney shall be measured and photo documented. All documentation will be submitted to the City for review and approval prior to removal of the chimney. The brick shall be catalogued, salvaged and stored for reinstallation at the final site. All salvaged items will

be stored on labeled and wrapped pallets and secured in a weather tight lockable steel container that will be located at the relocation site adjacent to the building.

Front Steps and Porch: The front porch, including the porch floor, balustrade, columns, roof, trim, railings, and decorative elements shall be protected in place and securely shored in order to facilitate the structure relocation. The non-original front porch portion to the north of the porch roof will be disassembled and removed.

Rear Porch: The raised wood deck and stairs are non-original and will be demolished prior to relocation.

Side Ramp: The wood side ramp is non-original and will be demolished prior to relocation.

2. **Relocation Procedures:** The Andrew Cassidy Home will be moved approximately 3.1 miles to its new site location at 2642 Newton Avenue San Diego, CA 92113. The building will be moved in two pieces and Restoration will commence.

The mover shall outline the route, schedule, and sequence of the move as well as the means by which the building will be secured for relocation. The Historic Architect / Monitor and City Staff shall approve the plan prior to the relocation date.

Monitoring: Construction monitoring shall be provided during the relocation process when the building is moved to its new location. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with The Standards.

3. **Building Restoration:** Following the relocation of the Andrew Cassidy Home, the exterior of the structure will be restored in accordance with The Secretary of the Interior's Standards for Restoration.

The foundation

Construction Monitoring: Periodic construction monitoring shall be provided during the restoration process. Following each site visit, the construction monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

Restoration Design: The future restoration of the building shall be completed in accordance with The Standards. The design team shall include the services of a historic architect that meets the Secretary of the Interior's Professional Qualification Standards. The restoration design will require review and approval by the City of San Diego Development Services Department and the Historical Resources Board staff and or Design Assistance Subcommittee.

ARCHAEOLOGICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American

consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.

b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present fulltime during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.

2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.

3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.

4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area

reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.

2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.

2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains ARE determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN
 - c. To protect these sites, the landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement; or
 - (3) Record a document with the County. The document shall be titled "Notice of Reinterment of Native American Remains" and shall include a legal description of the property, the name of the property owner, and the owner's acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human

Remains. Discovery of human remains shall always be treated as a significant discovery.

c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night and/or weekend work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.

2. The RE, or BI, as appropriate, shall notify MMC immediately.

C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.

a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.

b. Recording Sites with State of California Department of Parks and Recreation

The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.

3. The PI shall submit revised Draft Monitoring Report to MMC for approval.

4. MMC shall provide written verification to the PI of the approved report.

5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued

2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

london moeder advisors

Jonathan Segal FAIA & Development Company
1620 Union Street — Little Italy, San Diego
Economic Alternative Analysis

August 18, 2021

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August 18, 2021

Mr. Jonathan Segal
Jonathan Segal FAIA & Development Company

Via email: jonathansegal@yahoo.com; mrmatthewsegal@gmail.com

1620 Union Street – Economic Alternative Analysis

Jonathan Segal FAIA & Development Company is currently in the entitlement phase of redeveloping a 5,015 square-foot parcel that currently houses a single-family home, considered of historical significance by the City of San Diego. The site is located at 1620 Union Street (“Subject Site”), between W. Date Street to the north and W. Cedar Street to the south in what is considered the Little Italy neighborhood of Downtown San Diego.

London Moeder Advisors has completed an economic analysis of various development alternatives for the property. The purpose of this analysis is to analyze the Proposed Project and the financial impacts and economic feasibility of the development alternatives. For the City’s assessment of whether there is substantial evidence to support a Site Development Permit’s Supplemental Findings for a Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource pursuant to (i) Supplemental Findings--Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource or Within a Historical District A Site Development Permit required in accordance with San Diego Municipal Code Section 125.0505(i), our report concludes the following:

1. There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource or historical district.
2. The deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource that have been provided by the applicant.
3. The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, “economic hardship” means there is no reasonable beneficial use of a property, and it is not financially feasible to derive a reasonable economic return from the property.

We have analyzed the Proposed Project and two development alternatives for the property, which include:

- ➔ **Proposed Project (Rehabilitate & Relocate):** Rehabilitate the existing 1,470 square-foot historic structure and relocate it to an alternative site; then, construct a 23-level residential building consisting of 73 units (8 rent-restricted inclusionary units and 65 market-rate units), a ground floor lobby, and eight levels of above ground parking (70 spaces).
- ➔ **Alternative 1 (Rehabilitate & Maintain):** Rehabilitate the existing 1,470 square-foot historic structure and maintain it as a single-family home rental. Compared to the proposed project, this alternative is a less environmentally damaging alternative that can further minimize the

potential adverse effects on the designated historical resource because it proposes the rehabilitation of the historic structure and no new development on the Subject Site.

- ➔ **Alternative 2 (Rehabilitate & Integrate into Development)**: Remove approximately 51.4% of the 1,470 square-foot historic structure to accommodate new development on the remainder of the parcel. Then, rehabilitate the remaining 756 square-feet of the historic structure, maintain it as a single-family home rental, and construct a new eight-level residential building consisting of 46 units (6 rent-restricted inclusionary units and 40 market-rate units) while integrating the existing structure. Compared to the proposed project, this alternative is a less environmentally damaging alternative that can further minimize the potential adverse effects on the designated historical resource because it proposes rehabilitation of the historic structure and its integration into the proposed new development.

Conclusions of Economic Feasibility

We analyzed the project performance of the Proposed Project for the property. The Proposed Project includes construction of a ground floor lobby and 23 levels of residential units including eight levels of parking. The average rentable area of the residential units is 719 square feet.

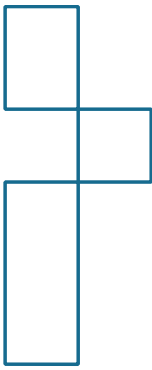
We have assumed a 12-month construction period with the lease up of residential units commencing immediately after completion, including two months of pre-leasing. The project will be sold after a 10-year holding period.

We have determined that only the Proposed Project is economically feasible. This project is estimated to generate a Net Operating Income ("NOI") at stabilization of \$2,051,220, which when compared to the total costs of the project (\$36,482,633) represents a Yield on Cost ("YOC") of 5.6%.

Based on performing feasibility analyses and consulting services on hundreds of real estate projects, it is our experience that a residential redevelopment project in the current market requires the YOC spread over existing cap rates to be 1.5% to be economically feasible and to qualify for project financing. Meaning if cap rates are approximately 4% for residential projects the targeted minimum YOC is 5.5%.

The internal rate of return ("IRR") of the Proposed Project is forecasted to be 18.4%. This also demonstrates that the project is economically feasible. The typical minimum IRR for rental housing projects in today's market ranges from 13% to 15%. Any IRR below this range would struggle to attract investors and achieve project financing.

The table on the following page summarizes the impacts to the Proposed Project under each of the two alternatives. None of the alternatives achieve the required minimum YOC or IRR, which demonstrates these alternatives are not economically feasible.



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Summary of Scenarios
1620 Union Street - Little Italy, Downtown San Diego, CA

Proposed Project
Rehab. & Relocate Historic Structure

<i>Development Summary</i>	
# Units:	73
Total Rentable S.F.	52,462
Total Gross S.F.	109,546
Total Net Development Profit	\$35,039,187
Yield on Cost	5.6%
IRR	18.4%

Alternative 1
Rehab. & Maintain Historic Structure

<i>Development Summary</i>	
# Units:	1
Total Rentable S.F.	1,470
Total Gross S.F.	1,470
Total Net Development Profit	(\$1,206,349)
Difference From Base Project (\$)	-\$36,245,536
Difference From Base Project (%)	-103.4%
Yield on Cost	1.4%
IRR	-

Alternative 2
Rehabilitate & Intigrate Historic Structure

<i>Development Summary</i>	
# Units:	47
Total Rentable S.F.	17,847
Total Gross S.F.	26,026
Total Net Development Profit	\$6,853,506
Difference From Base Project (\$)	-\$28,185,681
Difference From Base Project (%)	-80.4%
Yield on Cost	4.2%
IRR	8.9%

Alternative 1 is not economically feasible. Under this alternative there is no construction of additional residential units. When rehabilitation of the existing structure is complete, the single-family home rental will generate a NOI of \$29,066. When compared to the high cost of land (\$1,800,000) the reduction in revenue producing units is unable to support the total project costs. With total project costs of \$2,053,986 (including \$200,000 in renovations and repairs), the resulting YOC is 1.4%. This is below the 5.5% YOC threshold required. The total profit in this alternative is also reduced by approximately \$36.2 million (-103.4%) compared to the Proposed Project. In addition, the NOI generated by the project is unable to support the estimated annual debt service of \$67,043, resulting in an economic loss to the developer.

Alternative 2 is not economically feasible. Due to the confined nature of the Subject Site, it is physically challenging to integrate the historical structure into a new development, resulting in a 10% increase in direct construction costs. Additionally, the resulting development includes 46 residential units, a reduction of 27 units when compared to the Proposed Project. When compared to the cost of construction and acquisition, this reduction in revenue producing units is unable to support the total project costs (\$14,300,058). With an estimated NOI at stabilization of \$593,826 compared to the total project costs, the resulting YOC is 4.2%. This is below the 5.5% YOC threshold required. The total profit in this alternative is also reduced by approximately \$28.2 million (-80.4%) compared to the Proposed Project. In addition, the IRR for this alternative is only 8.9%, which is below the minimum targeted IRR of 13% to 15%.

Approach to Analysis

To determine the impact to the project, we prepared financial proformas for the five alternatives and compared the performances to the Proposed Project proforma. In each proforma, we assumed the following:

- Construction period of 12 months for the Proposed Project and Alternative 2 and 6 months for Alternative 1.
- Rental residential units begin leasing immediately after construction is completed with two months of pre-leasing.
- Construction costs are provided by the developer based on similar projects and construction types.
- Rental rates and revenues were provided by the developer with cross-reference by our survey of market rents for competitive projects in the area.
- Residential rental units are estimated to stabilize at approximately a 5% vacancy rate.
- Lease rates will increase on average 3% per year.
- The following summarizes the financial proformas we have prepared for analyzing the project, which are included in the [Appendix](#).

Proposed Project

The Proposed Project includes rehabilitation of the existing historic structure, relocation to an alternative site, renting as a 1,470 square-foot single-family home and the construction of a ground floor lobby and 23 levels of residential units (8 rent-restricted inclusionary units and 65 market-rate units) including eight levels of parking. The single-family home rental is assumed to be leased immediately after rehabilitation is complete. The 73 residential units are to begin leasing after construction is complete with two months of pre-leasing. The project is to be sold after a 10-year holding period.

The 73 residential units and the single-family home rental include an average of 719 and 1,470 square feet of rentable residential space, respectively. There will be a total of 70 parking spaces included in the parking levels of the building.

When the 73 residential units are leased after construction is completed, the forecasted average rent is estimated to be \$2,882, or \$4.01 per square foot of usable space (2021 dollars). The 1,470 square-foot single-family home is estimated to rent at \$3,500, or \$2.38 per square foot (2021 dollars).

The total gross profit generated from this investment is forecasted to be \$35,039,187. In addition, this project is estimated to generate an NOI at stabilization of \$2,051,220, which when compared to the total costs of the project represents a YOC of 5.6%, which satisfies the minimum requirement of 5.5% for project feasibility.

The IRR of the investment is forecasted to be 18.4%. This also demonstrates that the project is economically feasible. The typical minimum IRR for rental housing projects ranges from 13% to 15%. Any IRR below this range would struggle to attract investors and achieve project financing.

Alternative 1 – Rehabilitate & Maintain the Historic Structure

Alternative 1 includes rehabilitation of the existing historic structure and renting the structure as a 1,470 square foot single-family home. The single-family home rental is assumed to be leased immediately after rehabilitation is complete. The project is to be sold after a 10-year holding period.

When the single-family home is leased after rehabilitation is completed, the forecasted rent is estimated to be \$4,000, or \$2.72 per square foot of rentable space (2021 dollars).

The forecasted sale price for the entire project is \$896,031. Total project costs are forecasted at \$2,053,986 (including \$200,000 of renovations and repairs).

When rehabilitation is complete the estimated NOI of \$29,066 cannot support the forecasted annual debt service of \$67,043, resulting in recurring negative cash flow to the developer. This translates to a total economic loss of \$1,206,349. This is the first indication that the project is not economically feasible. When compared to the total profit of the Proposed Project, this represents a reduction of \$36,245,536 (103.4% reduction).



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To further illustrate the infeasibility of Alternative 1, the forecasted YOC (1.4%) does not meet the minimum required of 5.5% to be economically feasible.

Alternative 2 – Rehabilitate and Integrate the Historic Structure

Alternative 2 includes removal of 51.4% of the 1,470 square-foot historic structure, rehabilitation of the remaining 756 square-foot historic structure and construction of eight levels of residential units (6 rent-restricted inclusionary units and 40 market-rate units). The existing structure and the newly constructed residential building would be integrated into the same overall project. The 46 residential units are to begin leasing after construction is complete with two months of pre-leasing. The single-family home rental is assumed to be leased immediately after rehabilitation is complete. The project is to be sold after a 10-year holding period.

The 46 residential units and the single-family home rental include an average of 372 and 756 square feet of rentable residential space, respectively.

When the 46 residential units are leased after construction is completed, the forecasted average rent is estimated to be \$1,605, or \$4.32 per square foot of rentable space (2021 dollars). The 756 square-foot single-family home is estimated to rent at \$2,500, or \$3.31 per square foot (2021 dollars).

The forecasted sale price for the entire project is \$17,479,285. Total project costs are forecasted at \$14,300,058.

With a total forecasted profit at disposition of \$6,853,506, Alternative 2 would generate approximately \$28.2 million less total profit than the Proposed Project (80.4% reduction). More importantly, the project is not economically feasible because the forecasted YOC (4.2%) does not meet the minimum required of 5.5% to be economically feasible.

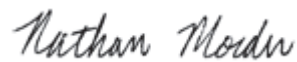
To further illustrate the infeasibility of Alternative 2, the IRR of this project is forecasted to be 8.9%. This also demonstrates that the project is infeasible because an IRR below 13% to 15% will struggle to attract investors and qualify for project financing.

Should you have any questions regarding this analysis, please feel free to contact our firm.

Sincerely,



Gary H. London



Nathan Moeder



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Appendix

GENERAL ASSUMPTIONS

Current Year	2021
Construction Start	2022
Hard Cost Escalation	0.0%
Impact Fees Escalation	0.0%
Construction Period	12 months
Op. Ex. Per Unit	\$550
Op. Ex. Inflation	2.0%
Revenue Inflation (Market Rate)	3.0%
Revenue Inflation (Affordable)	3.0%
Revenue Inflation (Other Income)	2.0%

HOLDING & DISPOSITION

Holding Period:	10 Years
Cap Rate @ Refi/Sale (Residential):	4.50%
Cap Rate @ Refi/Sale (Retail):	5.50%
Commissions & Closing Costs:	1.50%
Value at Time of Sale (Year 10)	\$59,073,373
Asset Value PSF	\$539

BUILDING ASSUMPTIONS

Total # of Units	73
Units Per Net Acre (Pad)	634.1
FAR (incl. parking)	21.8
Residential Gross S.F.	89,546
Ground Floor Lobby/Equipment	Incl.
Parking S.E.	20,000
Gross Building Area	109,546
Net Rentable Area (Residential)	52,462
Net Rentable Area (Retail)	0
Total Net Rentable Area	52,462

Parking -

Parking Spaces	70
Monthly Parking Rent	\$200 per space
Storage Units -	35
Monthly Storage Rent	\$90 per unit

FINANCING

Construction Financing:	
Loan Amount	\$22,801,645
Loan to Cost	62.5%
Interest Rate	3.8%
Term (Months)	24

Refinance:

Refinance at End of Year:	2
Permanent Loan Amount	\$28,261,252
Less: Construction Loan	(\$22,801,645)
Less: Loan Fees	(\$141,306)
Net Proceeds From Refinance	\$5,318,300

Permanent Loan Info:

Loan Amount	\$28,261,252
Amortization	30
Interest Rate	3.25%
Annual Debt Service	\$1,475,937
Next Year NOI @ Refi	\$2,051,220
Value at Refi	\$45,582,665
Loan To Value	62.0%
Debt Coverage Ratio	1.39
Debt Yield	7.26%

PROJECT LAND VALUE

Land S.F.	5,015
Land Acres	0.12
Land Value	\$1,800,000
\$/Unit	\$2,658

PROJECT SUMMARY

Residential	Base Rents	
Market Rate	Monthly Rent	\$/S.F. Rent
Subtotal Mixed Units	\$3,150	\$4.33
Affordable Units		
Studio - Very Low	310	\$635
1 Bed - Very Low	565	\$660
1 Bed - Low	1,130	\$661
1 Bed - Moderate	565	\$662
2 Bed - Very Low	1,000	\$790
2 Bed - Low	1,000	\$910
Subtotal	642	\$705
Total	719	\$2,882
Historic Home	1,470	\$3,500
Net Rentable Area		\$ per SF
Monthly Rent		\$2.38

Retail

Retail S.F. (Gross)	0
Retail S.F. (Net)	0
Stabilized Occupancy	100%
Stabilized Occupied S.F.	0
Monthly Rent PSF (NNN - Base)	\$3.00
Rental Rate Inflation	3.0%

Average Daily Trips

Retail	40 / 1,000 SF
Total	0

CONSTRUCTION COST SUMMARY

	Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs	\$1,800,000	\$24,658	\$16.43	\$34.31
Predevelopment	\$785,000	\$10,753	\$7.17	\$14.96
Hard Costs	\$25,968,690	\$355,735	\$237.06	\$495.00
Soft Costs	\$5,193,738	\$71,147	\$47.41	\$99.00
Finance & Contingency	\$2,735,205	\$37,469	\$24.97	\$52.14
Total Costs	\$36,482,633	\$499,762	\$333.03	\$695.41
Less: Loan Amount	(\$22,801,645)	(\$312,351)	(\$208.15)	(\$5.95)
Initial Investment:	\$13,680,987	\$187,411	\$124.89	\$260.78

INVESTMENT PERFORMANCE

Stabilized NOI	\$2,051,220
Total Project Costs	\$36,482,633
Stabilized Yield On Cost	5.6%
Initial	Cash Flow
Year 1	\$0
Year 2	\$7,081,563
Year 3	\$575,283
Year 4	\$643,115
Year 5	\$713,108
Year 6	\$785,329
Year 7	\$859,848
Year 8	\$936,736
Year 9	\$1,016,067
Year 10	\$36,109,124
Total Profit	\$35,039,187
Before Tax IRR	18.4%

Market Rate Units	65
Affordable Units	8
Total # of Units	73
Residential Gross S.F.	89,546
Ground Floor Lobby/Equipment	Incl.
Gross Building Area (excl. parking)	89,546
Parking S.F.	20,000
Gross Building Area	109,546
Net Rentable Area (Residential)	52,462
Net Rentable Area (Retail)	0
Total Net Rentable Area	52,462
Parking Spaces	70

		Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs		\$1,800,000	\$24,658	\$16.43	\$34.31
Predevelopment					
Site Work	incl.	\$0	\$0	\$0.00	\$0.00
Historical Preservation		\$200,000	\$2,740	\$1.83	\$3.81
Structure Relocation		\$85,000	\$1,164	\$0.78	\$1.62
Off-Site Land Costs		\$500,000	\$6,849	\$4.56	\$9.53
Predevelopment Subtotal		\$785,000	\$10,753	\$7.17	\$14.96
Hard Costs					
Hard Costs (Residential)		\$25,968,690	\$355,735	\$237.06	\$495.00
Parking	incl.	\$0	\$0	\$0.00	\$0.00
Hard Costs Subtotal		\$25,968,690	\$355,735	\$237.06	\$495.00
Soft Costs					
Soft Costs Subtotal	20%	\$5,193,738	\$71,147	\$47.41	\$99.00
Finance & Contingency					
Contingency	5.0%	\$1,597,371	\$24,575	\$14.58	\$30.45
Construction Loan Interest		\$911,233	\$14,019	\$8.32	\$17.37
Loan Fee	1.0%	\$226,600	\$3,486	\$2.07	\$4.32
Finance & Contingency Subtotal		\$2,735,205	\$37,469	\$24.97	\$52.14
Total Project Costs		\$36,482,633	\$499,762	\$333.03	\$695.41
Total Project Costs (Excl. Land)		\$34,682,633	\$475,105	\$316.60	\$661.10

GENERAL ASSUMPTIONS

Current Year	2021
Construction Start	2022
Hard Cost Escalation	0.0%
Impact Fees Escalation	0.0%
Construction Period	6 months
Op. Ex. Per Unit	\$125
Op. Ex. Inflation	2.0%
Revenue Inflation (Market Rate)	3.0%
Revenue Inflation (Affordable)	3.0%
Revenue Inflation (Other Income)	2.0%

HOLDING & DISPOSITION

Holding Period:	10 Years
Cap Rate @ Refi/Sale (Residential):	4.50%
Cap Rate @ Refi/Sale (Retail):	5.50%
Commissions & Closing Costs:	1.50%
Value at Time of Sale (Year 10)	\$896,031
Asset Value PSF	\$610

BUILDING ASSUMPTIONS

Total # of Units	1
Units Per Net Acre (Pad)	8.7
FAR (incl. parking)	0.3
Residential Gross S.F.	1,470
Ground Floor Lobby/Equipment	Incl.
Parking S.F.	0
Gross Building Area	1,470
Net Rentable Area (Residential)	100.0% Efficiency
Net Rentable Area (Retail)	100% Efficiency
Total Net Rentable Area	1,470

Parking -

Parking Spaces	0
Monthly Parking Rent	\$200 per space

Storage Units -

Storage Units	0
Monthly Storage Rent	\$90 per unit

FINANCING

Construction Financing:	
Loan Amount	\$1,283,741
Loan to Cost	62.5%
Interest Rate	3.8%
Term (Months)	12
Refinance:	Mini-Perm
Refinance at End of Year:	1
Permanent Loan Amount	\$0
Less: Construction Loan	\$0
Less: Loan Fees	0.50%
Net Proceeds From Refinance	\$0
Permanent Loan Info:	
Loan Amount	\$1,283,741
Amortization	30
Interest Rate	3.25%
Annual Debt Service	\$67,043
Next Year NOI @ Refi	\$29,066
Value at Refi	-
Loan To Value	-
Debt Coverage Ratio	0.43
Debt Yield	2.26%

PROJECT LAND VALUE

Land S.F.	5,015
Land Acres	0.12
Land Value	\$1,800,000
S/Unit	\$1,800,000

PROJECT SUMMARY

Residential	Base Rents		Residential Unit Size	Total Net Usable	Monthly Rent	\$/S.F. Rent
	Monthly Rent	\$/S.F. Rent				
Market Rate	\$4,000	\$2.72	1,470	1,470	\$4,000	\$2.72
Historic Single-Family Home						
Affordable Units						
Studio - Very Low	\$635		0	0	\$635	
Subtotal	\$0		0	0	\$0	
Total	\$4,000		1,470	1,470	\$4,000	\$2.72

Retail						
Retail S.F. (Gross)	0					
Retail S.F. (Net)	0					
Stabilized Occupancy	100%					
Stabilized Occupied S.F.	0					
Monthly Rent PSF (NNN - Base)	\$3.00					
Rental Rate Inflation	3.0%					

Average Daily Trips	40 /1,000 SF
Retail	0
Total	0

CONSTRUCTION COST SUMMARY

	Total Cost	Per Unit	Cost	Per Gross S.F.	Cost	Per Net S.F.
Land Costs	\$1,800,000	\$1,800,000	\$1,224.49	\$1,224.49	\$1,224.49	\$1,224.49
Predevelopment	\$200,000	\$200,000	\$136.05	\$136.05	\$136.05	\$136.05
Hard Costs	\$0	\$0	\$0.00	\$0.00	\$0.00	\$0.00
Soft Costs	\$10,000	\$10,000	\$6.80	\$6.80	\$6.80	\$6.80
Finance & Contingency	\$43,986	\$43,986	\$29.92	\$29.92	\$29.92	\$29.92
Total Costs	\$2,053,986	\$2,053,986	\$1,397.27	\$1,397.27	\$1,397.27	\$1,397.27
Less: Loan Amount	(\$1,283,741)	(\$1,283,741)	(\$873.29)	(\$873.29)	(\$873.29)	(\$873.29)
Initial Investment:	\$770,245	\$770,245	\$523.98	\$523.98	\$523.98	\$523.98

INVESTMENT PERFORMANCE

Stabilized NOI	\$29,066
Total Project Costs	\$2,053,986
Stabilized Yield On Cost	1.4%

	Year 1	Year 2
Return on Equity	0.0%	0.0%
Cash Flow	(\$37,977)	(\$37,977)
Year 2	(\$36,887)	(\$36,887)
Year 3	(\$35,759)	(\$35,759)
Year 4	(\$34,593)	(\$34,593)
Year 5	(\$33,388)	(\$33,388)
Year 6	(\$32,142)	(\$32,142)
Year 7	(\$30,853)	(\$30,853)
Year 8	(\$29,521)	(\$29,521)
Year 9	(\$16,498)	(\$16,498)
Year 10	(\$120,349)	(\$120,349)
Total Profit Before Tax IRR	-	-

Market Rate Units	1
Affordable Units	0
Total # of Units	1
Residential Gross S.F.	1,470
Ground Floor Lobby/Equipment	Incl.
Gross Building Area (excl. parking)	1,470
Parking S.F.	0
Gross Building Area	1,470
Net Rentable Area (Residential)	1,470
Net Rentable Area (Retail)	0
Total Net Rentable Area	1,470
Parking Spaces	0

	Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs	\$1,800,000	\$1,800,000	\$1,224.49	\$1,224.49
Predevelopment				
Site Work	\$0	\$0	\$0.00	\$0.00
Historical Preservation	\$200,000	\$200,000	\$136.05	\$136.05
Structure Relocation	\$0	\$0	\$0.00	\$0.00
Off-Site Land Costs	\$0	\$0	\$0.00	\$0.00
Predevelopment Subtotal	\$200,000	\$200,000	\$136.05	\$136.05
Hard Costs				
Hard Costs (Residential)	\$0	\$0	\$0.00	\$0.00
Parking <u>incl.</u>	\$0	\$0	\$0.00	\$0.00
Hard Costs Subtotal	\$0	\$0	\$0.00	\$0.00
Soft Costs				
Soft Costs Subtotal	5%	\$10,000	\$10,000	\$6.80
Finance & Contingency				
Contingency	2.5%	\$5,250	\$5,250	\$3.57
Construction Loan Interest		\$25,978	\$25,978	\$17.67
Loan Fee	1.0%	\$12,758	\$12,758	\$8.68
Finance & Contingency Subtotal		\$43,986	\$43,986	\$29.92
Total Project Costs	\$2,053,986	\$2,053,986	\$1,397.27	\$1,397.27
Total Project Costs (Excl. Land)	\$253,986	\$253,986	\$172.78	\$172.78

GENERAL ASSUMPTIONS

Current Year	2021
Construction Start	2022
Hard Cost Escalation	0.0%
Impact Fees Escalation	0.0%
Construction Period	12 months
Op. Ex. Per Unit	\$400
Op. Ex. Inflation	2.0%
Revenue Inflation (Market Rate)	3.0%
Revenue Inflation (Affordable)	3.0%
Revenue Inflation (Other Income)	2.0%

HOLDING & DISPOSITION

Holding Period:	10 Years
Cap Rate @ Refi/Sale (Residential):	4.50%
Cap Rate @ Refi/Sale (Retail):	5.50%
Commissions & Closing Costs:	1.50%
Value at Time of Sale (Year 10)	\$17,479,285
Asset Value PSF	\$692

BUILDING ASSUMPTIONS

Total # of Units	46
Units Per Net Acre (Pad)	399.6
FAR (incl. parking)	5.0
Residential Gross S.F.	25,270
Ground Floor Lobby/Equipment Parking, S.E.	Incl. 0
Gross Building Area	25,270
Net Rentable Area (Residential)	17,091
Net Rentable Area (Retail)	0
Total Net Leasable Area	17,091
Parking -	0
Parking Spaces	0
Monthly Parking Rent	\$200 per space
Storage Units -	0
Storage Units	0
Monthly Storage Rent	\$90 per unit

FINANCING

Construction Financing:	
Loan Amount	\$8,937,536
Loan to Cost	62.5%
Interest Rate	3.8%
Term (Months)	24
Take-Out Refi	
Refinance:	2
Refinance at End of Year:	
Permanent Loan Amount	\$8,181,606
Less: Construction Loan	(\$8,937,536)
Less: Loan Fees	(\$40,908)
Net Proceeds From Refinance	(\$796,839)
Permanent Loan Info:	
Loan Amount	\$8,181,606
Amortization	30
Interest Rate	3.25%
Annual Debt Service	\$427,282
Next Year NOI @ Refi	\$593,826
Value at Refi	\$13,196,138
Loan To Value	62.0%
Debt Coverage Ratio	1.39
Debt Yield	7.26%

PROJECT LAND VALUE

Land S.F.	5,015
Land Acres	0.12
Land Value	\$1,800,000
\$/Unit	\$39,130

PROJECT SUMMARY

Residential		Base Rents	
Market Rate	Total	Monthly Rent	\$/S.F. Rent
Subtotal Mixed Units	Net Usable	\$1,750	\$4.71
Affordable Units	14,862	\$635	\$1.71
Subtotal	2,229	\$655	\$1.71
Studio - Very Low	372		
Subtotal	372		
Total	17,091	\$1,605	\$4.32
Historic Home			
Net Rentable Area	756		
Monthly Rent	\$2,500		
\$ per SF	\$3.31		
Retail			
Retail S.F. (Gross)	0		
Retail S.F. (Net)	0		
Stabilized Occupancy	100%		
Stabilized Occupied S.F.	0		
Monthly Rent PSF (NNN - Base)	\$3.00		
Rental Rate Inflation	3.0%		

Average Daily Trips

Retail	40 /1,000 SF	0
Total		0

CONSTRUCTION COST SUMMARY

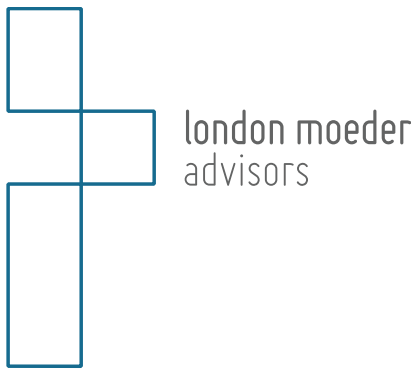
	Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs	\$1,800,000	\$39,130	\$71.23	\$105.32
Predevelopment	\$200,000	\$4,348	\$7.91	\$11.70
Hard Costs	\$9,400,050	\$204,349	\$371.98	\$550.00
Soft Costs	\$1,880,010	\$40,870	\$74.40	\$110.00
Finance & Contingency	\$1,019,998	\$22,174	\$40.36	\$59.68
Total Costs	\$14,300,058	\$310,871	\$565.89	\$836.70
Less: Loan Amount	(\$8,937,536)	(\$194,294)	(\$353.68)	(\$11.37)
Initial Investment:	\$5,362,522	\$116,577	\$212.21	\$313.76

INVESTMENT PERFORMANCE

Stabilized NOI	\$593,826
Total Project Costs	\$14,300,058
Stabilized Yield On Cost	4.2%
Return on Equity	
Initial	Cash Flow
Year 1	\$0
Year 2	(\$265,516)
Year 3	\$166,544
Year 4	\$187,968
Year 5	\$210,107
Year 6	\$232,983
Year 7	\$256,621
Year 8	\$281,045
Year 9	\$306,279
Year 10	\$331,997
Total Profit Before Tax IRR	\$6,853,506
	8.9%

Market Rate Units	40
Affordable Units	6
Total # of Units	46
Residential Gross S.F.	25,270
Ground Floor Lobby/Equipment	Incl.
Gross Building Area (excl. parking)	25,270
Parking S.F.	0
Gross Building Area	25,270
Net Rentable Area (Residential)	17,091
Net Rentable Area (Retail)	0
Total Net Rentable Area	17,091
Parking Spaces	0

		Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs		\$1,800,000	\$39,130	\$71.23	\$105.32
Predevelopment					
Site Work	incl.	\$0	\$0	\$0.00	\$0.00
Historical Preservation		\$200,000	\$4,348	\$7.91	\$11.70
Structure Relocation		\$0	\$0	\$0.00	\$0.00
Off-Site Land Costs		\$0	\$0	\$0.00	\$0.00
Predevelopment Subtotal		\$200,000	\$4,348	\$7.91	\$11.70
Hard Costs					
Hard Costs (Residential)		\$9,400,050	\$204,349	\$371.98	\$550.00
Parking	incl.	\$0	\$0	\$0.00	\$0.00
Hard Costs Subtotal		\$9,400,050	\$204,349	\$371.98	\$550.00
Soft Costs					
Soft Costs Subtotal	20%	\$1,880,010	\$40,870	\$74.40	\$110.00
Finance & Contingency					
Contingency	5.0%	\$574,003	\$14,350	\$22.71	\$33.59
Construction Loan Interest		\$357,175	\$8,929	\$14.13	\$20.90
Loan Fee	1.0%	\$88,820	\$2,221	\$3.51	\$5.20
Finance & Contingency Subtotal		\$1,019,998	\$22,174	\$40.36	\$59.68
Total Project Costs		\$14,300,058	\$310,871	\$565.89	\$836.70
Total Project Costs (Excl. Land)		\$12,500,058	\$271,740	\$494.66	\$731.38



Corporate Profile

London Moeder Advisors

REPRESENTATIVE SERVICES

Market and Feasibility Studies	Development Services	Litigation Consulting
Financial Structuring	Fiscal Impact	Workout Projects
Asset Disposition	Strategic Planning	MAI Valuation
Government Processing	Capital Access	Economic Analysis

London Moeder Advisors (formerly The London Group) was formed in 1991 to provide real estate advisory services to a broad range of clientele. The firm principals, Gary London and Nathan Moeder, combine for over 60 years of experience. We have analyzed, packaged and achieved capital for a wide variety of real estate projects. Clients who are actively pursuing, developing and investing in projects have regularly sought our advice and financial analysis capabilities. Our experience ranges from large scale, master planned communities to urban redevelopment projects, spanning all land uses and development issues of all sizes and types. These engagements have been undertaken principally throughout North America and Mexico.

A snapshot of a few of the services we render for both the residential and commercial sectors:

- **Market Analysis** for mixed use, urban and suburban properties. Studies concentrate on market depth for specific products, detailed recommendations for product type, absorption and future competition. It also includes economic overviews and forecasts of the relevant communities.
- **Financial Feasibility Studies** for new projects of multiple types, including condominium, apartment, office, and master-planned communities. Studies incorporate debt and equity needs, sensitivity analyses, rates of return and land valuations.
- **Litigation support/expert witness services** for real estate and financial related issues, including economic damages/losses, valuations, historic market conditions and due diligence. We have extensive deposition, trial, mediation and arbitration experience.
- **Investment studies for firms acquiring or disposing of real estate.** Studies include valuation, repositioning projects and portfolios, economic/real estate forecasts and valuation of partnerships. Often, the commercial studies include the valuation of businesses.
- **Estate Planning services** including valuation of portfolios, development of strategies for disposition or repositioning portfolios, succession planning and advisory services for high net worth individuals. We have also been involved in numerous marriage dissolution assignments where real estate is involved.
- **Fiscal Impact, Job Generation and Economic Multiplier Effect Reports**, traditionally prepared for larger commercial projects and in support of Environmental Impact Reports. We have been retained by both developers and municipalities for these reports. The studies typically relate to the tax revenues and employment impacts of new projects.

The London Group also draws upon the experience of professional relationships in the development, legal services, financial placement fields as well as its own staff. Clients who are actively investigating and investing in apartment projects, retail centers, commercial projects, mixed use developments and large master plans have regularly sought our advice and financial analysis capabilities.

San Diego: 825 10th Ave | San Diego, CA 92101 | (619) 269-4010
Carlsbad: 2792 Gateway Road #104 | Carlsbad, CA 92009 | (619) 269-4012

**APPLICANT-SUBMITTED DRAFT SDP FINDINGS
PROJECT NO. 1066848**

SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

Supplemental Findings – Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource or Within a Historical District [SDMC Section 126.0505(i)]:

a. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on the designated historical resources.

The Project proposes the relocation of the existing Resource and replacing it with a 24 story residential tower with 8 levels of fully automated mechanical parking, 73 residential DU of which 8 are deed restricted low and moderate income per CCHSR.

To evaluate the Project and the two alternatives for potential feasible measures to avoid the relocation of the Resource, the Application retained London Moeder Advisors (LMA) to conduct an economic analysis of the Project (referred to as the “Base Project” in the LMA analysis) and the alternatives. The Applicant presented and approved these alternatives with the Historical Resources Board Staff and their Design Assistance Subcommittee prior to economic analysis. The City’s Urban Division Staff compared the LMA analysis to previous economic alternatives analyses for Downtown projects and found the assumptions to be consistent with those analyses. The following alternatives were evaluated in the LMA analysis and are summarized in the table below.

Alternative	Description
BASE	Relocate and Restore Resource at Newton Avenue Barrio Logan site, construct new residential high rise at 1620 Union Street
1	Rehabilitate and Maintain Existing 1,470 sq ft
2	Rehabilitate & Integrate into Development

As demonstrated by the Economic Feasibility Analysis prepared by London Moeder Advisors, the proposed Project would produce 73 Multi Family Rental Units (8 of which would be set-aside as affordable housing), and the proposed Project was determined to be economically feasible. In contrast, Alternatives 1 and 2 were not found to be economically feasible. The Project alternatives have issues that relate to increased cost of debt, cash flow shortfalls and the need for additional financing and would result in the elimination of any affordable housing component being financially feasible.

Therefore, The Base Project, which includes the relocation of the Resource to the Barrio Logan Community and the creation of 8 affordable and 65 market rate housing units is the only

economically feasible project. There are no feasible measures which include a less environmentally damaging alternative other than the Base Project that can further minimize the potential adverse effects on the designated historical resource or the historical district.

b. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The Applicant has agreed to implement measures identified in the FEIR Mitigation, Monitoring and Reporting Program pertaining to the relocation, rehabilitation and reuse of designated historical resource #283, the Andrew Cassidy Home. The relocation site meets the requirements of the National Park Service's Criterion Consideration B for Moved Properties and the City's Historical Resources Regulations on the same subject.

The Andrew Cassidy Home's role in the residential and architectural development trends of San Diego is important and will continue to convey its architectural style in its relocated environment retaining a good degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

Therefore, the proposed Air Rights Tower project along Union Street would not eliminate the resource from its architectural association as an important example of a Queen Anne style residence significant to the early residential development of San Diego history and would not, therefore, result in a mandatory finding of significance.

Compliance with recommended mitigation measures would reduce the significance of impacts of relocation to a level that is less than significant. The exterior of the Andrew Cassidy Home will be restored at its new location in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Mitigation measures and adherence to *The Standards* will enable the building to continue to convey its architecture, retaining a sufficient degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation at its new location in the Barrio Logan Community.

A qualified historical architect monitor will supervise the relocation and rehabilitation project. The Resource's status as a designated historical resource will be maintained under the jurisdiction of the San Diego Historical Resources Board. These measures ensure that the proposed relocation, restoration and reuse will not destroy the historical, cultural, or architectural values of the historical resource and the relocation will be part of a definitive series of actions to assure the preservation of the designated historical resource.

(c) There are special circumstances or conditions apart from the existence of historical resources, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.

ATTACHMENT 9

The DCP and CCHSR's goals for the surrounding neighborhood call for greater housing development, higher densities, inclusionary housing, workforce housing proximate to employment and/or multimodal transportation facilities, and reduction in sprawl and especially on vacant land and underdeveloped, underutilized sites. In addition, due to the Statewide Housing Crisis all municipalities are now tasked with producing new housing and affordable housing especially in urban environments. Consistent with these goals, the area surrounding the site has seen an increase in density and larger scale development in the past several years. Included in this growth are multi-story development projects which are located directly northwest, south, southwest from the Andrew Cassidy Home. The existing site constraints which include the single fifty foot eastern right-of-way frontage on Union Street; the location of the historical resource which occupies a lot zoned for unlimited height and density; and the overall setting and context of the neighborhood constitute special circumstances and conditions which exist apart from the presence of the historical resource. These special circumstances applying to the land are peculiar to the land and are not of the developer's making. Therefore the strict application of the provisions of the Historical Resources Regulations would deprive the developer, as the property owner, of reasonable use of the land.

Historical Resources Technical Report

**ANDREW CASSIDY
HOME
1620 UNION STREET**

1620 UNION ST.

Prepared by:
Heritage Architecture & Planning
832 Fifth Avenue
San Diego, CA 92101

Prepared for:
Jonathan Segal, FAIA
3000 Upas Street
San Diego, CA 92104

October 2021

EXECUTIVE SUMMARY

The Air Rights Tower project (project) proposes to redevelop the parcel occupying the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. It includes the construction of a 110,000 gross square foot, twenty-four story residential high-rise. Site improvements include a subterranean basement and new driveway. To facilitate the construction of the new development, the Andrew Cassidy Home will be relocated to 2642-2648 Newton Avenue, in the Barrio Logan community of San Diego with its primary façade facing south on Newton Avenue. Additional proposed development at the Newton Avenue site includes the adjacent southeast portion of the parcel remaining vacant for a potential future relocated structure and a new two-story, warehouse and multifamily residential structure to be constructed at the rear, north section of the Newton Avenue site with access from the alley.

Heritage Architecture & Planning was hired to provide a Historical Resources Technical Report (HRTR) for the Andrew Cassidy Home. The purpose of this HRTR is to evaluate the potential eligibility of resources located within the project study area for listing in the National, State, and/or Local Register of historic resources. In addition, the HRTR will address proposed project effects on identified historic resources in accordance with local, state, and national regulatory requirements.

This Historical Resources Technical Report has identified the Andrew Cassidy Home, located at 1620 Union Street in San Diego, as not historically significant for listing at the National or California Registers at the local, state, or national levels. The Andrew Cassidy Home is listed in the City of San Diego Historical Resources Register (HRB #283). Historic research and site evaluation reveal that the Andrew Cassidy Home has retained the majority of its architectural features and historical fabric. Its period of significance is 1899 encompassing the year of construction. The Andrew Cassidy Home appears to retain sufficient integrity to convey its historical significance. The residence retains its integrity of location, design, materials, workmanship, and association.

The proposed Air Rights Tower project would result in a significant direct impact to the historical resource due to the relocation of the Andrew Cassidy Home. The exterior of the Andrew Cassidy Home will be restored at its new location in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Mitigation measures and adherence to *The Standards* will enable the building to continue to convey its architecture, retaining a sufficient degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

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TITLE PAGE

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SECTION I INTRODUCTION

The Air Rights Tower Project (project) is located at 1620 Union Street between West Cedar and West Date Streets in the Little Italy neighborhood of San Diego. The project site includes the Andrew Cassidy Home, a City of San Diego historically designated property (HRB #283).

The purpose of this Historical Resources Technical Report (HRTR) is to evaluate the potential eligibility of resources located within the project study area for listing in the National, State, and/or Local register of historic resources. In addition, this HRTR will address proposed project effects on identified historic resources in accordance with local, state, and national regulatory requirements.

This report contains the following information:

- Review of the existing exterior conditions of the property.
- Review of the history of the property and its physical development.
- Review of the subject property's eligibility under local, state, and national register designation criteria.
- An analysis of the effects of the proposed project on historic resources.

A. REPORT ORGANIZATION

This HRTR has been prepared in compliance with the City of San Diego Historical Resources Board Historical Resource Technical Report Guidelines and Requirements. This report is organized into seven sections. The first section is the Introduction, providing purpose and overview of the report and resource location information. The Introduction is followed by the Project Setting, which describes the current environment as well its historical development. The third section, Methods and Results, details the work that was completed, such as research and field assessments, and provides a description of all resources within the project study area. The Significance Evaluations section provides an analysis of the significance of the resource against local, state, and national designation criteria. Section five, Findings and Conclusions, summarizes the results of the study and includes a potential impact discussion on identified historic resources. Next, the Bibliography notes all citations made in the document. Lastly, the Appendices includes necessary background information regarding the resources including building development information, ownership and occupancy information, maps, DPR forms, and preparer's qualifications.

B. PROJECT STUDY AREA

The project study area and Area of Potential Effect (APE) have been limited to two sites. The first site includes the existing Andrew Cassidy Home parcel, 1620 Union Street (APN 5333531100) and the proposed relocation site at 2642-2648 Newton Avenue (APN 5387512100, 5387512200, 538751223) in San Diego with City of San Diego staff approval on September 9, 2021. (Figure 1-3) The subject resource is located in the City of San Diego Downtown Community Plan (DCP) area, within the City of San Diego, California.

1. Site A

Current Property Name:	Andrew Cassidy Home
Property Address:	1620 Union Street
Current Assessor Parcel Number:	5333531100

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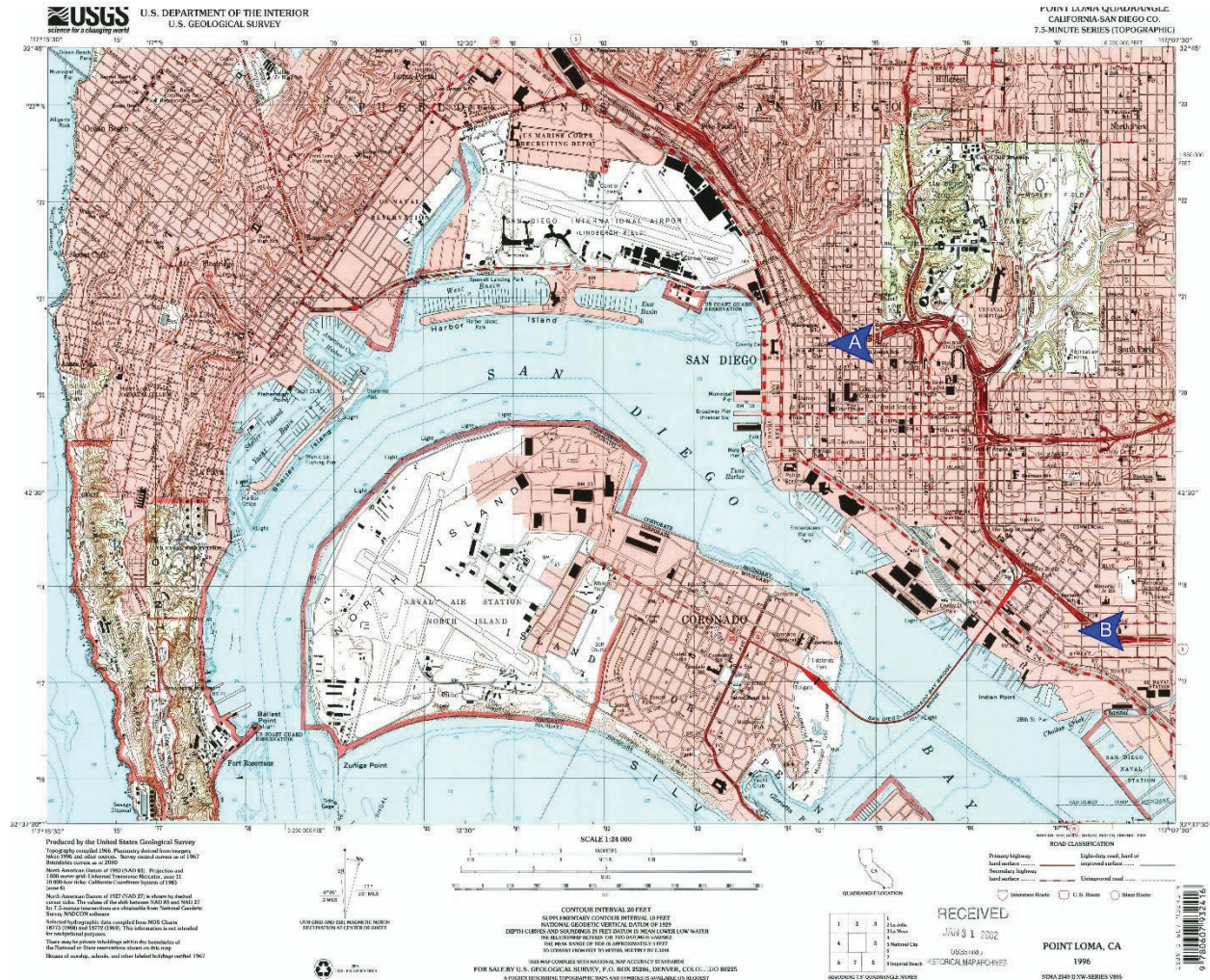


Figure 1-2: Location Map for Sites A and B.

Source: USGS, Point Loma, CA, 1996



SITE A: 1620 Union St



SITE B: 2642-2648 Newton Ave

Figure 1-3: Project Study Area and Area of Potential Effect (APE) for Site A (left) and Site B (right).

C. PROJECT PERSONNEL

Eileen Magno, Principal Historian/Architectural Historian, is the primary investigator for the project with assistance from Thomas Saunders, NCARB, Project Architect, and oversight by David Marshall, AIA, NCARB, Principal Architect. Heritage personnel qualifications meet or exceed *The Secretary of the Interior's Qualification Standards* as published in the Code of Federal Regulations, 36 CFR Part 61.

SECTION II PROJECT SETTING

A. PHYSICAL PROJECT SETTING

The Andrew Cassidy Home (project) is located at 1620 Union Street in downtown San Diego's Little Italy neighborhood. The project site consists of a 0.115-acre (5,015 square foot) parcel on Assessor's Parcel Number 5333531100, bound by W. Date Street to the north, State Street to the east, W. Cedar Street to the south, and Front Street to the west. The property is within the City of San Diego Downtown Community Plan (DCP) area, which designates the project site for a variety of uses, including office, residential, hotel, research and development, and educational and medical facilities.

The proposed relocation site is located at 2642-2648 Newton Avenue in the Barrio Logan community of San Diego. The relocation site consists of a 0.494-acre (21,531 square foot) combined parcel on Assessor's Parcel Numbers 5317512100, 5317512200, and 5317512300, bound by National Avenue to the north, S. 26th Street to the east, Newton Avenue to the south, and S. 27th Street to the west. The property is within the City of San Diego Barrio Logan Community Plan area, which identifies the area within the community's Historic Core.

B. HISTORICAL OVERVIEW

Middletown and Little Italy^{1,2}

The City of San Diego was incorporated as a City by the state legislature in 1849. One of the first acts of the new City Council was to approve earlier maps of the City and its tidelands. At the same time, pueblo lands were being divided up among buyers, mostly for speculation. West of Balboa Park, between Old Town and the future downtown, laid a strip of low hills and tidal flats originally referred to as Middletown.

In 1850, a group of investors led by attorney Thomas Sutherland, bought the 687 acres and laid out the streets and lots at the western border and established the Middletown tract. Thereafter, the tract was surveyed and subdivided into streets and blocks, and plans called for the construction of five public squares and an open community lot known as the Triangle.³

By 1880, development began. Workers for local government, construction and downtown businesses settled west of Front Street, larger and more impressive homes were built on the ridges. The subdivision closely followed the trends of Horton's Addition. By the late 1800s large, single family homes were being built along the western hillside ridges overlooking the bay, including Victorian, Georgian and Mediterranean style structures. The Middletown School was built in 1888. The community was also anchored by a small commercial node called Five Points at the intersection of Washington and India streets.⁴

¹ Office of Marie Burke Lia Attorney at Law. "Historical Resources Research Report Addendum for 1668 Columbia Street & 519 West Date Street." February 2012.

² City of San Diego, "Uptown Community Plan Area Draft Historic Resources Survey Report." 2015. Also see, City of San Diego, "Greater Golden Hill Community Plan Update Draft Historic Context Statement." June 2010.

³ Steven Van Wormer and Susan Walter, "Uptown Historic Context Statement and Oral History Report." 2003.

⁴ Ibid.

Thousands of Italian and Portuguese families settled in the area in the early 1900s along with Mexican and Japanese immigrants and toiled to build a local tuna fishing industry that became a source of great wealth for San Diego. At one time, more than 6,000 Italian families lived in the area. Other Italians who came had been wine growers, shepherders, and ranchers. The fishermen and founders of fish markets and restaurants arrived by 1900. All of these transplanted members of the Italian community founded social organizations with large memberships. At the same time, the Portuguese community was heavily involved with the tuna industry. The 1906 San Francisco earthquake drove more Italian fishermen to San Diego where the immigrants prospered for the next few decades.

Growth slowed after 1900 but revived with the Panama-California Exposition in 1915 and Spanish Eclectic style architecture became popular (1915-1960). Multi-family apartment buildings were constructed for visitors and residents; a trend that continued through WWII (1915-1960). The establishment of Lindbergh Field in the 1914s and 1930s caused early height limits to be imposed that also affected the development of this region, Point Loma, and Loma Portal.

By 1937, a different pattern had emerged for Middletown. The main business district was located at the Five Points intersection on Washington Street, at the north end. Fish canneries were established at the south end and residences of the Italian fishermen and employees of the growing aircraft industry were along the waterfront. During World War II, the San Diego Italian fishermen were ordered to move from homes close to the harbor as suspicious authorities considered them as having ties to Italy. Non-citizen Italians also had to move east. Many families moved back after the war was over. After the War, the tuna industry gradually declined on the west coast and the 1960s construction of the Interstate 5 freeway destroyed 35% of the buildings in the area, all of which led to the disintegration of the community. But in the early 1990s, the established property owners and family-run business owners decided to take their fate in their own hands, and today's thriving Little Italy business and residential community is the result.

Barrio Logan⁵

As the development of New Town gained momentum by the 1870s, City leaders anticipated the addition of a major wharf and rail transportation would be necessary for City growth. Land to the south, known then as the East End and encompassing the area of present-day Barrio Logan and Logan Heights, was seen as the ideal location for a west coast transcontinental railroad terminus. City leaders set aside large portion of the East End for this purpose. At that time, the East End was only a sparsely vegetated series of hills sloping gently to the marshy tidelands of the bay. Both the Gila Railroad in the 1860s and the Texas and Pacific Railroad in 1872 failed and the land was reverted back to the city. The promise of dedicated railroad land and deep water port failed to induce a railroad company to locate its terminus in San Diego. Instead, the first transcontinental railroad to reach southern California bypassed San Diego for Los Angeles in 1876.

Despite early efforts to attract a railroad failed, real estate speculation continued. Joseph Manasse and Marcus Schiller filed the first subdivision in 1870, directly south of Horton's Addition and north of the railroad land. These streets were organized diagonally to those in Horton's Addition, taking advantage of the view of the bay. Three years later, Dr. C. Hoel recorded a subdivision just north of National City opening another portion of the area for development. These subdivisions were the foundation for the

⁵ Brian F. Smith and Associates, "Barrio Logan Historical Resources Survey." Prepared for the City of San Diego. February 1, 2011.

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development of Logan Heights and Barrio Logan. These subdivisions were established by the San Diego Land and Town Company, D.C. Reed and O.S. Hubbell, H.P. Whitney's Addition, South Chollas, James H. Guion, and E.E. Bergins.

Improvements in the local transportation system helped encourage development in the area, which was progressing slowly during the late 1800s. Transportation allowed residents to live comfortably in the East End while still providing an easy and inexpensive commute to the commercial center of downtown. In 1887, the National City and Otay Railway began local steam service along 28th Street (later rerouted to Newton Avenue). In 1891, a horse and mule drawn rail car line was extended into the community along National Avenue that provided service from downtown to 16th Street and then east on National Avenue to 31st Street. The line was replaced in 1892 by San Diego Electric Railway Company cars.

By the turn of the 20th century, development around the area included single-family residences, one per lot, most with outhouses and a stable. Logan Avenue between south 16th and 26th Street and National Avenue from South 16th Street and 27th Street contained the highest density. A smaller number of homes were present on Newton Avenue, Main Street, and Boston Avenue. Popular residential architectural styles during this period included Craftsman, Folk Victorian, and Colonial Revival.

By 1906, an emerging commercial district appeared on Logan Avenue between Beardsley and Sampson Streets. Logan Avenue contained six businesses including a drug store, a meat and produce shop, two offices, a grocery, a hay and grain store, and two warehouses. The San Diego Soda Works, the single industrial building shown on the 1906 map, was on the north side of Logan between Beardsley and Cesar Chavez. One street to the east, on National Avenue between Beardsley and Cesar Chavez, was a Chinese Laundry, and on Sigsbee and Newton, a hay and grain warehouse stood at the corner. Commercial buildings were built in a variety of architectural styles including False-Front Commercial and Folk Victorian. Some of the business structures were mixed-use, with residential units above the retail store fronts.

The 1915 Panama-California Exposition spurred growth throughout the city, including Barrio Logan and Logan Heights area. Residential development included single-family and multiple-family dwellings built in a variety of architectural styles including Folk Victorian and Colonial Revival, though by 1921, the Craftsman Bungalow had become the dominant style. Many of the outhouses on the rear of properties had disappeared, and were replaced by auto garages, demonstrating expanding automobile ownership and the presence of sewer service.

The 1920s to the 1950s was a period of significant change in Logan Heights, both in the ethnic composition of its residents and in the increase of residential and commercial growth. Mexican Americans, African Americans, and Asians moved into Logan Heights because it offered low-cost housing left in the wake of Anglo-Americans moving to other areas, and proximity to bayfront and railroad jobs. Immigrants were attracted by available housing, social and cultural familiarity, and the availability of unskilled occupations such as railroad construction, commercial fishing, local agriculture, building construction, and other commercial businesses and military-related industry.

Apartment buildings, duplexes, bungalow courts, apartment courts, and half courts were built to accommodate the new residents. Additionally, many small single-family residences were constructed on the rear of lots, behind larger and older homes. The new residential construction was built in a variety of architectural styles including Spanish Colonial Revival, Mission Revival, and Minimal Traditional.

During the 1950s, the City rezoned Barrio Logan from primarily residential to a mixed use classification. Subsequently, over the next twenty years, the neighborhood experienced a massive influx of automotive scrap yards, particularly along Main, National, Newton, and Logan as well as numerous other industrial businesses housed in large industrial lofts and warehouses.

The completion of Interstate 5 through the heart of Logan Heights in 1963 rewrote the boundaries of the neighborhood. The interstate splintered Logan Heights in two, with the area to the southwest of Interstate 5 becoming known as Barrio Logan and the area to the northeast known as Logan Heights.⁶ Essentially, Interstate 5 displaced families and businesses and resulted in the destruction of all the structures in the path of the new freeway. It also cut off the neighborhood to the northeast of the interstate from the commercial center on Logan Avenue and made it difficult for those in Barrio Logan to reach the churches and schools on the opposite side. Further, the completion of the San Diego-Coronado Bay Bridge in 1969, which towered over Barrio Logan with its on-ramps and support pylons, displaced more families and businesses, creating a dramatic visual change to the neighborhood. The residents were not aware of their rights to protest against the bridge and many felt they had no choice but to leave. Barrio Logan's population soon dropped from 20,000 to 5,000 between 1969 and 1979 and many of the older homes and buildings were razed for industrial structures.

Parcel History

Andrew Cassidy Home – 1625 Union Street

The undeveloped parcel was owned by Margaret J. O'Kane, Patrick Kerr, and Sarah Kerr and purchased by Andrew Cassidy on November 26, 1889. Acknowledged as a pioneer resident of San Diego, Andrew Cassidy was originally a native of County Cavan, Ireland and immigrated to American in 1834 when he was 17. Having received an education in his native country, he worked under the immediate direction of George McClellan in the Engineer Corps at West Point for three years. He transferred to Washington where he was employed in the Coast Survey office under the US Engineer Corps. Through the Engineer Corps he arrived in San Francisco in 1853 to set up a self-registering gauge at Fort Point. He later went on to San Diego where he built a self-recording tidal gauge station at La Playa and remained in charge of the tidal gauge and weather observations for the next seventeen years.⁷ This gauge was known to have recorded a tsunami from Japan in December 1854 and a local earthquake in July 1854, which is believed to be the earliest recorded earthquake.⁸ During this period, he lived in Old Town. While at La Playa, Cassidy also collected specimens for the Smithsonian Institution including birds,



Figure 2-1: Andrew Cassidy. Source: San Diego History Center.

⁶ "Barrio Logan" likely evolved from the Spanish speaking residents' practice of referring to Logan Heights as the barrio, or neighborhood. The City officially initiated the use of Barrio Logan to describe the area southwest of the Interstate 5 in the 1970s.

⁷ Clarence Alan McGrew, *City of San Diego and San Diego County: The Birthplace of California*. (New York: The American Historical Society, 1922), 88.

⁸ Helen Gohres, "Tidal Marigrams." *The Journal of San Diego History*. Vol. 10 No. 4, October 1964. Accessed September 3, 2021. <https://sandieghistory.org/journal/1964/october/marigrams/>

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fishes, reptiles, moths, and various smaller animals. The collection of fish coming from the Pacific Ocean, the Colorado River, and the Gulf of California was particularly valuable to the Smithsonian.⁹

He was married twice. His first wife was Rosa Serrano, daughter of Jose Antonio Serra, who died in September 10, 1869. His second wife, Mary Smith, was daughter of Albert B. Smith, a Mexican war hero. Cassidy held several public offices; one term as City Trustee in 1865, elected County Supervisor for two terms (four years) beginning in 1871, and was a long member of the Board of Public Works.¹⁰

In 1864, Cassidy acquired the 1,000-acre Soledad Rancho, in the present Sorrento Valley, and engaged in cattle ranching, raising up to 1,000 head of cattle.¹¹ He subdivided and sold the property in 1887, but retained other property in San Diego, including the 1620 Union Street property.

The San Diego Lot block Book Page shows the initial year of assessed improvements being completed at the Union Street parcel as 1890. Construction of the residence is noted as 1899 per the Residential Building Records. Historical research indicate that Cassidy never occupied the property but utilized it for income purposes. Its first documented occupant was Eugene Daney, an attorney whose office was located at the Lawyers Block in San Diego.¹² He lived at the Union Street residence from 1899 until 1905.

Born on October 11, 1862 in Bordeaux, France, Daney moved to the United States in 1866. He graduated from Hasting College of Law in 1885 and was admitted to the bar by the Supreme Court of California in San Francisco in 1885. He engaged in his law practice in San Francisco between 1885-1887 when he moved to San Diego. He continued his practice in San Diego until he was appointed as Assistant District Attorney in February 1888, which office he held until January 1891. He formed a partnership with L.A. Wright under the firm name Daney & Wright, which continued for eight years. He was elected the Bar Association of San Diego's first President in 1899 and served for three years. He was later appointed as Superior Judge in June 1908 and was general counsel for the Panama California Exposition in Balboa Park.¹³

In 1904, Cassidy sold the property to Richard O'Neill, Sr. who also leased the property to others. At the time of purchase of the Union Street property, Richard O'Neill was a partial owner of the Rancho Santa

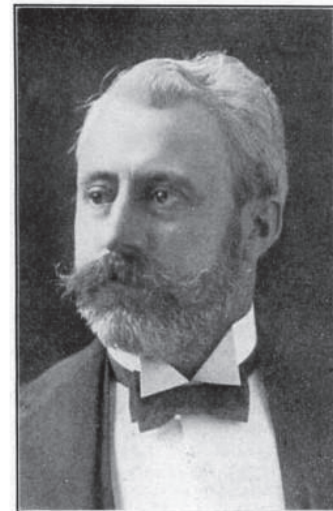


Figure 2-2: Eugene Daney.
Source: San Diego History Center.



Figure 2-3: Richard O'Neill.
Source: Orange County Registry.

⁹ California Genealogy & History Archives, "Andrew Cassidy." *An Illustrated History of Southern California: Embracing the Counties of San Diego, San Bernardino, Los Angeles and Orange, and the Peninsula of Lower California.* (Chicago: The Lewis Publishing Company, 1890), 323-324. Accessed September 3, 2021. <http://www.rootsweb.ancestry.com/~cagha/index.htm>

¹⁰ Ibid.

¹¹ William Ellsworth Smythe, *History of San Diego, 1542-1908.* (San Diego: History Co., 1907), 267-268. Accessed September 3, 2021.

<https://sandieghistory.org/archives/biographysubject/cassidy/>

¹² San Diego City and County Directory available publications begin 1874 and jumps to 1887-1888.

¹³ Legal Aid Society of San Diego, "Legal Aid Society of San Diego – Legacy of a Dream." Accessed September 6, 2021.

<https://www.lasds.org/about/history>

Margarita y Las Flores and its adjoining Rancho Mission Viejo and Rancho Trabuco which he purchased from the Forester sons in 1882 along with James Flood, who put up most of the purchase money.¹⁴ Collectively, the ranchos totaled more than 200,000 acres and encompassed the northern portion of San Diego County and southern end of Orange County.¹⁵ O’Neill worked as the ranch manager and lived with his family at the Santa Margarita Ranch House as Flood was never concerned with the daily operations of the ranch. In 1906 the Flood family deeded O’Neill his half of the ownership.¹⁶ Upon the death of Richard O’Neill in 1910, his estate, including the Union Street property, was passed to his family including son, Jerome O’Neill and daughters Mary A. Baumgartner and Alice T. McDade. The property was passed solely to Mary Baumgartner in 1922. During this period, the property continued to be leased.

In 1923, the property was deeded to Oakley R. and Grace Lawton. Mr. Lawton was a clerk at the Russ Lumber & Mill Company. The Lawtons occupied the residence until 1931 after which they rented out the premises to the Ralph J. and Alberta Widen family until the property was sold in 1940 to Sam Asaro, a fisherman, and his wife Rosaria. The Asaro family retained the parcel until 1972 when Rosaria died after which the property was passed to the eight Asaro children. The property was sold in 1978 to Mark and Deborah Godwin. Debbie Godwin converted the property as her business office, June’s Attorney Service, and subleased other sections as offices. They sold the property in 1989. It was acquired by attorneys David Bark and William Petterson, who utilized the building as their law office until 2014 when the property was granted to James Black. Petterson continued to hold his offices at the property. In 2019, the property was acquired by Union Street Creative House LLC, its current owners.

2642-2648 Newton Avenue

The property at 2642, 2646, and 2648 Newton Avenue (Newton Avenue property) is located in the Barrio Logan community of the City of San Diego. Per Sanborn Fire Insurance Maps, these parcels were developed prior to 1904 as residential units and remained residential until the late 1960s when the residences were demolished, and the Newton Avenue property was used by an automobile wrecking company as their yard. Since 1966, the property was owned by Dwight D. and Annis E. Wineteer. In 1986, the property was sold to Phi Equity Exchange, Inc. and immediately deeded to Eugene S. and Mary F. Czubernat. The Czubernats retained the property until 2000 when it was sold to ABC Construction Company, Inc. In 2021, the property was granted to Jman at Barrio LLC, its current owners. It has continued to be used for vehicle and equipment storage.¹⁷

¹⁴ Rancho Mission Viejo. “Ranch History.” Accessed September 6, 2021. <http://corp.ranchomissionviejo.com/ranch-past-present/ranch-history/>

¹⁵ Ibid.

¹⁶ Lynne Newell Christenson and Ellen L. Sweet, *Ranchos of San Diego County*. (San Francisco: Arcadia Publishing, 2008), 82.

¹⁷ GDS, Inc., “Phase I Environmental Site Assessment: 2642, 2646, and 2648 Newton Avenue, San Diego, California.” Prepared for JMAN Investments, Inc. July 12, 2021.

SECTION III METHODS AND RESULTS

A. ARCHIVAL AND HISTORICAL RESEARCH

This report was prepared using primary and secondary sources related to the resource's site development history.

Archival research has been conducted to determine the location of previously documented historic and architectural resources within the project study area and to help establish a context for resource significance. National, state, and local inventories of architectural/historic resources were examined in order to identify significant local historical events and personages, development patterns, and unique interpretations of architectural styles.

Information was solicited regarding the location of historic properties in the project area from local governments, public and private organizations, and other parties likely to have knowledge of or concerns about such resources. The following inventories, sources, and persons were consulted in the process of compiling this report:¹

- Built Environment Resources Directory (BERD), Office of Historic Preservation
- California Historical Resources Information System (CHRIS) Information Center
- California Historical Landmarks
- California Points of Historical Interest
- California Register of Historic Resources
- California Office of Historic Preservation
- County of San Diego Assessor's Office
- City of San Diego Planning Department
- City of San Diego Historical Resources Board
- City of San Diego, Development Services Department, Records Office
- Library of Congress
- National Register of Historic Places
- San Diego History Center
- San Diego Central Public Library, California Room
- San Diego State University, Love Library
- South Coast Information Center
- University of California San Diego, Library Digital Collections

Materials included documentation of previous reports, photographs, building permits, news articles, City/County directories, title information, and maps. Published sources focusing on local history were consulted, as well as material relating to federal, state, and location designation requirements. Research for the report was not intended to produce a large compendium of historical and genealogical

¹ This Historical Resource Technical Report was completed during the COVID-19 pandemic. As a result, standard methods of research had to be modified in light of unforeseen circumstances, including repository closures and restrictions on gathering. Heritage coordinated with archivists at the various repositories to gain remote access to documents, interviews, and ephemera within the archive's physical holdings to supplement online research.

material, but rather to provide specific information necessary to understand the evolution of the site and its significance.

B. FIELD SURVEY

A site walk-through, existing conditions survey, field documentation, and photographs were conducted by Thomas Saunders, NCARB, Project Architect. The survey was conducted to record and understand the existing condition of the site, identify character-defining features, and assess the structure's condition and historical integrity. Analysis focused on the structure's exterior and did not include detailed assessments of the archaeological, structural, electrical, mechanical systems, or interiors. Following the fieldwork, the property was recorded on DPR 523 forms according to the *Instructions for Recording Historic Resources, Department of Parks and Recreation, Office of Historic Preservation, State of California*. The resource was photographed with a digital camera and representative photographs are included in this report and on the DPR 523 forms.

C. DESCRIPTION OF SURVEYED RESOURCE

Andrew Cassidy Home, 1620 Union Street

The Andrew Cassidy Home is located on a rectangular lot, approximately 50' by 100', at 1620 Union Street. The building is wood framed and set on a cast-in-place concrete foundation stem wall. A crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall.

East Façade (Primary Façade): At the gable of the east façade the exterior finish consists of diamond shaped wood shingles. A wood clad double-hung window with wood trim has been used to infill what was once a wood louvre attic vent. A front porch spans the width of the east façade. The porch roof consists of a flat roof with roll-on sheet roofing, and short hipped sides with diamond shaped wood shingles. The underside of the porch roof has a wood tongue and groove finish with a wood quarter round border. The roof is supported by exposed wood beams which bear upon decorative wood porch columns. Decorative wood spindlework runs along the underside of the porch roof beams and are supported by decorative carved wood brackets. All spindlework, columns and brackets are intact and in good condition.

The porch floor has been previously repaired and consists of oriented strand board (OSB) wood plank flooring and stairs with wood handrails. The wood handrails are heavily damaged at several locations and have temporary wood shoring at the base of some of the rail posts. The floor is supported by wood posts bearing on pre-cast concrete pier footings. A wood lattice runs along the base of the porch floor.

South Façade: At the south façade is a cast-in-place concrete and wood framed accessibility ramp with wood railing. The wood railing is anchored to the south façade with small wood blocks. One attachment point interrupts the run of the wood base trim. The non-historic vertical wood siding at the base of the south façade has been cut to allow the installation of the accessibility ramp.

Towards the east side of the south façade is a cantilevered roof overhang with carved wood brackets. Also at the east side is some non-historic surface mounted utility equipment.

West Façade: At the west façade is a non-historic OSB wood board landing with stairs that connects to the accessibility ramp with wood railing. At the west slope of the roof is a gabled dormer with a replacement wood clad double hung windows with dual glazing and vinyl window screen. At the second floor is a non-historic roof deck with wood railing. The roof deck is accessed by a pair of non-historic wood French doors.

North Façade: The north façade consists of horizontal wood clapboard siding with a wood trim base rail and non-historic wood clapboard siding over a cast-in-place concrete stem wall. Utility equipment has been installed along the north façade.

Windows: Fenestration consists of replacement wood clad double hung windows with dual glazing and vinyl window screens. The windows have a wood trim and sill with wood sill brackets. There is a wood fixed transom window above the main entry door. All windows appear to be in fair condition with the exception of the double hung window located in the roof gable at the east façade which has damage at the mid and bottom rail.

Doors: The main entry door at the east façade has three panels and glazing with non-historic door hardware and wood panel surround. Additionally, there is a wood fixed transom window above. At the west façade is a pair of non-historic wood French doors with non-historic accessible compliant hardware. The door threshold is also non-historic. At the second story of the west façade, a pair of wood French doors provide access to the roof deck. The door hardware and threshold appear to be non-historic. All doors appear to be in fair condition.

Summary: The house located at 1620 Union Street appears to be in good condition and retains a good level of its historic integrity. Modifications appear to comply with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and include a replacement roof, replacement front porch and railing, an addition at the rear not visible from the public right-of-way, and replacement windows.

The cast-in-place concrete stem wall with non-historic wood clapboard siding underneath the wood base trim suggests that the house has been previously lifted to provide repairs to the building's foundation.

2642-2648 Newton Avenue

The property at 2642, 2646, and 2648 Newton Avenue (Newton Avenue property) is located in the Barrio Logan community of the City of San Diego and is comprised of three contiguous parcels. The parcels have been physically divided by a chain link fence and are utilized for vehicle and container storage.



Figure 3-1: Photograph of 1620 Union Street, 1988. Source: City of San Diego.



Figure 3-2: Photograph of 1620 Union Street, 2000. Source: City of San Diego.



Figure 3-3: Perspective view looking northwest at the primary facade.



Figure 3-4: Perspective view of 1620 Union Street looking southwest.



Figure 3-5: Looking west at the primary east facade.



Figure 3-6: Looking west at the gable end of the east facade showing the diamond shaped wood shingles and replacement double hung window.



Figure 3-7: Detail photo showing the decorative wood spindlework and decorative column brackets at the front porch.



Figure 3-8: Looking west at the decorative porch columns.



Figure 3-9: Detail view showing the original three panel entry door with glazed lite and fixed wood transom window above. The original door hardware is missing.



Figure 3-10: Looking northwest at the front porch, front porch stairs and railing. The front porch is non-historic and has been replaced with OSB boards.



Figure 3-11: Looking southwest at the brick chimney with decorative corbelling.



Figure 3-12: Detail photo looking northwest at the projecting roof overhang on the south facade with decorative carved brackets.



Figure 3-13: Looking northwest at the accessibility ramp located at the south facade. The ramp is a combination of cast-in-place concrete and OSB wood boards.



Figure 3-14: Detail photo showing the impact to the base trim boards from the accessibility ramp handrail attachments.



Figure 3-15: Detail photo showing a typical replacement clad wood window with dual glazing and vinyl window screens.



Figure 3-16: Looking northeast at the non-historic OSB board ramp and landing with wood railing. The wood components are termite damaged.



Figure 3-17: Looking east at the west facade showing the non-historic pair of wood french doors.



Figure 3-18: Detail photo showing some of the utility equipment installed at the base of the north facade.



Figure 3-19: Newton Avenue streetview looking northwest at the property. Source: Google maps.



Figure 3-20: Looking southeast into the Newton Avenue parcel from the alley.

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SECTION IV SIGNIFICANCE EVALUATION

A. EVALUATION CRITERIA

Federal, state, and local historic preservation programs provide specific criteria for evaluating the potential historic significance of a resource. Although the criteria used by the different programs (as relevant here, the National Register of Historic Places, the California Register of Historical Resources, and the City of San Diego Register of Historical Resources) vary in their specifics, they focus on many of the same general themes. In general, a resource need only meet one criterion in order to be considered historically significant.

Another area of similarity is the concept of integrity — generally defined as the survival of physical characteristics that existed during the resource’s period of significance. Federal, state, and local historic preservation programs require that resources maintain sufficient integrity in order to be identified as eligible for listing as historic.

1. National Designation: The National Register of Historic Places

The National Register of Historic Places (commonly referred to as the “National Register” or “NRHP”) is a Congressionally-authorized inventory of “districts, sites, building, structures, and objects significant in American history...” (16 U.S.C. § 470a). To be eligible for listing in the National Register, a resource must meet the following requirements.

Criterion (A): associated with events that have made a significant contribution to the broad patterns of our history

Criterion (B): associated with the lives of persons significant in our past

Criterion (C): embody the distinctive characteristics of a type, period, or method of construction; represent the work of a master; possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual foundation

Criterion (D): has yielded or is likely to yield information important in prehistory or history.

Ordinarily cemeteries, birthplaces, graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past 50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

Criteria Consideration A: A religious property deriving primary significance from architectural or artistic distinction or historical importance; or

Criteria Consideration B: A building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or

Criteria Consideration C: A birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building directly associated with his or her productive life; or

Criteria Consideration D: A cemetery which derives its primary importance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or

Criteria Consideration E: A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or

Criteria Consideration F: A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or

Criteria Consideration G: A property achieving significance within the past 50 years if it is of exceptional importance.

The property must also retain integrity. Integrity is “evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association” and it “must be judged with reference to the particular criteria under which a resource is proposed for eligibility.”

(36 C.F.R. § 60.4)

2. State Criteria Evaluation: California Register of Historical Resources

The California Register of Historical Resources (“California Register” or “CRHR”) identifies historical and archeological resources significant to the state. The eligibility requirements for listing in the California Register are very similar to the eligibility requirements for listing in the National Register, though they have a somewhat stronger focus on California-specific issues.

More specifically, to qualify as an historical resource for purposes of the California Register, a resource must meet at least one of four criteria:

Criterion 1: Associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage

Criterion 2: Associated with the lives of persons important to local, California, or national history

Criterion 3: Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic value

Criterion 4: Has yielded or has the potential to yield information important to the prehistory or history of the local area, California, or the nation.

(Cal. Pub. Res. Code § 5024.1).

In order to be eligible for listing in the California Register, an historical resource must have integrity. (Cal. Code Regs. tit. 14, § 4851).

3. Local Criteria Evaluation: City of San Diego Historical Resources

The Historical Resources Guidelines of the City of San Diego’s Land Development Manual (LDM) identifies the criteria under which a resource may be historically designated. It states that any improvement, building, structure, sign, interior element and fixture, site, place, district, area, or object, typically over 45 years old, regardless of whether they have been altered or continue to be used, may be designated a historical resource by the City of San Diego Historical Resources Board (HRB) if it meets one or more of the following designation criteria:

- A. Exemplifies or reflects special elements of the City's, a community's, or a neighborhood's, historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development;
- B. Is identified with persons or events significant in local, state or national history;
- C. Embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;
- D. Is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;
- E. Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources; or
- F. Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

B. RESOURCE SIGNIFICANCE

1. National and California Register

National Register Criterion A / California Register Criterion 1

Research failed to disclose any information regarding the Union Street's nor the Newton Street's association with significant events that have contributed to the broad pattern of history both at the local, state, or national levels. The Cassidy property was primarily used as a residence then later as offices and the Newton Street property is a vacant lot utilized for parking. Therefore, both properties not qualify under National Register Criterion A and California Register Criterion 1.

National Register Criterion B / California Register Criterion 2

Research revealed that the Andrew Cassidy Home is identified with two San Diego County's pioneers: Andrew Cassidy and Richard O'Neill. The resource was also home to Eugene Daney, an early local attorney. Although the property is associated with these individuals, neither Cassidy nor O'Neill occupied the residence utilizing it only for income purposes. Further, they acquired the property in their later years and not during their more influential and significant period of their lives.

Moreover, although attorney Eugene Daney was elected as the first President of the Bar Association of San Diego and served for the following three years, no other research information elaborated on the extent of his decision-making process nor how those decisions may have changed or influenced future policy or judicial rulings. Further, his work would most likely be associated with his office, rather than his residence, where most of the work would have taken place. Finally, Daney's appointment as Superior Judge and later as general counsel for the Panama-California Exposition occurred after his occupancy of the resource.

There are no built resources on the Newton property that are associated with any persons that would have contributed to the broad pattern of history either at the local, state, or national levels.

Therefore, these properties do not qualify under National Register Criterion B and California Register Criterion 2 at the local, state, or national levels of significance.

National Register Criterion C / California Register 3

The Andrew Cassidy Home, located at 1620 Union Street in San Diego, is associated with the early residential development of Middletown, and specifically, Little Italy. It is one of several surviving Queen Anne buildings within the community. In its current condition, it retains a high degree of architectural integrity. Although the resource retains many of its Queen Anne character-defining features, there are many resources both in the city and county of San Diego that are better representatives of the style, such as the Hotel del Coronado (California Historical Landmark No. 844, California Register of Historical Resources, National Historic Landmark, and National Register of Historic Places), the George Keating Residence (HRB #198) at 2331 2nd Avenue, and the Long-Waterman House (HRB #37, NR 1976-06-14) at 2408 1st Avenue. Further, there are no built resources associated with the Newton Avenue property. Therefore, both parcels do not meet eligibility for individual listing in the National Register under Criterion C and the California Register under Criterion 3 at the local level of significance.

National Register Criterion D / California Register Criterion 4

Both resources in San Diego are not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

2. City of San Diego Register

Constructed in 1899, Andrew Cassidy Home is locally designated under the City of San Diego Register of Historical Resources as HRB #283 under Criterion C for its Queen Anne architectural style. According to the nomination, “the building is an example of the type of residences constructed to accommodate the influx of people during the later 1880s boom period following the completion of the transcontinental railroad connection and is significant because it reflects Victorian era craftsmanship ornamentation and is part of a larger collection of significant Victorian homes.” The building has retained the majority of its Queen Anne features. Its period of significance is 1899 encompassing the year of construction.

There are no resources of the built environment located at the Newton Avenue property, therefore, this parcel is not significant under the City of San Diego designation criteria.

3. Integrity

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Andrew Cassidy Home.

Setting is the physical environment of a historic property.

The Andrew Cassidy Home’s setting within the Little Italy community of Middletown in San Diego. The building is now surrounded by a mixture of period Victorians and more contemporary multifamily

residences and high rises within the block. Therefore, the Andrew Cassidy Home no longer retains its setting integrity.

Location is the place where the historic property was constructed or the place where the historic event occurred.

The location of the resource has remained the same since its construction in 1899, in Little Italy. Therefore, the property has retained its location integrity.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

There have been no major alterations or changes to the resource that have significantly impacted or diminished the building's form, plan, space, structure, or style. While there have been changes to the building outside of its period of significance, many of these changes occur at the rear of the property and would be considered small or negligible when considering the property as a whole and the extant character-defining features, which reflect its form, plan, space, structure, and style. Changes include the addition of the rear roof deck, accessibility ramp, window replacements, and porch repairs.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The resource continues to exhibit a good degree of materials integrity. The materials illustrate the choices, combinations, availability and technologies of the time. The retention of the exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door, comprise the choice and configuration of building materials. Thus, the resource retains its materials integrity.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The workmanship that has gone into the construction of the residence is original including its Queen Anne style details: exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door. Therefore, the building's workmanship element for integrity purposes has been mostly retained.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Together with other Victorian residences along Union Street, the Andrew Cassidy Home no longer retains its feeling aspect of integrity as an early residential development in Little Italy. Hence, the resource's integrity of feeling has been compromised.

Association is the direct link between an important historic event or person and a historic property.

The resource continues to embody its association as an early residential resource within the Middletown San Diego area. Therefore, the property retains its association integrity.

In summary, the Andrew Cassidy Home appears to retain sufficient integrity to convey its historical significance. The residence retains its integrity of location, design, materials, workmanship, and association.

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SECTION V FINDINGS AND CONCLUSIONS

The purpose of the Findings and Conclusions section is to assess the impacts of the proposed Air Rights Tower project on identified historical resources of the built environment. Under CEQA, the City of San Diego has established significance determination thresholds for significant impact, in accordance with CEQA Guidelines Section 21082.2. Significant impacts include direct, indirect, and cumulative impacts to historical resources, as described in the City's "CEQA Significance Determination Thresholds" dated January 2007.

The Area of Potential Effects (APE) contains one historic property, the Andrew Cassidy Home, listed in the City of San Diego Register of Historical Resources (HRB #283). The property does not appear to be eligible for listing under National Register nor the California Register.

A. PROPOSED PROJECT DESCRIPTION

The Air Rights Tower project (project) proposes to redevelop the parcel occupying the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. It includes the construction of a 110,000 gross square foot, twenty-four story residential high-rise. Site improvements include a subterranean basement and new driveway.

To facilitate the construction of the new development, the Andrew Cassidy Home will be relocated to 2642-2648 Newton Avenue, in the Barrio Logan community of San Diego with its primary façade facing south on Newton Avenue. The relocation site is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. The adjacent southeast portion of the parcel will remain vacant for one or two potential future relocated structures and a new two-story, warehouse and multifamily residential structure will also be constructed at the rear, north section of the Newton Avenue site with access to the alley.

Prior to the redevelopment of the Union Street site, the Andrew Cassidy Home will be relocated. The mover shall outline the details of the route, schedule, and sequence of the move as well as the means by which the house will be modified and secured for the relocation. The Historic Architect/Monitor and City staff shall approve the plan prior to the relocation date. After the completion of a new foundation on site, the Andrew Cassidy Home will be transported in two pieces. Approximately 8-feet of roof will be removed and transported separately in order to clear overhead MTS trolley lines. Following the relocation of the Andrew Cassidy Home, the exterior of the structure will be restored per *The Secretary of the Interior's Standards for Restoration*. Proposed site improvements include the addition of landscaping and new front stoop. The future tenant of the restored residence has not been identified; however, the building will continue its residential occupancy classification.



Figure 5-1: Street view looking northwest along Union Street. The Andrew Cassidy Home is located at the west portion of the street barely visible between two multifamily residential properties. Source: Google Maps.



Figure 5-2: Context and street view looking south along Union Street. Note extant Victorians along Union Street have a higher street visibility than the Andrew Cassidy Home. Source: Google Maps.



Figure 5-3: Looking west at the Andrew Cassidy Home located between two multifamily residences. Source: Matthew Segal.



Figure 5-4: Looking northeast at rear of the Andrew Cassidy Home located between two multifamily residences. Source: Matthew Segal.



Figure 5-5: Aerial photo simulation looking northwest at the proposed Air Rights Tower project along Union Street. Source: Matthew Segal.



Figure 5-6: Photo simulation of the proposed Air Rights Tower project development looking northwest along West Cedar Street. Source: Matthew Segal.



Figure 5-7: Relocation Map. Source: Matthew Segal.



Figure 5-8: Aerial context of the Newton Avenue site. Source: Google Maps.

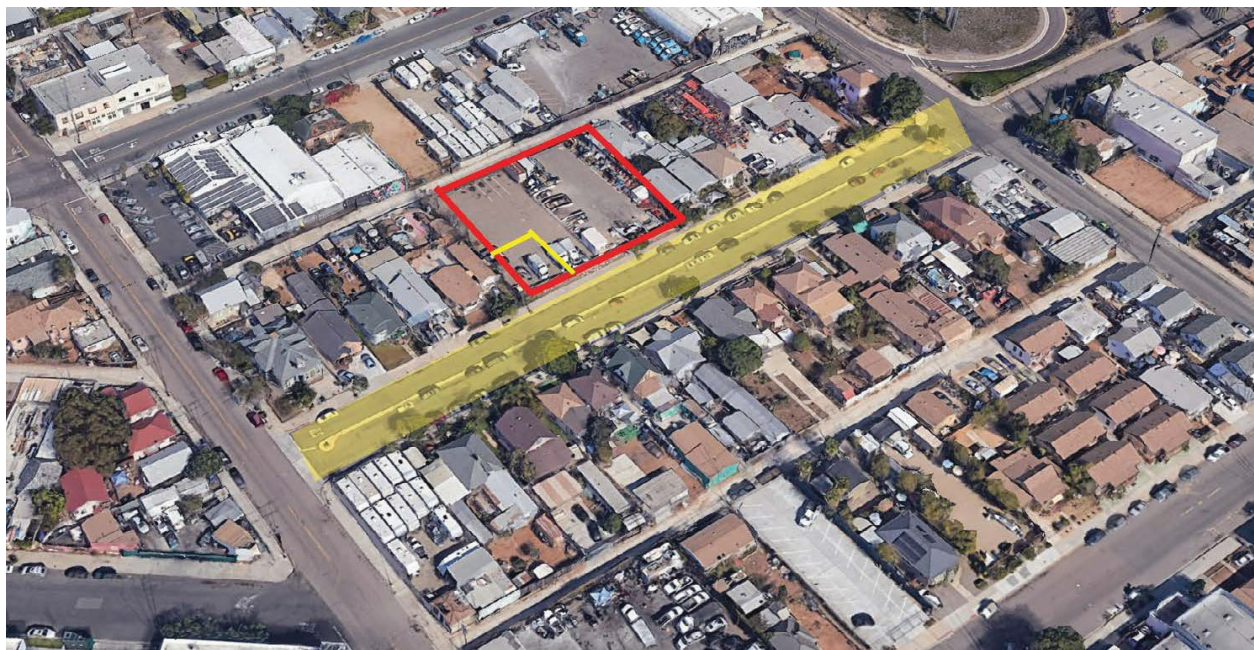


Figure 5-9: Aerial context of the Newton Avenue site and proposed location of the Andrew Cassidy Home at the southwest corner of the parcel. Source: Matthew Segal.



Figure 5-10: Newton Avenue street view looking northwest at the property. Source: Google Maps.



Figure 5-11: Looking southeast into the Newton Avenue parcel from the alley.



Figure 5-12: Adjacent properties looking northeast along Newton Avenue.

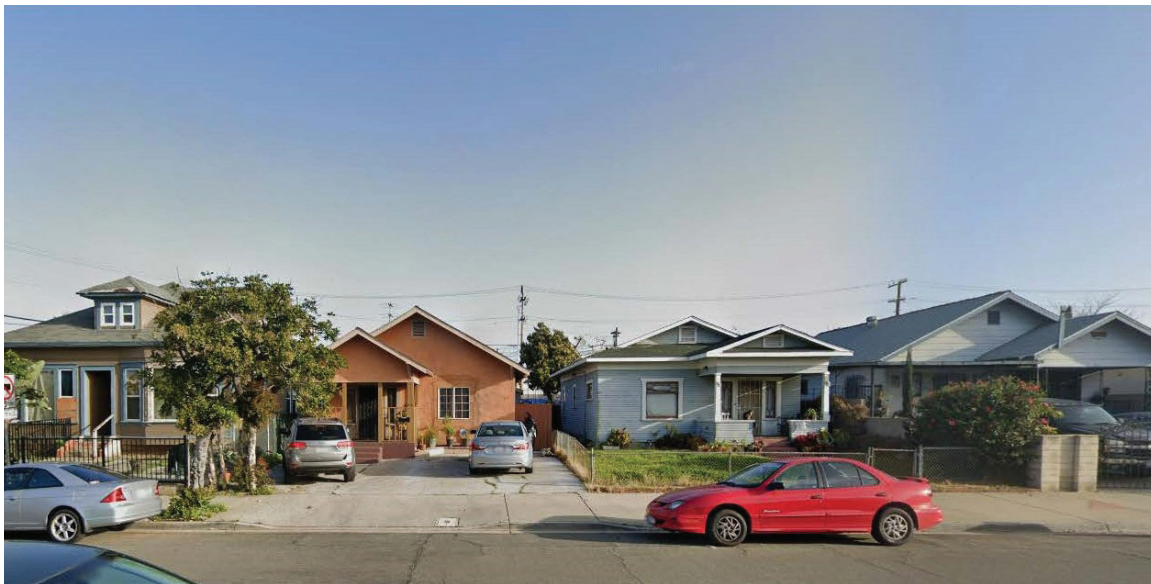


Figure 5-13: Similar residential housing and scale along Newton Avenue. Source: Matthew Segal.



Figure 5-14: Newton Avenue context and proposed relocation. Source: Matthew Segal.

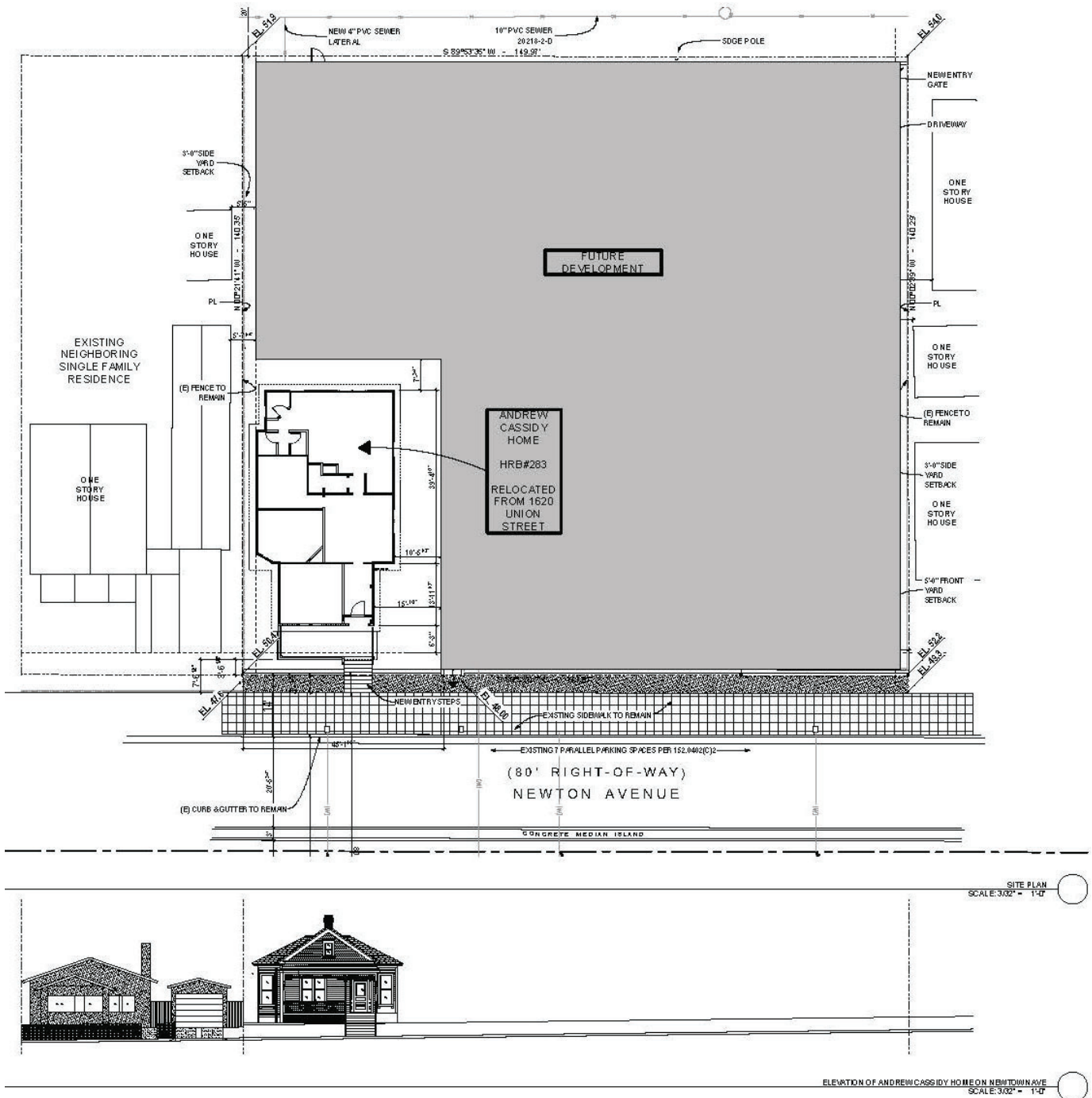


Figure 5-15: Proposed relocation and site development along Newton Avenue. Source: Matthew Segal.

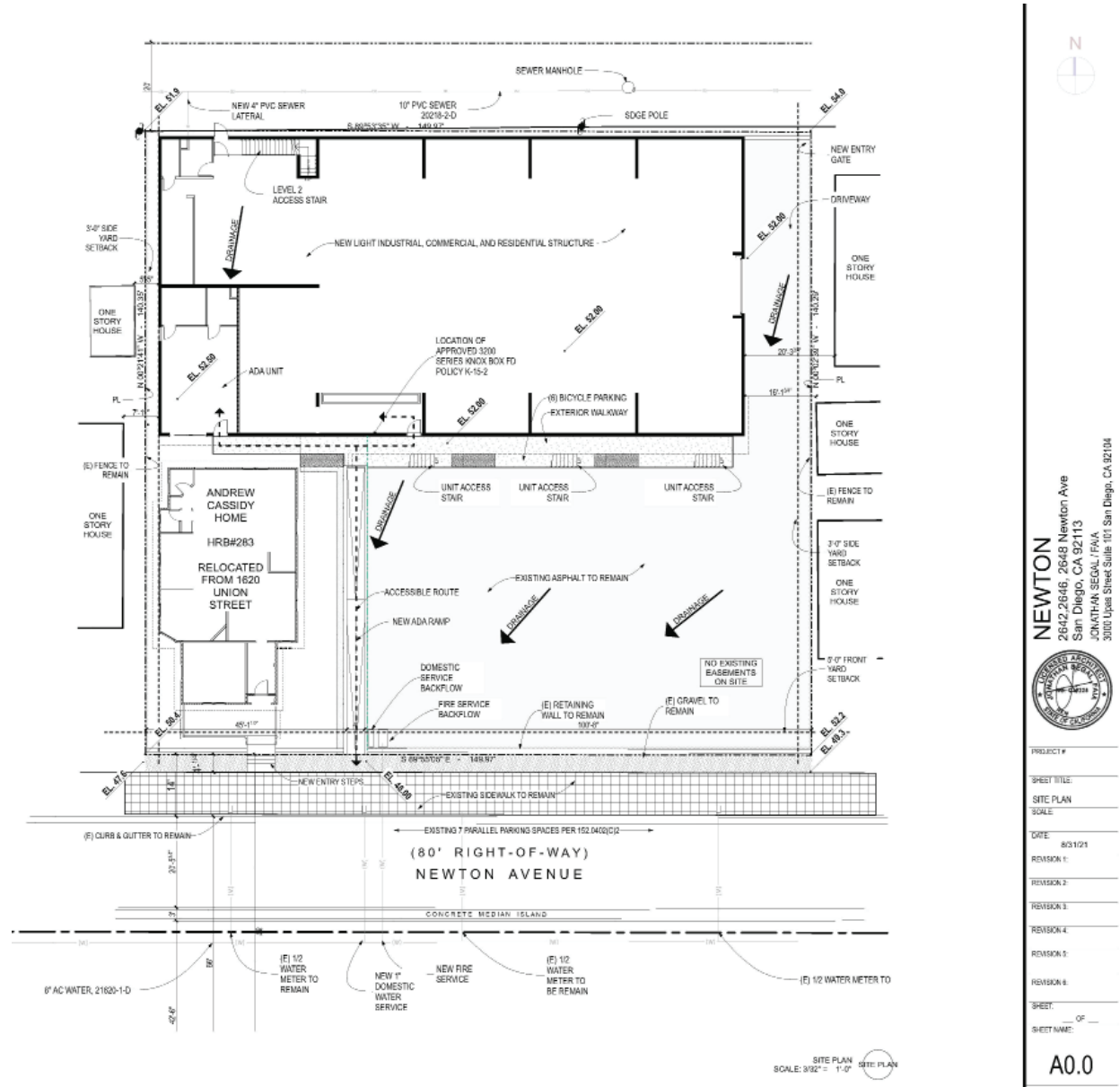


Figure 5-16: Newton Avenue Proposed Site Plan and future development. Source: Matthew Segal.

B. IDENTIFYING HISTORICAL RESOURCES OF THE BUILT ENVIRONMENT

Historical resources are recognized as part of the environment under the California Environmental Quality Act (CEQA) (PRC Sections 21002(b), 21083.2, and 21084.1). According to Public Resources Code §5020.1(j), “historical resource” includes, but is not limited to, any object, building site, area, place, record, or manuscript which is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.” More specifically, the California Environmental Quality Act (CEQA) Guidelines (Section 15064.5(a)(1-2) state that the term “historical resources” applies to such resources listed in or determined to be eligible for listing in the California Register of Historical Resources (California Register), included in a local register of historical resources, or determined to be historically significant by the Lead Agency.

The California Register is an authoritative guide to the state’s historical resources and to which properties are considered significant for purposes of CEQA. The California Register includes resources listed in or formally determined eligible for listing in the National Register of Historic Places, as well as some California State Landmarks and Points of Historical Interest. Properties of local significance that have been designated under a local preservation ordinance (local landmarks or landmark districts) or that have been identified in a local historical resources inventory may be eligible for listing in the California Register and are presumed to be significant resources for purposes of CEQA unless a preponderance of evidence indicates otherwise (PRC §5024.1, 14 CCR §4850).

Moreover, the City of San Diego’s CEQA Significance Determination Thresholds (Development Services Department, January 2011) notes that if a resource is not listed in, or determined eligible for listing in, the California Register, or not deemed significant in a historical resource survey, it may nonetheless be historically significant. The significance of a historical resource is based on the potential for the resource to meet one or more of the criteria presented below, including the potential to address important research questions as documented in a site specific technical report as part of the environmental review process.

This HRTR has identified one historic resource located within the project APE, that is the Andrew Cassidy Home.

C. PROPOSED PROJECT IMPACTSCEQA Impacts

The proposed Air Rights Tower project would result in the relocation of the Andrew Cassidy Home from the Little Italy site to a vacant lot along a residential street on Newton Avenue in Barrio Logan. The Andrew Cassidy Home will be located at the southwest corner of the parcel lot and rotated to face south along Newton Avenue.

In determining potential impacts on historical resources under CEQA, a “project with an effect that may cause a substantial adverse change in the significance of a historical resources is a project that may have significant effect on the environment” (CEQA Guidelines §15064.5). A “substantial adverse change” means “demolition, destruction, relocation, or alteration of the resource such that the significance of a historical resource would be materially impaired” [PRC §5020.1(q)]. Material impairment occurs when a project:

- Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance that justify its inclusion in, or eligibility for, listing in the California Register of Historical Resources; or
- Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significance; or
- Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. [State CEQA Guidelines, §15064.5(b)(2)]

Direct or indirect effects can occur to the eligible historical resources with the implementation of the project. Direct effects can include alteration, demolition, or removal of buildings, structures, and cultural landscape elements. Direct effects can also include the addition of new buildings, structures, or infill elements which would alter the historic setting, the site lines, or view corridors from one point to another by changing spatial relationships of buildings to each other along with landscape elements.

Implementation of the proposed project would result in significant impacts to an on-site historical resource due to the relocation of the Andrew Cassidy Home. Compliance with recommended mitigation measures would reduce the significance of impacts to a level that is less than significant.

City of San Diego's Significance Thresholds

The City of San Diego's Significance document has identified various activities that will cause damage or have an adverse effect on the resource.

1. Direct Impacts

Relocation from Original Site

The proposed project includes the relocation of the Andrew Cassidy Home to an off-site location in the Barrio Logan community.

Alteration or Repair of a Historic Structure

The relocation and exterior restoration of the Andrew Cassidy Home will be completed in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* specifically with the *Standards for Restoration (The Standards)* including removal of non-historic additions, and, therefore, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

2. Indirect Impacts

Indirect impacts were considered to determine if the project would cause the introduction of visual, audible, or atmospheric effects that are out of character with a historic resource or alter its setting.

The proposed Air Rights Tower project on Union Street is not expected to have a significant indirect or cumulative impact to historical resources due to the built-up nature of the area, new or recent development surrounding the property, lack of sensitive resources (including historic districts), and limited viewsheds. The proposed project will introduce an additional high rise to an area that has already been previously redeveloped.

The proposed project is not expected to have a significant indirect or cumulative impact to the Newton Avenue property or the surrounding street. The relocation site is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. Contextually, the new two-story, warehouse and multifamily residential structure will be constructed at the rear, north section of the Newton Avenue site with access from the alley. Per *The Standards* the new building will be set back from the primary street and its design will be differentiated from the early 20th century neighboring residential properties.

3. Mandatory Findings Significance

CEQA sets forth mandatory findings of significance addressed below.

Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of an endangered, rare or threatened species, or eliminate important examples of the major periods of California history or prehistory?

The restoration of the Andrew Cassidy Home's exterior façade at its relocated site will be conducted in accordance with *The Standards*. The Andrew Cassidy Home's role in the residential and architectural development trends of San Diego is important and will continue to convey its architectural style in its relocated environment retaining a good degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

Therefore, the proposed Air Rights Tower project along Union Street would not eliminate the resource from its architectural association as an important example of a Queen Anne style residence significant to the early residential development of San Diego history and would not, therefore, result in a mandatory finding of significance.

D. MITIGATION MEASURES

Per the City of San Diego's Land Development Manual – Historical Resources Guidelines, preferred mitigation is to avoid impacts to the resource through project redesign. If the negative impacts to the resource cannot be entirely avoided, all prudent and feasible measures to minimize harm to the resource shall be taken.

Redesign Options

Depending upon project impacts, non-demolition measures can include, but not be limited to:

- a. Preparing a historic resource management plan;

- b. Adding new construction which is compatible in size, scale, materials, color and workmanship to the historic resource (such additions, whether portions of existing buildings or additions to historic districts, shall be clearly distinguishable from historic fabric);
- c. Repairing damage according to the Secretary of the Interior's Standards for Rehabilitation;
- d. Screening incompatible new construction from view through the use of berms, walls and landscaping in keeping with the historic period and character of the resource;
- e. Shielding historic properties from noise generators through the use of sound walls, double glazing and air conditioning; and
- f. Removing industrial pollution at the source of production.

Relocation

If there are no other ways to save a building, structure, or object other than relocation, such measures shall be performed in accordance with National Park Service standards. Appropriate relocation sites shall duplicate, as closely as possible, the original location in terms of size, topography, neighborhood setting, orientation, and site landscaping.

Recordation

If the resource cannot be accommodated through project redesign, it shall be documented according to HABS/HAER/HALS standards prior to relocation. Such documentation, including a written report, photographs, and in some cases, measured drawings and videotape shall be prepared by a qualified professional to the standards determined by the National Park Service.

Prior to relocation, Secretary of Interior-qualified professionals (in history or architectural history) (36 CFR Part 61) shall perform photo-recordation and documentation consistent with the standards of the National Park Service (NPS) Historic American Buildings Survey (HABS) documentation. HABS documentation is described by the NPS as "the last means of preservation of a property; when a property is to be demolished, its documentation provides future researcher access to valuable information that otherwise would be lost." The HABS record for the Andrew Cassidy Home shall consist of measured drawings, digital photographs, and written data that provide a detailed record that reflects the Andrew Cassidy's historical significance. Following completion of the HABS documentation and approval by the Historical Resources Board (HRB), the materials shall be placed on file with the City, San Diego History Center, and the San Diego Central Library.

Interpretive Signage or Display Panels

Interpretive Signage, Display Panels/Plaques, Murals – Installation of interpretive signs, display panels, and/or wall mural in a publicly visible location that describe the history and significance of Andrew Cassidy Home. The interpretive signage and its location within the new project must be approved by the City's Historical Resources staff and shall include historic photographs and a brief narrative describing the history and significance of the resource. The signage or mural shall be displayed/installed in an appropriate public or open space area within the Newton Avenue site.

Other Mitigation Opportunities

Salvaged Materials - Prior to relocation, distinctive representative architectural features shall be identified, and if feasible, salvaged for reuse in relation to the proposed plan, or perhaps removed to another location on site as provided in *The Secretary of the Interior's Standards*. If reuse onsite is not

feasible, opportunities shall be made for the features to be donated to various interested historical or archival depositories.

E. CONCLUSION

The proposed Air Rights Tower project would result in a significant direct impact to the historical resource, the Andrew Cassidy Home, because of its relocation. Mitigation measures would reduce impacts to the historical resource to less than significant since the new location is situated within a similar residential block in the Barrio Logan community that is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* will be conducted on the relocated resource which will enable the building to continue to convey its architecture, retaining a high degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

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SECTION VII APPENDICES

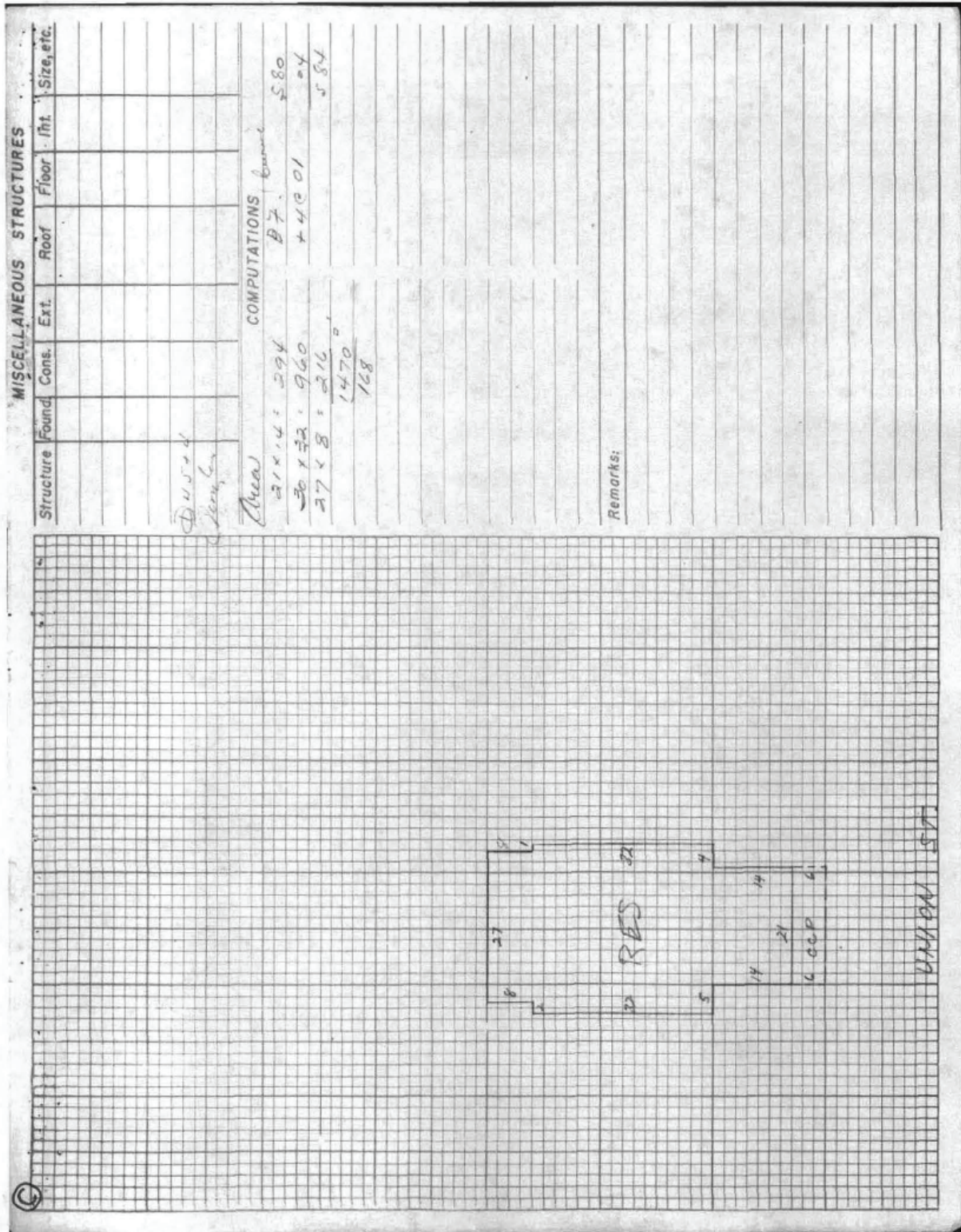
- A. BUILDING DEVELOPMENT INFORMATION**
- B. OWNERSHIP AND OCCUPANT INFORMATION**
- C. MAPS**
- D. DPR FORM**
- E. PREPARERS QUALIFICATIONS**

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A. BUILDING DEVELOPMENT INFORMATION

1. County Assessor's Building Record
2. Notice of Completion
3. Water/Sewer Connection Records
4. Construction Permits
5. Lot Block Book Page
6. Previous Historical Resources Survey Forms

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Notice of Completion not available.

2. Notice of Completion.

Information not available.

3. Water/Sewer Connection Records.

214557

General Application

City of San Diego
 Development Services
 1222 First Ave., MS-301
 San Diego, CA 92101-4154
 (619) 446-5000
 www.ci.san-diego.ca.us/development-services

1. Approval Type: • Construction Permits: Structure Grading Public Right-of-Way; • Electrical • Plumbing/Mechanical
 • Sign • Subdivision • Demolition/Removal • Development Permits: Neighborhood Use Coastal Neighborhood
 Development Site Development Planned Development Conditional Use Variance • Other _____

2. Project Address: Include Building or Suite No. 1620 UNION ST Project Title: CCDC Area 1 Ph 2 Job 2 UUD Project No. For City Use Only _____

Lot No. _____ Block No. _____ Subdivision Name _____ Unit No. _____ Map No. _____

Existing Use: Commercial Parcel No. 533-353-11-00 Parcel Map No. _____ Assessor's Parcel No. _____

Project Description: Underground Utility District Total Floor Area _____

3. Designer name _____ Address _____ City _____ State _____ Zip Code _____ Telephone _____ License Number _____

4. Applicant Name Please check one Contractor Agent for Contractor Owner Agent for Owner Fax Number _____
Southern Contracting Company

Address 559 North Twin Oaks Valley Road City San Marcos State CA Zip Code 92069 Telephone 760-744-0760

5. Property Owner/Lessee/Tenant Name Please check one Owner Lessee or Tenant Fax Number _____
WILLIAM PETERSON

Address 3936 BAYSIDE WALK City SAN DIEGO State CA Zip Code 92109 Telephone 6947

6. Contractor Name (not required for development permits) Fax Number _____
Southern Contracting Company

Address North Twin Oaks Valley Road City San Marcos State CA Zip Code 92069 Telephone 760-744-0760

State License No. 222252 License Class A, C10 City Business Tax No. B1974004617


Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
 Signature [Signature] Title _____ Date 3/31/05


7. Workers' Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:
 a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued
 b. I have and will maintain workers' compensation as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are
 Insurance Company Ulico Casualty Company Policy No. WC437636300 Expiration Date 10/1/05
 c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions
 Signature [Signature] Date 3/31/05

Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided in Section 371.5 of the Labor Code, interest, and attorney's fees

8. Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, maintain or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500)]
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law.)
 I am exempt under Section _____ B.&P.C. for this reason _____ Date _____

Approval	 THE CITY OF SAN DIEGO Development Services Department 1222 1st Avenue, San Diego, CA 92101-4154	8/4/21 12:40 pm Page 1 of 1
L64A-005		

Project Information			
Project Nbr: 447399	Title: PVS 1620 Union St		
Project Mgr: Muz, Emerald	(619)446-5457	Muze@san Diego.gov	

Approval Information			
Approval Nbr: 15 64712	Type: Electrical-Photovoltaic	Status: Issued	
Issued: 01/05/2016 10:53 am	Issued By: Muz, Emerald	Permit Holder: Ray, Dennis - Smart Energy Solar	
Completed:	Completed By:	Owner Occupied: <input type="checkbox"/>	Overridden: <input type="checkbox"/>
Extension Qty: 0	Extended By:	Cancel Reason:	
Scope: Electrical permit to install a roof mounted photovoltaic system for SDU		Precancel Status:	
		Land Doc Type:	
		Recorded Map No.:	
		Recorded Date:	

Job Location (1620 UNION ST)	
<u>Address</u> 1620 UNION ST	<u>Assessor Parcel</u> 533-353-1100

Fee	Quantity	Unit	Category
Issuance NoPlans/Other	1.00	Each	Issuance Fees
Photovoltaic-SDU/Duplex BP	1.00	Each	Issuance Fees
Photovoltaic-SDU/Duplex PC	1.00	Each	Plan Check Fees
Records-No Plan Permits/Other	1.00	Each	Issuance Fees
Travel-Doc-Replac/Remod/Add	1.00	Floors	Issuance Fees

The San Diego County Assessor Lot Block Book Page shows the first year with assessed improvements as being 1890.

5. Lot Block Book Page.

ANDREW CASSIDY HOME - 1620 UNION STREET

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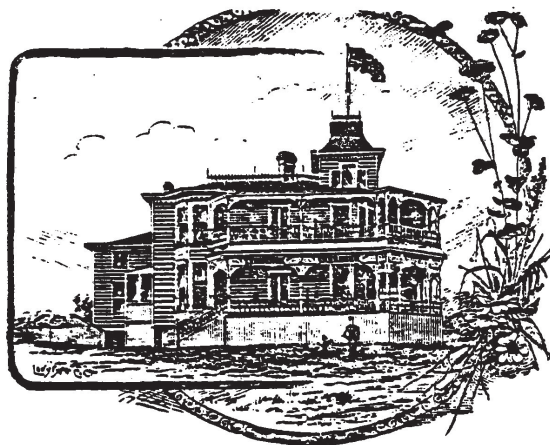
Block Lot	Map	Block	Lot	Area	Owner	Area	Owner	
30	1888	30	1	700	A. E. Horton	1888	1	A. E. Horton
			2	700	Unknown		2	Unknown
			3	700	Unknown		3	Unknown
			4	700	F. F. Fugate		4	Unknown
			5	700	Unknown		5	Unknown
			6	700	A. E. Horton		6	Unknown
			7	700	James Kennedy		7	Unknown
			8	700	Unknown		8	Unknown
			9	700	Unknown		9	Unknown
			10	700	James Kennedy		10	Unknown
			11	700	Unknown		11	Unknown
			12	700	Unknown		12	Unknown
31		31	1	700	A. E. Horton		1	Unknown
			2	700	Unknown		2	Unknown
			3	700	Unknown		3	Unknown
			4	700	Unknown		4	Unknown
			5	700	Unknown		5	Unknown
			6	700	Unknown		6	Unknown
			7	700	Unknown		7	Unknown
			8	700	Unknown		8	Unknown
			9	700	Unknown		9	Unknown
			10	700	Unknown		10	Unknown
			11	700	Unknown		11	Unknown
			12	700	Unknown		12	Unknown
32		32	1	700	Unknown		1	Unknown
			2	700	Unknown		2	Unknown
			3	700	Unknown		3	Unknown
			4	700	Unknown		4	Unknown
			5	700	Unknown		5	Unknown
			6	700	Unknown		6	Unknown
			7	700	Unknown		7	Unknown
			8	700	Unknown		8	Unknown
			9	700	Unknown		9	Unknown
			10	700	Unknown		10	Unknown
			11	700	Unknown		11	Unknown
			12	700	Unknown		12	Unknown
33	1887	33	1	700	W. T. M. Neely	1887	1	W. T. M. Neely
			2	700	W. C. J. Carson		2	W. C. J. Carson
			3	700	Charles A. Williams		3	Charles A. Williams
			4	700	Unknown		4	Unknown
			5	700	A. P. Dingus		5	A. P. Dingus
			6	700	Unknown		6	Unknown
			7	700	W. C. J. Carson		7	W. C. J. Carson
			8	700	Unknown		8	Unknown
			9	700	James Kennedy		9	James Kennedy
			10	700	Unknown		10	Unknown
			11	700	W. C. J. Carson		11	W. C. J. Carson
			12	700	Unknown		12	Unknown
			13	700	Unknown		13	Unknown
			14	700	Unknown		14	Unknown
			15	700	Unknown		15	Unknown
			16	700	Unknown		16	Unknown
			17	700	Unknown		17	Unknown
			18	700	Unknown		18	Unknown
			19	700	Unknown		19	Unknown
			20	700	Unknown		20	Unknown
			21	700	Unknown		21	Unknown
			22	700	Unknown		22	Unknown
			23	700	Unknown		23	Unknown
			24	700	Unknown		24	Unknown
			25	700	Unknown		25	Unknown
			26	700	Unknown		26	Unknown
			27	700	Unknown		27	Unknown
			28	700	Unknown		28	Unknown
			29	700	Unknown		29	Unknown
			30	700	Unknown		30	Unknown
			31	700	Unknown		31	Unknown
			32	700	Unknown		32	Unknown
			33	700	Unknown		33	Unknown
			34	700	Unknown		34	Unknown
			35	700	Unknown		35	Unknown

Block	Lot	1890	1891	1890	1891	Block	Lot	1890	1891	Value of Real Estate
176	1	Wm. Ketchum	Wm. Ketchum	400	400	177	1	Wm. Ketchum	400	400
	2	Wm. Ketchum	Wm. Ketchum	475	475		2	Wm. Ketchum	475	475
	3	Wm. Ketchum	Wm. Ketchum	240	240		3	Wm. Ketchum	240	240
	4	Wm. Ketchum	Wm. Ketchum	190	190		4	Wm. Ketchum	190	190
	5	Wm. Ketchum	Wm. Ketchum	190	190		5	Wm. Ketchum	190	190
	6	Wm. Ketchum	Wm. Ketchum	190	190		6	Wm. Ketchum	190	190
	7	Wm. Ketchum	Wm. Ketchum	190	190		7	Wm. Ketchum	190	190
	8	Wm. Ketchum	Wm. Ketchum	190	190		8	Wm. Ketchum	190	190
	9	Wm. Ketchum	Wm. Ketchum	190	190		9	Wm. Ketchum	190	190
	10	Wm. Ketchum	Wm. Ketchum	190	190		10	Wm. Ketchum	190	190
	11	Wm. Ketchum	Wm. Ketchum	190	190		11	Wm. Ketchum	190	190
	12	Wm. Ketchum	Wm. Ketchum	190	190		12	Wm. Ketchum	190	190
177	1	Wm. Ketchum	Wm. Ketchum	400	400	178	1	Wm. Ketchum	400	400
	2	Wm. Ketchum	Wm. Ketchum	475	475		2	Wm. Ketchum	475	475
	3	Wm. Ketchum	Wm. Ketchum	240	240		3	Wm. Ketchum	240	240
	4	Wm. Ketchum	Wm. Ketchum	190	190		4	Wm. Ketchum	190	190
	5	Wm. Ketchum	Wm. Ketchum	190	190		5	Wm. Ketchum	190	190
	6	Wm. Ketchum	Wm. Ketchum	190	190		6	Wm. Ketchum	190	190
	7	Wm. Ketchum	Wm. Ketchum	190	190		7	Wm. Ketchum	190	190
	8	Wm. Ketchum	Wm. Ketchum	190	190		8	Wm. Ketchum	190	190
	9	Wm. Ketchum	Wm. Ketchum	190	190		9	Wm. Ketchum	190	190
	10	Wm. Ketchum	Wm. Ketchum	190	190		10	Wm. Ketchum	190	190
	11	Wm. Ketchum	Wm. Ketchum	190	190		11	Wm. Ketchum	190	190
	12	Wm. Ketchum	Wm. Ketchum	190	190		12	Wm. Ketchum	190	190

Historic Resources Inventory
for Middletown Area, San Diego, California

Completed by the University of San Diego, January 1981

Dr. Ray Brandes, Project Director



RESIDENCE OF HON. A. E. HORTON, MIDDLETOWN HEIGHTS

6. Previous Historical Resource Survey Forms.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

HABS _____		HAER _____		NR _____		SHL _____		Loc _____	
UTM: A _____		B _____		C _____		D _____			

H1620:1

IDENTIFICATION:

- 1.COMMON NAME:.....Godwin Residence.....
- 2.HISTORIC NAME:.....Andrew Cassidy Home.....
- 3.STREET OR RURAL ADDRESS:....1620 Union Street.....
CITY:..San Diego.....ZIP:92101.COUNTY:San Diego
- 4.PARCEL NUMBER:.....533-353-11.....
- 5.PRESENT OWNER:..Mark and Deborah Godwin.....
ADDRESS:.....1620 Union Street.....
CITY:.....San Diego.....ZIP:.....92101.....
OWNERSHIP IS: PUBLIC.....PRIVATE:.....XX.....
- 6.PRESENT USE:.....June's Attorney Service.....
ORIGINAL USE:.....Residence.....

DESCRIPTION:

7A:ARCHITECTURAL STYLE:..Queen Anne Cottage.....

7B:BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION
OF THE SITE OR STRUCTURE AND DESCRIBE ANY MAJOR AL-
TERATIONS FROM ITS ORIGINAL CONDITION:

This one and one-half story Queen Anne cottage has a front
veranda with gingerbread trim and decorative shingles on
the gable end above. The landscaping is poor.

Legal Description: Middletown Block 33, lot 8.

Include within proposed historic district.

.....8.CONSTRUCTION DATE:
ATTACH PHOTO(S) HERE: EST:.....C1888.....
FACTUAL:.....



- .9.ARCHITECT:....Unknown.....
- .10.BUILDER:..Unknown.....
- .11.APPROX.PROP.SIZE(IN FT):
FRONTAGE:.....50.....
DEPTH:.....100.....
OR APPROX.ACREAGE:
.....
- .12.DATE(S) OF ENCLOSED
PHOTOGRAPH(S):
.....October 1979.....

DPR 523 (Rev. 4/79)

ANDREW CASSIDY HOME - 1620 UNION STREET

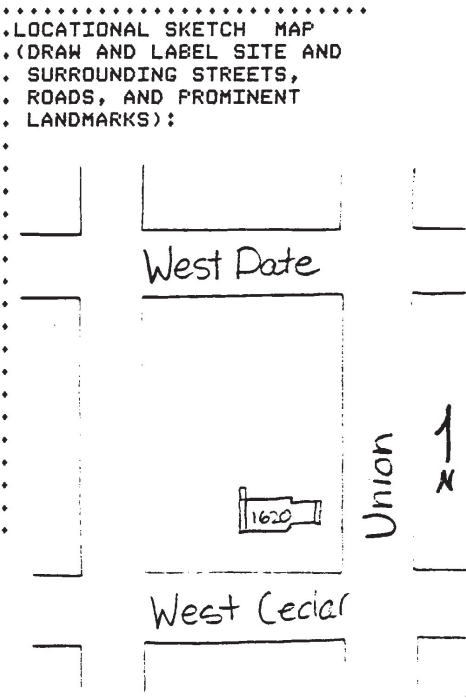
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- 13.CONDITION: EXCELL...GOOD.X.FAIR...DETERIORATED.....
NO LONGER IN EXISTENCE.....
- 14.ALTERATIONS:.....Wrought iron railings.....
- 15.SURROUNDINGS:(CHK MORE THAN ONE IF NECESSARY)
OPEN LAND...SCATTERED BLDGS...DENSELY BUILT-UP...X.....
RESID..X.INDUST...COM'L.X..OTHER.....
- 16.THREAT TO SITE:NONE KNOWN.X..PVT DEVEL...ZONING.....
VANDALISM...PUBLIC WORK PROJECT...OTHER.....
- 17.IS STRUCT.:ON ITS ORIG SITE?.X.MOVED?...UNKNOWN?.....
- 18.RELATED FEATURES:.....
- SIGNIFICANCE
- 19.BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE
(INCLUDE DATES,EVENTS,AND PERSON ASSOC. WITH THE SITE.)
This house is included within the proposed Historic District and is an example of the vanishing Queen Anne style cottages in San Diego. Between 1877 and 1933, lot 8 changed hands ten times: Wm. Jorres, (1886) R.B.Wiseman, (1889) Andrew Cassidy, (1904) Richard O'Neill, (1911) Alice McDade, (1922) Mary Baumgartner, (1926) O. E. Goshert, (1927) G. G. Olson, (1929) Marie Lauter, and (1933) Thomas Brownlow. Two water permits were issued: #1745 during the time Cassidy owned the place and #1747 prior to July 1, 1888. A sewer permit #1407 was issued to George Merritt on June 22, 1893. The only listing in the directories is from 1923 when Oakley R. Lawton, a clerk for the Russ Lumber Mill Company, and Grace Lawton lived there.
- 20.MAIN THEME OF THE HISTORIC RESOURCE:(IF MORE THAN ONE IS CHKD, NUMBER IN ORDER OF IMPORTANCE.)
ARCHITECT.X.ARTS & LEISURE...
ECONOMIC/INDUSTRIAL.....
EXPLORATION/SETTLEMENT.....
GOVT...MILITARY...RELIG...
SOCIAL/EDUCATION.....
21.SOURCES(LIST BOOKS,DOCUMENTS, PERSONAL INTERVIEWS,AND THEIR DATES).
Title Insurance Co.
1921 Sanborn Fire Map
22.DATE FORM PREPARED.Spring'80.
BY(NAME)...University of...
ORGANIZATION..San Diego.....
ADDRESS..Alcala Park.....
CITY..San Diego...ZIP.92110..
PHONE..(714) 293-4800.....



HISTORIC SITE INVENTORY OF
HARBORVIEW

VOLUME II

INDIA STREET TO UNION STREET

ANDREW CASSIDY HOME - 1620 UNION STREET

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IDENTIFICATION

1. COMMON NAME: June's Attorney Service
2. HISTORIC NAME: Andrew Cassidy Home
3. ADDRESS: 1620 Union Street CITY: San Diego
ZIP: 92101
4. PARCEL #: 533-353-11
5. PRESENT OWNER: Deborah Godwin
ADDRESS: 1620 Union Street CITY: San Diego
ZIP: 92101 OWNERSHIP IS: PUBLIC: PRIVATE: X
6. PRESENT USE: Residence/Commercial
ORIGINAL USE: Residence

DESCRIPTION

- 7A. ARCHITECTURAL STYLE: Queen Anne Cottage
- 7B. BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION.

Legal Description: Middletown, Block 33, Lot 8.

This asymmetrical, single-storied cottage has a combined front gable and hipped roof. The front porch, which extends across the front of the house, has a separate hipped roof, supported by turned posts with spindlework between them. Diamond shaped shingles were used for siding inside the front gable end and on the porch roof. Clapboarding was used for all other exterior wall surfaces. Portions of the front porch railing have been restored and extended. Windows chosen for the cottage were double hung sash. The sill of each window is supported by brackets. A bay window was designed for the south corner of the house. The front door was placed at the north end of the porch. This cottage retains most of its original integrity of design.



8. CONST. DATE: 1888
EST: FACT: X
9. ARCHITECT:
Unknown
10. BUILDER:
Unknown
11. APPROX. PROP. SIZE(FT):
50' x 100'
12. DATE OF PHOTO:
1988

TENTATIVE RANK: 2

SIGNIFICANCE: This asymmetrical single-story cottage is significant because of its Queen Anne design, and is an example of the type of structure created for residences to accommodate the influx of people during the 1880's "boom" period.

77

- 13. CONDITION: Excell Good X Fair Deteriorated
No longer in existence
- 14. ALTERATIONS: Wrought iron railings.
- 15. SURROUNDINGS:
Open Land Scattered Bldgs Densely built-up?
Resid X Indust Com'l Other
- 16. THREATS TO SITE: None known Pvt devel X Zoning
Vandalism Public Works Project Other
- 17. IS STRUCTURE: On its orig site? X Moved? Unknown?
- 18. RELATED FEATURES: Neighborhood atmosphere.

SIGNIFICANCE

19. BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE

Andrew Cassidy, retired, erected this structure for use as a rental in 1888. Throughout the years, it has been leased to various tenants through the present day. This Victorian cottage is a good example of architecture of the latter 1880s constructed for the influx of people seeking shelter in San Diego following the transcontinental railroad connection.

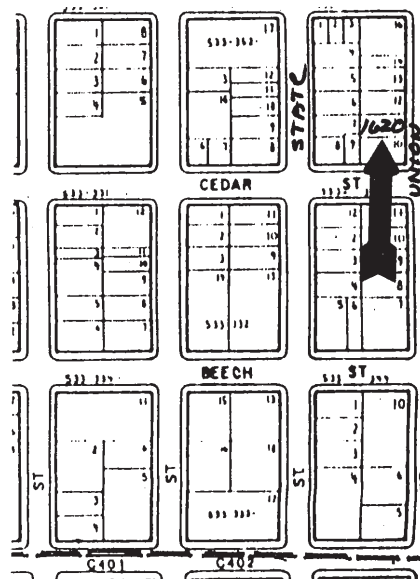
- 20. MAIN THEME OF THE HISTORIC RESOURCE: (IN ORDER OF IMPORTANCE).
Architecture X Arts & Leisure
Economic/Industrial
Exploration/Settlement
Govt Military Religion
Social/Education

- 21. SOURCES(BOOKS, DOCUMENTS, PERSONAL INTERVIEWS, AND THEIR DATES).

San Diego City Directories, Office of San Diego County Recorder

- 22. DATE FORM PREPARED: 2/14/89
BY: "Lia/Brandes Team"
ADDRESS: 427 C Street, Ste 310
CITY: San Diego, CA ZIP: 92101
PHONE: (619) 235-9766

LOCATIONAL SKETCH MAP





The City of San Diego

HISTORICAL SITE BOARD

CITY ADMINISTRATION BUILDING • COMMUNITY CONCOURSE MS4A • SAN DIEGO, CALIF. 92101

REPORT

DATE: June 21, 1990

ATTENTION: Historical Site Board, Agenda of June 27, 1990

SUBJECT: HARBORVIEW/LITTLE ITALY HISTORIC DESIGNATIONS

BACKGROUND:

At the May 23 meeting, the Historical Site Board selected 37 properties from the Lia/Brandes historic inventory of Harborview/Little Italy (see salmon colored booklets) to be considered at this meeting for possible historic designation. Additionally, the Board identified another 9 buildings and 3 street features (sidewalk markers and horse rings) that it wanted staff to research and provide information for the Board's consideration.

The Board also created a subcommittee to meet with members of the Harborview community about alternative methods to achieve preservation goals within the community. The subcommittee was instructed to report the results of its meeting with the community group at the next Board meeting.

There have been two meetings of the Board's subcommittee and a third is planned for Tuesday evening, June 26, at 5:30 p.m. at the Office of the City Architect. Copies of the preliminary proposal put forward by architects Rob Quigley and Tony Cutri are attached to this report. It is expected that some refinement to this proposal will be made at the next subcommittee meeting and the Board will see a final version of the proposal at its meeting on June 27.

Two property owners have requested a continuance on the consideration of their properties. One because she will be out of town until September, the other because she is attempting to settle a deceased mother's estate (see attached letters). Staff recommends that the Board grant these requests for continuance.

Another attorney has suggested that the inventory sheets are not adequate for the Board to designate from (see attached letter). The contention is that the inventory sheets do not contain the information required in a regular designation report according to the Board's policy.

While inventory sheets are generally not as all-inclusive as a narrative report, the information contained thereon covers the substantive information required by the Board's policy. Subject to a Board decision, on a case by case basis, that more information is required, staff believes that the use of inventory sheets is a correct and proper procedure upon which to base historic designation of property. It is not without precedent in the City of San Diego or other cities

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across the state. The information inventory forms are adequate for making determinations of National Register significance. It is absurd to suggest that the Board should not also use them.

This report will deal with staff recommendations on which properties the Board should designate. The alternative preservation proposals of the Harborview community on how they would like to see designations take place are attached to this report. Analysis of the policy issues that stem from the designations and the proposed alternative preservation proposals will be distributed at the Board's meeting.

ANALYSIS:

There are a few parameters that the Board should be cognizant of in arriving at a decision about whether or not to designate (individually or as a part of a district) any of the properties that it identified at the last meeting. First, the Harborview community has long been recognized as having the largest remaining concentration of Victorian homes in the downtown area. These are not homes of the quality of the Villa Montezuma, Long-Waterman House or the Quartermass-Wilde House. They are however surviving examples of modest housing stock of the period and are important because San Diego, in comparison to other major west coast cities, possesses a very limited stock of Victorian architecture.

Some of the properties have been moved from their original location and that original location is often unknown. Most of these moves occurred many years ago and, if the architecture is what make the building significant, the fact that the building was moved is inconsequential.

Some of the properties are associated with the Italian community either through use and/or ownership. To the extent that the property and its association with the Italian community exemplifies broad cultural, economic or social history of the community, the property can be considered significant. Mere ownership by an Italian family of little historic importance is not considered to imbue a property with a strong historic association.

STAFF RECOMMENDATION ON PROPERTIES:

With only the noted exceptions, corrections and comments, staff recommends the designation of the properties identified by the Board for consideration.

1747-53 India Street - Filippi's

Staff recommends only designation of the south facade. The north facade is too greatly altered.

2044 Kettner Boulevard - The Waterfront

As noted in the attached CCDC letter, the Board should designate only the structure and not the remainder of the property.

2368-2400 Kettner Blvd. - Dryer's Furniture Company

Staff does not recommend designation. This group of buildings has been significantly altered. The architecture has been so homogenized that the buildings do not retain sufficient integrity to warrant their designation.

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1631-1647 State Street - Faiola Court

Staff does not recommend designation. This residential court complex is not significant for its architectural style or period or because of its association with Frank Dimarja. There are better and more unique examples of residential court developments throughout the city.

1632-1668 State Street - Victorian Residences and Our Lady of the Rosary Church

This row of Victorian residences and the church should be treated as a historic district.

1610-1654 Union Street - Victorian Residences

This row of Victorian residences should also be treated as a historic district.

Other properties that the Board expressed interest in:

State of California Garage - Ash and Columbia

This structure is outside of the Harboview/Little Italy survey area and will be reviewed with the core area of Centre City.

Moderne Residences - 429 West Elm Street

These three 1939 Moderne residences are interesting examples of the style. They retain their integrity and the porthole vents and windows give the residences a unique character.

Kelly Laundry - 705 West Grape Street

This Streamline Moderne commercial/industrial complex has an interesting but not significant history. In a restored condition it would be a good example of the Streamline Moderne style but staff does not find it significant for the study of the style, period or its history.

Centre City Automotive - 2355-2365 India Street

This Spanish Colonial Revival structure has been a garage and, for a brief time, a Safeway market. It has no important historical associations and is not a significant example of the architectural style. Staff does not recommend designation.

Auto Tops - 2360 India Street

This Streamline Moderne commercial structure is not a significant example of the style and it is not historically important.

Beardsley Automotive - 2119 Kettner Blvd.

This 1929 Mission Revival style industrial building was the location for the Pacific Technical University from 1929-1932. It was owned by and associated with the Defalco grocery chain from 1934 through 1961. The building is a good example of the Mission Revival style. Staff believes it should have been included in the survey but does not believe it is significant enough to designate.

Haulman Welding - 2266 Kettner Blvd.

This 1946 corrugated metal industrial building is neither historically nor architecturally significant.

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Z'lac Rowing Club (Dirty Dan's) - 2431 Pacific Highway

Unfortunately, the Z'lac Rowing Club lost their clubhouse to the County for back taxes. It was sold and moved to this location on Pacific Highway in 1932 and became a series of restaurants and bars. The building has been altered beyond recognition and staff does not recommend its designation.


Thomas Hackett House (Las Consuela's) - 1566 State Street

Staff thought that this property had been associated with Agostin Haraszthy, County Sheriff in 1850-51. This was inaccurate. The building is a much altered Victorian residence surveyed in 1980. Staff does not recommend its designation based on the stucco addition that has been added to the front of the house.

Staff also recommends that the Board reconsider and designate the San Diego Macaroni Factory located at 2308 Kettner. This industrial building has considerable historic association with the Italian community and importance as an ethnic economic enterprise. It is basically unaltered except for new aluminum windows and doors across the front and partially along the south facades. It also has very good adaptive reuse potential.

Staff additionally recommends that the Board reconsider and also designate the Dominick Ghio Home at 1760 State Street. The two Victorian properties to the north of this house are being considered. The Ghio Home is virtually unaltered and has a contextual relationship with the other properties which unlike the Ghio Home were moved to their current location (see attached 1980 inventory sheet).

Staff also believes that the Elizabeth Randall Rental at 1620 State Street should be considered by the Board. It is similar to the situation described above for the Ghio Home.


for Ron Buckley
Secretary to the
Historical Site Board

RB:ls

Attachments:

1. Letters requesting continuance (2).
2. June 9, 1990 letter from Marie B. Lia.
3. May 31, 1990 letter from CCDC.
4. Harborview community recommended alternative preservation solutions.
5. 1980 Inventory sheet on Thomas Hackett Home.
6. 1980 Inventory sheet on Dominick Ghio Home.

ANDREW CASSIDY HOME - 1620 UNION STREET

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IDENTIFICATION

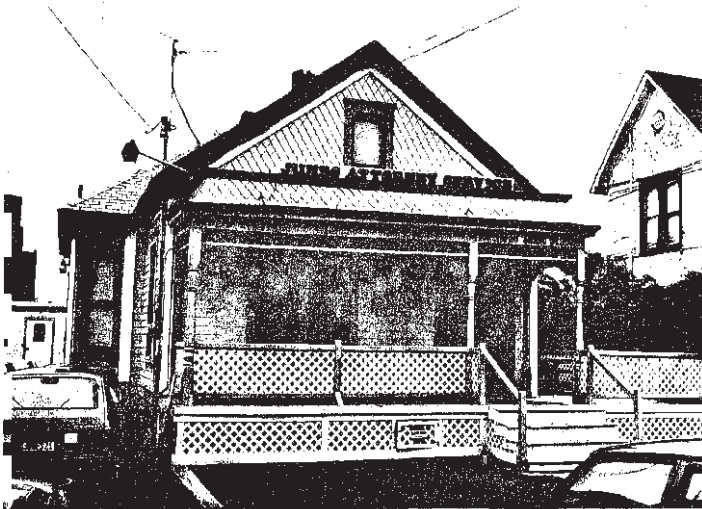
1. COMMON NAME: June's Attorney Service
2. HISTORIC NAME: Andrew Cassidy Home
3. ADDRESS: 1620 Union Street CITY: San Diego
ZIP: 92101 4. PARCEL #: 533-353-11
5. PRESENT OWNER: Deborah Godwin
ADDRESS: 1620 Union Street CITY: San Diego
ZIP: 92101 OWNERSHIP IS: PUBLIC: PRIVATE: X
6. PRESENT USE: Residence/Commercial
ORIGINAL USE: Residence

DESCRIPTION

- 7A. ARCHITECTURAL STYLE: Queen Anne Cottage
- 7B. BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION.

Legal Description: Middletown, Block 33, Lot 8.

This asymmetrical, single-storied cottage has a combined front gable and hipped roof. The front porch, which extends across the front of the house, has a separate hipped roof, supported by turned posts with spindlework between them. Diamond shaped shingles were used for siding inside the front gable end and on the porch roof. Clapboarding was used for all other exterior wall surfaces. Portions of the front porch railing have been restored and extended. Windows chosen for the cottage were double hung sash. The sill of each window is supported by brackets. A bay window was designed for the south corner of the house. The front door was placed at the north end of the porch. This cottage retains most of its original integrity of design.



8. CONST. DATE: 1888
EST: FACT: X
9. ARCHITECT:
Unknown
10. BUILDER:
Unknown
11. APPROX. PROP. SIZE(FT):
50' x 100'
12. DATE OF PHOTO:
1988

TENTATIVE RANK: 2

SIGNIFICANCE: This asymmetrical single-story cottage is significant because of its Queen Anne design, and is an example of the type of structure created for residences to accommodate the influx of people during the 1880's "boom" period.

77

- 13. CONDITION: Excell Good X Fair Deteriorated
No longer in existence
- 14. ALTERATIONS: Wrought iron railings.
- 15. SURROUNDINGS:
Open Land Scattered Bldgs Densely built-up?
Resid X Indust Com'l Other
- 16. THREATS TO SITE: None known Pvt devel X Zoning
Vandalism Public Works Project Other
- 17. IS STRUCTURE: On its orig site? X Moved? Unknown?
- 18. RELATED FEATURES: Neighborhood atmosphere.

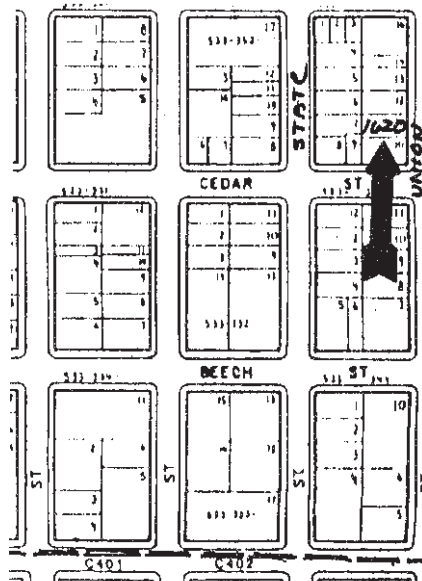
SIGNIFICANCE

19. BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE

Andrew Cassidy, retired, erected this structure for use as a rental in 1888. Throughout the years, it has been leased to various tenants through the present day. This Victorian cottage is a good example of architecture of the latter 1880s constructed for the influx of people seeking shelter in San Diego following the transcontinental railroad connection.

- 20. MAIN THEME OF THE HISTORIC RESOURCE: (IN ORDER OF IMPORTANCE).
Architecture X Arts & Leisure
Economic/Industrial
Exploration/Settlement
Govt Military Religion
Social/Education

LOCATIONAL SKETCH MAP



- 21. SOURCES (BOOKS, DOCUMENTS, PERSONAL INTERVIEWS, AND THEIR DATES).
San Diego City Directories, Office of San Diego County Recorder

- 22. DATE FORM PREPARED: 2/14/89
BY: "Lia/Brandes Team"
ADDRESS: 427 C Street, Ste 310
CITY: San Diego, CA ZIP: 92101
PHONE: (619) 235-9766

ANDREW CASSIDY HOME/JUNE'S ATTORNEY SERVICE

1620 UNION STREET

This single-story Queen Anne style cottage was built in 1888 for Mr. Andrew Cassidy, a retiree. It is an example of the type of residences constructed to accommodate the influx of people during the later 1880's boom period following the completion of the transcontinental railroad connection. The house is significant because it reflects Victorian era craftsmanship and ornamentation and is part of a larger collection of significant Victorian houses. The inventory consultants also recommended its designation.

The Historical Site Board designated the house based on its Queen Anne style cottage design and its contribution to the collection of houses on the block.



Cassidy Home
1620 Union Street
4/11/2002

HSB# 283



ANDREW CASSIDY HOME - 1620 UNION STREET

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RESOLUTION NUMBER R - 90082213

ADOPTED ON AUGUST 22, 1990

WHEREAS, the Historical Site Board for the City of San Diego held a noticed public hearing on August 22, 1990 to consider the historical site designation of the Andrew Cassidy Home located at 1620 Union Street (APN 533-353-11); and

WHEREAS, in arriving at their decision, the Historical Site Board considered the Centre City Inventory form prepared by the consultants to CCDC, the various staff reports and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the Planning Department report recommended that the site be designated as Site No. 283 in the Register of Historic Landmarks by the Historical Site Board; and

WHEREAS, the Historical Site Board based its designation of the Andrew Cassidy Home on its architectural significance as a good example of Queen Anne cottage design and as a part of a significant, intact collection of Victorian houses still on their original sites which reflect the early development of downtown at the turn of the century.

NOW, THEREFORE,

BE IT RESOLVED, by the Historical Site Board for the City of San Diego, that in light of the foregoing, it hereby approves the historical site designation of the above mentioned property, the site and exterior of the building being specifically designated, as Site No. 283. Additionally, the building should remain on-site as part of the significant collection of Victorian structures.


Vote: 10-0

BY:


KATHRYN C. WILLETTS
Chair, Historical Site Board

APPROVED AS TO FORM AND
LEGALITY: JOHN W. WITT,
CITY ATTORNEY

BY:


ALLISYN L. THOMAS
Deputy City Attorney

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B. OWNER AND OCCUPANT INFORMATION

1. Chain of Title
2. City Directory
3. Copy of Deed from Date of Construction

[This page intentionally left blank.]

California Lot Book, Inc., dba California Title Search Co.
CTS Reference No.: 0821

Chain of Title
 (November 26, 1889 through August 5, 2021)

1. Grant Deed

Grantor: Margaret J. O’Kane, Patrick Kerr and Sarah A. Kerr
 Grantee: Andrew Cassidy
 Recorded: November 26, 1889, Deed Book 157, Page 5

2. The San Diego County Assessor Lot Block Book Page shows the first year with assessed improvements as being 1890.

3. Grant Deed

Grantor: Andrew Cassidy
 Grantee: Richard O’Neill
 Recorded: September 21, 1895, Deed Book 243, Page 219

4. Grant Deed

Grantor: Andrew Cassidy
 Grantee: Richard O’Neill
 Recorded: May 24, 1904, Deed Book 345, Page 219

5. Decree Settling Final Account and Report of Executor and Making Final Distribution of the Estate of Testator

Estate of: Richard O’Neill
 Distributed to: Alice T. McDade, Jerome O’Neill and Mary A. Baumgartner
 Recorded: July 7, 1911, #3483, Deed Book 528, Page 89

6. Grant Deed

Grantor: Mary A. Baumgartner, Alice T. McDade and Jerome O’Neill
 Grantee: Union Trust Company of San Diego
 Recorded: August 14, 1922, #25223, Deed Book 906, Page 238

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

7. Grant Deed
 Grantor: Union Trust Company of San Diego
 Grantee: Mary A. Baumgartner
 Recorded: August 14, 1922, #25224, Deed Book 906, Page 239
8. Judgment Quieting Title
 Plaintiff: Mary A. Baumgartner
 Defendant: Sherman Lacey, as administrator of the estate of Ada Tennery
 Recorded: April 7, 1923, #12120, Deed Book 935, Page 250
9. Grant Deed
 Grantor: Mary A. Baumgartner and John J. Baumgartner
 Grantee: O. R. Lawton and Grace I. Lawton
 Recorded: April 19, 1923, #13758, Deed Book 931, Page 362
10. Agreement
 Seller: O. R. Lawton and Grace Lawton
 Purchaser: Sam Asaro and Rosaria Asaro
 Recorded: April 3, 1940, #15861, Official Records Book 1017, Page 86
11. Grant Deed
 Grantor: O. R. Lawton and Grace I. Lawton
 Grantee: Sam Asaro and Rosaria Asaro
 Recorded: December 23, 1952, #161080, Official Records Book 4696, Page 154
12. Grant Deed
 Grantor: Sam Asaro and Rosaria Asaro
 Grantee: Nicholas Asaro
 Recorded: May 27, 1954, #69726, Official Records Book 5251, Page 471
13. Grant Deed
 Grantor: Nicholas Asaro
 Grantee: Sam Asaro and Rosaria Asaro
 Recorded: June 11, 1957, #86651, Official Records Book 86651, Page 444

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

14. Certificate of Death

Decedent: Salvatore Asaro, aka Sam Asaro
 Recorded: July 6, 1976, Recorders File No. 76-211076

15. Certificate of Release of Inheritance Tax Lien

Decedent: Salvatore Asaro, aka Sam Asaro
 Recorded: July 6, 1976, Recorders File No. 76-211077

16. Judgment Settling First and Final Account and Report of Administrators and for Allowance of Attorney's Fees for Ordinary Services and Judgment of Final Distribution Estate of:

Sarah Rosario Asaro
 Distributed to: Mateo Asaro, 1/8th interest; Frank P. Asaro, 1/8th interest;
 John Asaro, 1/8th interest; Jennie Sardo, 1/8th interest;
 Nicholas Asaro, 1/8th interest; Margaret Gallegos, 1/8th
 interest; Pearl Eklund, 1/8th interest; and Joseph Asaro, 1/8th
 interest
 Recorded: February 14, 1971, Recorders File No. 77-055293

17. Order for Appointment of Co-Conservator of the Estate of John Asaro and for Grant of Additional Powers Pursuant to Probate Code Section 1853

Conservatorship of: John Asaro
 Co-Conservators: Mateo Asaro
 Recorded: September 29, 1978, Recorders File No. 78-416307

18. Grant Deed

Grantor: Mateo Asaro, Frank P. Asaro, Joseph Asaro, Jennie Sardo,
 Nicholas Asaro, Margaret Gallegos, Pearl Eklund, and Mateo
 Asaro, Conservator of the person and estate of John Asaro
 Grantee: Mark E. Godwin and Deborah D. Godwin
 Recorded: September 29, 1978, Recorders File No. 78-416310

19. Quitclaim Deed

Grantor: Mark E. Godwin
 Grantee: Deborah D. Godwin
 Recorded: September 23, 1983, Recorders File No. 83-340074

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

20. Quitclaim Deed
Grantor: Gregory J. Schuff and Deborah D. Schuff, who acquired title as Deborah D. Godwin
Grantee: Deborah D. Schuff
Recorded: September 12, 1988, Recordors File No. 88-458157
21. Individual Quitclaim Deed
Grantor: Deborah D. Schuff
Grantee: Gregory J. Schuff and Deborah D. Schuff
Recorded: January 27, 1989, Recordors File No. 89-047795
22. Grant Deed
Grantor: Gregory J. Schuff and Deborah D. Schuff
Grantee: David Bark, ½ interest and William Petterson, ½ interest
Recorded: April 15, 1996, Recordors File No. 1996-0183442
23. Grant Deed
Grantor: Nancy H. Bark
Grantee: David Z. Bark
Recorded: April 15, 1996, Recordors File No. 1996-0183443
24. Grant Deed
Grantor: Dana P. Petterson
Grantee: William Petterson
Recorded: April 15, 1996, Recordors File No. 1996-0183444
25. Agreement
City: The City of San Diego
Owners: David Bark and William Petersen
Recorded: December 3, 1996, Recordors File No. 1996-0604804
Purpose: To retain characteristics as properties of historical significance
26. Trust Transfer Deed
Grantor: David Z. Bark
Grantee: David Z. Bark and Nancy H. Bark, Trustees of the Bark Family Trust dated January 28, 2002
Recorded: February 4, 2002, Recordors File No. 2002-0095811

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

ANDREW CASSIDY HOME – 1620 UNION STREET

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27. Affidavit of Death of Co-Trustee

Decedent: Nancy Hansen Bark
 Recorded: June 24, 2008, Recorders File No. 2008-0339105

28. Trust Transfer Grant Deed

Grantor: David Z. Bark, Trustee of the Bark Family Trust dated
 January 28, 2002
 Grantee: David Z. Bark, Trustee of the Nancy H. Bark Credit Shelter
 Trust dated January 28, 2002, 25% interest
 Recorded: July 7, 2008, Recorders File No. 2008-0361198

29. Grant Deed

Grantor: William Petterson, ½ interest; David Z. Bark, Trustee, 25%
 interest; and David Z. Bark, Successor Trustee, 25% interest
 Grantee: James Black
 Recorded: July 16, 2014, Recorders File No. 2014-0296937

30. Grant Deed

Grantor: James Black
 Grantee: Union Street Creative House LLC
 Recorded: May 8, 2019, Recorders File No. 2019-0172555

31. Record of Survey Map No. 23572

Recorded: May 28, 2020, Recorders File No. 2020-7000147

– End of Report –

Note: We find no recorded evidence of a Notice of Completion.

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10. Note that we are not a Title Insurance Company, and that no express or implied warranty as to the accuracy or completeness of the information provided herein is granted. Our work has been performed under short time constraints with a quick turn around, and is based in part on the use of databases outside of our control. The recipient hereby acknowledges that California Lot Book, Inc. assumes no liability with respect to any errors or omissions related to the information provided herein. Also note that this search has been performed without the benefit of a Statement of Identification from the property owners, and if a search was performed for liens recorded against owner names, we cannot be sure that the information provided relates to the actual property owners, or is complete with respect to the property owners. In any event, our liability is limited to the amount of fees collected for the information provided herein.

**ATTACHMENT 10
ANDREW CASSIDY HOME – 1620 UNION STREET**

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HERITAGE ARCHITECTURE PLANNING

DIRECTORY SEARCH

San Diego Directory Co's, San Diego (California) City Directory; San Diego Directory Co. Publishers

ADDRESS: 1620 Union
APN:

NOTES: Construction Date: 1888 or ' Current Owner Name:
Year Purchased:

Directory Legend
h = head of household
r = resident/everyone else
(o) = owner

Directory Year:	Address:	Directory Listing:	Notes: (Occupation & Firm, Spouse, etc.)
1888-1898	1620 Union	No Listing	
1899-1900		Daney Eugene	r atty at law, office Lawyers Block
1901		Daney Eugene	h atty.-at-law, 26 Keating Blk.
1903		Daney Eugene	h attorney-at-law, 26 Keating Blk
1904		Daney Eugene	h (Daney & Lewis)
1905		Daney Eugene	h (Daney & Lewis)
		Miller Ruth C	(dom)
1906		No Occupant	
1907		Shore Anthony W	r Shore Bros
		Shore Ray R	r Shore Bros
1908		Greiner Elsa J	r
		Greiner Fred E	h confy
1909		Greiner Elsa J	r
		Greiner Fred E	h
		Nolan Harry A	r (Powers & Nolan)
1910		McAuliffe John D	r
		McAuliffe Stephen R	h foremn stereo Union
1911		McLeod Allene E	r with R F McLeod
		McLeod Fred F	r firemn S D & Arizona Ry
		McLeod Mrs Lena R	r with R F McLeod
		McLeod Roderick F	h ladies furngs 1040, 6th
1912		McLeod Allene E	r phone opr
		McLeod Roderick F	h bkpr
1913		Cleary Charlotte R	r clk
		Cleary Hanna J Mrs	h
1914		Carpenter Benj P	r sec Cooks and Waiters' Club
		Melosh Frank E	r janitor American Natl Bank Bldg
		Reneau Luella	h (wid Jas)
1915		Amburgey Frank R	r clk Realty Shop
		Amburgey Marion	h (Margt) janitor Chamber of Commerce
1916		Amburgey Frank R	r clk R S Babcock
		Amburgey Marion	h (Margaret) janitor S D Chamber of Commerce
1917		Pruitt Wm H	h (Tilla)
		Shore Ray R	h (Florence K), carrier P O
1918		No Listings	
1919		Shore Ray R	h clk P O
1920		Trainor Harold W	h (Florence)
1921		Trainor Harold W	h (Florence)
1922		Ciote Nicholas	r (General Garage)
		Pruitt Wm H	r (Tillie)
		Trainor Harold W	h (Florence K)
1923		Johnston Addison B	r
		Lawton Oakley R	h (Grace I) clk Russ Lmbr & Mill Co
1924		Johnston Addison B	r
		Lawton Oakley R	h (Grace I) clk Russ Lmbr & Mill Co
1925		No Occupant	
1926		Don Jos	r
		Hass Edw	r uphol Standard Mattress & Furn Co
1927			
1928		Don Jos	r
		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co

2. City Directory Listing of Occupants: 1620 Union Street.

ANDREW CASSIDY HOME – 1620 UNION STREET

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Directory Year:	Address:	Directory Listing:	Notes: (Occupation & Firm, Spouse, etc.)
1929		Don Jos	r
		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co
1930		Farmer Dolores L Mrs	r waiter F D Lilley
		Farmer Edw C	r (Dolores) USN
		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co
1931		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co
1932		Widen Fannie	r (wid E J)
		Widen Jos	r clk
		Widen Ralph J	h (Alberta) clk SCTCo
1933		Widen Ralph J	
1934		Widen Fannie	r (wid Edmond)
		Widen Jos L	r lab
		Widen Ralph J	h (Alberta) clk SCTCo
1935		Widen Alberta Mrs	r with The Marston Co
		Widen Ralph J	r (Alberta) supp mn SCTCo
1936		Widen Fannie L	r (wid Edmund)
		Widen Ralph J	h supplymn SCTCo
1937		Morehouse Frances E	r (wid G W)
		Widen Alberta Mrs	r with The Marston Co
		Widen Fannie	r (wid E J)
		Widen Joe L	r lab
		Widen Ralph J	h (Alberta E) supplymn SCTCo
1938		No listing	
1939		Widen Fannie	r (wid E J)
		Widen Joseph L	r lab Bd Pub Wks
		Widen Ralph J	h (Alberta) emp SCTCo
1940		Vacant	
1941		Rosaria Esel	r lab
		Rosaria Salvador	h fishermn
1942		Asaro Saml	h (Sarah) fishermn
1943		Asaro Frank USA	r
1944-45		No listing	
1947-48		Asaro Salvadore	h (Rosaria) fishermn
1950		Asaro Salvadore	h (Rosaria) fishermn
1952		Asaro Lawrence	h (Rosea)
		Asaro Margt A	r waitress Lucky Lunch
1953-54		Asaro Margt A	r Indrywkr Kelly Lndry & Dry Clin
		Asaro Saml	h (Sarah R)
1956		Asaro Saml	h (Sarah) fishermn
		Asaro Patricia	
		Asaro Jos	r
1957		Asaro Pearl	r ofc wkr Travelers Ins Co
		Asaro Saml	h (Sarah) fishermn
1961		Asaro Saml	h
1962		Asaro Saml	h
		Asaro Jos	o aircraft wkr Gen Dynamics
1936-64		Asaro Saml	h (Sarah)
		Asaro Jos	o aircraft wkr Gen Dynamics
1967		Asaro Saml	(Sarah)
		Asaro Jos	Assemblr Gen Dynamics
1968		Asaro Saml	(Sarah) retd
		Asaro Jos	Assemblr Gen Dynamics
1969-70		Asaro Saml	(Sarah) retd
		Asaro Joseph	long shoremn

HERITAGE ARCHITECTURE PLANNING

Directory Year:	Address:	Directory Listing:	Notes: (Occupation & Firm, Spouse, etc.)
1976		Asaro Frank T	h retd
1980		June's Attorney Service legal mssngr srv	(Debbie D Godwin)
1987		First Acct Srvt m	
		Junes Attorney Serv	
		SDS First Accounting Serv	
1992/93		Junes Attorney Serv	
		SDS First Accounting Serv	
1997/98		Attorneys Trustee Services	
		Bark David Atty	
		Pettersen Wmd Atty	
		Pettersen & Bark Lwyr	
2002		Attorneys Trustee Services	
		Bark David Atty	
		Petterson Wm D Atty	
		Pettersen & Bark Lwyr	
2007		Attorneys Trustee Services	
		Bark David Atty	
		Pettersen Wm D Atty	
2012		Attorney's Trustee Services	
		Attorney's Trustee Services	
		Bark David Atty	
		Peterson Bill	
		Peterson Wm D	
2017		Petterson Bill	

ANDREW CASSIDY HOME – 1620 UNION STREET

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FINDINGS

TARGET PROPERTY INFORMATION**ADDRESS**

2642 Newton Avenue
San Diego, CA 92113

FINDINGS DETAIL

Target Property research detail.

NEWTN**2646 NEWTN**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1960	Fisher C H	The Pacific Telephone Telegraph Co.

NEWTON AVE**2642 NEWTON AVE**

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1966	VACANT	R. L. Polk & Co.	Image pg. A21
1952	Fuller R L	R. L. Polk & Co. of California	Image pg. A39
1948	Smith Doc	San Diego Directory Co.	Image pg. A44
1943	Sullivan Jack	San Diego Directory Co.	Image pg. A49
1938	Calabrese Anthony	San Diego Directory Co.	Image pg. A54
1933	Burris Thurman	San Diego Directory Co.	Image pg. A59

2646 NEWTON AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2000	No Current Listing	Haines & Company	Image pg. A1
1984	Vacant	R. L. Polk & Co.	Image pg. A6
1980	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A11
		R. L. Polk & Co.	Image pg. A11
1975	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A16
1970	A TO Z AUTO WRECKING STGE	John M. Ducey	
1966	THOMAS JO A	R. L. Polk & Co.	Image pg. A21
	VACANT	R. L. Polk & Co.	Image pg. A21
1961	a Taylor General H	R. L. Polk & Co.	Image pg. A25
	b Hankins Carthou	R. L. Polk & Co.	Image pg. A25
1952	a Aguire Phillip	R. L. Polk & Co. of California	Image pg. A39
	b Fuentes A B	R. L. Polk & Co. of California	Image pg. A39

City Directory Listing of Occupants: Newton Street parcels.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1948	Cavey W L	San Diego Directory Co.	Image pg. A44
1943	Crosby S	San Diego Directory Co.	Image pg. A49
1938	Dauguherty C	San Diego Directory Co.	Image pg. A54
1933	Philips W P	San Diego Directory Co.	Image pg. A59
1927	Northcote B R	San Diego Directory Co.	Image pg. A65

Newton Avenue

2646 Newton Avenue

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2000	No Current Listing	Haines & Company	Image pg. A1
1984	Vacant	R. L. Polk & Co.	Image pg. A6
1980	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A11
1975	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A16
1970	A TO Z AUTO WRECKING STGE	John M. Ducey	
1966	THOMAS JO A	R. L. Polk & Co.	Image pg. A21
	VACANT	R. L. Polk & Co.	Image pg. A21
1961	a Taylor General H	R. L. Polk & Co.	Image pg. A25
	b Hankins Carthou	R. L. Polk & Co.	Image pg. A25
1952	a Aguire Phillip	R. L. Polk & Co. of California	Image pg. A39
	b Fuentes A B	R. L. Polk & Co. of California	Image pg. A39
1948	Cavey W L	San Diego Directory Co.	Image pg. A44
1943	Crosby S	San Diego Directory Co.	Image pg. A49
1938	Dauguherty C	San Diego Directory Co.	Image pg. A54
1933	Philips W P	San Diego Directory Co.	Image pg. A59
1927	Northcote B R	San Diego Directory Co.	Image pg. A65

ANDREW CASSIDY HOME - 1620 UNION STREET

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Witnessed the hand of said Corporation by its President and Corporate Seal this twenty sixth day of February, A.D. 1889

On this 27th day of February, 1889 before me, H. C. Naughton, a Notary Public, personally appeared A. E. Young, known to me to be the President of the Corporation that executed the within instrument, and acknowledged to me that such Corporation executed the same

Witness my hand and Notary Seal at San Diego, California, this 27th day of February, 1889.

H. C. Naughton
Notary Public

Witness my hand and Notary Seal at San Diego, California, this 27th day of February, 1889.

E. S. Naughton
County Recorder
By Geo. W. Garrison's Deputy

Photographed By P. G. SHELLEY, Deputy Recorder

11/26/1889
Deed Book 157, Page 5

Margaret A. Cassidy }
Andrew Cassidy }

to the said book

Know all men by these presents, that Margaret A. Cassidy, of the County of San Diego, State of California, for and in consideration of the sum of One Dollar, lawful money of the United States, to us in hand paid,

Do hereby grant unto Andrew Cassidy, of the same place, all that certain property situated in the City of San Diego, County of San Diego, State of California, and bounded and described as follows, to wit:

Lots Eleven and Twelve 11 & 12 in Block Thirty four and Lot eight and nine in Block Thirty five and all in Middle town, as per map thereof by E. S. Naughton, on file in the office of the County Clerk of said County together with all the improvements thereon,

and also the adjoining portions or parcels of land situated in Block ten 1861 in the town of Vermont, City of San Diego, County of San Diego, State of California, according to the official map thereof by James P. Casson, and more particularly described as follows, to wit:

That portion of lot or tract sixteen 16 of said town of Vermont marked or labeled A as per map thereof by R. W. Stebbins, on file in the office of the Recorder of said County, containing seven acres or thereabouts, together with all the improvements and appurtenances thereto belonging.

To have and to hold the above described and granted property unto

3. Copy of Deed from the Date of Construction: 1620 Union Street.

Witness the h. d. of said Corporation by its President and Corporate Sec. this 27th day of February, A.D. 1889

On this 27th day of February, 1889 before me, H. C. Naughton, a Notary Public, personally appeared C. E. Young, known to me to be the President of the Corporation that created the within instrument, and acknowledged to me that such Corporation executed the same.

Witness my hand and Notary Seal this 27th day of February, 1889, at 110 minutes past 3 o'clock P.M. at request of Person named

H. C. Naughton
Notary Public

C. E. Young
President

By Geo. H. Brown, Secy

Photographed by P. G. SHELLEY, Deputy Recorder

11/26/1889
Deed Book 157, Page 5

Margaret C. Cassidy
Andrew Cassidy

Mr. Margaret C. Cassidy, a juvenile state, State of California, for and in consideration of the sum of One Hundred Dollars, lawful money of the United States, to her in hand paid.

Do hereby grant to Andrew Cassidy, of the same place, all that certain real property, situate in the City of San Diego, County of San Diego, State of California, and bounded and described as follows, to wit:

Lots Eleven and Twelve 11 & 12 in Block Thirtieth, four and one half eighth lots in Block Thirtieth, Town and Range Middletown, as per map there of by J. S. Jackson, on file in the office of the County Clerk of said County together with all the improvements thereon.

And also the adjoining portion or portions of land situated in Section 12 1361 in the town of Santa City, of San Diego County, of San Diego, State of California, according to the official map thereof by James D. Brown, and more particularly described as follows, to wit:

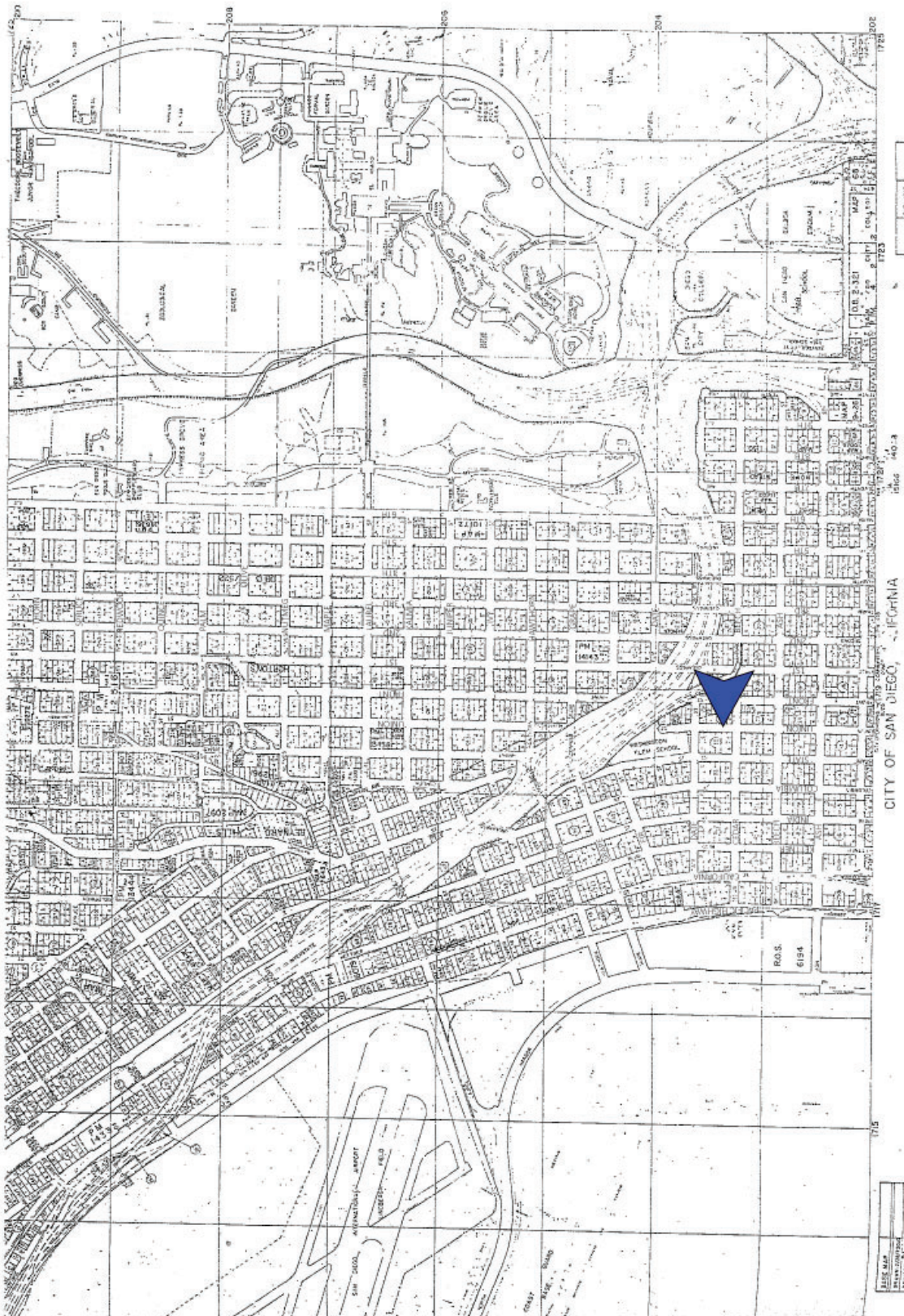
That portion of lot or tract section 12 of said town of Santa City marked on record as per map thereof by B. C. Stebbins, on file in the office of the Recorder of said County, containing seven acres or thereabouts, together with all the improvements and appurtenances thereto belonging.

Do hereby to said the above described and granted property unto

C. BUILDING DEVELOPMENT INFORMATION

1. City of San Diego 800 Scale Engineering Map
2. USGS Map
3. Original Subdivision Map
4. Sanborn Fire Insurance Maps

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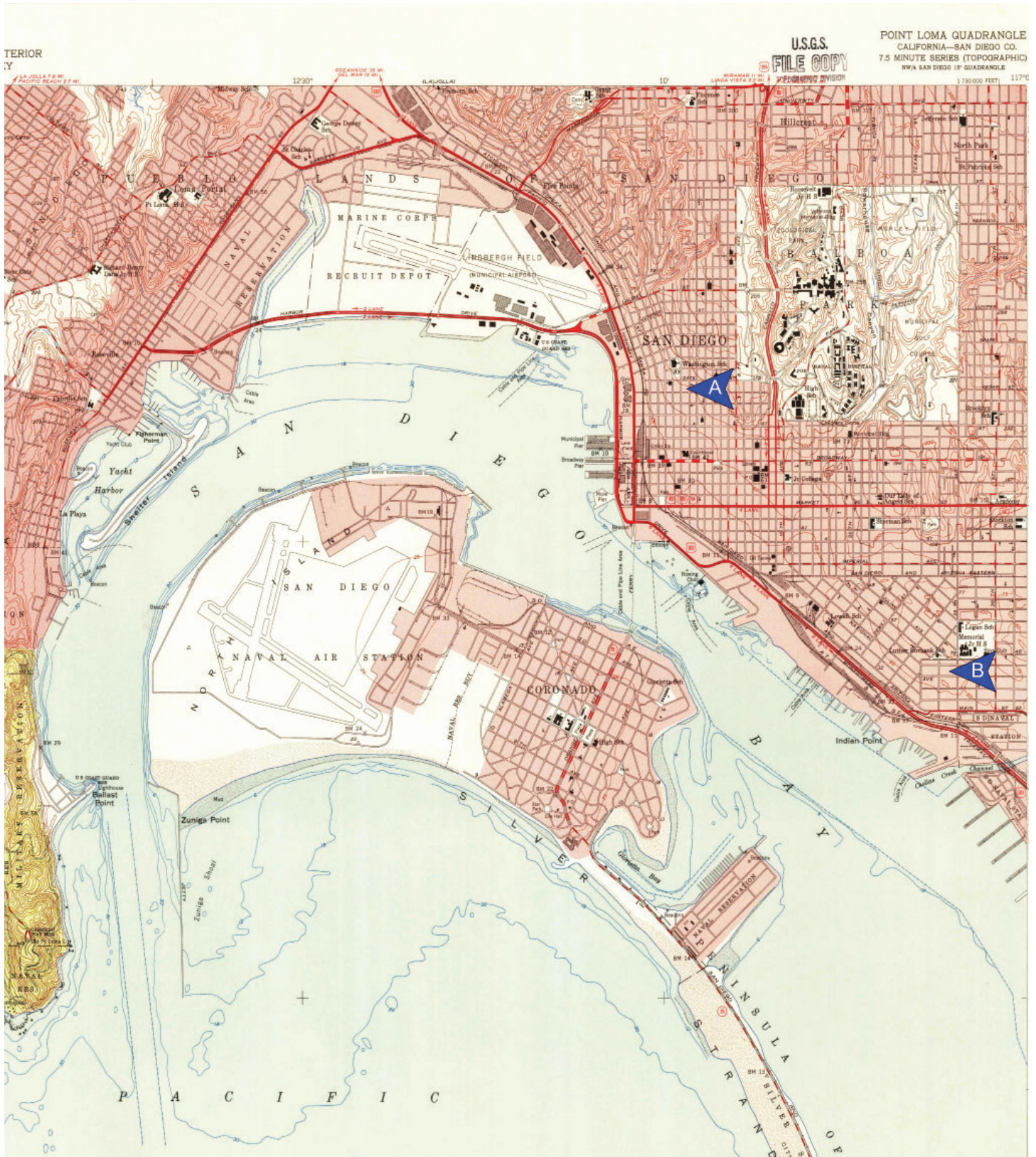


1. City of San Diego 800 Scale Engineering Map.

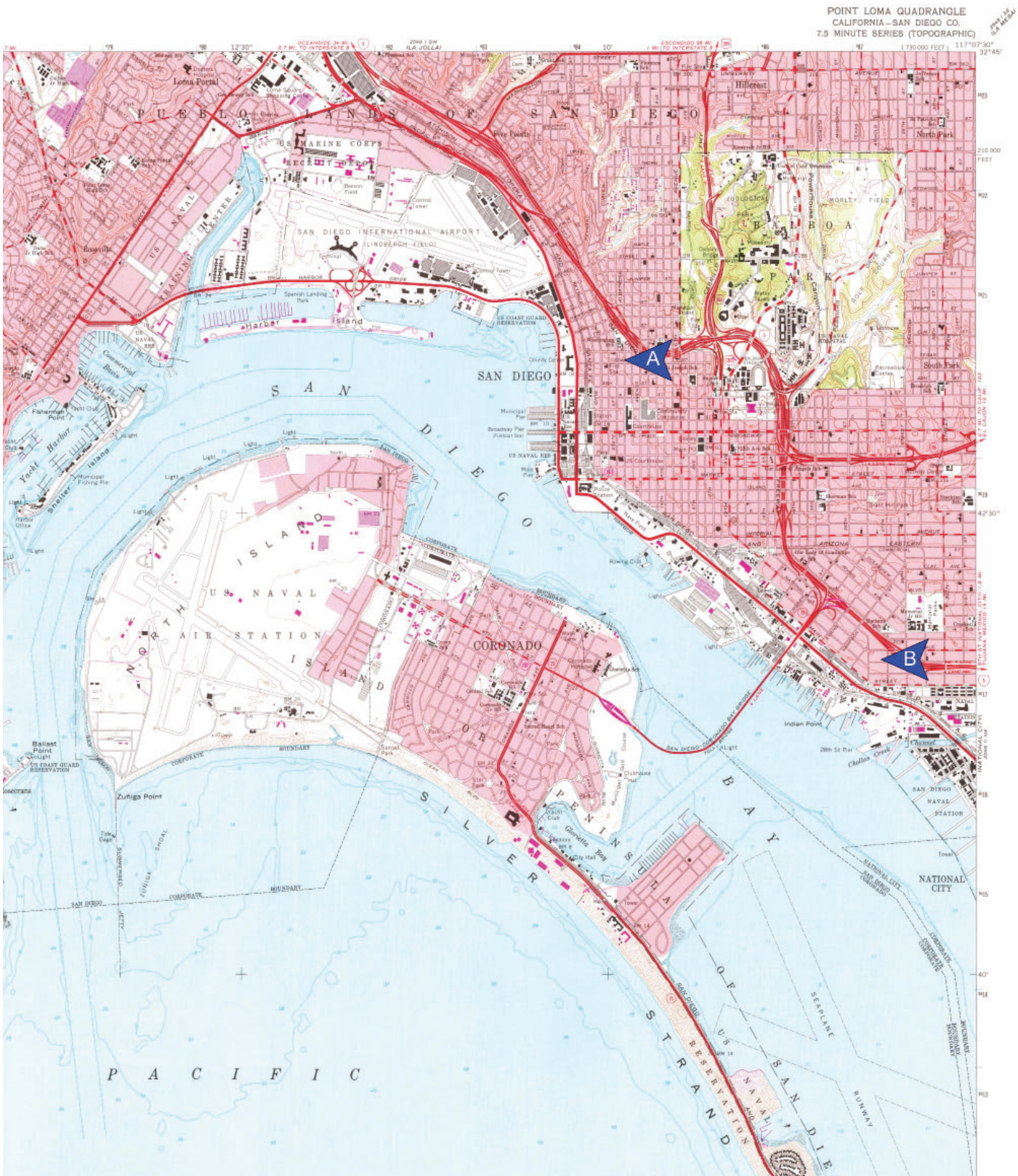


1942 Point Loma, California USGS Map.

2. USGS Maps. Site A: 1620 Union Street. Site B: 2642-2648 Newton Avenue.



1953 Point Loma, California USGS Map.



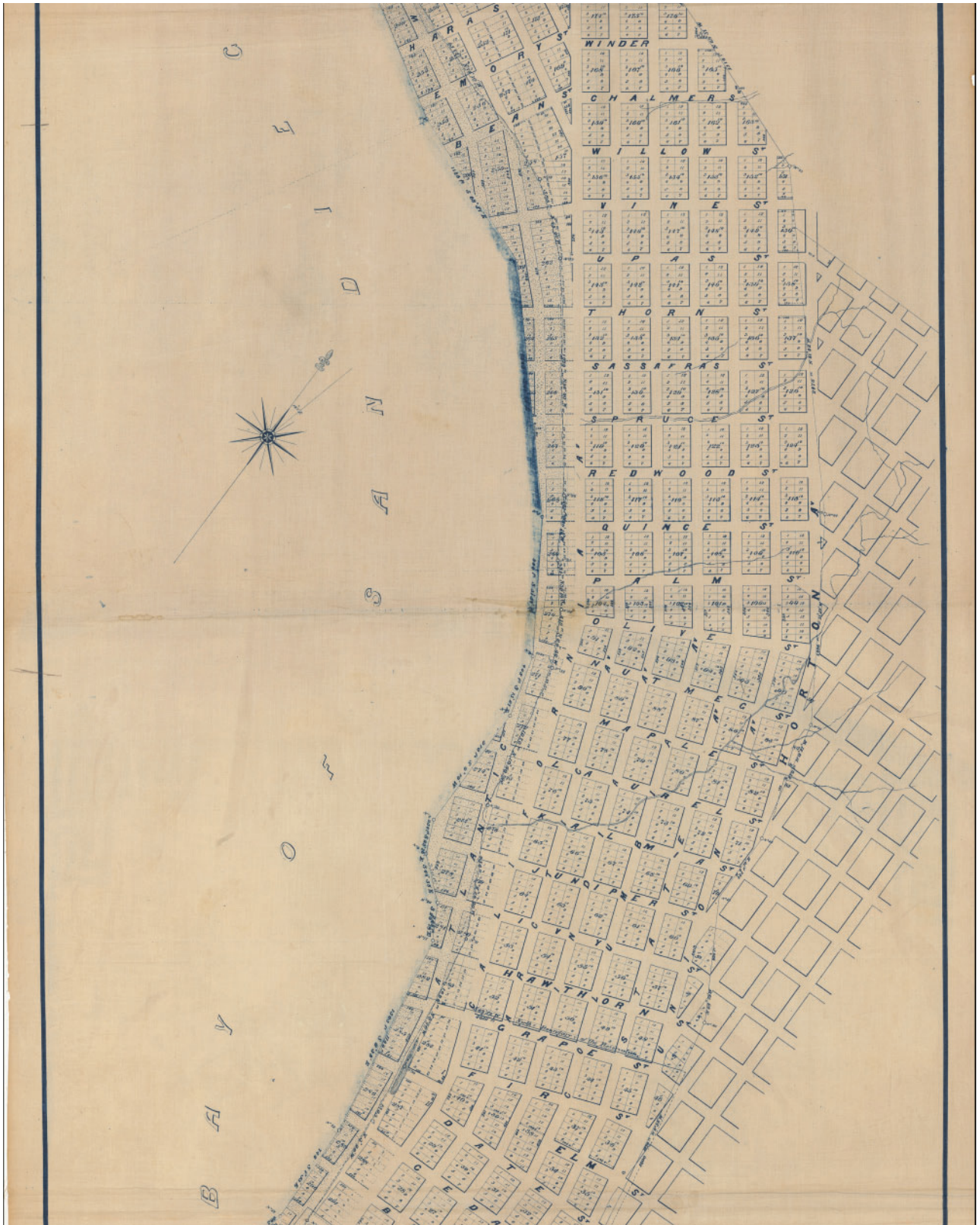
1967 Point Loma, California USGS Map.

U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY

CALIFORNIA-SAN DIEGO CO.
7.5-MINUTE SERIES (TOPOGRAPHIC)



1996 Point Loma, California USGS Map.



3. Original Subdivision Map: Middletown.



4. Sanborn Maps: 1620 Union Street.

1921 Sanborn Information not available.

1921 Sanborn Map.



1940 Sanborn Map.

ATTACHMENT 10
ANDREW CASSIDY HOME, 1620 UNION STREET
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1950 Sanborn Map.



1956 Sanborn Map.

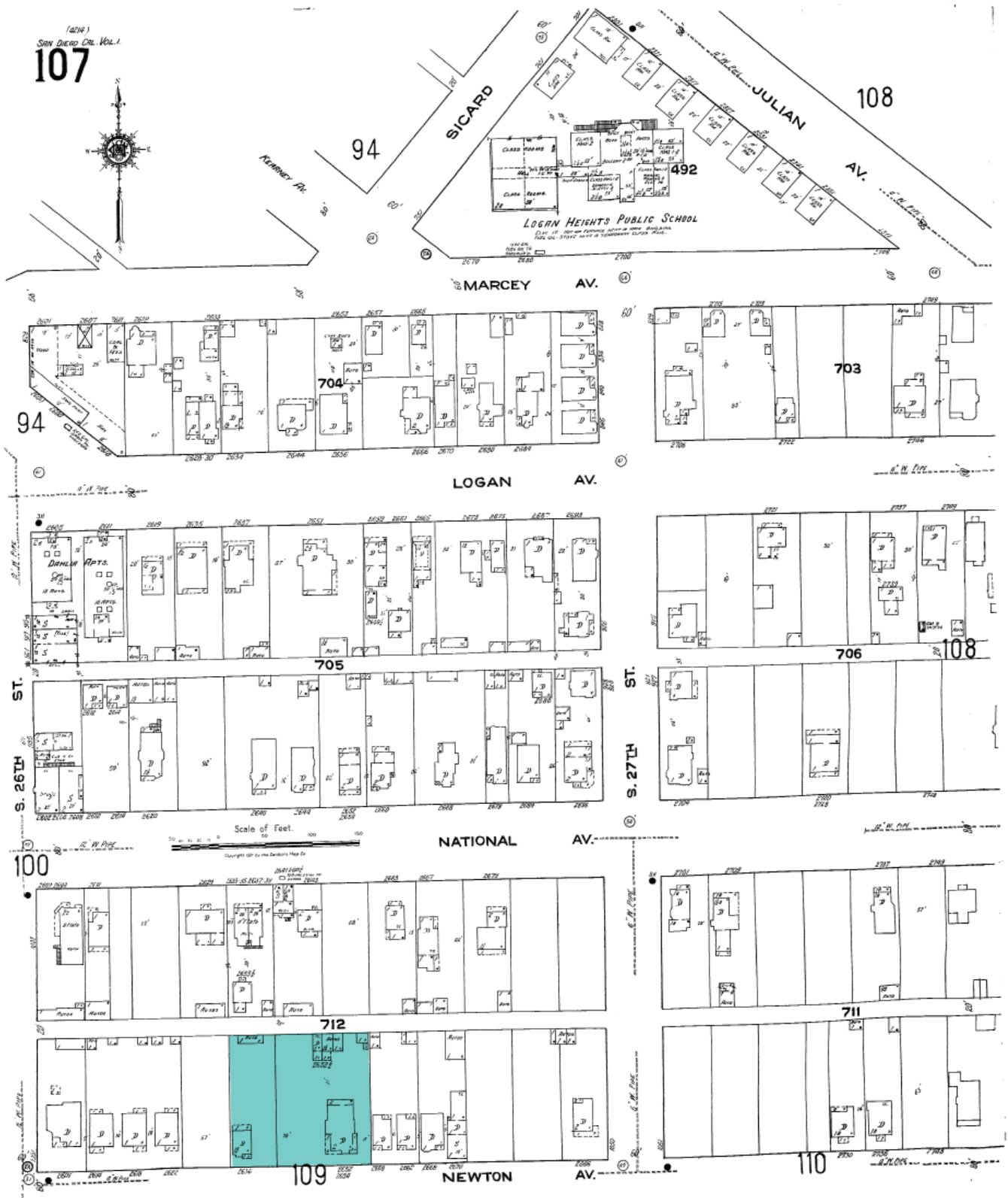


1906 Sanborn Map.

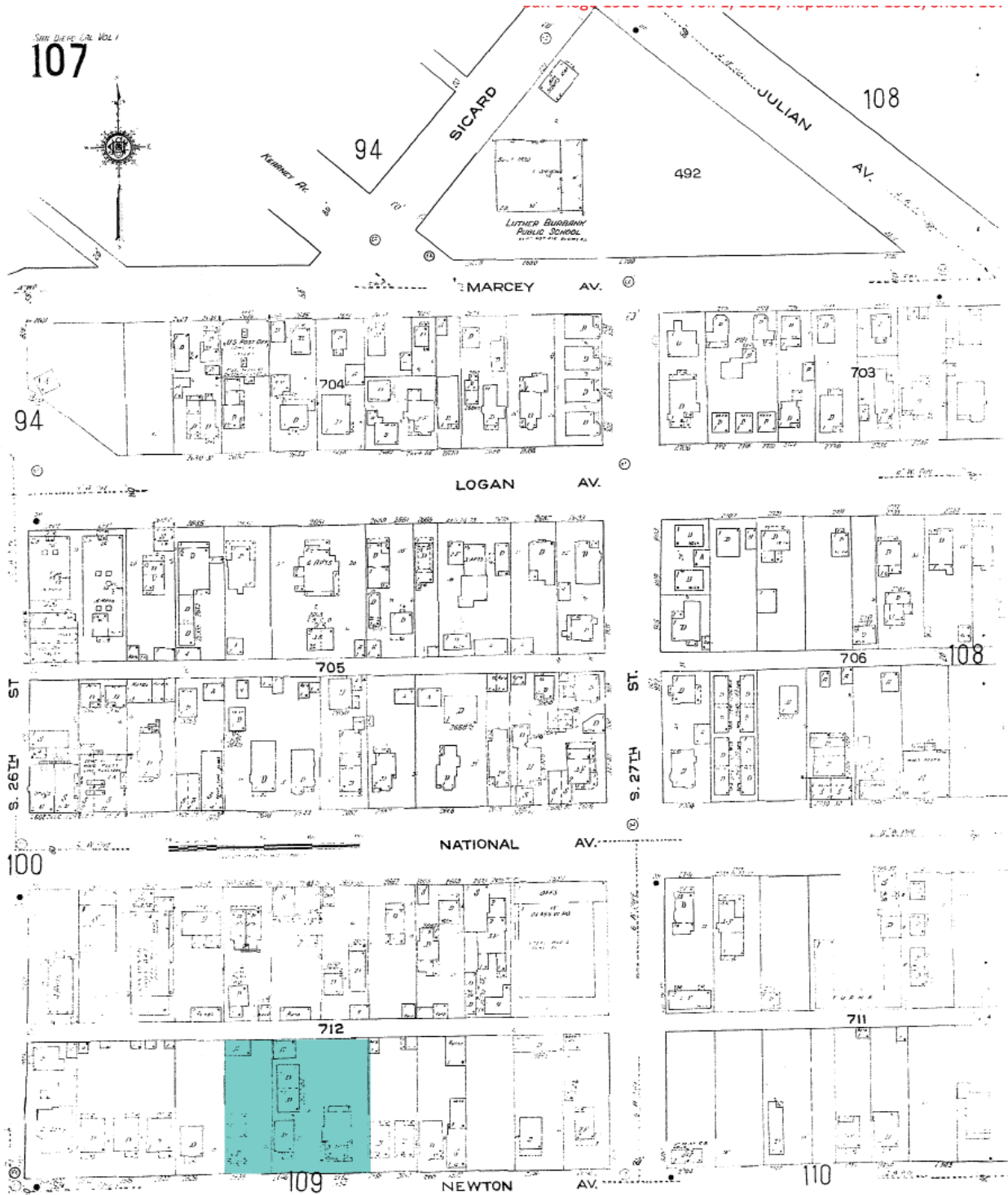
Sanborn Maps: Newton Avenue.

ANDREW CASSIDY HOME 1620 UNION STREET
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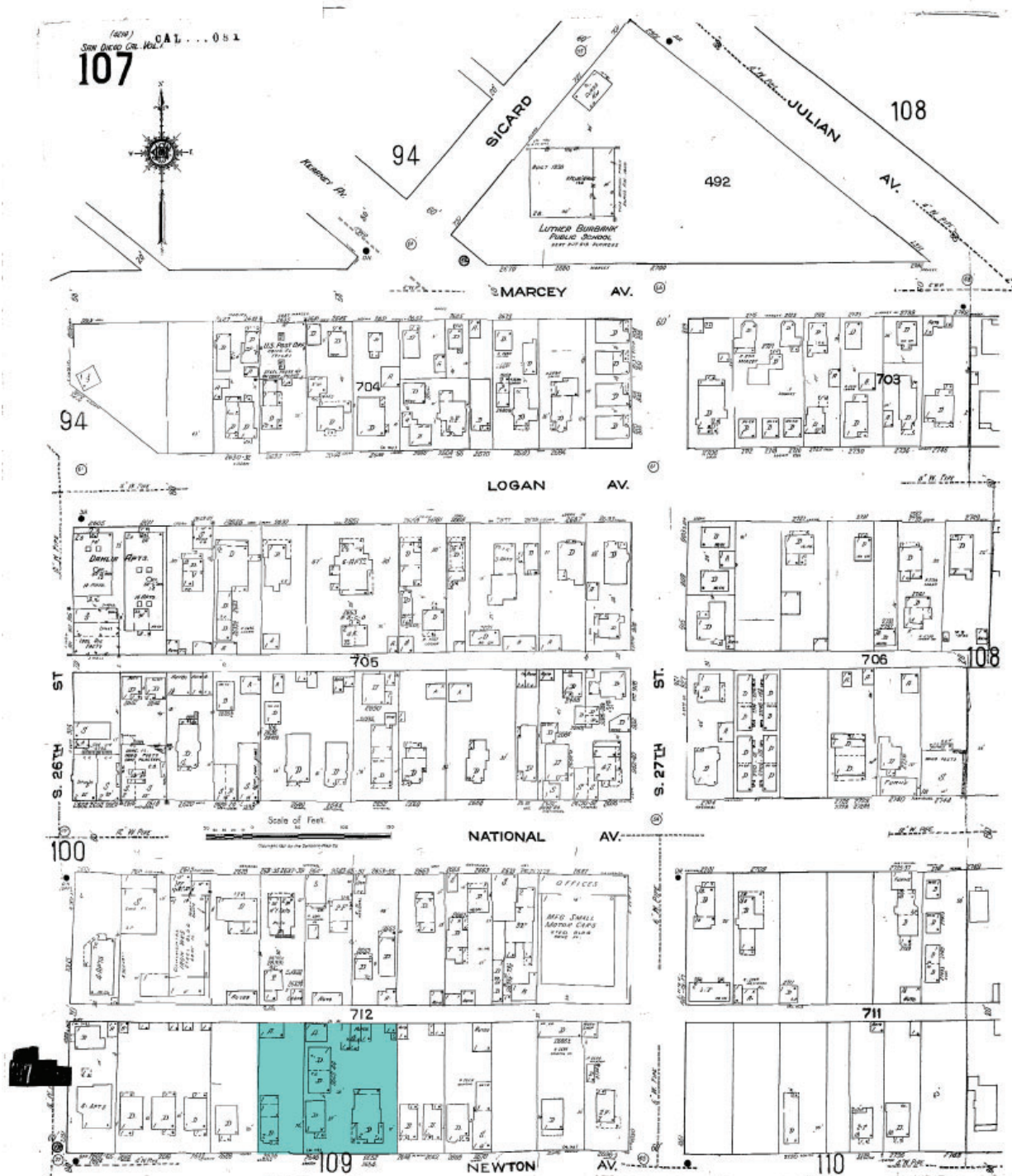
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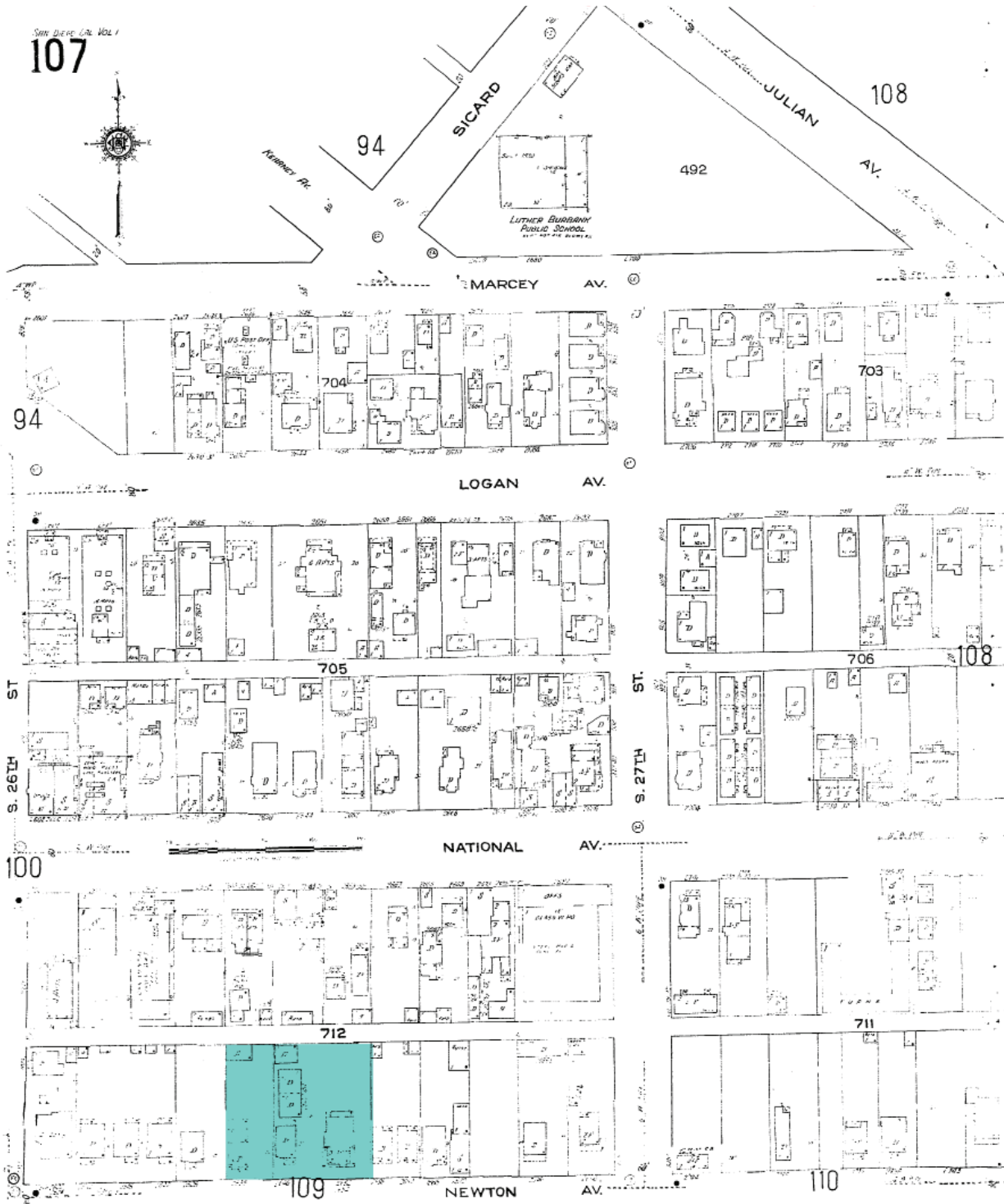
1921 Sanborn Map.



1940 Sanborn Map.



1950 Sanborn Map.



1956 Sanborn Map.

D. DPR

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State of California --- The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
NRHP Status Code

Other Listings
 Review Code

Reviewer

Date

Page 1 of 9 *Resource Name or #: (Assigned by recorder) Andrew Cassidy Home, 1620 Union Street, San Diego, CA

P1. Other Identifier: HRB #283

*P2. Location: Not for Publication Unrestricted *a. County San Diego

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Point Loma Date: 1996 T ; R ; 1/4 of ; 1/4 of Sec ; M.D. B.M.

c. Address: 1620 Union Street City: San Diego Zip: 92101

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 5333531100

Lot 5 in Block 33 of Middleton, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by J.E. Jackson, filed in the Office of the County Recorder of San Diego County.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Andrew Cassidy Home is located on a rectangular lot, approximately 50' by 100', at 1620 Union Street. The building is wood framed and set on a cast-in-place concrete foundation stem wall. A crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall.

East Façade (Primary Façade): At the gable of the east façade the exterior finish consists of diamond shaped wood shingles. A wood clad double-hung window with wood trim has been used to infill what was once a wood louvre attic vent. A front porch spans the width of the east façade. The porch roof consists of a flat roof with roll-on sheet roofing, and short hipped sides with diamond shaped wood shingles. The underside of the porch roof has a wood tongue and groove finish with a wood quarter round border. The roof is supported by exposed wood beams which bear upon decorative wood porch columns. Decorative wood spindlework runs along the underside of the porch roof beams and are supported by decorative carved wood brackets. All spindlework, columns and brackets are intact and in good condition.

(Refer to Continuation Sheet)

*P3b. Resource Attributes: (List attributes and codes) HP3. Single Family Property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for building, structures, and objects.)



P5b. Description of Photo: (view, date, accession #)
 Looking west at the primary east façade.

*P6. Date Constructed/Age and Sources:

Historic 1899 Both

Prehistoric

*P7. Owner and Address:

Union Street Creative House LLC
 1620 Union Street
 San Diego, CA 92101

*P8. Recorded by: (Name, affiliation, and address)

Heritage Architecture & Planning
 832 Fifth Avenue
 San Diego, CA 92101

*P9. Date Recorded: 09.30.2021

*P10. Survey Type: (Describe)
 Intensive.

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Historical Resources Technical Report, Andrew Cassidy Home, 1620 Union Street, San Diego, California 92101

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

Primary#
HRI#

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 9

*NRHP Status Code

*Resource Name or # (Assigned by recorder) Andrew Cassidy Home, 1620 Union Street, San Diego, CA

B1. Historic Name: Andrew Cassidy Home

B2. Common Name: 1620 Union Street

B3. Original Use: Residential

B4. Present Use: Vacant

*B5. Architectural Style: Queen Anne

*B6. Construction History: (Construction date, alterations, and date of alterations)

1899 – Construction per Residential Building Record

2000 – Porch rail replacement

Unknown Date -

- Porch repair
- Window replacement
- Non-historic vertical wood siding at the base of the south facade
- Accessibility ramp
- West façade roof deck addition

*B7. Moved? No Yes Unknown Date: Original Location:

*B8. Related Features:

*B10. Significance: Theme: Residential Development

Area: Middletown

B9a. Architect: Unknown

b. Builder: Unknown

Period of Significance: 1899

Property Type: Residential

Applicable Criteria: CSD: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Andrew Cassidy Home, located at 1620 Union Street in San Diego, is significant at the local level. This industrial warehouse is also listed in the City of San Diego Historical Resources Register (HRB #283). Historical research and site evaluation reveal that the Andrew Cassidy Home continues to retain sufficient integrity to its 1899 period of significance. Its period of significance encompasses the year of construction.

Middletown and Little Italy^{1,2}

The City of San Diego was incorporated as a City by the state legislature in 1849. One of the first acts of the new City Council was to approve earlier maps of the City and its tidelands. At the same time, pueblo lands were being divided up among buyers, mostly for speculation. West of Balboa Park, between Old Town and the future downtown, laid a strip of low hills and tidal flats originally referred to as Middletown.

In 1850, a group of investors led by attorney Thomas Sutherland, bought the 687 acres and laid out the streets and lots at the western border and established the Middletown tract. Thereafter, the tract was surveyed and subdivided into streets and blocks, and plans called for the construction of five public squares and an open community lot known as the Triangle.³ (Refer to Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References: (Refer to Continuation Sheet)

B13. Remarks:

*B14. Evaluator: Heritage Architecture & Planning

*Date of Evaluation: 09.2021

(This space reserved for official comments.)



¹ Office of Marie Burke Lia Attorney at Law. "Historical Resources Research Report Addendum for 1668 Columbia Street & 519 West Date Street." February 2012.

² City of San Diego, "Uptown Community Plan Area Draft Historic Resources Survey Report." 2015. Also see, City of San Diego, "Greater Golden Hill Community Plan Update Draft Historic Context Statement." June 2010.

³ Steven Van Wormer and Susan Walter, "Uptown Historic Context Statement and Oral History Report." 2003.

State of California --- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

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*Recorded by: Heritage Architecture & Planning *Date 09.2021 Continuation Update

***P3a. Description:** (Continuation)

The porch floor has been previously repaired and consists of oriented strand board (OSB) wood plank flooring and stairs with wood handrails. The wood handrails are heavily damaged at several locations and have temporary wood shoring at the base of some of the rail posts. The floor is supported by wood posts bearing on pre-cast concrete pier footings. A wood lattice runs along the base of the porch floor.

South Façade: At the south façade is a cast-in-place concrete and wood framed accessibility ramp with wood railing. The wood railing is anchored to the south façade with small wood blocks. One attachment point interrupts the run of the wood base trim. The non-historic vertical wood siding at the base of the south façade has been cut to allow the installation of the accessibility ramp.

Towards the east side of the south façade is a cantilevered roof overhang with carved wood brackets. Also at the east side is some non-historic surface mounted utility equipment.

West Façade: At the west façade is a non-historic OSB wood board landing with stairs that connects to the accessibility ramp with wood railing. At the west slope of the roof is a gabled dormer with a replacement wood clad double hung windows with dual glazing and vinyl window screen. At the second floor is a non-historic roof deck with wood railing. The roof deck is accessed by a pair of non-historic wood French doors.

North Façade: The north façade consists of horizontal wood clapboard siding with a wood trim base rail and non-historic wood clapboard siding over a cast-in-place concrete stem wall. Utility equipment has been installed along the north façade.

Windows: Fenestration consists of replacement wood clad double hung windows with dual glazing and vinyl window screens. The windows have a wood trim and sill with wood sill brackets. There is a wood fixed transom window above the main entry door. All windows appear to be in fair condition with the exception of the double hung window located in the roof gable at the east façade which has damage at the mid and bottom rail.

Doors: The main entry door at the east façade has three panels and glazing with non-historic door hardware and wood panel surround. Additionally, there is a wood fixed transom window above. At the west façade is a pair of non-historic wood French doors with non-historic accessible compliant hardware. The door threshold is also non-historic. At the second story of the west façade, a pair of wood French doors provide access to the roof deck. The door hardware and threshold appear to be non-historic. All doors appear to be in fair condition.

Summary: The house located at 1620 Union Street appears to be in good condition and retains a good level of its historic integrity. Modifications appear to comply with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and include a replacement roof, replacement front porch and railing, an addition at the rear not visible from the public right-of-way, and replacement windows.

The cast-in-place concrete stem wall with non-historic wood clapboard siding underneath the wood base trim suggests that the house has been previously lifted to provide repairs to the building's foundation.

***B10. Significance:** (Continuation)

By 1880, development began. Workers for local government, construction and downtown businesses settled west of Front Street, larger and more impressive homes were built on the ridges. The subdivision closely followed the trends of Horton's Addition. By the late 1800s large, single family homes were being built along the western hillside ridges overlooking the bay, including Victorian, Georgian and Mediterranean style structures. The Middletown School was built in 1888. The community was also anchored by a small commercial node called Five Points at the intersection of Washington and India streets.²

Thousands of Italian and Portuguese families settled in the area in the early 1900s along with Mexican and Japanese immigrants and toiled to build a local tuna fishing industry that became a source of great wealth for San Diego. At one time, more than 6,000 Italian families lived in the area. Other Italians who came had been wine growers, shepherders, and ranchers. The fishermen and founders of fish markets and restaurants arrived by 1900. All of these transplanted members of the Italian community founded social organizations with large memberships. At the same time, the Portuguese community was heavily involved with the tuna industry. The 1906 San Francisco earthquake drove more Italian fishermen to San Diego where the immigrants prospered for the next few decades.

Growth slowed after 1900 but revived with the Panama-California Exposition in 1915 and Spanish Eclectic style architecture became popular (1915-1960). Multi-family apartment buildings were constructed for visitors and residents; a trend that

² Ibid.

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*Recorded by: Heritage Architecture & Planning *Date 09.2021 Continuation Update

continued through WWII (1915-1960). The establishment of Lindbergh Field in the 1914s and 1930s caused early height limits to be imposed that also affected the development of this region, Point Loma, and Loma Portal.

By 1937, a different pattern had emerged for Middletown. The main business district was located at the Five Points intersection on Washington Street, at the north end. Fish canneries were established at the south end and residences of the Italian fishermen and employees of the growing aircraft industry were along the waterfront. During World War II, the San Diego Italian fishermen were ordered to move from homes close to the harbor as suspicious authorities considered them as having ties to Italy. Non-citizen Italians also had to move east. Many families moved back after the war was over. After the War, the tuna industry gradually declined on the west coast and the 1960s construction of the Interstate 5 freeway destroyed 35% of the buildings in the area, all of which led to the disintegration of the community. But in the early 1990s, the established property owners and family-run business owners decided to take their fate in their own hands, and today's thriving Little Italy business and residential community is the result.

Parcel History

The undeveloped parcel was owned by Margaret J. O'Kane, Patrick Kerr, and Sarah Kerr and purchased by Andrew Cassidy on November 26, 1889. Acknowledged as a pioneer resident of San Diego, Andrew Cassidy was originally a native of County Cavan, Ireland and immigrated to American in 1834 when he was 17. Having received an education in his native country, he worked under the immediate direction of George McClellan in the Engineer Corps at West Point for three years. He transferred to Washington where he was employed in the Coast Survey office under the US Engineer Corps. Through the Engineer Corps he arrived in San Francisco in 1853 to set up a self-registering gauge at Fort Point. He later went on to San Diego where he built a self-recording tidal gauge station at La Playa and remained in charge of the tidal gauge and weather observations for the next seventeen years.³ This gauge was known to have recorded a tsunami from Japan in December 1854 and a local earthquake in July 1854, which is believed to be the earliest recorded earthquake.⁴ During this period, he lived in Old Town. While at La Playa, Cassidy also collected specimens for the Smithsonian Institution including birds, fishes, reptiles, moths, and various smaller animals. The collection of fish coming from the Pacific Ocean, the Colorado River, and the Gulf of California was particularly valuable to the Smithsonian.⁵



Figure 2-1: Andrew Cassidy. Source: San Diego History Center.

He was married twice. His first wife was Rosa Serrano, daughter of Jose Antonio Serra, who died in September 10, 1869. His second wife, Mary Smith, was daughter of Albert B. Smith, a Mexican war hero. Cassidy held several public offices; one term as City Trustee in 1865, elected County Supervisor for two terms (four years) beginning in 1871, and was a long member of the Board of Public Works.⁶

In 1864, Cassidy acquired the 1,000-acre Soledad Rancho, in the present Sorrento Valley, and engaged in cattle ranching, raising up to 1,000 head of cattle.⁷ He subdivided and sold the property in 1887, but retained other property in San Diego, including the 1620 Union Street property.

The San Diego Lot block Book Page shows the initial year of assessed improvements being completed at the Union Street parcel as 1890. Construction of the residence is noted as 1899 per the Residential Building Records. Historical research indicate that Cassidy never occupied the property but utilized it for income purposes. Its first documented occupant was Eugene Daney, an attorney whose office was located at the Lawyers Block in San Diego.⁸ He lived at the Union Street residence from 1899 until 1905.

³ Clarence Alan McGrew, *City of San Diego and San Diego County: The Birthplace of California*. (New York: The American Historical Society, 1922), 88.

⁴ Helen Gohres, "Tidal Marigrams." *The Journal of San Diego History*. Vol. 10 No. 4, October 1964. Accessed September 3, 2021. <https://sandiegohistory.org/journal/1964/october/marigrams/>

⁵ California Genealogy & History Archives, "Andrew Cassidy." *An Illustrated History of Southern California: Embracing the Counties of San Diego, San Bernardino, Los Angeles and Orange, and the Peninsula of Lower California*. (Chicago: The Lewis Publishing Company, 1890), 323-324. Accessed September 3, 2021. <http://www.rootsweb.ancestry.com/~cagha/index.htm>

⁶ Ibid.

⁷ William Ellsworth Smythe, *History of San Diego, 1542-1908*. (San Diego: History Co., 1907), 267-268. Accessed September 3, 2021. <https://sandiegohistory.org/archives/biographysubject/cassidy/>

⁸ San Diego City and County Directory available publications begin 1874 and jumps to 1887-1888.

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Born on October 11, 1862 in Bordeaux, France, Daney moved to the United States in 1866. He graduated from Hasting College of Law in 1885 and was admitted to the bar by the Supreme Court of California in San Francisco in 1885. He engaged in his law practice in San Francisco between 1885-1887 when he moved to San Diego. He continued his practice in San Diego until he was appointed as Assistant District Attorney in February 1888, which office he held until January 1891. He formed a partnership with L.A. Wright under the firm name Daney & Wright, which continued for eight years. He was elected the Bar Association of San Diego's first President in 1899 and served for three years. He was later appointed as Superior Judge in June 1908 and was general counsel for the Panama California Exposition in Balboa Park.⁹

In 1904, Cassidy sold the property to Richard O'Neill, Sr. who also leased the property to others. At the time of purchase of the Union Street property, Richard O'Neill was a partial owner of the Rancho Santa Margarita y Las Flores and its adjoining Rancho Mission Viejo and Rancho Trabuco which he purchased from the Forester sons in 1882 along with James Flood, who put up most of the purchase money.¹⁰ Collectively, the ranchos totaled more than 200,000 acres and encompassed the northern portion of San Diego County and southern end of Orange County.¹¹ O'Neill worked as the ranch manager and lived with his family at the Santa Margarita Ranch House as Flood was never concerned with the daily operations of the ranch. In 1906 the Flood family deeded O'Neill his half of the ownership.¹² Upon the death of Richard O'Neill in 1910, his estate, including the Union Street property, was passed to his family including son, Jerome O'Neill and daughters Mary A. Baumgartner and Alice T. McDade. The property was passed solely to Mary Baumgartner in 1922. During this period, the property continued to be leased.

In 1923, the property was deeded to Oakley R. and Grace Lawton. Mr. Lawton was a clerk at the Russ Lumber & Mill Company. The Lawtons occupied the residence until 1931 after which they rented out the premises to the Ralph J. and Alberta Widen family until the property was sold in 1940 to Sam Asaro, a fisherman, and his wife Rosaria. The Asaro family retained the parcel until 1972 when Rosaria died after which the property was passed to the eight Asaro children. The property was sold in 1978 to Mark and Deborah Godwin. Debbie Godwin converted the property as her business office, June's Attorney Service, and subleased other sections as offices. They sold the property in 1989. It was acquired by attorneys David Bark and William Petterson, who utilized the building as their law office until 2014 when the property was granted to James Black. Petterson continued to hold his offices at the property. In 2019, the property was acquired by Union Street Creative House LLC, its current owners.

RESOURCE SIGNIFICANCE EVALUATION

NATIONAL REGISTER AND CALIFORNIA REGISTER

National Register Criterion A / California Register Criterion 1

Research failed to disclose any information regarding the Union Street's nor the Newton Street's association with significant events that have contributed to the broad pattern of history both at the local, state, or national levels. The Cassidy property was primarily used as a residence then later as offices and the Newton Street property is as a vacant lot utilized for parking. Therefore, both properties not qualify under National Register Criterion A and California Register Criterion 1.

National Register Criterion B / California Register Criterion 2

Research revealed that the Andrew Cassidy Home is identified with two San Diego County's pioneers: Andrew Cassidy and Richard O'Neill. The resource was also home to Eugene Daney, an early local attorney. Although the property is associated with these individuals, neither Cassidy nor O'Neill occupied the residence utilizing it only for income purposes. Further, they

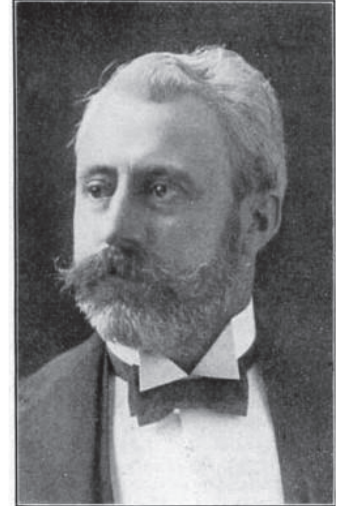


Figure 2-2: Eugene Daney. Source: San Diego History Center.



Figure 2-3: Richard O'Neill. Source: Orange County Registry.

⁹ Legal Aid Society of San Diego, "Legal Aid Society of San Diego – Legacy of a Dream." Accessed September 6, 2021. <https://www.lassd.org/about/history>

¹⁰ Rancho Mission Viejo. "Ranch History." Accessed September 6, 2021. <http://corp.ranchomissionviejo.com/ranch-past-present/ranch-history/>

¹¹ Ibid.

¹² Lynne Newell Christenson and Ellen L. Sweet, *Ranchos of San Diego County*. (San Francisco: Arcadia Publishing, 2008), 82.

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acquired the property in their later years and not during their more informative and significant period of their lives as ranchers and ranch owners.

Moreover, although attorney Eugene Daney was elected as the first President of the Bar Association of San Diego and served for the following three years, no other research information elaborated on the extent of his decision-making process nor how those decisions may have changed or influenced the future policy or judicial rulings. Further, his work would most likely be associated with his office, rather than his residence, where most of the work would have taken place. Finally, Daney's appointment as Superior Judge and later as general counsel for the Panama California Exposition occurred after his occupancy of the resource.

There are no built resources on the Newton property that are associated with any persons that would have contributed to the broad pattern of history both at the local, state, or national levels.

Therefore, these properties do not qualify under National Register Criterion B and California Register Criterion 2 at the local, state, or national levels of significance.

National Register Criterion C / California Register 3

The Andrew Cassidy Home, located at 1620 Union Street in San Diego, is associated with the early residential development of Middletown, and specifically, Little Italy. It is one of several surviving Queen Anne buildings within the community. In its current condition, it retains a high degree of architectural integrity. Although the resource retains many of its Queen Anne character-defining features, there are many resources both in the city and county of San Diego that are better representatives of the style, such as the Hotel del Coronado (California Historical Landmark No. 844, California Register of Historical Resources, National Historic Landmark, and National Register of Historic Places), the George Keating Residence (HRB #198) at 2331 2nd Avenue, and the Long-Waterman House (HRB #37, NR 1976-06-14) at 2408 1st Avenue. Further, there are no built resources associated with the Newton Avenue property. Therefore, both parcels do not meet eligibility for individual listing in the National Register under Criterion C and the California Register under Criterion 3 at the local level of significance.

National Register Criterion D / California Register Criterion 4

Both resources in San Diego are not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

CITY OF SAN DIEGO REGISTER

Constructed in 1899, Andrew Cassidy Home is locally designated under the City of San Diego Register of Historical Resources as HRB #283 under Criterion C for its Queen Anne architectural style. According to the nomination, "the building is an example of the type of residences constructed to accommodate the influx of people during the later 1880s boom period following the completion of the transcontinental railroad connection and is significant because it reflects Victorian era craftsmanship ornamentation and is part of a larger collection of significant Victorian homes." The building has retained the majority of its Queen Anne features. Its period of significance is 1899 encompassing the year of construction.

RESOURCE INTEGRITY

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Andrew Cassidy Home.

Setting is the physical environment of a historic property.

The Andrew Cassidy Home's setting within the Little Italy community of Middletown in San Diego. The building is now surrounded by a mixture of period Victorians and more contemporary multifamily residences and high rises within the block. Therefore, the Andrew Cassidy Home no longer retains its setting integrity.

Location is the place where the historic property was constructed or the place where the historic event occurred.

The location of the resource has remained the same since its construction in 1899, in Little Italy. Therefore, the property has retained its location integrity.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

There have been no major alterations or changes to the resource that have significantly impacted or diminished the building's form, plan, space, structure, or style. While there have been changes to the building outside of its period of significance, many of these changes occur at the rear of the property and would be considered small or negligible when considering the property as a whole and the extant character-defining features, which reflect its form, plan, space, structure, and style. Changes include

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the addition of the rear roof deck, accessibility ramp, window replacements, and porch repairs.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The resource continues to exhibit a good degree of materials integrity. The materials illustrate the choices, combinations, availability and technologies of the time. The retention of the exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door, comprise the choice and configuration of building materials. Thus, the resource retains its materials integrity.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The workmanship that has gone into the construction of the residence is original including its Queen Anne style details: exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door. Therefore, the building's workmanship element for integrity purposes has been mostly retained.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Together with other Victorian residences along Union Street, the Andrew Cassidy Home no longer retains its feeling aspect of integrity as an early residential development in Little Italy. Hence, the resource's integrity of feeling has been compromised.

Association is the direct link between an important historic event or person and a historic property.

The resource continues to embody its association as an early residential resource within the Middletown San Diego area. Therefore, the property retains its association integrity.

In summary, the Andrew Cassidy Home appears to retain sufficient integrity to convey its historical significance. The residence retains its integrity of location, design, materials, workmanship, and association.

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F. PREPARERS QUALIFICATIONS

Eileen Magno, MA, is a Principal with Heritage Architecture & Planning. Eileen's role is primary investigator and writer. She is a qualified Historian and Architectural Historian under the *Secretary of the Interior's Qualifications Standards*. Ms. Magno has been involved with research and documentation of historical resources throughout Southern California and parts of Arizona, Nevada, and Washington. Her experience covers a wide venue of historic preservation and planning reports including, but not limited to, historic structure reports, Historic American Building Survey documentation, Determination of Eligibility evaluations, preservation plans, feasibility studies, historic surveys, context statements, design guidelines, architectural conservation assessments, adaptive reuse studies, and master plans. Technical reports for the built environment have been completed in compliance with Section 106/110 of the National Historic Preservation Act and CEQA/NEPA. In addition, she has successfully prepared local, state, and national register nominations. Ms. Magno holds a Master of Arts degree in History with an emphasis in Public History and Teaching. She is a past member of the Mira Mesa Community Planning Group for the City of San Diego.

Thomas Saunders, NCARB is a licensed Architect with Heritage Architecture & Planning whose role included architectural investigation and recordation of the resource. Under the *Secretary of the Interior's Qualification Standards*, Mr. Saunders meets the qualifications for both Architect and Historic Architect. Mr. Saunders has been with Heritage Architecture & Planning since 2007 starting as an entry level draftsman. Since then, Mr. Saunders has been involved in many phases of architectural projects including field research, drawing development, Agency submittal process, and construction observation services. Mr. Saunders is currently working as project architect on several projects. Mr. Saunders has been involved in a variety of different projects that have contributed to his growth over the years including interior remodel and tenant improvement, rehabilitation, conditions assessment, noise mitigation for the Quieter Home Program, and building relocation. He has been involved at various stages in a number of historical documentation projects involving Historic American Building Survey (HABS), Historic Structure Reports (HSR), Condition Assessment Reports, and historical research for Determination of Eligibility documents.

David Marshall, AIA, NCARB is a Senior Principal Architect with Heritage Architecture & Planning. David's role included investigator and overall quality assurance and control over the project. Mr. Marshall holds a Bachelor of Architecture degree from Cal Poly Pomona. As an architect, he has been involved in the restoration and reconstruction of many of Balboa Park's exposition buildings, including the House of Hospitality, Spreckels Organ Pavilion, and Museum of Man. David is a past member of the San Diego Historical Resources Board and served as Chair of the Design Assistance Subcommittee. He chairs the Preservation Committee of the American Institute of Architects San Diego Chapter and is also a board member of the Forever Balboa Park. He previously served as the former President and Board Member of the California Preservation Foundation and former president of the Save Our Heritage Organisation (SOHO).

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KEYNOTES

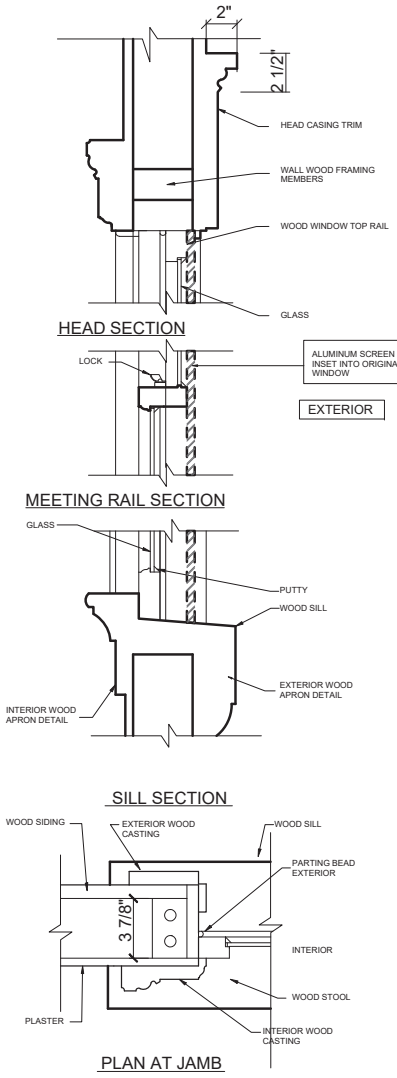
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- 30 BRICK CHIMNEY
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- 33 WOOD DOOR

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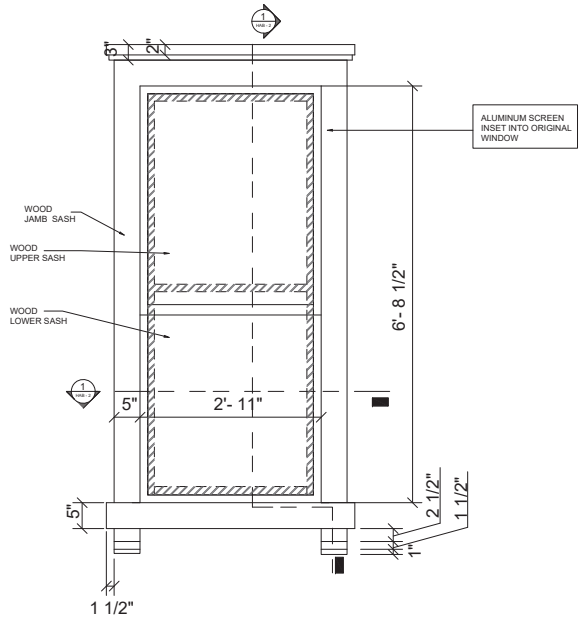
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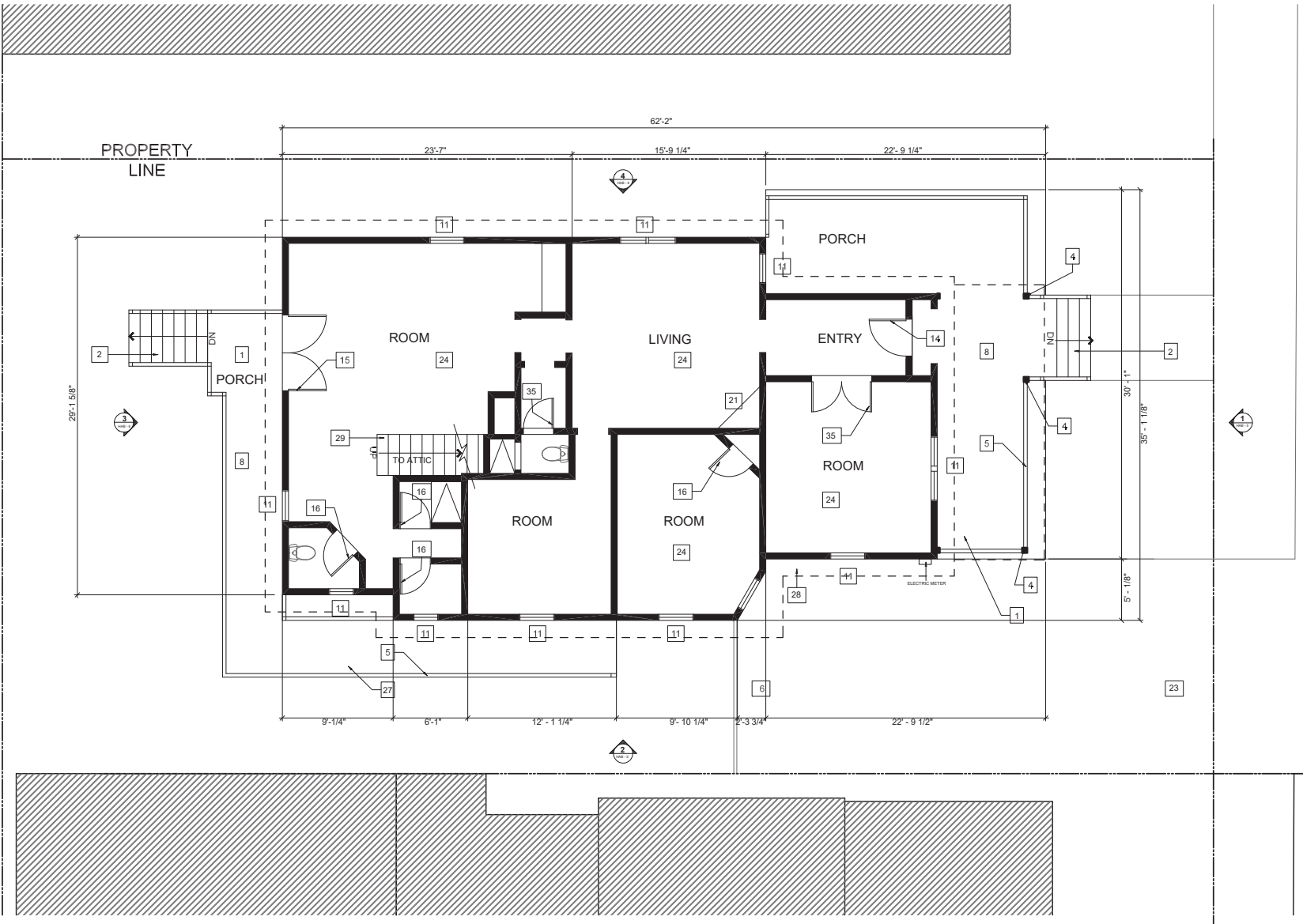
SHEET 2 OF 7



1 WINDOW DETAILS
 SCALE: 1 1/2" = 1'-0"



2 WINDOW ELEVATION
 SCALE: 1/2" = 1'-0"



1
HAB - 3
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

ATTACHMENT 11

KEYNOTES

- 1 WOOD PORCH (NH)
- 2 COMPOSITE WOOD STAIRS (NH)
- 3 WOOD TRIM AT SIDING
- 4 DECORATIVE WOOD COLUMN
- 5 WOOD RAILING (NH)
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 #23 BUILT 1888
 ARCHITECT: **JONATHAN SEGAL FAIA**
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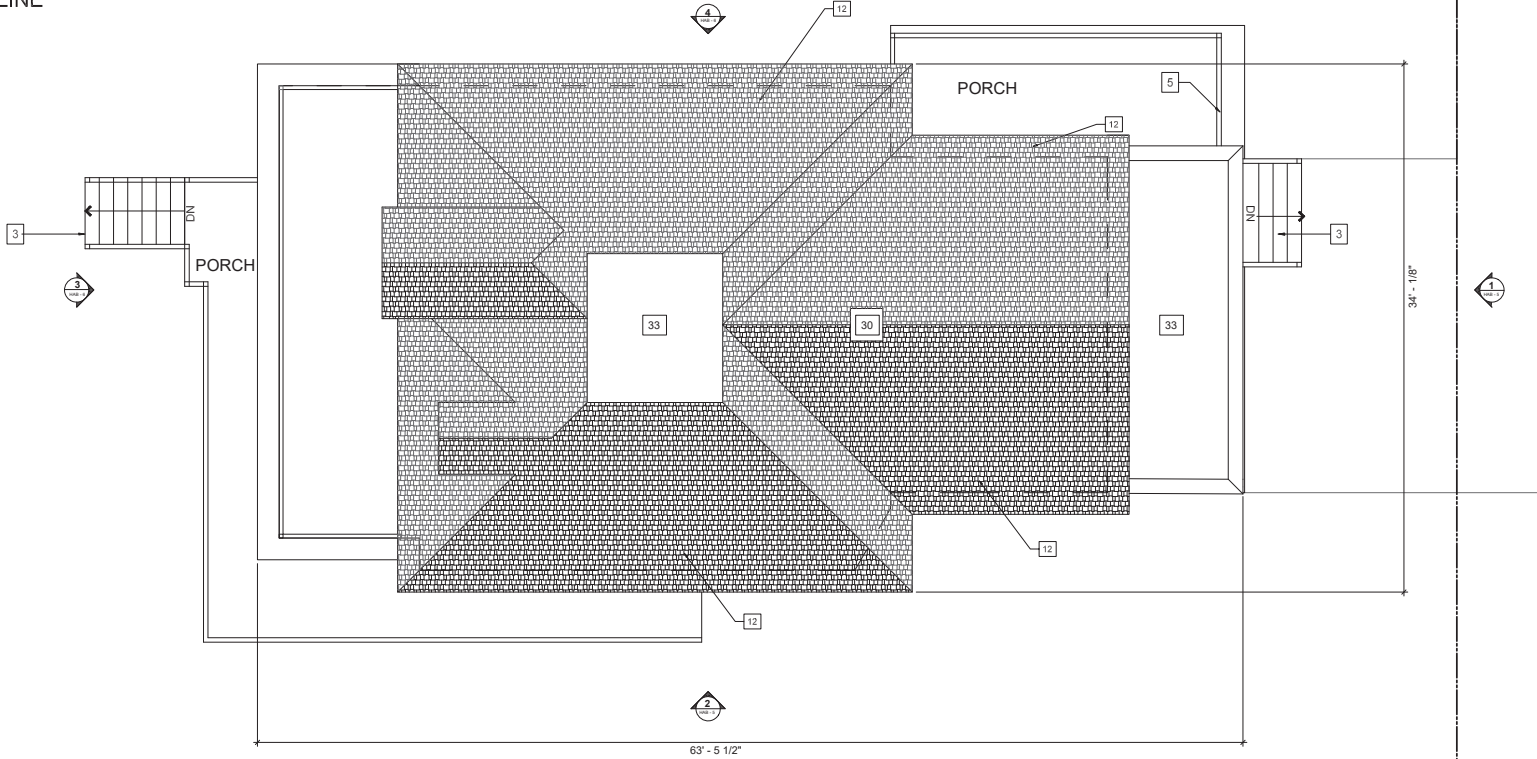
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HAB - 3

SHEET 3 OF 7

UNION ST.

PROPERTY
LINE



ATTACHMENT 11

KEYNOTES

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- 3 WOOD TRIM AT SIDING
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PROJECT: **ANDREW CASSIDY HOUSE**

1620 UNION ST., SAN DIEGO CA 92101
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#283 BUILT 1888

ARCHITECT: **JONATHAN SEGAL FAIA**
MASTER ARCHITECT DR. JONATHAN SEGAL FAIA

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ALL WORK SHOWN ON THIS PLAN
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SHEET 4 OF 7

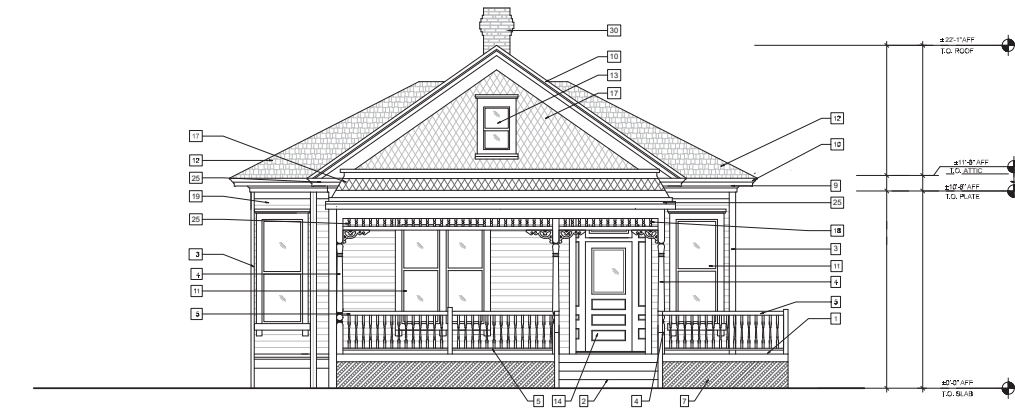
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HAB - 4

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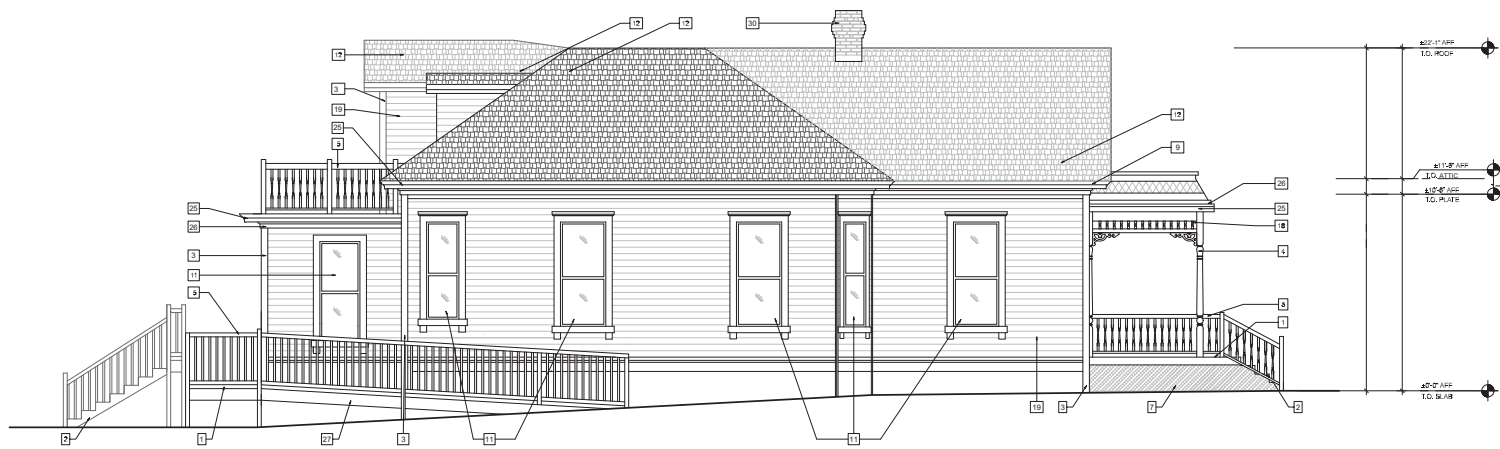


UNION ST.

ATTACHMENT 11



1 EAST ELEVATION
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2 SOUTH ELEVATION
 HAB - 5 SCALE: 1/8" = 1'-0"



- KEYNOTES**
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 - 3 WOOD TRIM AT SIDING
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 - 8 COMPOSITE WOOD DECKING (NH)
 - 8 DECORATIVE WOOD FRIEZE
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 - 28 WOOD OVERHANG ABOVE
 - 28 WOOD STAIRS (NH)
 - 30 BRICK CHIMNEY
 - 31 SHEET ROLL ROOFING
 - 32 WOOD RAILLING
 - 33 WOOD DOOR

NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

PROJECT: ANDREW CASSIDY HOUSE
 1620 UNION ST., SAN DIEGO CA 92101
 CITY OF SAN DIEGO HISTORICAL RESOURCE SITE
 #233 BUILT 1888

ARCHITECT: JONATHAN SEGAL FAIA
 MASTER ARCHITECT DR. JONATHAN SEGAL FAIA
 3000 UPAS ST., SUITE 101 SAN DIEGO, CA 92104
 619-593-6268 www.jonathansagalarchitect.com

ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN DIEGO HISTORICAL RESOURCE SITE PERMITS AND REGULATIONS.

DATE: 08.19.2021
 REV:

HAB - 5

SHEET 5 OF 6

ATTACHMENT 11

PROJECT: **ANDREW CASSIDY HOUSE**

1620 UNION ST., SAN DIEGO CA 92101
CITY OF SAN DIEGO HISTORICAL RESOURCE SITE
#23 BUILT 1888

ARCHITECT: **JONATHAN SEGAL FAIA**
MASTER ARCHITECT DR. JONATHAN SEGAL FAIA

3000 UPAS ST., SUITE 101 SAN DIEGO, CA 92104
619-583-6268 www.jonathansagalarchitect.com

11. All work shall be in accordance with the provisions of the Ordinance of the Architect.

DATE: 08.19.2021
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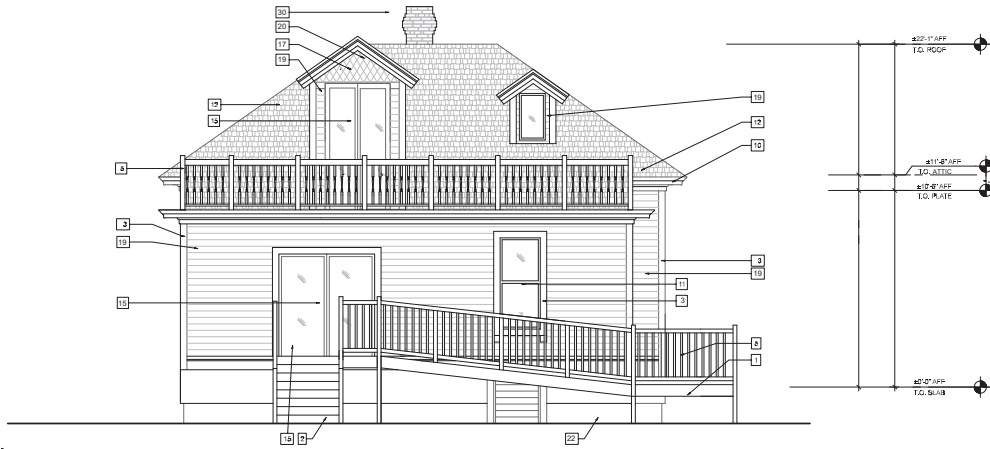
HAB - 6

SHEET 6 OF 6

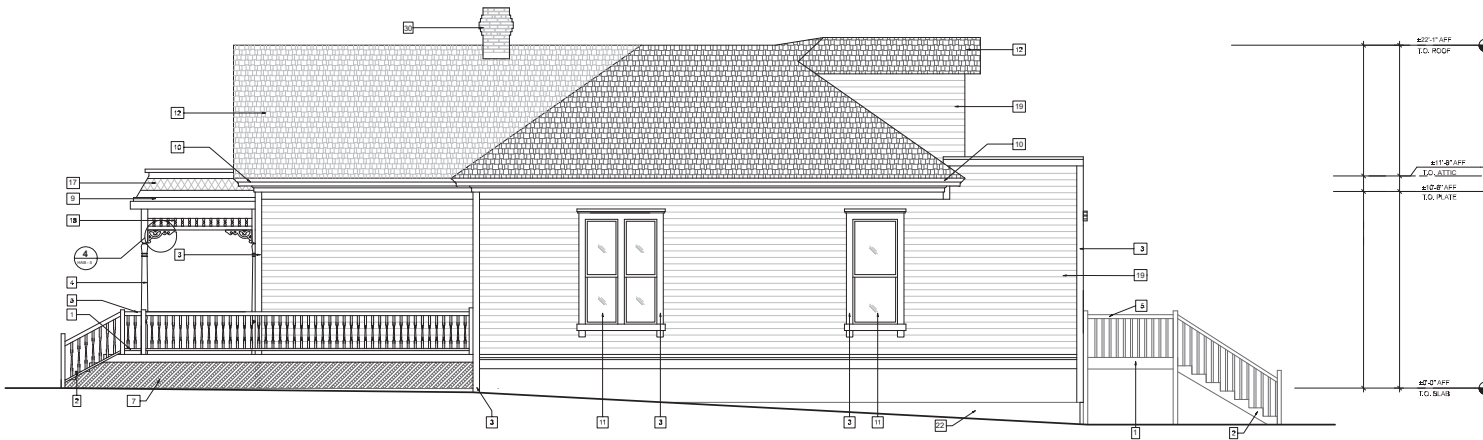
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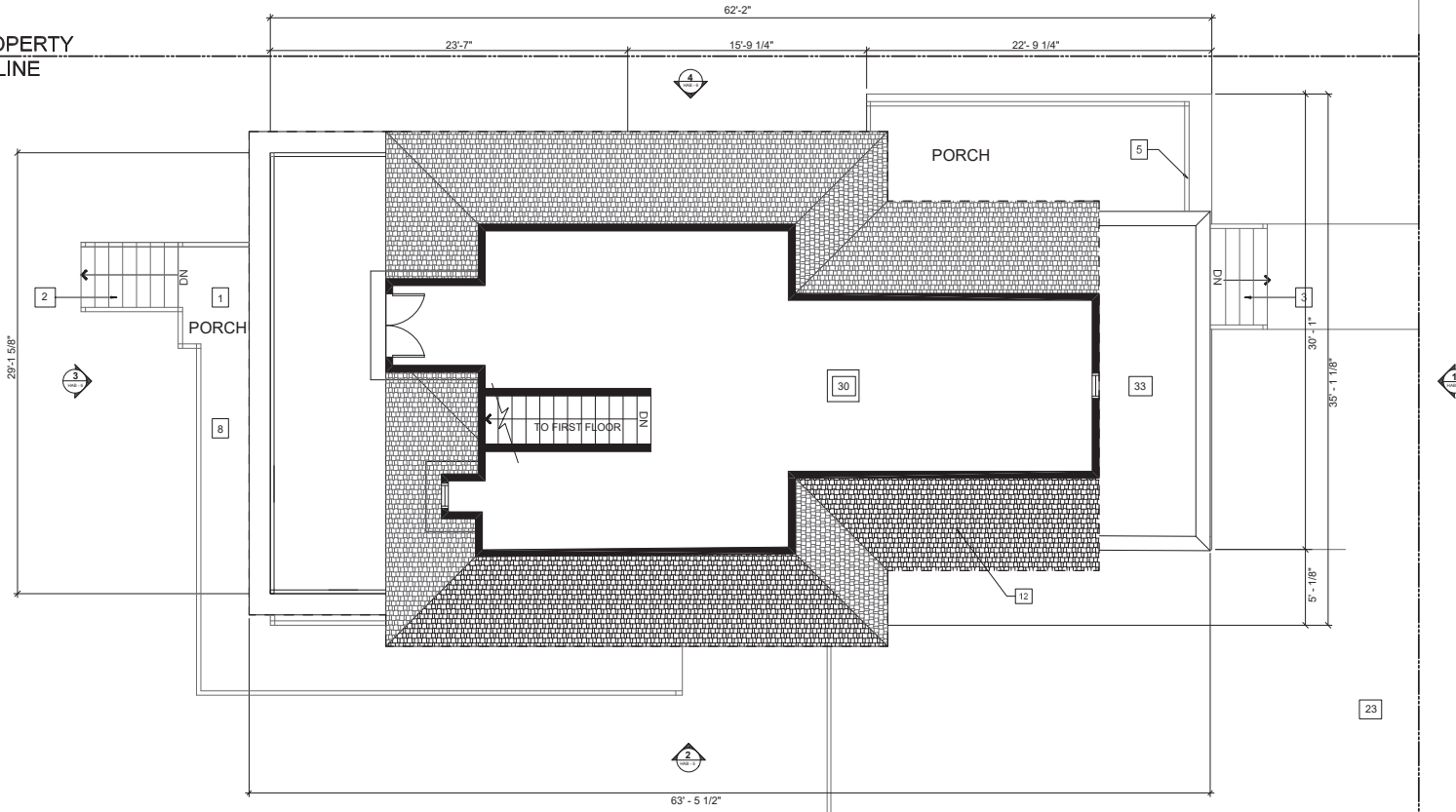
5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPERTY LINE



ATTACHMENT 11

KEYNOTES

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PROJECT: **ANDREW CASSIDY HOUSE**

1620 UNION ST., SAN DIEGO CA 92101
CITY OF SAN DIEGO HISTORICAL RESOURCE SITE
#283 BUILT 1888

ARCHITECT: **JONATHAN SEGAL FAIA**
MASTER ARCHITECT DR. JONATHAN SEGAL FAIA

3000 UPAS ST., SUITE 101 SAN DIEGO, CA 92104
619-583-6288 www.jonathansagalarchitect.com

THIS DRAWING IS THE PROPERTY OF JONATHAN SEGAL FAIA ARCHITECT AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED BY THE PERMITTING AGENCY.

DATE: 08.19.2021
REV:

HAB - 7

SHEET 6 OF 7

1
HAB - 7
ATTIC FLOOR PLAN
SCALE: 1/8" = 1' - 0"



UNION ST.

Andrew Cassidy Residence
TREATMENT PLAN
October 12th 2021

PROJECT DESCRIPTION:

The historic Andrew Cassidy Home is a one story Victorian Queen Anne Cottage style structure Located at 1620 Union Street in San Diego's Little Italy. An unknown builder built the wood-framed structure in 1888. Identified as a potential historical site in a 1988 survey, the building was designated as City of San Diego Historical Site # 283 in 1990.

The property on which the Andrew Cassidy Home is located is part of a proposed redevelopment project called "Air Rights Tower" which will occupy the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. The proposed redevelopment project includes the construction of a 110,000 gross square foot residential twenty four story high-rise. Site improvements will include a subterranean basement and a new driveway. To facilitate the construction of this new development the Andrew Cassidy Home will be relocated to 2642 Newton Avenue San Diego 92113 in the Barrio District of San Diego.

INTRODUCTION:

The implementation of this Treatment Plan for the relocation and exterior restoration of the Andrew Cassidy Home will be facilitated by a qualified historic structure remover. Construction Observation services will be provided by the Project Architect and Historic Architect, Master Architect Jonathan Segal FAIA. The project shall be completed in accordance with the mitigation, monitoring, and reporting program for this project. This Treatment Plan is accompanied by schematic drawings, which depict the proposed exterior restoration of the building.

RELOCATIAON/RESTORATION STRATEGY:

Prior to the development of the 1620 Union site the Andrew Cassidy home will be relocated to its new location at 2642 Newton Ave. The main structure will be transported in two pieces. Approximately 8 feet of roof will be removed and transported separately to accommodate overhead MTS trolley lines.

The future tenant of the restored home has not yet been identified however the proposed future use of the building will not change its occupancy classification from residential. The proposed site improvements include the addition of landscaping and new front stoops. Modifications to the Andrew Cassidy Residence shall be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (The Standards), specifically *The Standards for Restoration*.

PREPARATION, RELOCATION, & RESTORATION REQUIREMENTS:

1. Preparation of the Structure Prior to Relocation:
Coordination Meeting & Monitoring: Prior to the start of any work the Project Architect and Historic Architect / Monitor shall meet on site with the moving

contractor to review the scope of demolition, removal, salvage, temporary shoring and relocation. Through the course of all work, the moving contractor shall notify the Historic Architect / Monitor of discovery of any architectural elements on site. The Historic Architect / Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Restoration*.

Construction monitoring shall be provided prior to preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur after review by the Project Architect. The mover shall outline any proposed points of entry and attachment for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled and securely stored in a weather-tight lockable container pending reinstallation at the final site.

Roof: Roofing shingles will be removed and roof 2x4s will be cut approximately 18" above the interior attic floor. The material above 18" will be disposed of. Below the 18" cut line all roofing and structure will remain in tact. The front gable will be disconnected from the attic 2x8 joists and plywood, braced and laid down flat onto the attic floor and secured horizontally for transport.

Windows: All windows shall be protected by ¾" exterior grade plywood prior to relocation installed without causing damage to the existing historic windows, frames, and trim.

Doors: The single existing historic exterior door at the front façade of the building shall be protected in place.

Cast in Place Concrete Foundation: The existing cast in place concrete foundation is non-original and will be demolished after the building relocation.

Chimneys: Prior to Relocation, the historic brick chimney located at the ridge of the gabled roof shall be disassembled above the roofline. Prior to disassembly the chimney shall be measured and photo documented. All documentation will be submitted to the City for review and approval prior to removal of the chimney. The brick shall be catalogued, salvaged and stored

for reinstallation at the final site. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather tight lockable steel container that will be located at the relocation site adjacent to the building.

Front Steps and Porch: The front porch, including the porch floor, balustrade, columns, roof, trim, railings, and decorative elements shall be protected in place and securely shored in order to facilitate the structure relocation. The non-original front porch portion to the north of the porch roof will be disassembled and removed.

Rear Porch: The raised wood deck and stairs are non-original and will be demolished prior to relocation.

Side Ramp: The wood side ramp is non-original and will be demolished prior to relocation.

2. Relocation Procedures:

The Andrew Cassidy Home will be moved approximately 3.1 miles to its new site location at 2642 Newton Avenue San Diego, CA 92113. The building will be moved in two pieces and Restoration will commence.

The mover shall outline the route, schedule, and sequence of the move as well as the means by which the building will be secured for relocation. The Historic Architect / Monitor and City Staff shall approve the plan prior to the relocation date.

Monitoring: Construction monitoring shall be provided during the relocation process when the building is moved to its new location. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

3. Building Restoration:

Following the relocation of the Andrew Cassidy Home, the exterior of the structure will be restored in accordance with *The Secretary of the Interior's Standards for Restoration*.

The foundation

Construction Monitoring: Periodic construction monitoring shall be provided during the restoration process. Following each site visit, the construction monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

Restoration Design: The future restoration of the building shall be completed in accordance with *The Standards*. The design team shall include the services

of a historic architect that meets the Secretary of the Interior's Professional Qualification Standards. The restoration design will require review and approval by the City of San Diego Development Services Department and the Historical Resources Board staff and or Design Assistance Subcommittee.

RESTORATION RECOMMENDATIONS:

Site:

- In accordance with *The Standards*, new additions shall not destroy historical materials, features, and spatial relationships that characterize the property. They should be differentiated from historic construction and compatible in materials, feature, size, scale, proportion, and massing. They should also be constructed in a manner that, if removed in the future, the essential form and integrity of the building would be unimpaired.

Roof:

- New roof structure will be installed and attached to original remaining lower roofing via stitch nailing. The front gable will be lifted back into place and reattached to new 2x4 framing via internal A35 clips and stitch nailing. Remove and replace existing composite shingle roofing with new composite shingles with a natural cedar color.

Foundation:

- Building should be placed on a foundation that is of similar height to the original foundation

Exterior Walls:

- Repair deteriorated wood siding and repaint the building using a similar to existing historic color scheme.

Front Porch:

- Repair deteriorated wood shingle and repaint using the historic color scheme.
- Recreate the front steps with new redwood steps matching the original steps and repaint using historic color scheme.
- Remove and replace the non-original decking with redwood wood type decking and repaint using historic color scheme.
- Repair and repaint other wood features using the historic color scheme.

Rear Porch:

- Recreate new concrete rear entry and exit steps.

Chimney:

- Seismically retrofit or reconstruct the original chimney.

Windows:

- Remove all non-original aluminum window screens
- Restore existing historic windows to working condition and add weather-stripping as necessary. Repair exterior using the historic color scheme and repaint interior of windows.

Exterior Doors:

- Repair damaged front entry door and install ADA compliant door Hardware.

Interior:

- Install new wood flooring.
- Paint interior
- Repair any damaged drywall or walls
- Where feasible preserve and protect the remaining character-defining interior features and finishes in the restored building.

Mechanical, Plumbing and Electrical Systems:

- Design and install new HVAC system
- Install new bathrooms
- Install new Kitchen

SUMMARY OF EXISTING HISTORICAL FEATURES:

Exterior:

Historically significant exterior features and finishes should be preserved and protected in accordance with *The Standards*. Existing historic exterior features include:

- Double hung sash windows
- Front porch roof and diamond shaped shingles
- Diamond shaped shingles on hipped roof
- Existing exterior trim and decorative elements
- Clapboarding

Interior:

The interior of the building retains a low degree of historical integrity. Existing historic interior features include:

- Doorframe molding with decorative rosettes.

Non-Historic Features:

The Andrew Cassidy Home retains a high degree of historical integrity. Only a few minor alterations have been completed since the buildings construction in 1888.

Non-historic exterior features are limited to the following:

- Front porch extension and modern decking material

- Front porch steps
- Aluminum/Plastic window screens
- Rear porch and rear porch steps
- Side porch ramp
- The existing composite shingle roofing
- Rear porch doors
- Cast in place concrete foundation

All other existing building features and finishes on the exterior of the building are historic and they contribute to the historical character of the building.

Non-historic interior features are limited to the following:

- Laminate flooring
- Bathrooms and additional demising walls
- Fireplace surround and hearth
- Interior doors and room dividers
- Molding at ceiling damaged and mostly removed
- Stair to Attic Space
- Kitchen

SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES:

Any work undertaken on the historic Andrew Cassidy Home, including the proposed relocation and subsequent restoration, shall be completed in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration and reconstruction. Restoration has been identified as the appropriate treatment for the Andrew Cassidy Home due to use of the property being consistent with what it was historically and general overall condition of the property.

Standards for Restoration

1. A property will be used as it was historically or be given a new use that interprets the property and its restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken.
3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
4. Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

The City of San Diego will use *The Standards* as a guideline for confirming the appropriateness of the proposed restoration work for the building. Restoration work and proposed modifications to the building will also need to comply with current (2019) California Building Code and the Americans with Disabilities Act (ADA). Additionally, since the Andrew Cassidy Home is a designated historical resource, the provisions of the California Historical Building Code are also applicable to all future relocation and restoration work.

DESCRIPTION OF RESOURCE

THE HISTORIC ANDREW CASSIDY HOUSE IS A ONE STORY, COLORED AMERICAN COLONIAL STYLED STREET IN SAN DIEGO'S LITTLE ITALY. THE WOOD FRAMED STRUCTURE WAS BUILT IN 1888 BY AN AMERICAN IMMIGRANT AS A RESIDENTIAL HISTORICAL SITE IN 1988 BECAUSE THE BUILDING WAS DESIGNATED AS CITY OF SAN DIEGO HISTORICAL SITE #283 IN 1990

SHEET INDEX

- TP-1 SITE PLAN, VICINITY MAP & PHOTOS
- TP-2 FIRST FLOOR PLAN
- TP-3 ROOF PLAN
- TP-4 EAST AND SOUTH ELEVATIONS
- TP-5 WEST AND NORTH ELEVATIONS
- TP-6 SECTIONS AND DETAILS
- TP-7 ROOF REMOVAL

ATTACHMENT 12

PROJECT:
ANDREW CASSIDY HOUSE

- KEYNOTES**
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3000 UPAS ST, SUITE 101 SAN DIEGO, CA 92104

ARCHITECT:
JONATHAN SEGAL FAIA
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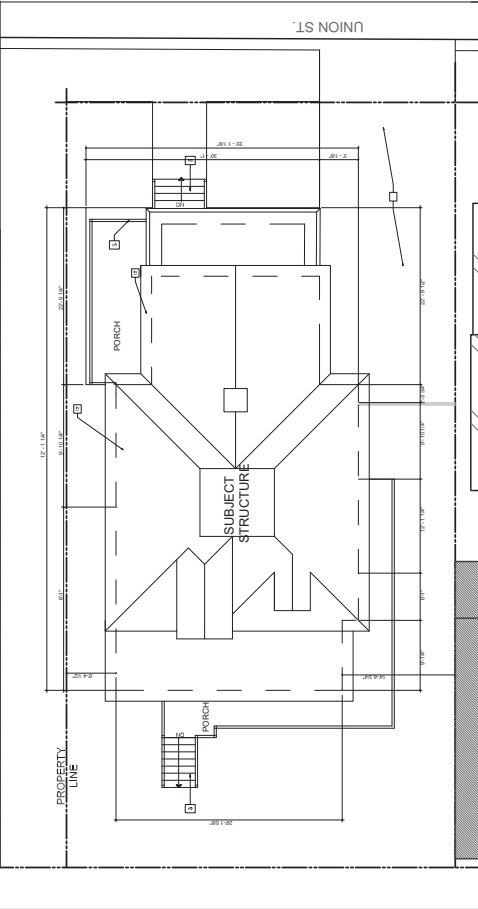
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TP - 1

SHEET 1 OF 7

NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



1 TP-1
SITE PLAN
 SCALE: 1/16" = 1'-0"



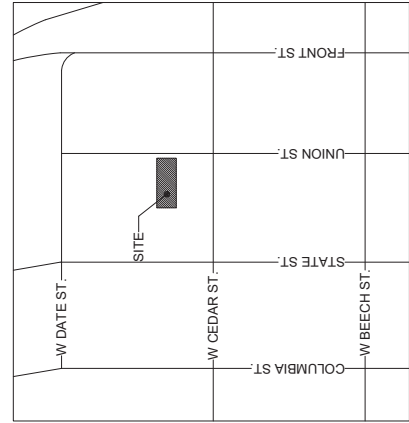
3 TP-1
PHOTO OF WEST ELEVATION



4 TP-1
PHOTO OF NORTH ELEVATION



5 TP-1
PHOTO OF EAST ELEVATION



2 TP-1
VICINITY MAP
 SCALE: NTS

ATTACHMENT 12

1620 UNION ST, SAN DIEGO CA 92101
 CITY OF SAN DIEGO HISTORICAL RESOURCE SITE
 #283 BUILT 1888

ANDREW CASSIDY HOUSE

3000 UPAS ST, SUITE 101 SAN DIEGO, CA 92104

JONATHAN SEGAL FAIA
 MASTER ARCHITECT OR JONATHAN SEGAL, FAIA

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ARCHITECT:

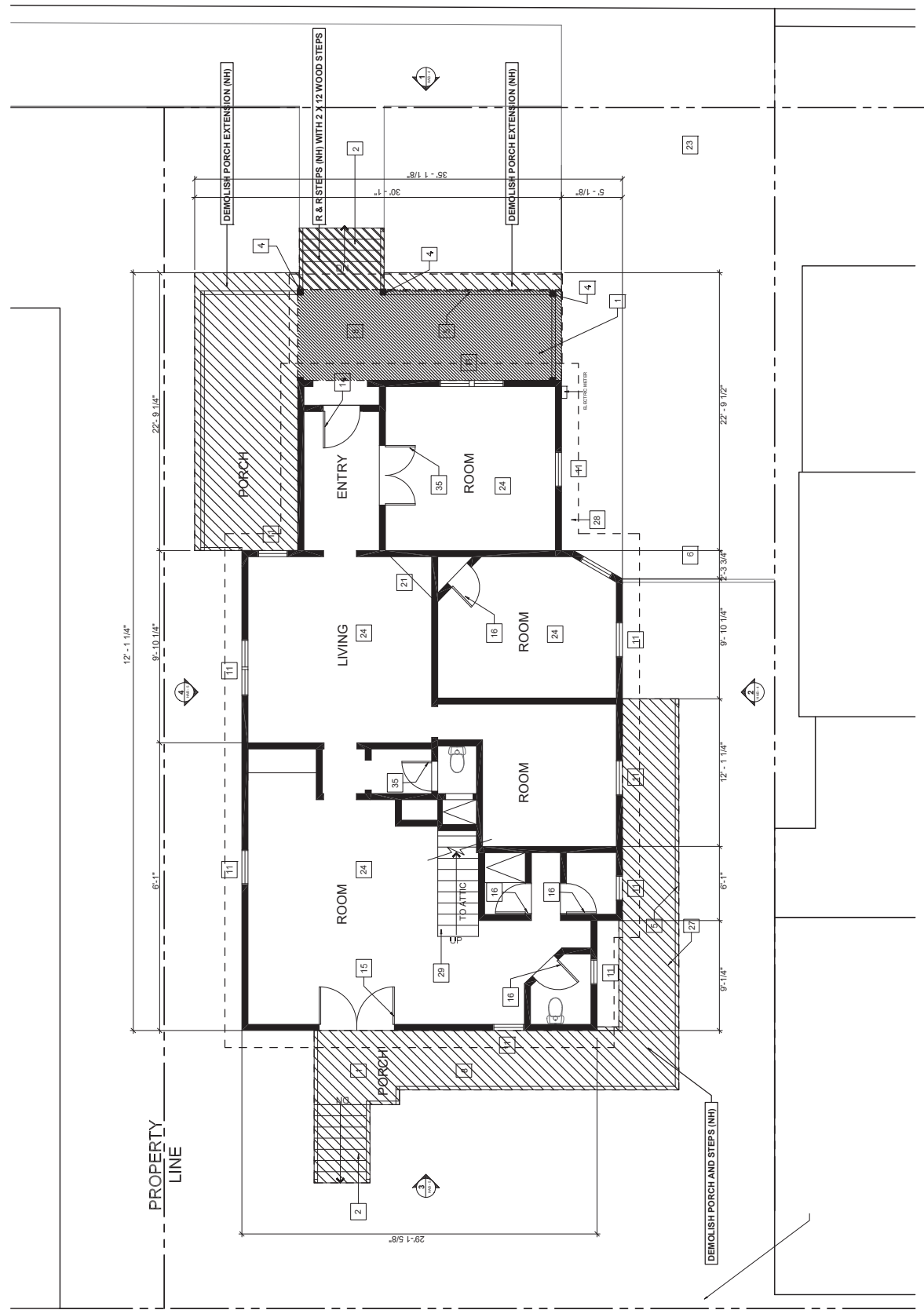
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TP - 2
 SHEET 2 OF 7

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NOTE: STABILIZE & BRACE WALLS AS NECESSARY. THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.

1 FIRST FLOOR PLAN
 TP-2
 SCALE: 1/8" = 1'-0"

DATE: 08.19.2021
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ATTACHMENT 12

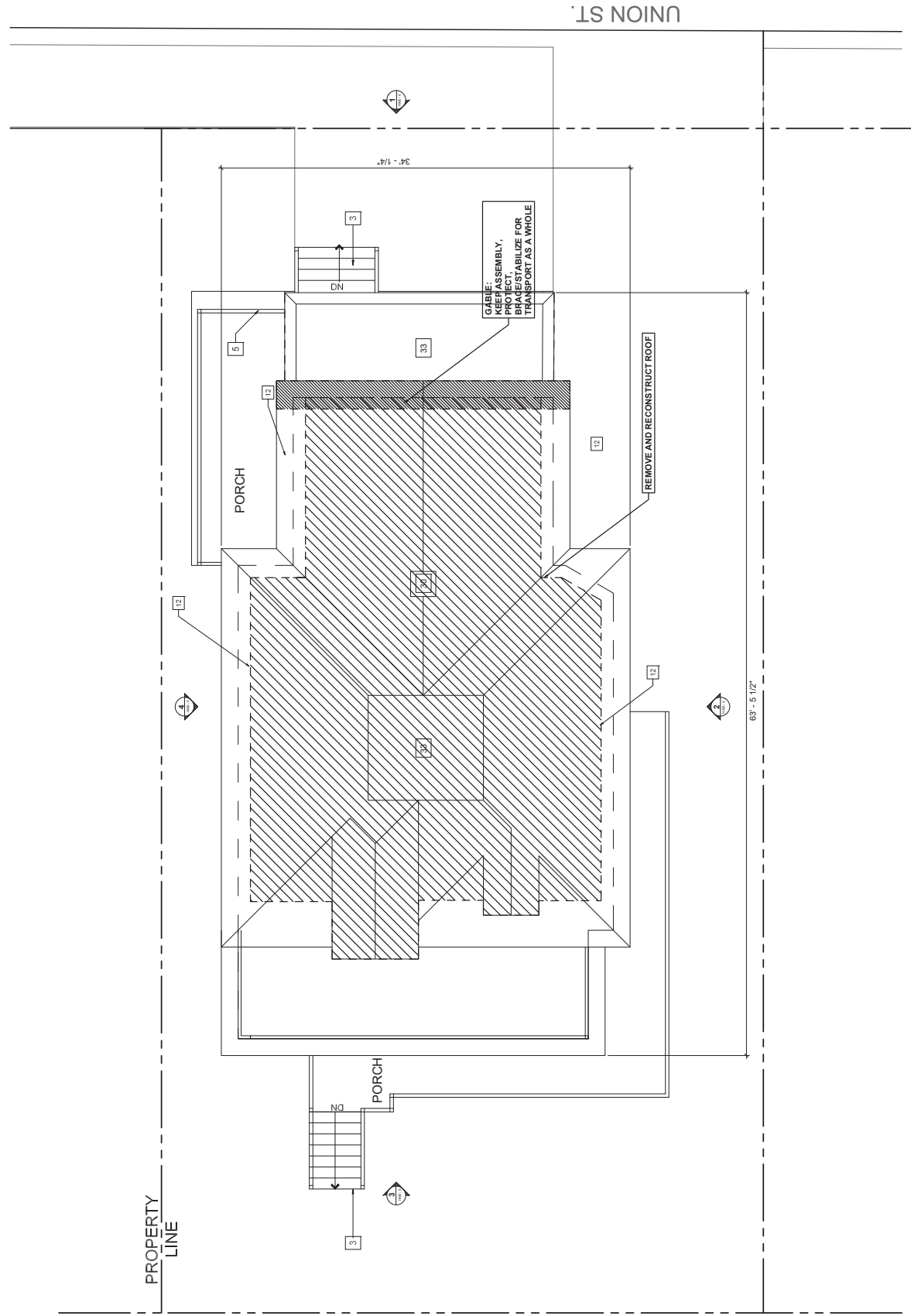
PROJECT: ANDREW CASSIDY HOUSE

ARCHITECT: JONATHAN SEGAL FAIA

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ANDREW CASSIDY HOUSE

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 619-993-6289 www.jonathanssegalarchitect.com

JONATHAN SEGAL FAIA
 MASTER ARCHITECT OR JONATHAN SEGAL, FAIA

ARCHITECT:

DATE: 08-19-2021
 REV:

DATE: 08-19-2021
 REV:

TP - 4

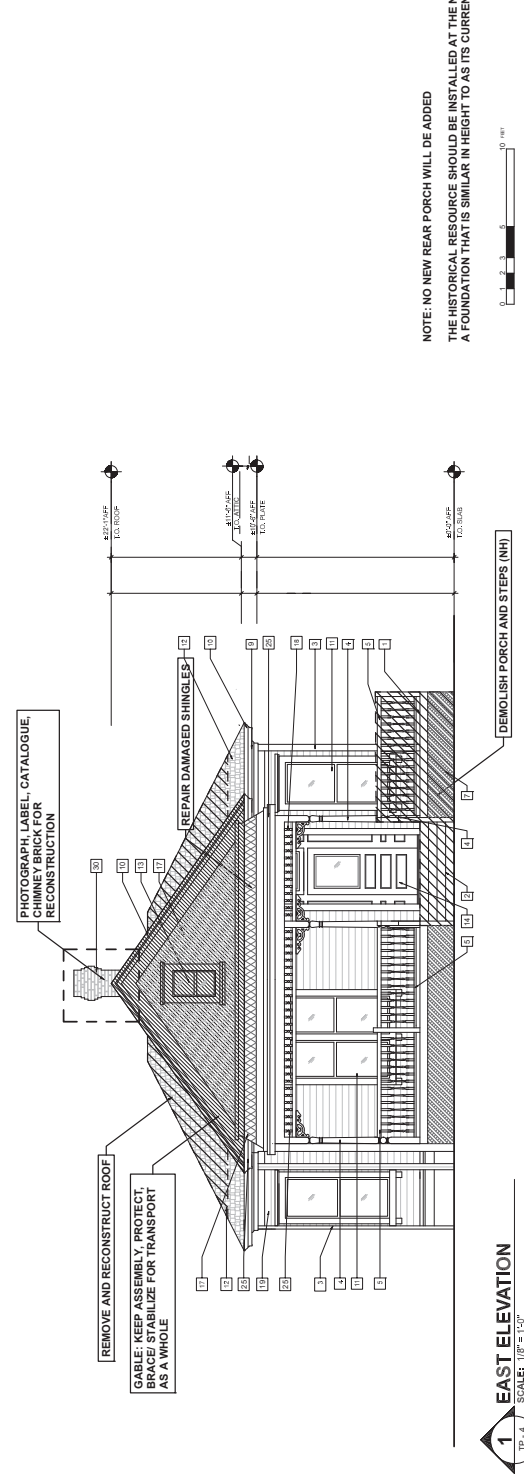
SEE PLAN SHEET

NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

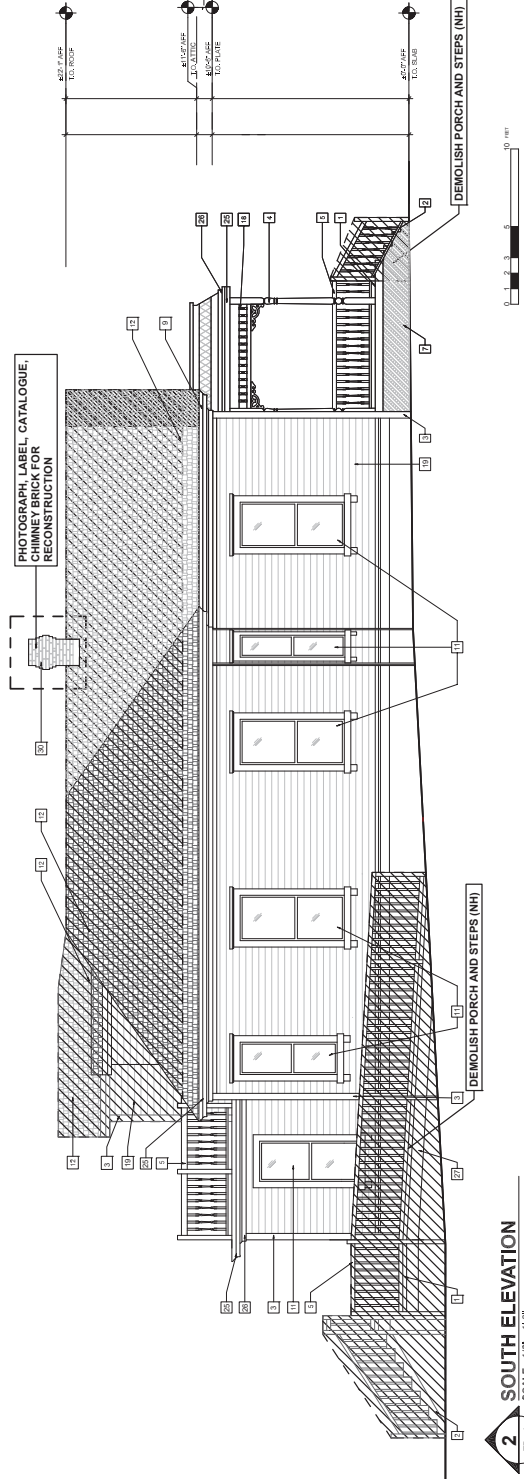
KEYNOTES

- 1 WOOD PORCH (NH)
- 2 COMPOSITE WOOD STAIRS (NH)
- 3 WOOD TRIM AT SIDING
- 4 DECORATIVE WOOD COLUMN
- 5 WOOD RAILING (NH)
- 6 WOOD FENCE (NH)
- 7 WOOD LATTICE (NH)
- 8 COMPOSITE WOOD DECKING (NH)
- 9 DECORATIVE WOOD FRIEZE
- 10 WOOD FASCIA ROOF
- 11 VINYL WINDOW (NH) OVER ORIGINAL DOUBLE HUNG WINDOW
- 12 ASPHALT SHINGLE ROOFING (NH)
- 13 WOOD CASEMENT DOUBLE HUNG WINDOW
- 14 WOOD PANEL AND GLASS DOOR
- 15 VINYL FRENCH DOORS (NH)
- 16 WOOD DOOR (NH)
- 17 DECORATIVE WOOD SHINGLES DIAMONDS
- 18 DECORATIVE WOOD SPANDELS
- 19 WOOD SHIPLAP SIDING
- 20 ROOF GABLE
- 21 FIRE PLACE
- 22 CONCRETE FOUNDATION
- 23 ASPHALT WALKPAVING
- 24 FALK WOOD PLANK FLOORING (NH)
- 25 WOOD CORNICE
- 26 ROOF GUTTER
- 27 WOOD RAMP (NH)
- 28 WOOD OVERHANG ABOVE
- 29 WOOD STAIRS (NH)
- 30 BRICK CHIMNEY
- 31 SHEET ROLL ROOFING
- 32 WOOD RAILLING
- 33 WOOD DOOR

NOTE: NO NEW REAR PORCH WILL BE ADDED
 THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.



1 EAST ELEVATION
 SCALE= 1/8" = 1'-0"



2 SOUTH ELEVATION
 SCALE= 1/8" = 1'-0"

ATTACHMENT 12

3000 UPAS ST, SUITE 101 SAN DIEGO, CA 92104
 MASTER ARCHITECT OR JONATHAN SEGAL FAIA
 JONATHAN SEGAL FAIA
 www.jonathanssegalarchitect.com
 619-993-6289

PROJECT:
 ANDREW CASSIDY HOUSE

CITY OF SAN DIEGO HISTORICAL RESOURCE SITE #283 BUILT 1888
 1620 UNION ST, SAN DIEGO CA 92101

DATE: 08-19-2021
 REV:

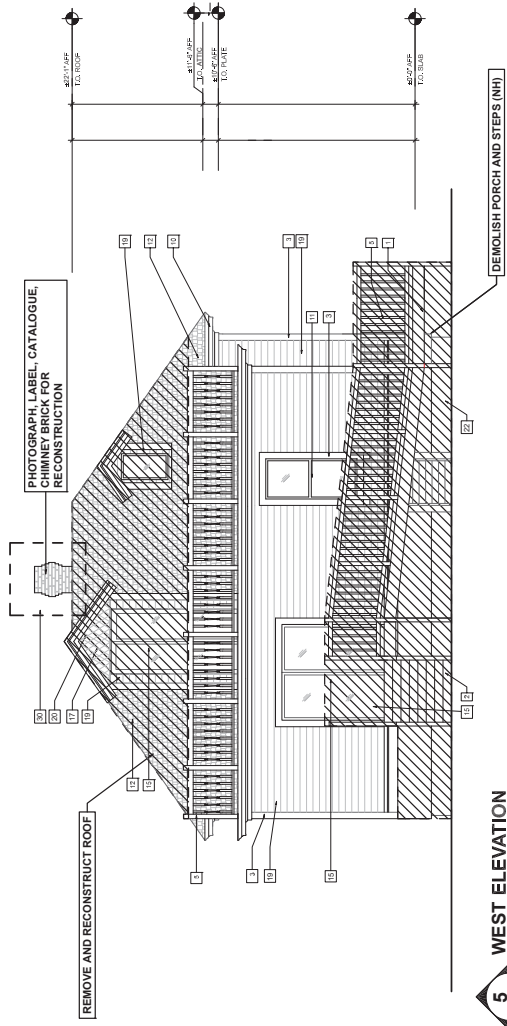
NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

TP-5 SHEET 5 OF 7

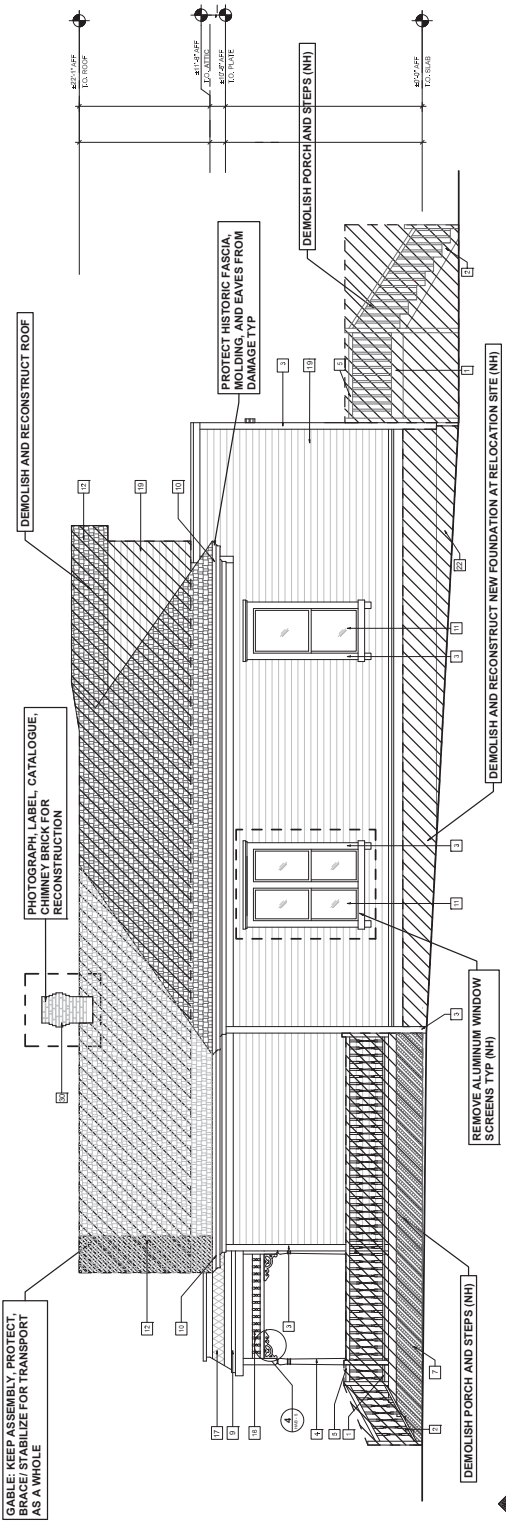
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NOTE: NO NEW REAR PORCH WILL BE ADDED
 THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.



5 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

ATTACHMENT 12

3000 UPAS ST, SUITE 101 SAN DIEGO, CA 92104
 619-993-6289 www.jonathansegalarchitect.com
 MASTER ARCHITECT OR JONATHAN SEGAL, F.A.A.
 JONATHAN SEGAL FAIA

1620 UNION ST, SAN DIEGO CA 92101
 CITY OF SAN DIEGO HISTORICAL RESOURCE SITE
 #283 BUILT 1888

PROJECT:
ANDREW CASSIDY HOUSE

ARCHITECT:
 JONATHAN SEGAL FAIA

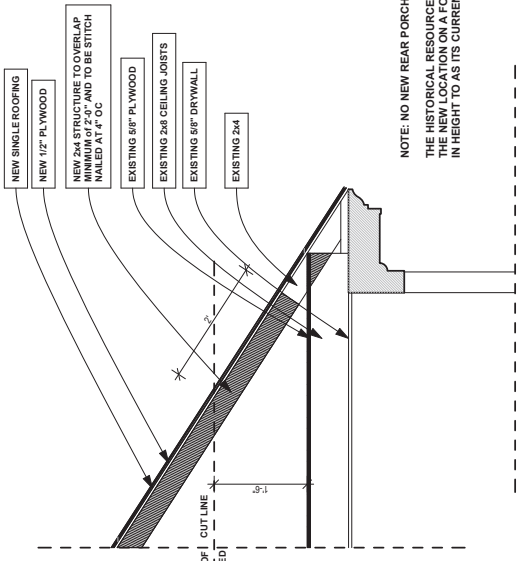
DATE: 08-19-2021
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TP - 7
 SHEET 7 OF 7

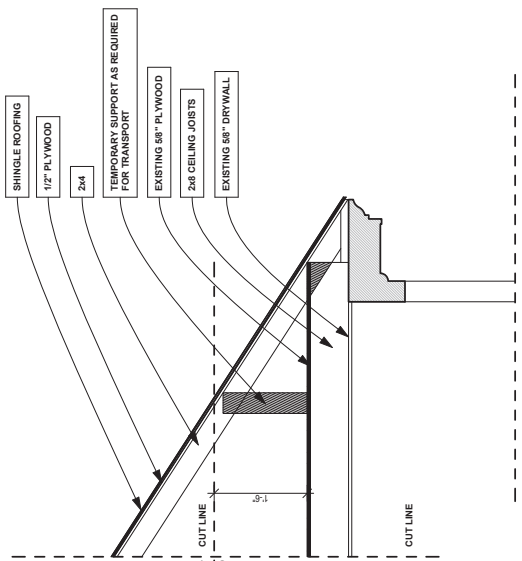
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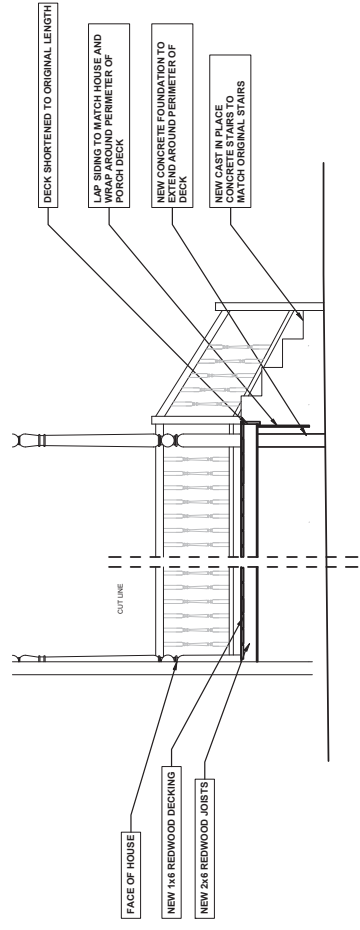
NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS. TYPE



2 ROOF RECONSTRUCTION
 SCALE: 1/4" = 1'-0"



1 ROOF REMOVAL AND TRANSPORT
 SCALE: 1/4" = 1'-0"



3 FRONT PORCH CONSTRUCTION
 SCALE: 1/4" = 1'-0"

Jonathan Segal FAIA

MONITORING PLAN**Date:** October 11th 2021**Project:** Move Off Site:
1620 Union Street
San Diego, CA 92101
City Historic Resource #263
APN: 533-353-11-00Move On Site:
2642-2648 Newton Ave
San Diego, CA 92113
APN: 538-751-21, 538-751-22, 538-751-23**Project Team:**D: Developer: JMAN INVESTMENTS INC
PA: Project Architect: Jonathan Segal FAIA
HA: Historic Architect Jonathan Segal FAIA
HAM: Historic Architect Monitor: Jonathan Segal FAIA
PI: Principle Investigator: David Marshall, Heritage Architecture
CM: Construction Manager: Jonathan Segal FAIA
HM: House Mover Joe Hansen John T Hansen Enterprises
BI: Building Inspector: City of San Diego Development Services:
Environmental and Historical Staff
RE: Resident Engineer: Jon Deck, DCI Engineers**Property Description:**

The historic Andrew Cassidy Home is a one story Victorian Queen Anne Cottage style structure Located at 1620 Union Street in San Diego's Little Italy. The wood-framed structure was built in 1888 by an unknown builder. Identified as a potential historical site in a 1988 survey, the building was designated as City of San Diego Historical Site # 283 in 1990.

The property on which the Andrew Cassidy Home is located is part of a proposed redevelopment project called "Air Rights Tower" which will occupy the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. The proposed redevelopment project includes the construction of a 110,000 gross square foot residential twenty four story high-rise. Site improvements will include a subterranean basement and a new driveway. To facilitate the construction of this new development the Andrew Cassidy Home will be relocated to 2642 Newton Avenue San Diego 92113 in the Barrio District of San Diego approximately 3 miles to the southeast.

Jonathan Segal FAIA

Monitoring at Move-Off Site : 1620 Union Street, San Diego, CA 92101, Assessors parcel # 533-353-11-00. See area to be monitored figure 1, 2, 3 below.

1. Overview of Treatment Plan and Monitoring Plan (HAM, HA, PI, PA, CM, BI, D, HM).

Issue: Pre construction meeting as related to historic resource on site. Discuss sequence and type of work to be done prior to move. General methods of protection of structure during demolition work of non-historic additions to be discussed and removal of upper roof structure.

2. **Preparation of Resource for Moving (HAM, HA, CM).**

Issue: Monitor to be present prior to any disassembly of structure. Location Marks of cuts to be determined, general method of disassembly and support to be discussed and approved by HAM.

3. Final Review of preparation of resource for moving (HAM, HA, CM, HM)
Issue: Monitor to review after completion the following work: Removal of exterior plumbing, electrical lines. Monitor to inventory of any salvaged pieces, porch area, 2x4s from roof, and fire place.

Per Treatment Plan, the historic structure shall have its roof removed approximately 18” above the attic floor level. The front gable to be braced, laid down flat and secured for transport. Any salvaged pieces shall be labeled and catalogued. To be reviewed by HAM.

The Historic resource will be moved to 2642-2648 Newton Ave.

Monitoring at Move-On Site : 2642-2648 Newton Ave, San Diego, CA 92113, Assessors parcel # 538-751-21, 538-751-22, 538-751-23.

4. Move-on site: (HAM, HA, CI, BI)

Issue: Review move on site with resource present. Overview of Treatment Plan for rehabilitation of resource, Architectural, Landscaping and Engineering Documents.

5. Move-on site as required by construction activity (HAM, CA, CM)

Issue: Review rehabilitation of resource in accordance with Treatment Plan and Architectural, Landscaping and Engineering Documents.

6. Final Monitoring (HAM, HA, CM, D)

Issue: Final punch list of items to complete according to Treatment Plan and Architectural, Landscaping and Engineering Documents.

Jonathan Segal FAIA

7. Draft Report (HAM, BI, PI, D)

Issue: Final report of monitoring process, submit to PI for distribution to City of San Diego Development Services Department, San Diego History Center for archiving.


Page 3		City of San Diego · Information Bulletin 620		May 2020
		City of San Diego Development Services		Community Planning Committee Distribution Form
Project Name: Air Rights Tower			Project Number: 694291	
Community: Downtown				
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>				
<input checked="" type="radio"/> Vote to Approve <input type="radio"/> Vote to Approve with Conditions Listed Below <input type="radio"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="radio"/> Vote to Deny				
# of Members Yes	# of Members No	# of Members Abstain		
10	0	1		
Conditions or Recommendations:				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: Robert B. Link				
TITLE: DCPC Interim Chair			DATE: September 27, 2021	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>				



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Union Newton Sites SDPCDP		Project Number: 694291	Distribution Date: 9/7/2021	
Project Scope/Location: Two separate development sites; one in Little Italy (Union Street) and one in Barrio Logan (Newton Avenue). You'll see in the attached form that there are separate documents for each site. New construction is proposed on each site and a historical resource currently on the Little Italy site is proposed to be relocated to the Barrio Logan site. 2642,46 Newton Avenue, Barrio Logan				
Applicant Name: Matthew Segal			Applicant Phone Number:	
Project Manager:	Phone Number:	Fax Number: (619) 321-3200	E-mail Address:	
Committee Recommendations (To be completed for Initial Review):				
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 11	Members No 0	Members Abstain 0	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes 11	Members No 0	Members Abstain 0	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes 11	Members No 0	Members Abstain 0	
<input type="checkbox"/> Vote to Deny	Members Yes 11	Members No 0	Members Abstain 0	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued	
CONDITIONS: none				
NAME: Mark Steele		TITLE: Chair, Barrio Logan Planning Group		
SIGNATURE: 		DATE: 11/2/2021		
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.				